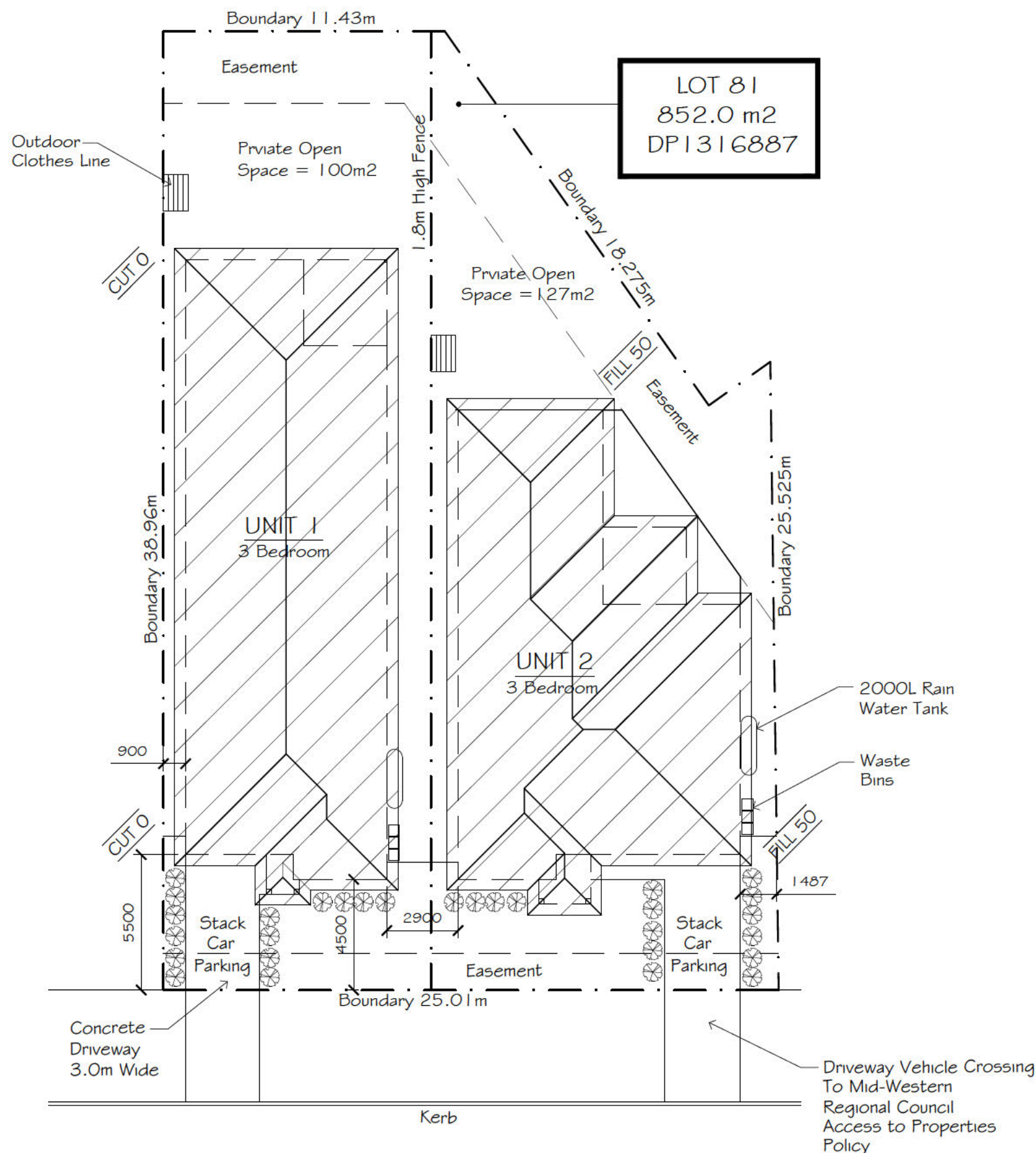




SITE & LANDSCAPING PLAN
SCALE 1:200



AREA CALCULATIONS

Total Site Area 852.0m²

Unit 1 Living Area	= 169.40 m ²
Garage	= 20.24 m ²
Porch	= 1.91 m ²
Alfresco	= 11.86 m ²
Total	= 203.41 m²

Unit 2 Living Area	= 146.93 m ²
Garage	= 20.25 m ²
Porch	= 3.48 m ²
Alfresco	= 10.71 m ²
Total	= 181.37 m²

Site Coverage

Including Porch & Alfresco = 384.78 m²
45.16%

Landscaping

By Deduction = 430.31 m²
50.51%

Private Open Space

Unit 1 = 100.0 m²
Unit 2 = 127.0 m²

BASIX Notes

Water

2,000L Rain Water Tank Connected to:
- At least one outdoor tap

Rain Water Tank to collect water from at least 235m² of roof area of the development

Fixtures:

Showerheads - Minimum 4 Star Rating
Toilet - Minimum 4 Star Rating
Kitchen Taps - Minimum 4 Star Rating
Bathroom Taps - Minimum 4 Star Rating

Thermal Comfort

See section drawing for Thermal Comfort Commitments

Energy

HW - Gas Instantaneous - Rated 5 Star

Cooling System - Living Area - Air Conditioning 1 Phase (5.0 Star)
- Bedrooms - Air Conditioning 1 Phase (5.0 Star)

Heating System - Living Area - Air Conditioning 1 Phase (5.0 Star)
- Bedrooms - Air Conditioning 1 Phase (5.0 Star)

Exhaust Systems:

1 Bathroom - Individual Fan - not ducted (Manual Switch On/Off)
Kitchen - Individual Fan - ducted to facade or roof (Manual Switch On/Off)
Laundry - Natural ventilation only

Artificial Lighting:

The applicant must ensure that a minimum of 80% of lighting fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Other:

☐☐☐ - Electric Cooktop & Electric Oven

A fixed outdoor clothes drying line must be installed as part of the development

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REV	DATE	BY	DESCRIPTION



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53 Hill Sixty Drive
Mudgee NSW 2850

CLIENT: HELIX CONSTRUCTIONS			
TITLE: PROPOSED DUAL OCCUPANCY 7 THOMAS CLARKE PLACE MUDGEE			
SCALE: 1:200	FILE: 3975-A01	DWG No. 3975-A01	REV. A
DRAWN: G.D.	DATE: OCT 2025		
CKD: B.M.	DATE: OCT 2025		

Living Areas Unit 1	=	169.40 m2
Garage	=	20.24 m2
Porch	=	1.91 m2
Alfresco	=	11.86 m2
<u>Total</u>	=	<u>203.41 m2</u>



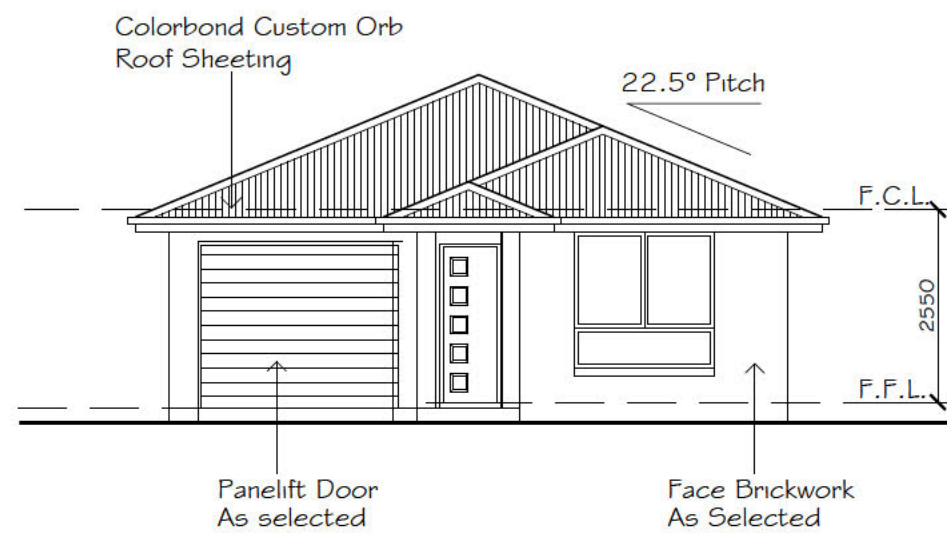
1. Figured dimensions are to be taken in preference to scaling
2. No allowance has been made for shrinkage or milling
3. All Levels shown are approximate and should be verified on site during construction
4. Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.
5. Dimensions are to be verified on site by builder before the commencement of work
6. All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
7. Refer to the builders scope of works for inclusions & exclusions
8. All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
9. All service positions, air conditioning droppers, outlets, return air grills, manholes and bulkheads to be determined on site at supervisor / contractors discretion
10. All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
11. Termitte protection in accordance with Australian Standards
12. Refer to Basis Certificate for energy, water & thermal requirements
14. All 1st floor windows with a sill height less than 1700mm to have a max opening width of 125mm
15. Final Construction Joints, steel posts & Beams, Floor Joist to structural engineer plans
16. Meter Box, Gas Meter to be confirmed with Builder on site.
17. Downpipes to be confirmed with plumber on site.



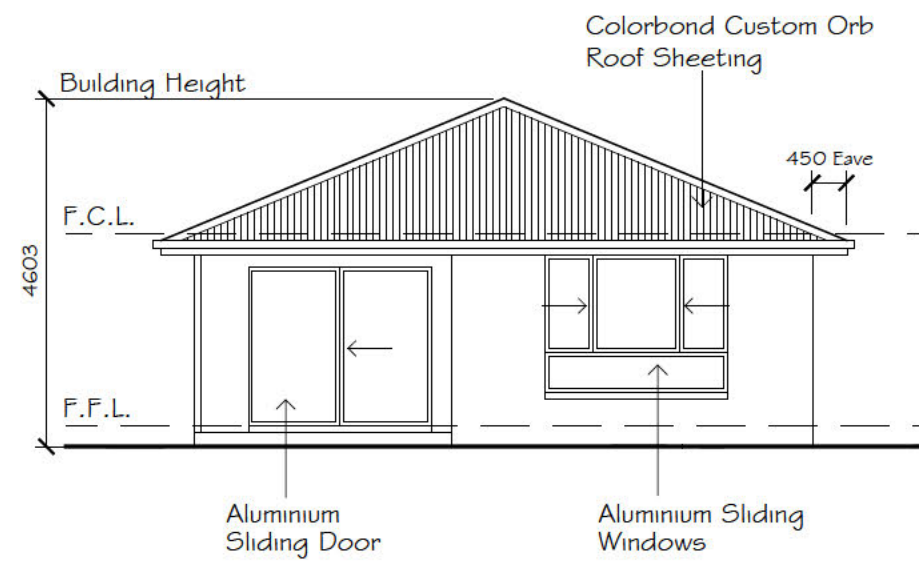
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PROPOSED DUAL OCCUPANCY
7 THOMAS CLARKE PLACE MUDGEE

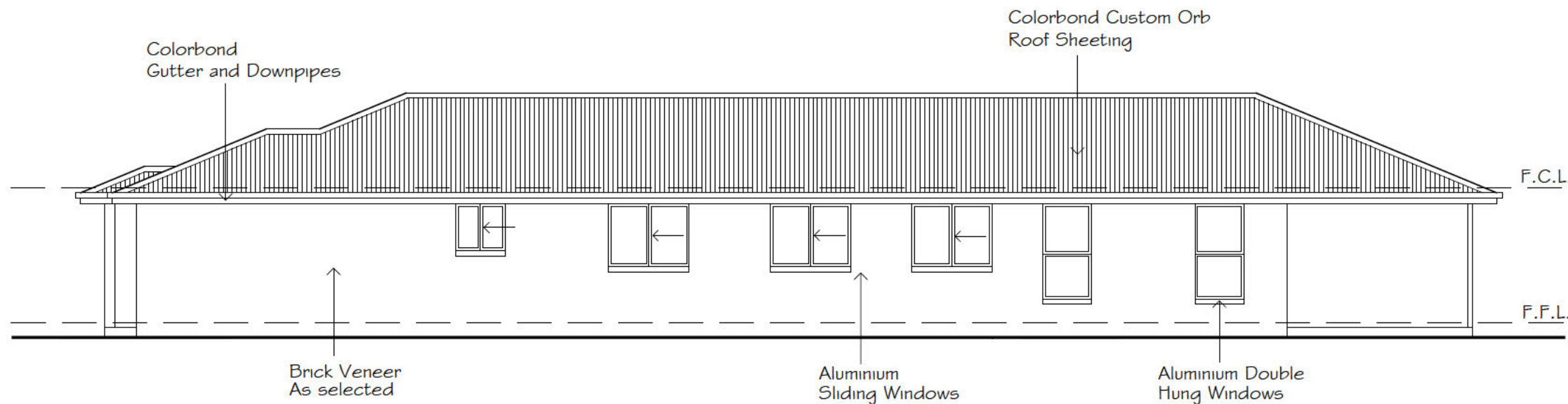
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DRAWN: G.D.	DATE: OCT 2024		
CKD: B.M.	DATE: OCT 2025		



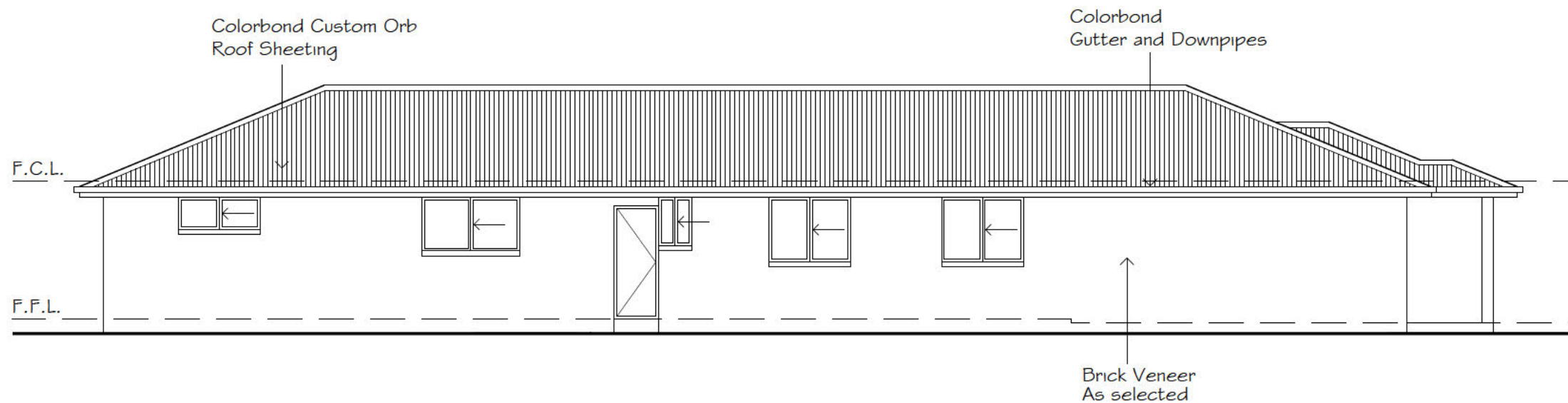
SOUTH WEST ELEVATION
SCALE 1:100



NORTH EAST ELEVATION
SCALE 1:100

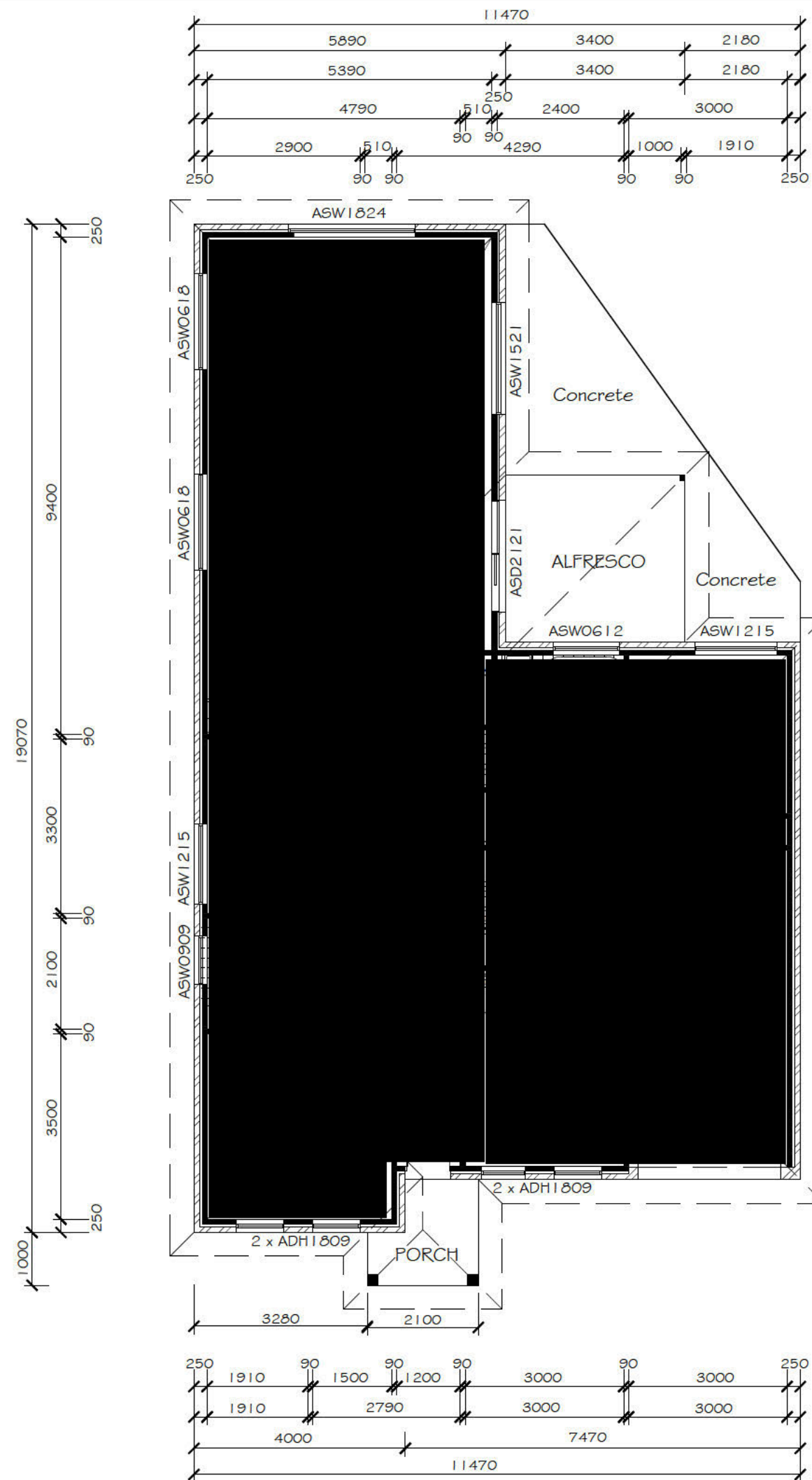


SOUTH EAST ELEVATION
SCALE 1:100



NORTH WEST ELEVATION
SCALE 1:100

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DRAWN: G.D.	DATE: OCT 2025	3975-A03	A
CKD: B.M.	DATE: OCT 2025		



UNIT 2 FLOOR PLAN

SCALE 1:100

Floor Areas

Living Areas	= 146.93 m ²
Garage	= 20.25 m ²
Porch	= 3.48 m ²
Alfresco	= 10.71 m ²
Total	= 181.37 m ²

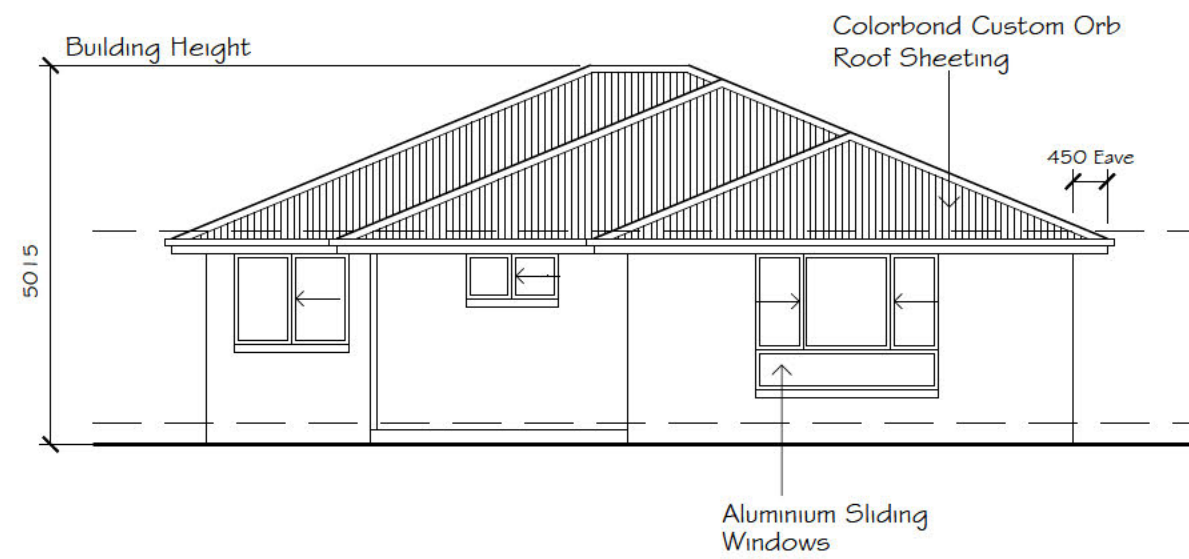
CONSTRUCTION NOTES:

1. Figured dimensions are to be taken in preference to scaling
2. No allowance has been made for shrinkage or milling
3. All Levels shown are approximate and should be verified on site during construction
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10. All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
11. Termite protection in accordance with Australian Standards
12. Refer to Basix Certificate for energy, water & thermal requirements
14. All 1st floor windows with a sill height less than 1700mm to have a max opening width of 125mm
15. Final Construction Joints, steel posts & Beams, Floor Joist to structural engineer plans
16. Meter Box, Gas Meter to be confirmed with Builder on site.
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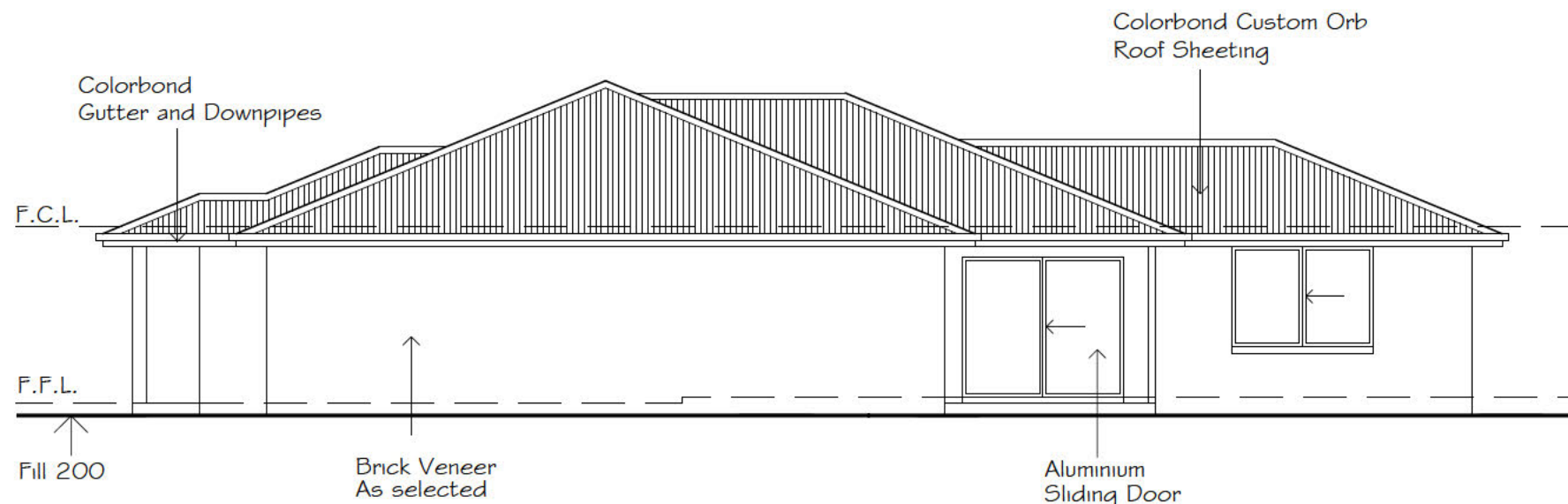
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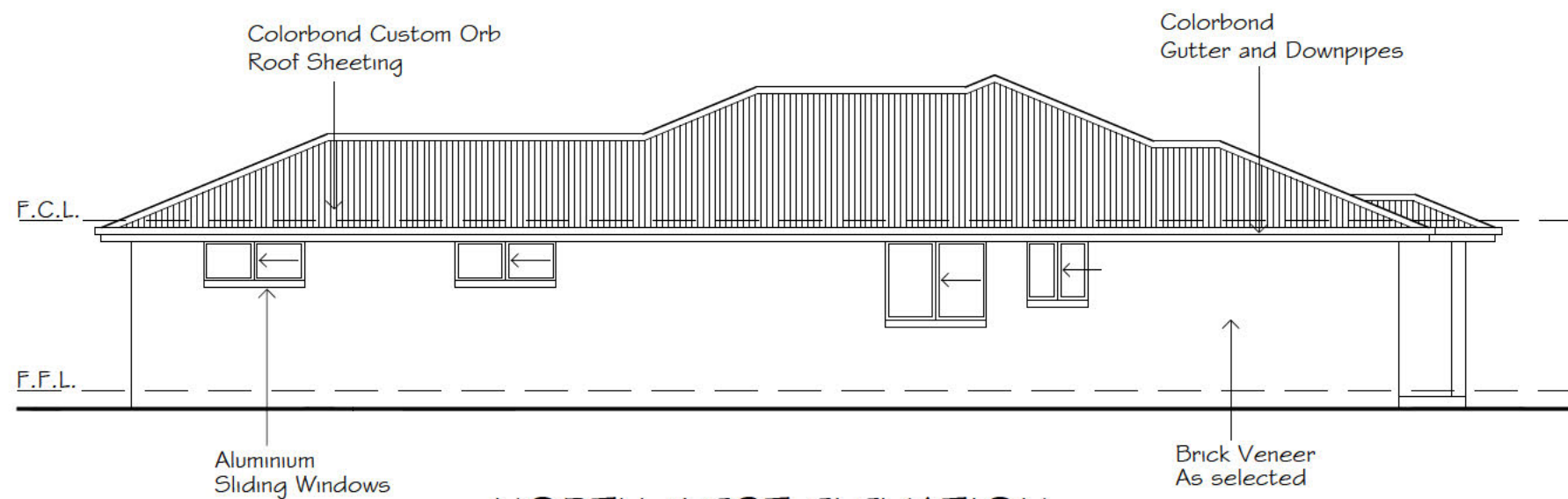
SOUTH WEST ELEVATION
SCALE 1:100



NORTH EAST ELEVATION
SCALE 1:100

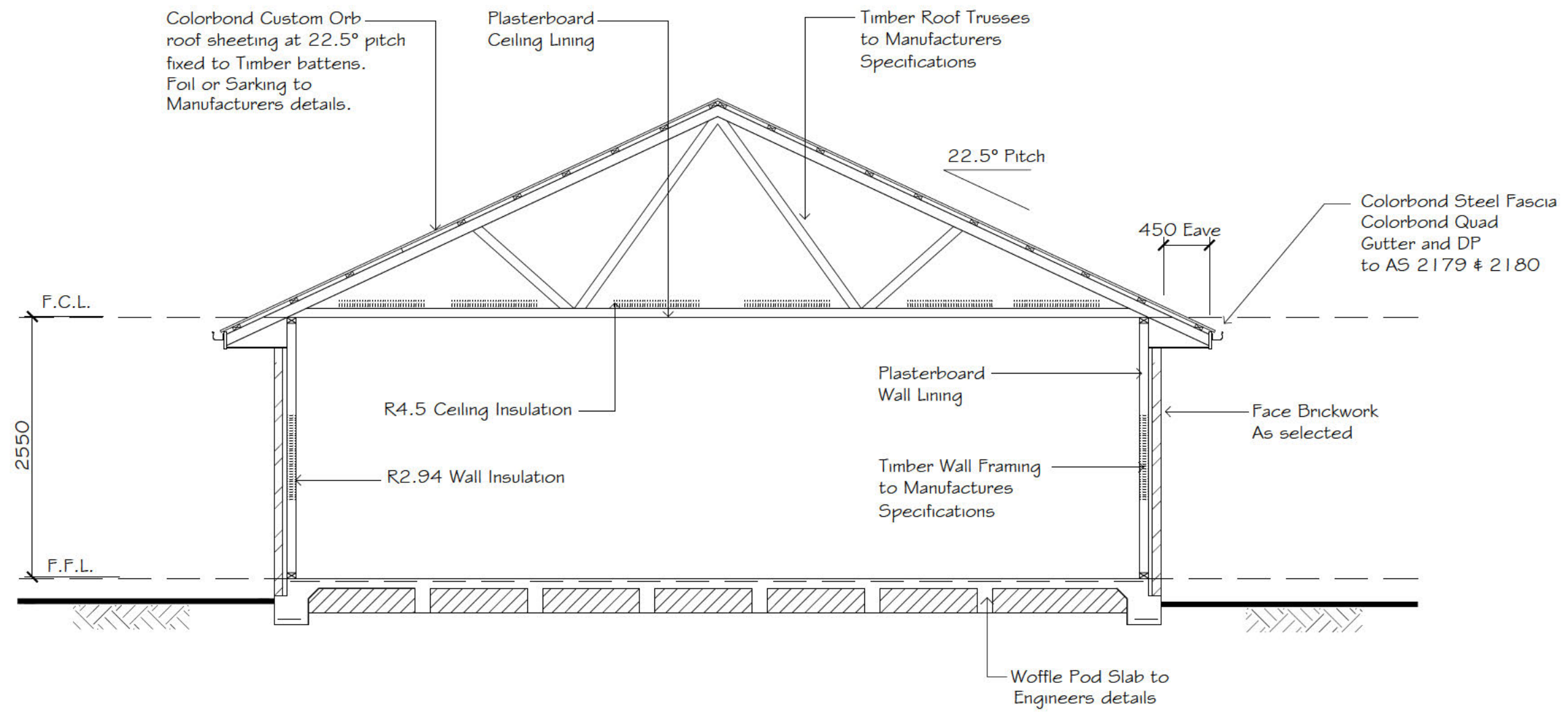


SOUTH EAST ELEVATION
SCALE 1:100



NORTH WEST ELEVATION
SCALE 1:100

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CKD: B.M.	DATE: OCT 2025		



TYPICAL SECTION Scale 1:50

- CONSTRUCTION NOTES:
1. Wall framing will be prefabricated.
 2. Wet area waterproofing will be installed in accordance with NCC Vol 2 Clause H4D2.
 3. All exhaust fans will be ducted to the eaves.

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