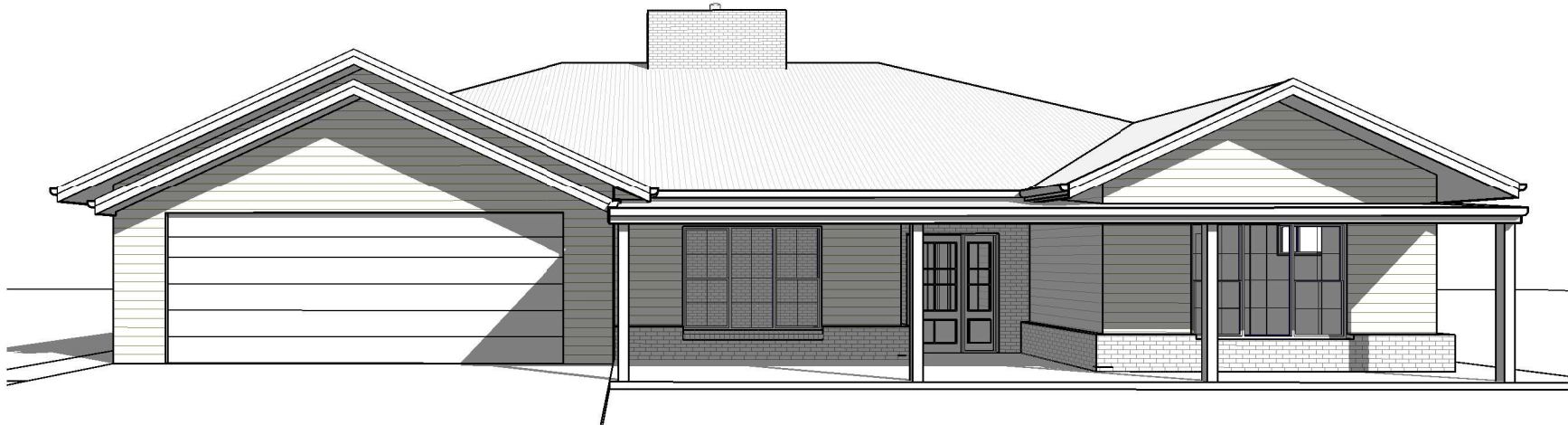


PROPOSED NEW RESIDENCE

'JAMES HOUSE'
5 HARVEY STREET, BOMBIRA NSW



LOCATION PLAN
NOT TO SCALE



EVOLVE BUILDING DESIGN

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CLIENT: FIGHT DUCHENNE FOUNDATION

PROJECT No: 00019

PROJECT: PROPOSED NEW RESIDENCE
JAMES HOUSE
5 HARVEY STREET BOMBIRA

DRAWING TITLE: LOCATION PLAN &
3D PERSPECTIVES

DRAWING No: 01 of 11

REVISION: G

REVISION	DATE	DESCRIPTION
A	15.06.2022	CONCEPT DRAWINGS
F	20.02.2023	FACADE MATERIALS
G	01.08.2023	ISSUED FOR DA/CC

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GENERAL NOTES

PLANS DOCUMENTED FOR THE EXCLUSIVE USE OF THE NOTED CLIENTS BELOW ONLY AND ARE SUBJECT TO COPYRIGHT LAWS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH
- ALL SHEETS TO THIS SET OF PLANS, INCLUDING BASIX CERT.
- ALL ARCHITECTURAL & OTHER CONSULTANTS DRAWINGS & SPECIFICATIONS & WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT
- ALL RELEVANT CODES, STANDARDS & APPROVALS.

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ALL DIMENSIONS ARE TO STRUCTURAL ELEMENTS AND DO NOT INCLUDE FINISHED SURFACES SUCH AS PLASTERBOARD, TILING ETC. ALL DIMENSIONS RELEVANT TO SETTING OUT & OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION & FABRICATION.

ANY DISCREPANCIES SHALL BE REFERRED TO EVOLVE BUILDING DESIGN BEFORE PROCEEDING

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE & LEVELS ARE EXPRESSED IN METRES.

PRIOR TO CONSTRUCTION ALL LEVELS, DIMENSIONS, SITE CONDITIONS & SERVICES SHALL BE CHECKED & CONFIRMED ON SITE & WITH RELEVANT SERVICE AUTHORITIES.

WORKMANSHIP & MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A CODES INCLUDING ALL AMENDMENTS, THE 'BUILDING CODE OF AUSTRALIA - VOLUME 2, 2016'; POLICY REQUIREMENTS OF 'MID WESTERN REGIONAL COUNCIL';

THE RELEVANT SERVICE AND STATUTORY AUTHORITIES SHALL BE NOTIFIED IN ADVANCE & THEIR APPROVALS OR SERVICES, IF NECESSARY SHALL BE OBTAINED.

CONSTRUCTION NOTES

SITE CLASSIFICATION TO BE DETERMINED BY QUALIFIED GEOTECHNICAL ENGINEER AND ALL REINGORCED CONCRETE FOOTINGS AND SLABS TO BE COMNSTRUCTED TO AS2870

SHALL NO WIND CLASSIFICATION BE NOTED, CLIENT TO BE ADVISED BY PCA OR ENGINEERING CONSULTANT

STUD WALL, ROOF TRUSS DESIGN, WALL FRAME BRACING, ROOF BRACING, & ALL 'TIE DOWN' FIXING DETAILS TO BE AS SPECIFIED & DETAILED BY TRUSS/FRAME MANUFACTURER AND TO AS1684 WHERE APPLICABLE

WET AREAS OF THE BUILDING IE. NEW BATHROOMS ARE TO BE PROTECTED BY THE INSTALLATION OF A WATER PROOFING SYSTEM COMPLYING WITH AS3740 - "WATERPROOFING OF WET AREAS"

ALL STORMWATER FROM ROOF TO BE COLLECTED BY EAVES GUTTER & DISCHARGED THUR DOWNPIPES TO RAIN WATER TANKS & STREET WHERE REQUIRED, OVERFLOW TO BE DETERMINED ON SITE

WATER TEMPERATURE TO ALL OUTLETS (EXCEPT LAUNDRY & KITCHEN) NOT TO EXCEED 50°C

THE BUILDING IS TO BE PROTECTED AGAINST SUBTERRANEAN TERMITES, IN ACCORDANCE WITH 'AS. 3660'

ALL PLUMBING WORKS ARE TO BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA (PCA), THE NEW SOUTH WALES CODE OF PRACTICE FOR PLUMBING & DRAINAGE 2006 (NSW PLUMBING CODE) & AS/NZS3500

A MINIMUM WATER ALLOWANCE SHALL BE PROVIDED FOR RURAL PROPERTIES FOR FIRE RIGHTING PURPOSES AS SPECIFIED BY PCA

SEWER DRAINAGE LINES TO BE CONNECTED TO SEWER MAIN OR IN THE CASE OF A RURAL PROPERTY, CONECTED TO A SEPTIC SYSTEM, IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND LOCAL PCA

WHERE BRICK VENEER CONSTRUCTION IS SPECIFIED, CONTROL JOINTS FOR ARTICULATION MUST BE PROVIDED TO STRUCTURAL ENGINEERS DETAILS

IF SITE REQUIRES CUT AND FILL TO OCCUR OR RETAINING WALLS CONSTRUCTED, ENGINEERS SHALL BE CONSULTED WHERE NECESSARY & CONTRACTOR SHALL ENSURE ANY SURFACE STORMWATER BE DIVERTED FROM PROPOSED RESIDENCE APPROPRIATELY. NEIGHBOURING PROPERTIES SHALL BE TAKEN INTO CONSIDERATION.

DRAWING SCHEDULE

00019	01	LOCATION PLAN & 3D PERSPECTIVES
00019	02	SITE PLAN & NOTES
00019	03	FLOOR PLAN - DIMENSIONS
00019	04	FLOOR PLAN - NOTES
00019	05	DOOR + WINDOW SCHEDULES & NOTES
00019	06	ELEVATIONS
00019	07	SECTION
00019	08	BASIX COMMITMENTS & EROSION CONTROL
00019	09	CONSTRUCTION DETAILS
00019	10	SLAB SETOUT PLAN
00019	11	SAFE DESIGN OF STRUCTURES NOTES

ISSUED FOR DA/CC

WINDOW & DOOR NOTES

ALL GLASS IS TO BE SELECTED & INSTALLED IN ACCORDANCE BUT NOT EXCLUSIVELY WITH THE FOLLOWING AUSTRALIAN &/OR NEW ZEALAND STANDARDS;

- AS 1288 GLASS IN BUILDINGS SELECTION & INSTALLATION
- AS 1170 MINIMUM WIND LOADS ON STRUCTURES
- AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS
- AS/NZS 4667 QUALITY REQUIREMENTS FOR CUT-TO-SIZE & PROCESSED GLASS

DIMENSIONS SHALL BE CONFIRMED ON SITE PRIOR TO FABRICATION

LINTELS OVER WINDOWS SHALL BE TO FRAME MANUFACTURERS SPECIFICATIONS

WINDOW HEAD HEIGHTS TO BE 2100mm ABOVE THE FINISHED FLOOR LEVEL UNLESS NOTED OTHERWISE

UNLESS NOTED OTHERWISE ALL WINDOWS TO BE ALUMINIUM FRAMED WINDOWS WITH A SELECT POWDERCOAT FINISH & ALUMINIUM FRAMED STEEL MESH INSECT SCREENS COMPLYING WITH THE REQUIREMENTS OF AS3959-2009

ALL GLAZING THAT IS 0.75M OR LESS ABOVE THE FFL MUST BE GLAZED WITH SAFETY GLASS IN ACCORDANCE WITH AS2208

EXTERNAL WINDOWS & DOORS TO BE SEALED USING RUBBER COMPRESSIVE STRIPS WHICH WILL RESTRICT AIR INFILTRATION.

WHERE THERE IN NO TRANSOM, COLONIAL BARS OR CHAIR RAIL, ALL FRAMELESS OR FULLY GLAZED DOORS & SIDELIGHTS CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING, SHALL BE CLEARLY MARKED WITH A PERMANENT MOTIF OR OTHER DECORATIVE TREATMENT TO INDICATE ITS PRESENCE

UNLESS NOTED OTHERWISE ALL EXTERNAL DOORS TO BE TIMBER SOLID CORE & ALL INTERNAL DOORS ARE TO BE HOLLOW CORE

EXTERNAL DOORS ARE TO BE FITTED WITH ALUMINIUM FRAMED MESH INSECT SCREENS

DOOR HANDLE & RELATED HARDWARE SHALL BE OF THE TYPE THAT ALLOWS THE DOOR TO BE UNLOCKED & OPENED WITH ONE HAND

WINDOW SCHEDULE

ID	HEIGHT	WIDTH	AREA	HEAD HEIGHT	ORIENTATION	TYPE	DESCRIPTION	GLAZING	SHADING	OVERSHADOWING
01	600	1600	0.96 m²	2100	NORTH	A0616	ALUMINIUM FRAMED - ONE AWNING SECTION	SINGLE, CLEAR	E 600 - 550 A/H	N/A
02	600	1600	0.96 m²	2400	NORTH	A0616	ALUMINIUM FRAMED - ONE AWNING SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
03	1800	2100	3.78 m²	2420	NORTH	DF1821	ALUMINIUM FRAMED - ONE DOUBLE-HUNG SECTION, ONE FIXED SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
04	1500	2100	3.15 m²	2400	NORTH	FXX1521 STACKER	ALUMINIUM FRAMED - TWO STACKING DOOR SECTIONS, ONE FIXED SECTION	SINGLE, CLEAR	V 4940 - E 2650	N/A
05	2400	4200	10.08 m²	2400	NORTH	FXXF2442	ALUMINIUM FRAMED - TWO SLIDING DOOR SECTIONS, TWO FIXED SECTIONS	SINGLE, CLEAR	V 4940 - E 2650	N/A
06	1800	2410	4.34 m²	2300	NORTH	DFD1824	ALUMINIUM FRAMED - TWO DOUBLE-HUNG SECTIONS, ONE FIXED SECTIONS	SINGLE, CLEAR	E 600 - 250 A/H	N/A
07	1780	2000	3.56 m²	2400	EAST	F1820	ALUMINIUM FRAMED - ONE FIXED SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
07B	1780	890	1.58 m²	2400	EAST	D1809	ALUMINIUM FRAMED - ONE DOUBLE-HUNG SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
07C	1780	890	1.58 m²	2400	EAST	D1809	ALUMINIUM FRAMED - ONE DOUBLE-HUNG SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
08	1400	1500	2.10 m²	2400	EAST	F1415	ALUMINIUM FRAMED - ONE FIXED SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
08B	1400	900	1.26 m²	2400	EAST	D1409	ALUMINIUM FRAMED - ONE DOUBLE-HUNG SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
08C	1400	900	1.26 m²	2400	EAST	D1409	ALUMINIUM FRAMED - ONE DOUBLE-HUNG SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
09	1780	2000	3.56 m²	2400	EAST	F1820	ALUMINIUM FRAMED - ONE FIXED SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
09B	1780	890	1.58 m²	2400	EAST	D1809	ALUMINIUM FRAMED - ONE DOUBLE-HUNG SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
09C	1780	890	1.58 m²	2400	EAST	D1809	ALUMINIUM FRAMED - ONE DOUBLE-HUNG SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
10	600	2400	1.44 m²	2400	EAST	SFS0624	ALUMINIUM FRAMED - ONE FIXED SECTION, TWO SLIDING SECTIONS	SINGLE, CLEAR	E 600 - 250 A/H	N/A
11	600	2400	1.44 m²	2400	EAST	SFS0624	ALUMINIUM FRAMED - ONE FIXED SECTION, TWO SLIDING SECTIONS	SINGLE, CLEAR	E 600 - 250 A/H	N/A
12	600	2400	1.44 m²	2400	EAST	SFS0624	ALUMINIUM FRAMED - ONE FIXED SECTION, TWO SLIDING SECTIONS	SINGLE, CLEAR	E 600 - 250 A/H	N/A
13	1800	2410	4.34 m²	2300	SOUTH	DFD1824	ALUMINIUM FRAMED - TWO DOUBLE-HUNG SECTIONS, ONE FIXED SECTIONS	SINGLE, CLEAR	V 1440 - E 2240	N/A
14	1800	2410	4.34 m²	2300	SOUTH	DFD1824	ALUMINIUM FRAMED - TWO DOUBLE-HUNG SECTIONS, ONE FIXED SECTIONS	SINGLE, CLEAR	V 3440 - E 2240	N/A
15	600	1600	0.96 m²	1490	WEST	F0616	ALUMINIUM FRAMED - ONE FIXED SECTION	SINGLE, CLEAR	E 600 - 1160 A/H	N/A
16	600	1600	0.96 m²	1490	WEST	F0616	ALUMINIUM FRAMED - ONE FIXED SECTION	SINGLE, CLEAR	E 600 - 1160 A/H	N/A
17	1200	1500	1.80 m²	2400	WEST	F1215	ALUMINIUM FRAMED - ONE FIXED SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
17B	1200	700	0.84 m²	2400	WEST	D1207	ALUMINIUM FRAMED - ONE DOUBLE-HUNG SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
18	600	1600	0.96 m²	2400	WEST	A0616	ALUMINIUM FRAMED - ONE AWNING SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
19	1200	1500	1.80 m²	2400	WEST	F1215	ALUMINIUM FRAMED - ONE FIXED SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
19B	1200	700	0.84 m²	2400	WEST	D1207	ALUMINIUM FRAMED - ONE DOUBLE-HUNG SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
20	600	1200	0.72 m²	2400	WEST	A0612	ALUMINIUM FRAMED - ONE AWNING SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
21	600	1600	0.96 m²	2400	WEST	A0616	ALUMINIUM FRAMED - ONE AWNING SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
22	900	600	0.54 m²		EAST	SL0906		SINGLE, CLEAR	EXTERNAL ADJUSTABLE AWNING OR BLIND	N/A

DOOR SCHEDULE

ID	HEIGHT	WIDTH	DESCRIPTION	GLAZING	SHADING	OVERSHADOWING
01	2140	1800	TIMBER DOOR FRAME - 1 / EXTERNAL SOLID CORE HINGED DOOR WITH HALF GLAZED SECTION WITH 1/ AWNING SIDELITE AND SELECT PAINT FINISH	SINGLE, CLEAR	V 4730 - E 2240	N/A
02	2500	6600	1 / DOUBLE SECTIONAL PANEL LIFT GARAGE DOOR			
03	2340	1020	ALUMINIUM DOOR FRAME - 1/ EXTERNAL FULL GLAZED SECTION	SINGLE, CLEAR	E 600 - 250 A/H	N/A
04	2400	1200	SQ. SET DOOR FRAME - 1 / INTERNAL BARN STYLE SLIDING DOOR WITH SELECT PAINT FINISH			
05	2400	1200	SQ. SET DOOR FRAME - 1 / INTERNAL BARN STYLE SLIDING DOOR WITH SELECT PAINT FINISH			
06	2400	1600	SQ. SET DOOR FRAME - 1 / INTERNAL BARN STYLE SLIDING DOOR WITH SELECT PAINT FINISH			
07	2400	1200	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
08	2400	650	SQ. SET DOOR FRAME - 1 / INTERNAL BARN STYLE SLIDING DOOR WITH SELECT PAINT FINISH			
09	2400	650	SQ. SET DOOR FRAME - 1 / INTERNAL BARN STYLE SLIDING DOOR WITH SELECT PAINT FINISH			
10	2400	650	SQ. SET DOOR FRAME - 1 / INTERNAL BARN STYLE SLIDING DOOR WITH SELECT PAINT FINISH			
11	2400	650	SQ. SET DOOR FRAME - 1 / INTERNAL BARN STYLE SLIDING DOOR WITH SELECT PAINT FINISH			
12	2400	1200	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
13	2040	720	TIMBER DOOR FRAME - 3 / INTERNAL HOLLOW CORE SLIDIING DOORS WITH SELECT PAINT FINISH			
14	2400	1600	SQ. SET DOOR FRAME - 1 / INTERNAL BARN STYLE SLIDING DOOR WITH SELECT PAINT FINISH			
15	2040	1020	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
16	2040	720	TIMBER DOOR FRAME - 2 / INTERNAL HOLLOW CORE HINGED DOORS WITH SELECT PAINT FINISH			
17	2040	720	TIMBER DOOR FRAME - 2 / INTERNAL HOLLOW CORE HINGED DOORS WITH SELECT PAINT FINISH			
18	2040	720	TIMBER DOOR FRAME - 2 / INTERNAL HOLLOW CORE HINGED DOORS WITH SELECT PAINT FINISH			
19	2040	1020	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
20	2040	820	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
21	2040	1020	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
22	2400	1200	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
23	2040	820	TIMBER DOOR FRAME - 2 / INTERNAL HOLLOW CORE SLIDING DOORS WITH SELECT PAINT FINISH			
24	2040	820	TIMBER DOOR FRAME - 2 / INTERNAL HOLLOW CORE SLIDING DOORS WITH SELECT PAINT FINISH			
25	2040	1020	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
26	2040	720	TIMBER DOOR FRAME - 3 / INTERNAL HOLLOW CORE SLIDIING DOORS WITH SELECT PAINT FINISH			
27	2040	920	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
28	2040	1020	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
29	2040	720	TIMBER DOOR FRAME - 3 / INTERNAL HOLLOW CORE SLIDIING DOORS WITH SELECT PAINT FINISH			
30	2040	920	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
31	2040	1020	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
32	2040	1020	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
33	2040	1020	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			
34	2040	820	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE CAVITY SLIDING DOOR WITH SELECT PAINT FINISH			
35	2200	2410	1 / SINGLE ROLLER DOOR			
36	2040	820	TIMBER DOOR FRAME - 1 / INTERNAL HOLLOW CORE HINGED DOOR WITH SELECT PAINT FINISH			



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PROJECT: PROPOSED NEW RESIDENCE
JAMES HOUSE
5 HARVEY STREET BOMBIRA

DRAWING TITLE: DOOR + WINDOW
SCHEDULES &
NOTES

DRAWING No: 05 of 11

REVISION: G

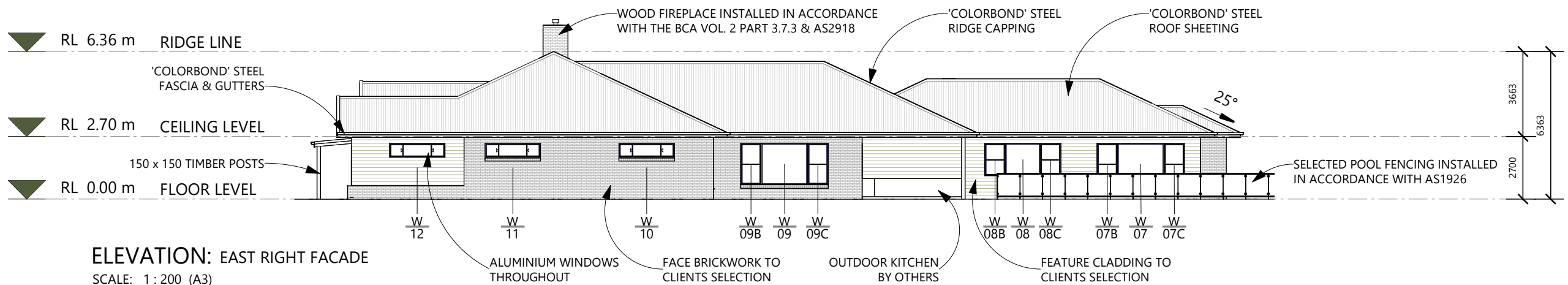
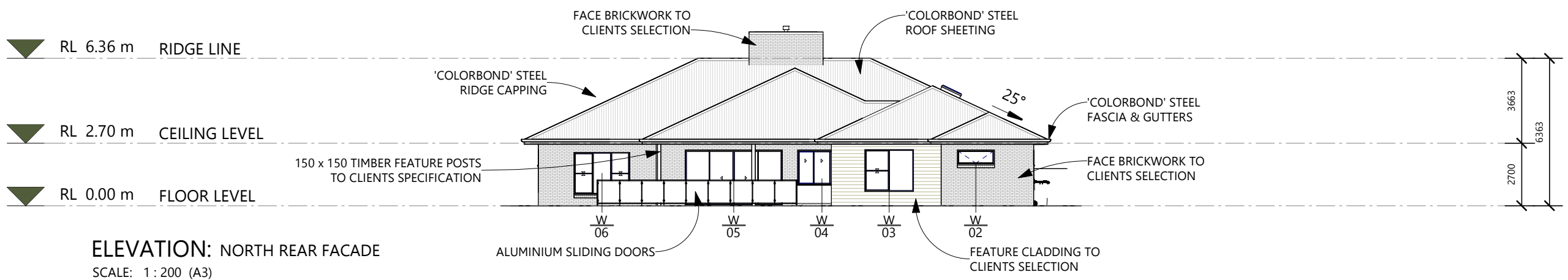
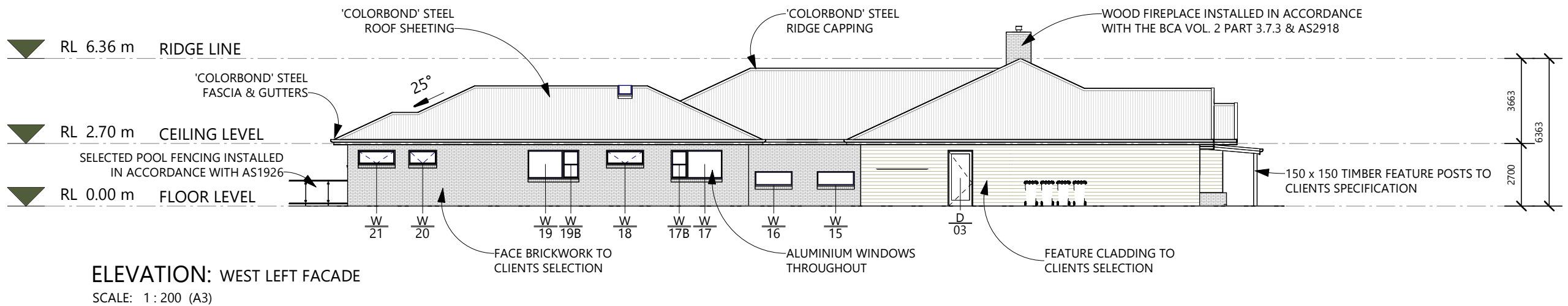
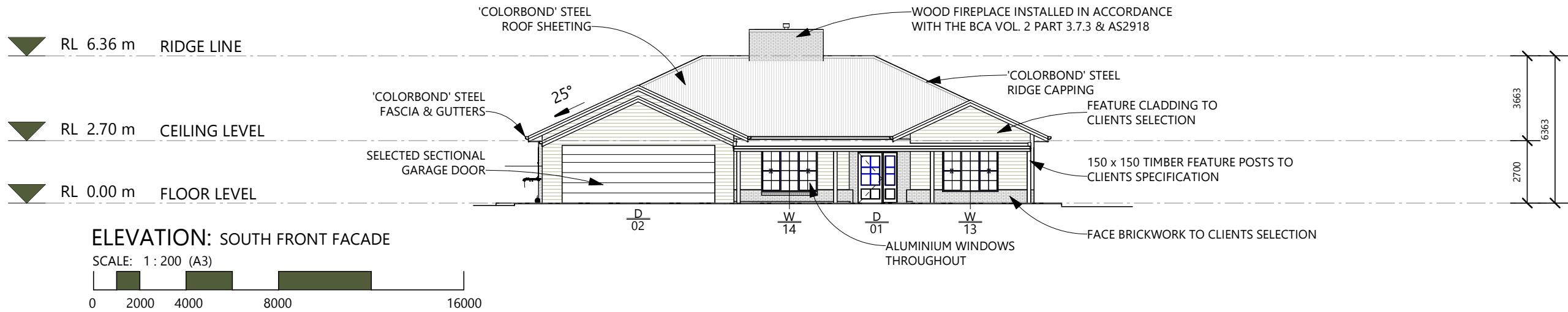
REVISION	DATE	DESCRIPTION
A	15.06.2022	CONCEPT DRAWINGS
G	01.08.2023	ISSUED FOR DA/CC

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DRAWING TITLE: ELEVATIONS

DRAWING No: 06 of 11

REVISION: G

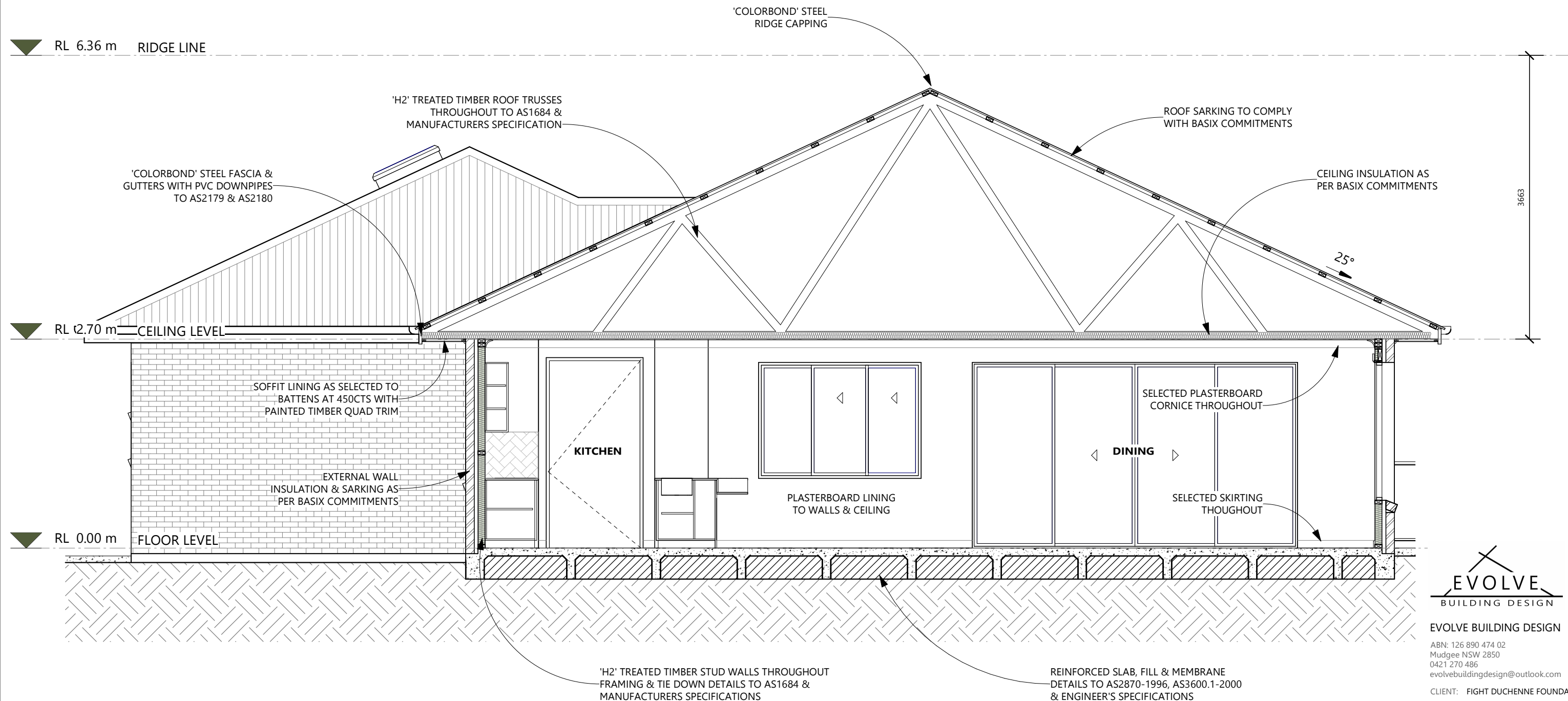
REVISION	DATE	DESCRIPTION
A	15.06.2022	CONCEPT DRAWINGS
B	12.09.2022	REMOVED CABANA
C	12.10.2022	FACADE, SITE, FIRE PLACE
D	17.10.2022	WINDOW CHANGES
E	18.11.2022	CLIENT CHANGES
F	20.02.2023	FACADE MATERIALS
G	01.08.2023	ISSUED FOR DA/CC

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DRAWING TITLE: SECTION

DRAWING No: 07 of 11

REVISION: G

REVISION	DATE	DESCRIPTION
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G	01.08.2023	ISSUED FOR DA/CC

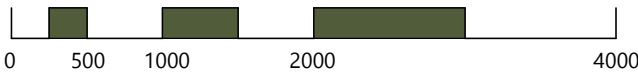
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SECTION: KITCHEN - DINING

SCALE: 1 : 50 (A3)



Insulation & Construction Details

Roof colour	Medium (SA >0.475<0.70)
Roof	Reflective sarking
Ceilings	R4.0 (except garage)
External Walls	R2.5 and vapour permeable sarking (except garage)
Internal Walls	R2.5 (internal walls shared with garage, laundry, linen and skylight shaft walls)
Floors	225mm waffle pod slab
Draught sealing	Draught stoppers & foam seals on all external doors & internal garage door Draught stoppers on all ceiling exhaust fans. Draught stopper on wood heater flue.
Ceiling penetrations	Downlights to be IC-F rated to permit coverage with insulation.
Window / glass door type	Single glazed clear sliding w/aluminium frame U=6.70 & SHGC=0.70 (+or- 5%) Single glazed clear hinged w/aluminium frame U=6.70 & SHGC=0.57 (+or- 5%) Double glazed skylight



ISSUED FOR DA/CC

EROSION & SEDIMENT CONTROL NOTES

ALL EROSION & SEDIMENT CONTROL STRUCTURES ARE TO BE INSTALLED PRIOR TO SITE DISTURBANCE.

ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED & MAINTAINED BY THE BUILDER. IF STRUCTURES ARE TEMPORARILY REQUIRED TO BE REMOVED, THEY SHALL BE REINSTALLED & INSPECTED BY THE BUILDER.

ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY & SPREAD ON DISTURBED AREA.

ACCESS TO SITE IS TO BE THROUGH USE OF THE ENTRY/EXIT SHOWN

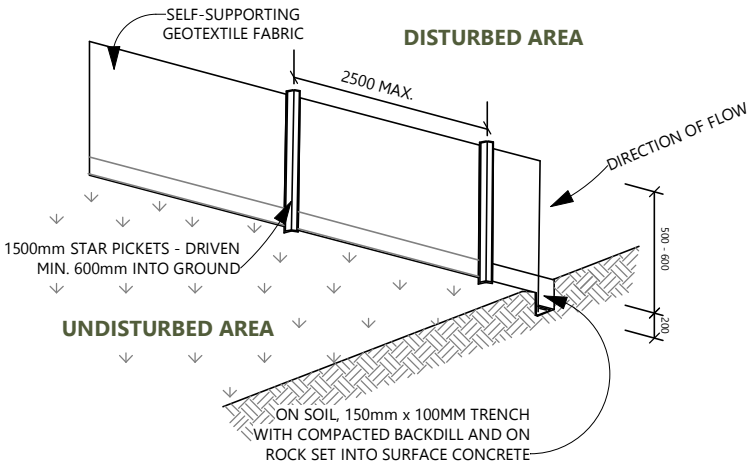
ALL VEGETATION OUTSIDE OF THE CONSTRUCTION AREA IS TO BE RETAINED WHERE POSSIBLE

THE PROJECT MANAGER IS TO INFORM ALL CONTRACTORS OF THEIR OBLIGATIONS UNDER THIS PLAN

ALL SEWER, WATER & DRAINAGE LINE TRENCHES ARE TO BE BACKFILLED WITHIN 24 HOURS OF INSPECTION & APPROVAL

STOCKPILES OF ERODIBLE BUILDING MATERIALS INCLUDING SAND & SOIL MUST BE LOCATED WITHIN THE DESIGNATED MATERIAL STOCKPILE AREA (MSA) & PROTECTED WITH SEDIMENT FENCE OR STRAW BALE SEDIMENT FILTERS. THE BUILDER MAY NOMINATE FURTHER STORAGE AREAS WITHIN THE SITE

NO STORAGE OF MATERIALS OR VECHICLE MOVEMENTS ARE TO OCCUR OUTSIDE THE SITE BOUNDARIES



SEDIMENT FENCE

NOT TO SCALE

CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50L PER SECOND.

CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.

DRIVE 1500mm STAR PICKETS MIN. 600mm INTO GROUND AT MAX. 2500mm INTERVALS AT DOWNSIDE OF TRENCH. ENSURE STAR PICKETS ARE FITTED WITH SAFETY CAPS.

FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES INTO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE FABRIC AS RECOMMENDED BY MANUFACTURER.

JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150mm OVERLAP

BACKFIL TRENCH OVER THE BASE OF THE GAVRIC AND COMPACT IT THOROUGHLY OVER GEOTEXTILE

ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING - SHADE CLOTH IS NOT STATISFACTORY

BASIX CERTIFICATE COMMITMENTS

SET OUT BELOW REGULATE HOW THE PROPOSED DEVELOPMENT IS TO BE CARRIED OUT. T IS A CONDITION OF ANY DEVELOPMENT CONSENT GRANTED, OR COMPLYING DEVELOPEMNT CERTIFICATE ISSUES, FOR THE PROPOSED DEVELOPMENT, THAT BASIX COMMITMENTS BE COMPLIED WITH.

WATER

FIXTURES

SHOWERHEADS MIN. RATING OF 4 STAR (>4.5≤6L/min)
TOILET FLUSHING SYSTEMS MIN. RATING OF 5 STAR
KITCHEN TAPS MIN. RATING OF 5 STAR
BATHROOM TAPS MIN. RATING OF 5 STAR

WATER TANK

RAINWATER TANK AT LEAST 26,000 LITRES TO REGULATORY REQUIREMENTS
TO COLLECT RUNOFF AT LEAST 700m² ROOF AREA
RAINWATER TANK MUST BE CONNECTED TO
- AT LEAST ONE OUTDOOR TAP
- A TAP THAT IS LOCATED WITHIN 10M OF THE SWIMMING POOL

SWIMMING POOL

THE SWIMMING POOL MUST BE INSTALLED OUTDOORS, HAVE A POOL COVER AND MUST NOT HAVE A GREATER VOLUME THAN 66 KILOLITRES

THERMAL

THERMAL COMPLIANCE - SIMULATION METHOD
THE DEVELOPMENT MUST BE CONSTRUCTED IN ACCORDANCE WITH ALL THERMAL PERFORMANCE SPECIFICATIONS SET OUT IN THE ASSESSOR CERTIFICATE

CONSTRUCTION FLOOR - CONCRETE SLAB ON GROUND

ALL CONSTRUCTION MATERIALS, WINDOWS, GLAZED DOORS AND SHADING DEVICES MUST BE INSTALLED IN ACCORDANCE WITH NatHERS CERTIFICATE NO. 0008859654.

ENERGY

HOT WATER

GAS INSTANTANEOUS SYSTEM ≥6 STARS

COOLING

≥1 LIVING AREA: AIR CONDITIONING DUCTING ONLY
≥1 BEDROOMS: AIR CONDITIONING DUCTING ONLY

HEATING

≥1 LIVING AREA: AIR CONDITIONING DUCTING ONLY
≥1 BEDROOMS: AIR CONDITIONING DUCTING ONLY

VENTILATION

≥1 BATHROOM: INDIVIDUAL FAN, NOT DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
KITCHEN: INDIVIDUAL FAN, NOT DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
LAUNDRY: INDIVIDUAL FAN, NOT DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF

ARTIFICIAL LIGHTING

PRIMARY TYPE OF ARTIFICIAL LIGHTING TO THE FOLLOWING IS LED;
- ≥6 OF THE BEDROOMS / STUDY (DEDICATED)
- ≥3 OF THE LIVING / DINING ROOMS (DEDICATED)
- THE KITCHEN (DEDICATED)
- ALL BATHROOMS/TOILETS (DEDICATED)
- THE LAUNDRY (DEDICATED)
- ALL HALLWAYS (DEDICATED)

NATURAL LIGHTING

A WINDOW AND/OR SKYLIGHT MUST BE INSTALLED IN AT LEAST 5 BATHROOMS/TOILETS

SWIMMING POOL

SOLAR (ELECTRIC BOOSTED) HEATING SYSTEM MUST BE INSTALLED OR ALTERNATIVELY NOT INSTALL ANY HEATING SYSTEM FOR THE SWIMMING POOL

A TIMER MUST BE INSTALLED FOR THE SWIMMING POOL PUMP IN THE DEVELOPMENT

ALTERNATIVE ENERGY

A PHOTOVOLTAIC SYSTEM WITH THE CAPACITY TO GENERATE AT LEAST 3Kw OF ELECTRICITY MUST BE INSTALLED AND CONNECTED TO THE DEVELOPMENTS ELECTRICAL SYSTEM AS APART OF THE DEVELOPMENT

OTHER

INDUCTION COOKTOP & ELECTRIC OVEN MUST BE INSTALLED
EACH REFRIDGERATOR SPACE MUST BE 'WELL VENTILATED' AS DESINED IN THE BASIX DEFINITIONS
A FIXED OUTDOOR CLOTHES DRYING LINE MUST BE INSTALLED



EVOLVE BUILDING DESIGN

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CLIENT: FIGHT DUCHENNE FOUNDATION

PROJECT No: 00019

PROJECT: PROPOSED NEW RESIDENCE
JAMES HOUSE
5 HARVEY STREET BOMBIRA

DRAWING TITLE: BASIX
COMMITMENTS &
EROSION CONTROL

DRAWING No: 08 of 11

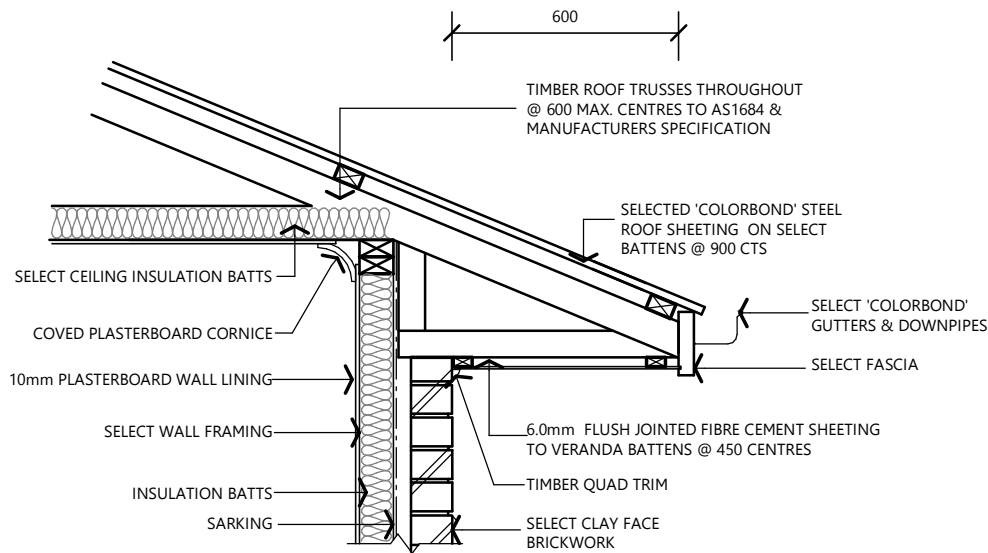
REVISION: G

REVISION	DATE	DESCRIPTION
G	01.08.2023	ISSUED FOR DA/CC

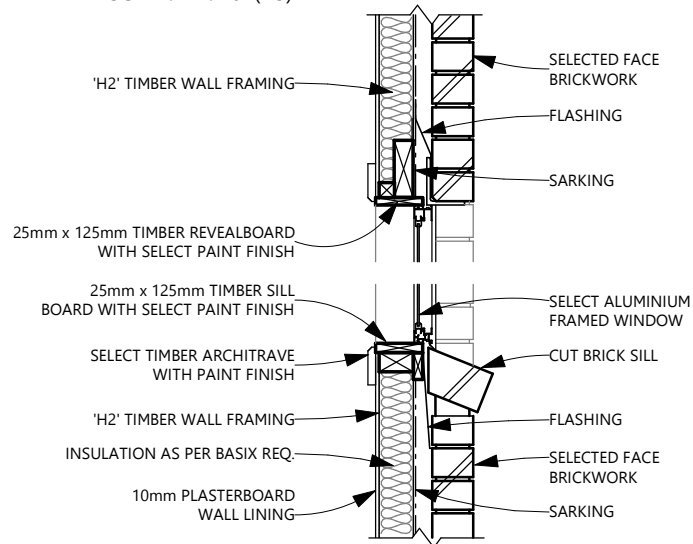
All dimensions are in millimetres unless otherwise noted and shall be checked prior to the commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components. Immediately contact Evolve Building Design with any discrepancies.

This drawing is to be read in conjunction with general building drawings, specifications and other consultant's drawings applicable to this project.

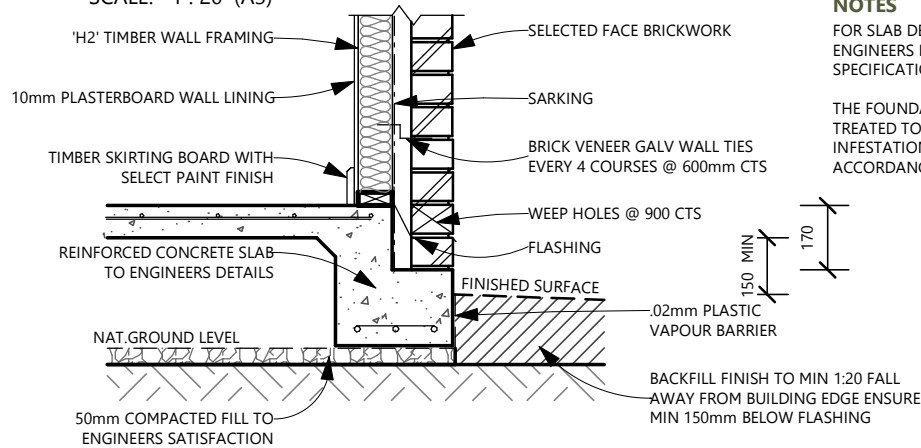
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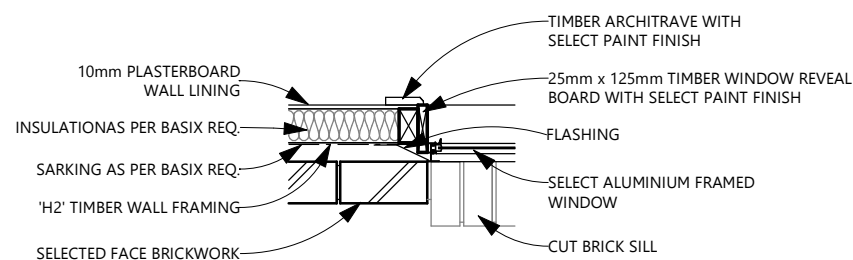
BRICK - 600mm EAVE DETAIL
SCALE: 1 : 20 (A3)



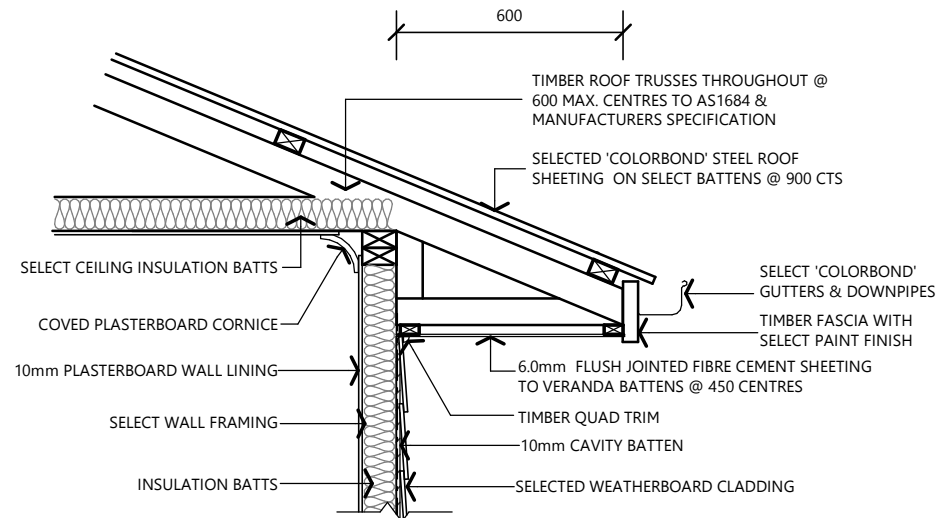
BRICK - WINDOW SECTION DETAIL
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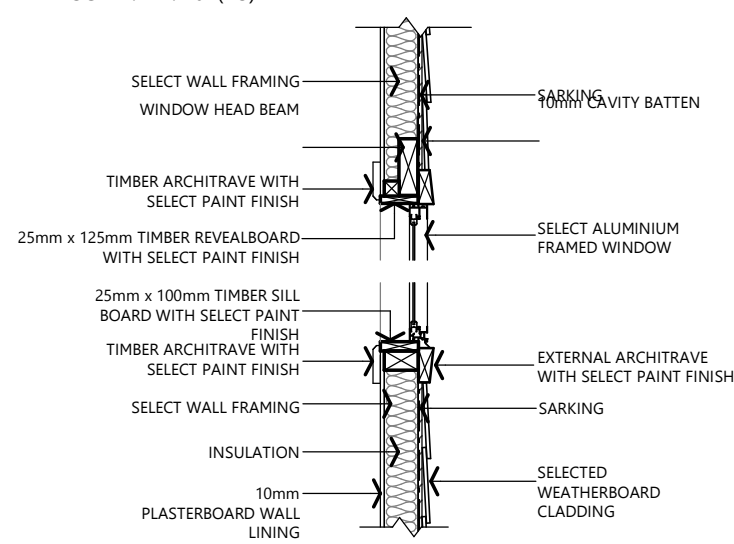
BRICK - SLAB EDGE DETAIL
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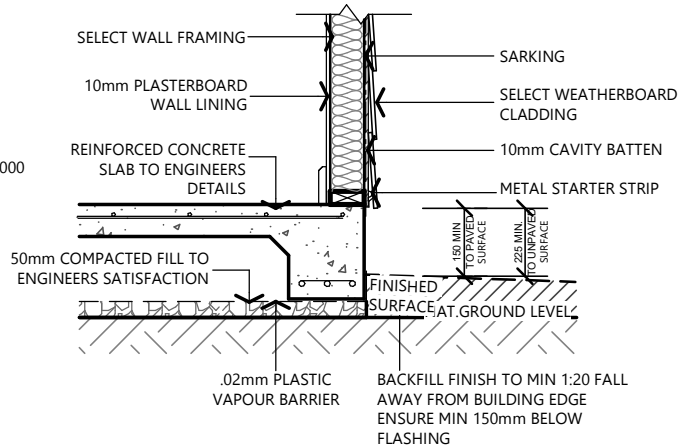
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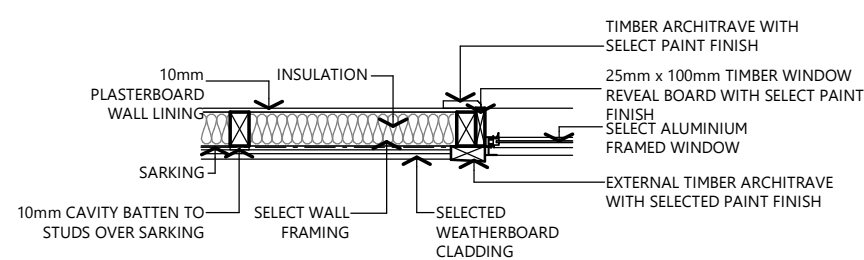
STUD - 600 EAVE DETAIL
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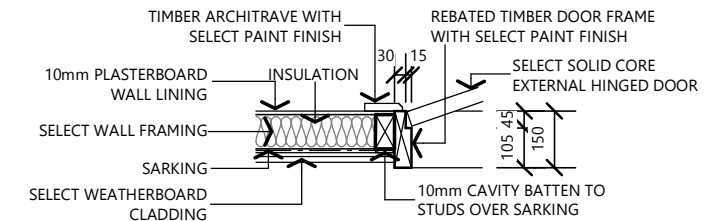
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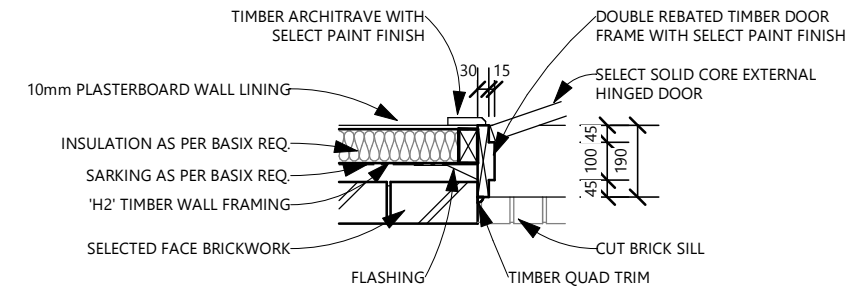
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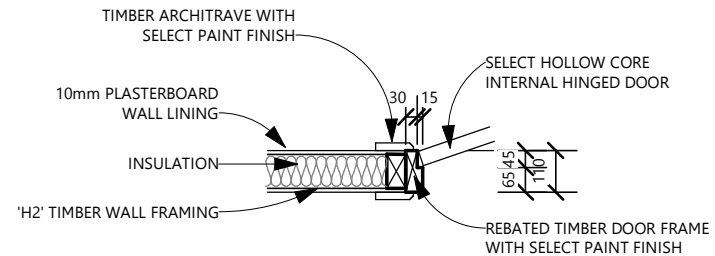
STUD - WINDOW PLAN DETAIL
SCALE: 1 : 20 (A3)



STUD - EXTERNAL DOOR DETAIL
SCALE: 1 : 20 (A3)



BRICK - EXTERNAL DOOR DETAIL
SCALE: 1 : 20 (A3)



INTERNAL DOOR DETAIL
SCALE: 1 : 20 (A3)



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DRAWING TITLE: CONSTRUCTION
DETAILS

DRAWING No: 09 of 11

REVISION: G

REVISION	DATE	DESCRIPTION
A	15.06.2022	CONCEPT DRAWINGS
G	01.08.2023	ISSUED FOR DA/CC

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ISSUED FOR DA/CC

SAFE DESIGN OF STRUCTURES NOTES:

FOR THE PURPOSE OF BUILDING, THE FOLLOWING SAFETY GUIDELINES ARE SET OUT HENCEFORTH IN ACCORDANCE WITH THE WORK HEALTH & SAFETY ACT 2011, WORK HEALTH & SAFETY REGULATION 2011 & THE SAFE DESIGN OF STRUCTURES CODE OF PRACTICE 2012.

THE GUIDELINES CONTAIN WORK HEALTH & SAFETY INFORMATION & MAY INCLUDE SOME OF YOUR OBLIGATIONS UNDER THE VARIOUS LEGISLATIONS THAT WORKCOVER NSW ADMINISTERS. TO ENSURE YOU COMPLY WITH YOUR LEGAL OBLIGATIONS YOU MUST REFER TO THE APPROPRIATE LEGISLATION.

FALLS, SLIPS, TRIPS

WORKING AT HEIGHTS
i. DURING CONSTRUCTION

WHEREVER POSSIBLE, COMPONENTS FOR THIS BUILDING SHOULD BE PREFABRICATED OFF-SITE OR AT GROUND LEVEL TO MINIMISE THE RISK OF WORKERS FALLING MORE THAN TWO METRES. HOWEVER, CONSTRUCTION OF THIS BUILDING WILL REQUIRE WORKERS TO BE WORKING AT HEIGHTS WHERE A FALL IN EXCESS OF TWO METRES IS POSSIBLE & INJURY IS LIKELY TO RESULT FROM SUCH A FALL. TEMPORARY WORK PLATFORMS ARE TO BE ERECTED & MAINTAINED BY THE PRINCIPAL CONTRACTOR AS REQUIRED THROUGHOUT CONSTRUCTION WHEREVER A PERSON IS REQUIRED TO WORK IN A SITUATION WHERE FALLING MORE THAN TWO METRES IS A POSSIBILITY. THE ERECTION OF ALL PLATFORMS, HOARDINGS, OUTRIGGERS & SCAFFOLDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUTHORITIES & THE APPLICABLE AUSTRALIAN STANDARDS.

ii. DURING OPERATION OR MAINTENANCE
FOR HOUSES OR OTHER LOW-RISE BUILDINGS WHERE SCAFFOLDING IS APPROPRIATE. CLEANING & MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, A FALL ARREST SYSTEM, SCAFFOLDING, LADDERS OR TRESTLES SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION. WHERE AN ANCHORAGE & FALL ARREST SYSTEM IS TO BE INSTALLED, THE ANCHORAGE & FALL ARREST SYSTEM & ALL ASSOCIATED HARNESSSES & ACCESSORIES MUST BE MAINTAINED THROUGHOUT THE LIFECYCLE OF THE BUILDING & INSPECTED ON A REGULAR BASIS AT LEAST ONCE IN EVERY 6 MONTHS.

SLIPPERY OR UNEVEN SURFACES
i. FLOOR FINISHES SPECIFIED
IF FINISHES HAVE BEEN SPECIFIED BY DESIGNER, THESE HAVE BEEN SELECTED TO MINIMISE THE RISK OF FLOORS & PAVED AREAS BECOMING SLIPPERY WHEN WET OR WHEN WALKED ON WITH WET SHOES/FEET. ANY CHANGES TO THE SPECIFIED FINISH SHOULD BE MADE IN CONSULTATION WITH THE DESIGNER OR, IF THIS IS NOT PRACTICAL, SURFACES WITH AN EQUIVALENT OR BETTER SLIP RESISTANCE SHOULD BE CHOSEN.

ii. FLOOR FINISHES BY OWNER
IF DESIGNER HAS NOT BEEN INVOLVED IN THE SELECTION OF SURFACE FINISHES, THE OWNER IS RESPONSIBLE FOR THE SELECTION OF SURFACE FINISHES IN THE PEDESTRIAN TRAFFICABLE AREAS OF THIS BUILDING. SURFACES SHOULD BE SELECTED IN ACCORDANCE WITH AS HB 197:1999 AND AS/NZ 4586:2004.

iii. STEPS, LOOSE OBJECTS & UNEVEN SURFACES
DUE TO DESIGN RESTRICTIONS FOR THIS BUILDING, STEPS &/OR RAMPS ARE INCLUDED IN THE BUILDING WHICH MAY BE A HAZARD TO WORKERS CARRYING OBJECTS OR OTHERWISE OCCUPIED. STEPS SHOULD BE CLEARLY MARKED WITH BOTH VISUAL AND TACTILE WARNING DURING CONSTRUCTION, MAINTENANCE, DEMOLITION & AT ALL TIMES WHEN THE BUILDING OPERATES AS A WORKPLACE.

iv. BUILDING OWNERS & OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS & IN PARTICULAR ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SO THAT THEY BECOME UNEVEN & PRESENT A TRIP HAZARD. SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS.

v. CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION TO REDUCE THE RISK OF TRIPS & FALLS IN THE WORKPLACE. MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS & WORK AREAS.

vi. ALTHOUGH DURING SPECIFICATION CARE HAS BEEN TAKEN TO ENSURE THE USE OF MATERIALS THAT ARE CHARACTERISTICALLY DEEMED AS 'NON-SLIP', THE DESIGNER IS UNABLE TO CONFIRM NOR CERTIFY THE SLIP RESISTANCE OF EXISTING MATERIALS USED THROUGHOUT THE EXISTING BUILDING. IT IS RECOMMENDED THAT SLIP RESISTANCE TESTING BE UNDERTAKEN ON THE EXISTING MATERIALS IN ACCORDANCE WITH AUSTRALIAN STANDARDS TO ENSURE COMPLIANCE WITH BUILDING CODE OF AUSTRALIA.

vi. ALTHOUGH THE ROOF HAS BEEN DESIGNED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & ALL RELEVANT STANDARDS, THE CLIENT IS TO BE AWARE THAT THE ROOF MATERIALS HAS POTENTIAL FRAGILITY & SLIP RESISTANCE ISSUES THAT MAY ARISE THROUGHOUT CONSTRUCTION & THE LIFECYCLE OF THE BUILDING WHEN WORK IS UNDERTAKEN ON THE ROOF, ESPECIALLY DURING INCLEMENT WEATHER

FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS
CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK ON OR AROUND THIS BUILDING IS LIKELY TO INVOLVE PERSONS WORKING ABOVE GROUND LEVEL OR ABOVE FLOOR LEVELS. WHERE THIS OCCURS ONE OR MORE OF THE FOLLOWING MEASURES SHOULD BE TAKEN TO AVOID OBJECTS FALLING FROM THE AREA WHERE THE WORK IS BEING CARRIED OUT ONTO PERSONS BELOW.
i. PREVENT OR RESTRICT ACCESS TO AREAS BELOW WHERE THE WORK IS BEING CARRIED OUT.
ii. PROVIDE TOEBOARDS TO SCAFFOLDING OR WORK PLATFORMS.
iii. PROVIDE PROTECTIVE STRUCTURE BELOW THE WORK AREA.
iv. ENSURE THAT ALL PERSONS BELOW THE WORK AREA HAVE PERSONAL PROTECTIVE EQUIPMENT (PPE).

BUILDING COMPONENTS
DURING CONSTRUCTION, RENOVATION OR DEMOLITION OF THIS BUILDING, PARTS OF THE STRUCTURE INCLUDING FABRICATED STEELWORK, HEAVY PANELS & MANY OTHER COMPONENTS WILL REMAIN STANDING PRIOR TO OR AFTER SUPPORTING PARTS ARE IN PLACE. CONTRACTORS SHOULD ENSURE THAT TEMPORARY BRACING OR OTHER REQUIRED SUPPORT IS IN PLACE AT ALL TIMES WHEN COLLAPSE WHICH MAY INJURE PERSONS IN THE AREA IS A POSSIBILITY. MECHANICAL LIFTING OF MATERIALS & COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS. CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED, THAT LOADS ARE PROPERLY SECURED & THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED.

FIRE & EMERGENCIES

IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE ALL PERSONNEL & VISITING CLIENTELE ARE AWARE OF ALL FIRE SAFETY PROCEDURES, WITH EMERGENCY ROUTES & EXITS DISPLAYED THROUGHOUT THE BUILDING & MAINTAINED THROUGHOUT THE LIFECYCLE OF THE BUILDING. NO COMBUSTIBLE MATERIAL & RUBBISH WILL BE LEFT ON SITE AS TO CAUSE A FIRE HAZARD.

TRAFFIC MANAGEMENT

FOR BUILDING ON A MAJOR ROAD, NARROW ROAD OR STEEPLY SLOPING ROAD:

PARKING OF VEHICLES OR LOADING/UNLOADING OF VEHICLES ON THIS ROADWAY MAY CAUSE A TRAFFIC HAZARD. DURING CONSTRUCTION, NO COMBUSTIBLE MATERIAL & RUBBISH WILL BE LEFT ON SITE AS TO CAUSE A FIRE HAZARD. MANAGEMENT PERSONNEL SHOULD BE RESPONSIBLE FOR THE SUPERVISION OF THESE AREAS.

FOR BUILDING WHERE ON-SITE LOADING/UNLOADING IS RESTRICTED:

CONSTRUCTION OF THIS BUILDING WILL REQUIRE LOADING & UNLOADING OF MATERIALS ON THE ROADWAY. DELIVERIES SHOULD BE WELL PLANNED TO AVOID CONGESTION OF LOADING AREAS & TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE USED TO SUPERVISE LOADING/UNLOADING AREAS.

FOR ALL BUILDINGS:
BUSY CONSTRUCTION & DEMOLITION SITES PRESENT A RISK OF COLLISION WHERE DELIVERIES & OTHER TRAFFIC ARE MOVING WITHIN THE SITE. A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE ADOPTED FOR THE WORK SITE.

SERVICES

RUPTURE OF SERVICES DURING EXCAVATION OR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL. EXISTING SERVICES ARE LOCATED ON OR AROUND THIS SITE. WHERE KNOWN, THESE ARE IDENTIFIED ON THE PLANS BUT THE EXACT LOCATION & EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE (SUCH AS DIAL BEFORE YOU DIG), APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED &, WHERE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE USED.

LOCATION WITH UNDERGROUND POWER:
UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THIS SITE, ALL UNDERGROUND POWER LINES MUST BE DISCONNECTED OR CAREFULLY LOCATED & ADEQUATE WARNING SIGNS USED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION COMMENCING.

LOCATIONS WITH OVERHEAD POWERLINES:
OVERHEAD POWERLINES MAY BE NEAR OR ON THIS SITE. THESE POSE A RISK OF ELECTROCUTION IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT & PERSONS WORKING ABOVE GROUND LEVEL. WHERE THERE IS A DANGER OF THIS OCCURRING, POWERLINES SHOULD BE, WHERE PRACTICAL, DISCONNECTED OR RELOCATED. WHERE THIS IS NOT PRACTICAL ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAPE OR SIGNAGE SHOULD BE USED OR A PROTECTIVE BARRIER PROVIDED.

EARTHWORKS

IT IS THE RESPONSIBILITY OF THE PRINCIPAL CONTRACTOR TO ESTABLISH THE LOCATION & THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.

TO ENABLE THE PLACEMENT OF NEW STORMWATER SERVICES, TRENCH EXCAVATIONS WILL OCCUR ON SITE. IT IS TO BE THE RESPONSIBILITY OF THE PRINCIPAL CONTRACTOR TO ENSURE THAT ALL SAFETY RISKS ASSOCIATED WITH TRENCH EXCAVATION ARE IDENTIFIED, ADDRESSED & ADHERED TO THROUGHOUT CONSTRUCTION.

MANUAL TASKS

COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25KG SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY MECHANICAL LIFTING DEVICE. WHERE THIS IS NOT PRACTICAL, SUPPLIERS OR FABRICATORS SHOULD BE REQUIRED TO LIMIT THE COMPONENT MASS.

ALL MATERIAL PACKAGING, BUILDING & MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL MASS OF PACKAGES & WHERE PRACTICAL ALL ITEMS SHOULD BE STORED ON SITE IN A WAY WHICH MINIMISES BENDING BEFORE LIFTING. ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY OCCUR. CONSTRUCTION, MAINTENANCE & DEMOLITION OF THIS BUILDING WILL REQUIRE THE USE OF PORTABLE TOOLS & EQUIPMENT. THESE SHOULD BE SPECIFICATIONS & NOT USED WHERE FAULTY OR (IN THE CASE OF ELECTRICAL EQUIPMENT) NOT CARRYING A CURRENT ELECTRICAL SAFETY TAG. ALL SAFETY GUARDS OR DEVICES SHOULD BE REGULARLY CHECKED & PERSONAL PROTECTIVE EQUIPMENT SHOULD BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.

STRUCTURAL SAFETY

ALL PROTECTION WORKS TO ANY ADJOINING BUILDING (AS REQUIRED) WILL BE IN PLACE BEFORE DEMOLITION WORKS.

DEMOLITION & REMOVAL OF THE BUILDING SHALL BE UNDERTAKEN IN A CAREFUL & PROPER MANNER & WITH A MINIMUM DISTURBANCE TO THE ADJOINING BUILDINGS & TO THE PUBLIC & THE OCCUPANTS.

ALL PRACTICABLE PRECAUTIONS SHALL BE TAKEN TO AVOID DANGER FROM COLLAPSE OF A BUILDING WHEN ANY PART OF A FRAMED MEMBER IS REMOVED.

NO NEW OR EXISTING WALL OR OTHER STRUCTURE SHALL BE LEFT FREE STANDING & UNATTENDED WITHOUT TEMPORARY BRACING OR SUPPORTS IN SUCH A CONDITION THAT IT MAY COLLAPSE DUE TO WIND OR VIBRATION.

CONFINED SPACES

EXCAVATION
CONSTRUCTION OF THIS BUILDING & SOME MAINTENANCE ON THE BUILDING WILL REQUIRE EXCAVATION & INSTALLATION SHOULD BE CARRIED OUT USING METHODS WHICH DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION. WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHOULD BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS & BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHOULD BE PROVIDED.
ENCLOSED SPACES
FOR BUILDINGS WITH ENCLOSED SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED. ENCLOSED SPACES WITHIN THIS BUILDING MAY PRESENT A RISK TO PERSONS ENTERING FOR CONSTRUCTION, MAINTENANCE, OR ANY OTHER PURPOSE. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS & BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER ENCLOSED SPACES, AIR TESTING EQUIPMENT & PERSONAL PROTECTIVE EQUIPMENT SHOULD BE PROVIDED.

SMALL SPACES
FOR BUILDINGS WITH SMALL SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED. SOME SMALL SPACES WITHIN THIS BUILDING WILL REQUIRE ACCESS BY CONSTRUCTION OR MAINTENANCE WORKERS. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS & BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING, WHERE WORKERS ARE REQUIRED TO ENTER SMALL SPACES THEY SHOULD BE SCHEDULED SO THAT ACCESS IS FOR SHORT PERIODS. MANUAL LIFTING & OTHER MANUAL ACTIVITY SHOULD BE RESTRICTED IN SMALL SPACES.

HAZARDOUS SUBSTANCES

ALTHOUGH DURING SPECIFICATION CARE HAS BEEN TAKEN TO ENSURE THE USE OF NON HAZARDOUS MATERIALS THE POSSIBILITIES OF EXPOSURE STILL EXIST & AS SUCH ALL PRECAUTIONS SHOULD BE MADE DURING USE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

ASBESTOS
FOR ALTERATIONS TO A BUILDING CONSTRUCTED PRIOR TO 1990:
IF THIS EXISTING BUILDING WAS CONSTRUCTED PRIOR TO:
1990- IT THEREFORE IS LIKELY TO CONTAIN ASBESTOS
1986- IT THEREFORE MAY CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. IN EITHER CASE, THE BUILDER SHOULD CHECK &, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.

POWDERED MATERIALS
MANY MATERIALS USED IN THE CONSTRUCTION OF THIS BUILDING CAN CAUSE HARM IF INHALED IN POWDERED FORM. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION & WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION WHILE USING POWDERED MATERIAL OR WHEN SANDING, DRILLING, CUTTING OR OTHERWISE DISTURBING OR CREATING POWDERED MATERIAL.

TREATED TIMBER
THE DESIGN OF THIS BUILDING MAY INCLUDE PROVISION FOR THE INCLUSION OF TREATED TIMBER WITHIN THE STRUCTURE. DUST OR FUMES FROM THIS MATERIAL CAN BE HARMFUL. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION & WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL WHEN SANDING, DRILLING, CUTTING OR USING TREATED TIMBER IN ANY WAY THAT MAY CAUSE HARMFUL MATERIAL TO BE RELEASED DO NOT BURN TREATED TIMBER.

VOLATILE ORGANIC COMPOUNDS
MANY TYPES OF GLUE, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHES & SOME CLEANING MATERIALS & DISINFECTANTS HAVE DANGEROUS EMISSIONS. AREAS WHERE THESE ARE USED SHOULD BE KEPT WELL VENTILATED WHILE THE MATERIAL IS BEING USED & FOR A PERIOD AFTER INSTALLATION. PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURER'S RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES.

SYNTHETIC MINERAL FIBRE
FIBREGLOSS, ROCKWOOL, CERAMIC AND OTHER MATERIAL USED FOR THERMAL OR SOUND INSULATION MAY CONTAIN SYNTHETIC MINERAL FIBRE WHICH MAY BE HARMFUL IF INHALED OR IF IT COMES IN CONTACT WITH THE SKIN, EYES OR OTHER SENSITIVE PARTS OF THE BODY. PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL SHOULD BE USED WHEN INSTALLING, REMOVING OR WORKING NEAR BULK INSULATION MATERIAL.

TIMBER FLOORS
THIS BUILDING MAY CONTAIN TIMBER FLOORS WHICH HAVE AN APPLIED FINISH. AREAS WHERE FINISHES ARE APPLIED SHOULD BE KEPT WELL VENTILATED DURING SANDING & APPLICATION & FOR A PERIOD AFTER INSTALLATION. PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURER'S RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES.

THROUGHOUT THE CONSTRUCTION PERIOD STORAGE & USE OF HAZARDOUS MATERIALS FOR THE ASSOCIATED BUILD IS TO BE THE RESPONSIBILITY OF THE PRINCIPAL CONTRACTOR.

PUBLIC ACCESS

PUBLIC ACCESS TO CONSTRUCTION & DEMOLITION SITES & TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS & PUBLIC. WARNING SIGNS & SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED. WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PAINT OR LOOSE MATERIALS ARE PRESENT THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED.

AMENITIES & FACILITIES
ACCESS TO EXISTING AMENITIES ARE TO BE RESTRICTED TO CLIENT'S PERSONNEL & VISITING CLIENTELE ONLY. IT IS THE RESPONSIBILITY OF THE PRINCIPAL CONTRACTOR TO PROVIDE & MAINTAIN AMENITIES & FACILITIES AS REQUIRED, INCLUDING STORAGE, FIST AID, RESTROOMS, MEAL AREAS & DRINKING WATER.

MOVEMENT OF PEOPLE & MATERIALS

THROUGHOUT CONSTRUCTION & THE LIFECYCLE OF THE BUILDING SAFE ACCESS & EGRESS, INCLUDING FOR THOSE WITH A DISABILITY IS TO BE MAINTAINED THROUGHOUT THE BUILDING & SITE. THE EXISTING FRONT ENTRANCE TO THE BUILDING IS DEEMED TO BE THE ACCESSIBLE ROUTE IN & OUT OF THE BUILDING, & AS SUCH SHOULD BE MAINTAINED CLEAR & FREE OF CONSTRUCTION MATERIALS DURING THE CONSTRUCTION PHASE.

TRAFFIC MANAGEMENT DURING THE CONSTRUCTION & LIFECYCLE OF THE BUILDING IS TO BE THE RESPONSIBILITY OF THE CLIENT.

EXCLUSION ZONES ARE TO BE SET IN PLACE BY ESSENTIAL ENERGY DURING CONSTRUCTION, & AS SUCH MOVEMENT WITHIN THESE AREAS ARE TO BE PROHIBITED EXCEPT BY WRITTEN PERMISSION OF THE CLIENT.

SITE SECURITY DURING CONSTRUCTION IS TO BE SHARED BY THE PRINCIPAL CONTRACTOR & CLIENT. SECURITY FENCING SHALL BE PROVIDED AROUND THE PERIMETER OF THE CONSTRUCTION SITE & ANY ADDITIONAL PRECAUTIONARY MEASURES TAKEN, AS MAY BE NECESSARY TO PREVENT UNAUTHORISED ENTRY TO THE SITE AT ALL TIMES DURING THE CONSTRUCTION PERIOD.

OTHER HIGH RISK ACTIVITY

ALL ELECTRICAL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING ELECTRICAL RISKS AT THE WORKPLACE, AS/NZ 3012 & ALL LICENSING REQUIREMENTS.

ALL WORK USING PLANT SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING RISKS OF PLANT AT THE WORKPLACE. ALL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING NOISE & PREVENTING HEARING LOSS AT WORK. DUE TO THE HISTORY OF SERIOUS INCIDENTS IT IS RECOMMENDED THAT PARTICULAR CARE BE EXERCISED WHEN UNDERTAKING WORK INVOLVING STEEL CONSTRUCTION & CONCRETE PLACEMENT. ALL THE ABOVE APPLIES.

THESE NOTES DO NOT REPRESENT A COMPREHENSIVE STATEMENT OF THE LAW AS IT APPLIES TO PARTICULAR PROBLEMS OR TO INDIVIDUALS OR AS A SUBSTITUTE FOR LEGAL ADVICE. YOU SHOULD SEEK INDEPENDENT LEGAL ADVICE IF YOU NEED ASSISTANCE ON THE APPLICATION OF THE LAW TO YOUR SITUATION.

INFORMATION ON THE LATEST LAWS CAN BE CHECKED BY VISITING THE NSW LEGISLATION WEBSITE (WWW.LEGISLATION.NSW.GOV.AU).



EVOLVE BUILDING DESIGN

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CLIENT: FIGHT DUCHENNE FOUNDATION

PROJECT No: 00019

PROJECT: PROPOSED NEW RESIDENCE
JAMES HOUSE
5 HARVEY STREET BOMBIRA

DRAWING TITLE: SAFE DESIGN OF
STRUCTURES NOTES

DRAWING No: 11 of 11

REVISION: G

REVISION	DATE	DESCRIPTION
G	01.08.2023	ISSUED FOR DA/CC

All dimensions are in millimetres unless otherwise noted and shall be checked prior to the commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components. Immediately contact Evolve Building Design with any discrepancies.

This drawing is to be read in conjunction with general building drawings, specifications and other consultant's drawings applicable to this project.

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