

STATEMENT OF ENVIRONMENTAL EFFECTS

ANCILLARY SHED ON LARGE LOT WITH DWELLING

14 ZIMMLER LANE, GULGONG NSW 2852 (LOT 157 DP755433)



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DATE: 25 SEPTEMBER 2025
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Appendix 2:	Shed Plans and Engineering Schedules prepared by Emerald Design and Construction
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1. INTRODUCTION

1.1. PURPOSE

This Statement of Environmental Effects (SEE) has been prepared on behalf of Andrew Maunder (the applicant) to accompany a development application (DA) for a shed ancillary to an existing dwelling on land known as 14 Zimmer Lane, Gulgong NSW 2852 (Lot 157/DP755433) site address (the site).

The SEE demonstrates that the proposed development has been formulated having full and proper regard to existing development controls and environmental qualities of the site and its surroundings.

1.2. CONSENT AUTHORITY

The proposed development requires consent under the *Environmental Planning and Assessment Act 1979* (EP&A Act). Mid-Western Regional Council is the consent authority for the proposed development.

1.3. INTEGRATED DEVELOPMENT PROVISIONS

The proposed development is not integrated development pursuant to the provisions of section 4.46 of the EP&A Act.

1.4. SCOPE OF STATEMENT OF ENVIRONMENTAL EFFECTS

This SEE accompanies a DA for the proposed development. It has been prepared on behalf of the applicant and includes the matters referred to in section 4.15 of the EP&A Act and the matters required to be considered by Council.

The purpose of this SEE is to:

- Describe the proposed development;
- Describe the land to which the DA relates and the character of the surrounding area;
- Assess any environmental impacts and provide mitigation measures where relevant; and
- Define the statutory planning framework within which the DA is to be assessed and determined.

1.5. PERMISSIBILITY

The proposed shed is ancillary to existing dwelling on site. The shed does not qualify as exempt or complying development but is permitted with consent pursuant to Mid-Western Regional Local Environmental Plan 2012 (LEP 2012). The proposal has been formulated having regard to the provisions of LEP 2012 and Development Control Plan 2013 (DCP 2013).

2. SITE AND SURROUNDING AREA

2.1. SITE SUMMARY

Address	14 Zimmer Lane, Gulgong NSW 2852
Lot and DP	Lot 157 DP755433
Zone	R1 General Residential zone
Land Area	4.047 hectares (ha)
Existing Structures	Dwelling

2.2. THE SITE

The site is a large residential lot that supports an existing residential dwelling (see **Figure 1**). The existing dwelling is approximately 31 metres (m) south of Zimmer Lane and approximately 86m east of Grimshaw Lane. The site has a total area of 4.047 hectares (ha). A gravel driveway connects Zimmer Lane to the existing dwelling. A stand of remnant native trees form the site's upper western boundary and eastern boundary.



Figure 1 Aerial image with the site outlined in red (aerial source: ELVIS Elevation Data (<https://elevation.fsdf.org.au/>))

Zoning: The site is zoned as R1 General Residential. R1 zoned land is located to the north, east and south. R2 Low Density Residential is to the west and southwest of the site. The site has frontage to Zimmer Lane (north) and Grimshaw Lane (west).

Development Standards: The site is subject to a maximum building height limit of 8.5m and a minimum lot size control of 600m².

Biodiversity: The site is heavily disturbed as a result of historical clearing and rural land use. It is not mapped as Biodiversity Value under the Biodiversity Conservation Regulation 2016.

Aboriginal Heritage: A basic search of the NSW Aboriginal Heritage Information Management System (AHIMS) Web Services was conducted by de Witt Consulting on 24/7/2025. No Aboriginal sites or places are recorded within a 200m radius of the site.

Non-Aboriginal Heritage: The site is not identified as a heritage item or located within a heritage conservation area; however, we note that a conservation area – general is located north-west of the Zimmer Lane / Grimshaw Lane intersection.

Bushfire Prone Land: No

Flood Prone Land: No

Utilities and Services: The site is connected to electricity and telecommunications services however reticulated sewer and water is not available to the site.

2.2.1. The Surrounding Area

The site is located within the Mid-Western local government area (LGA). Gulgong town centre is 1.7km (4-minute drive) to the north and Mudgee is 29km (23min drive) to the south. The surrounding area is consistent in character with the site i.e. large lot residential land supporting residential dwellings, outbuildings and small-scale rural activities.

3. THE PROPOSAL

It is proposed to build, as development ancillary to the existing dwelling-house, a 200m² prefabricated storage shed near the existing dwelling-house. The shed will be positioned west of the existing power lines which run past the existing dwelling on site (see **Figure 2**). The shed will be steel framed and clad in 'monolith' coloured steel with gabled roof with a total height of 4.47m and a maximum length of 20m (see **Figure 5**). It will be constructed upon a concrete slab with concrete pad footings (see **Figure**). **Appendix 2** contains the Engineering Schedule for the proposed structure.

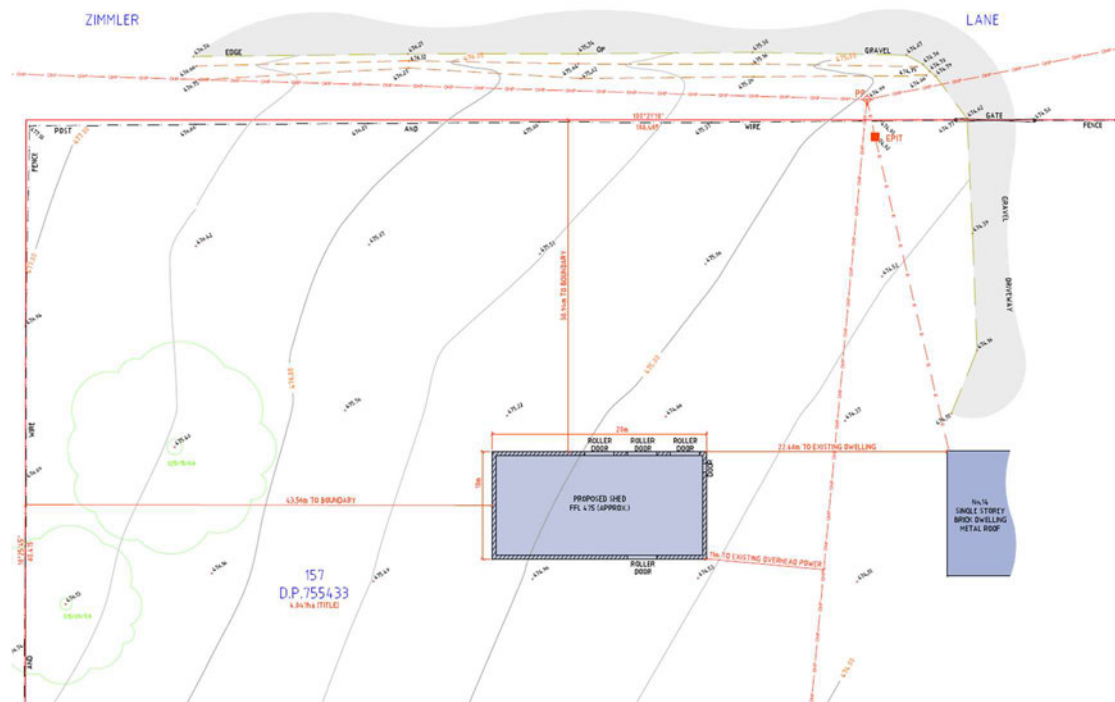


Figure 2 Site Plan (Appendix 3) Identifying the Position of the Proposed Shed on the Site.

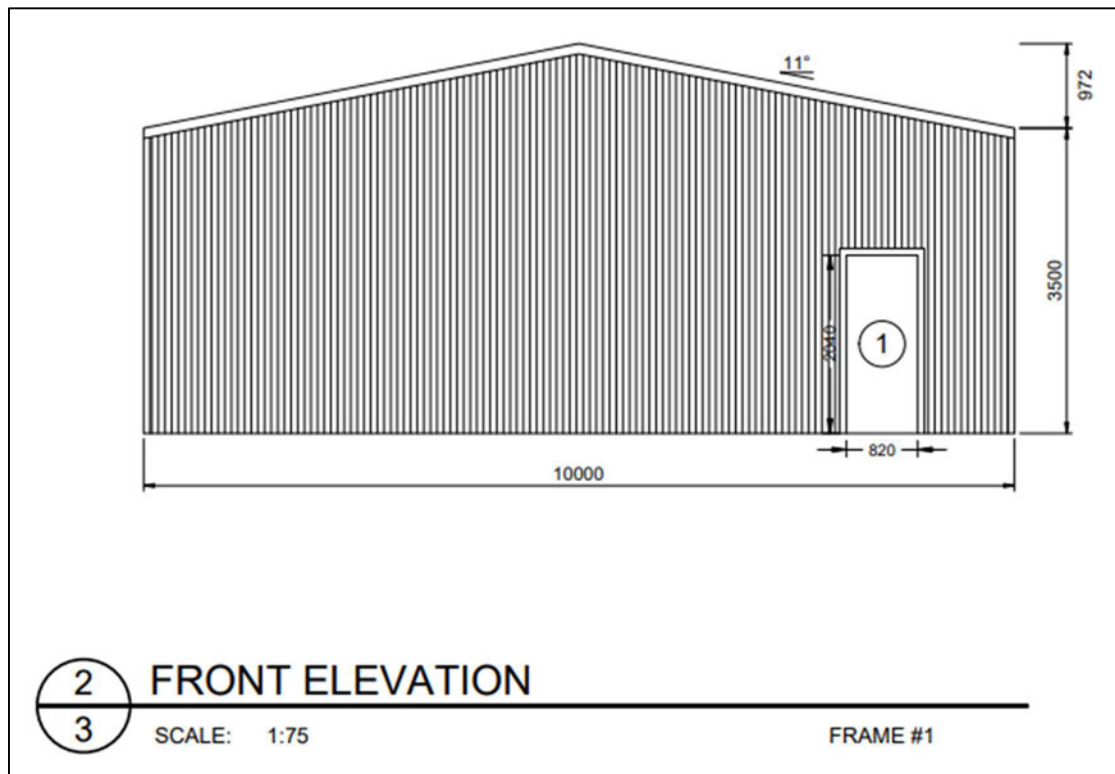


Figure 3 Front Elevation Frame #1 Prepared by Emerald Design and Construction (Appendix 2)

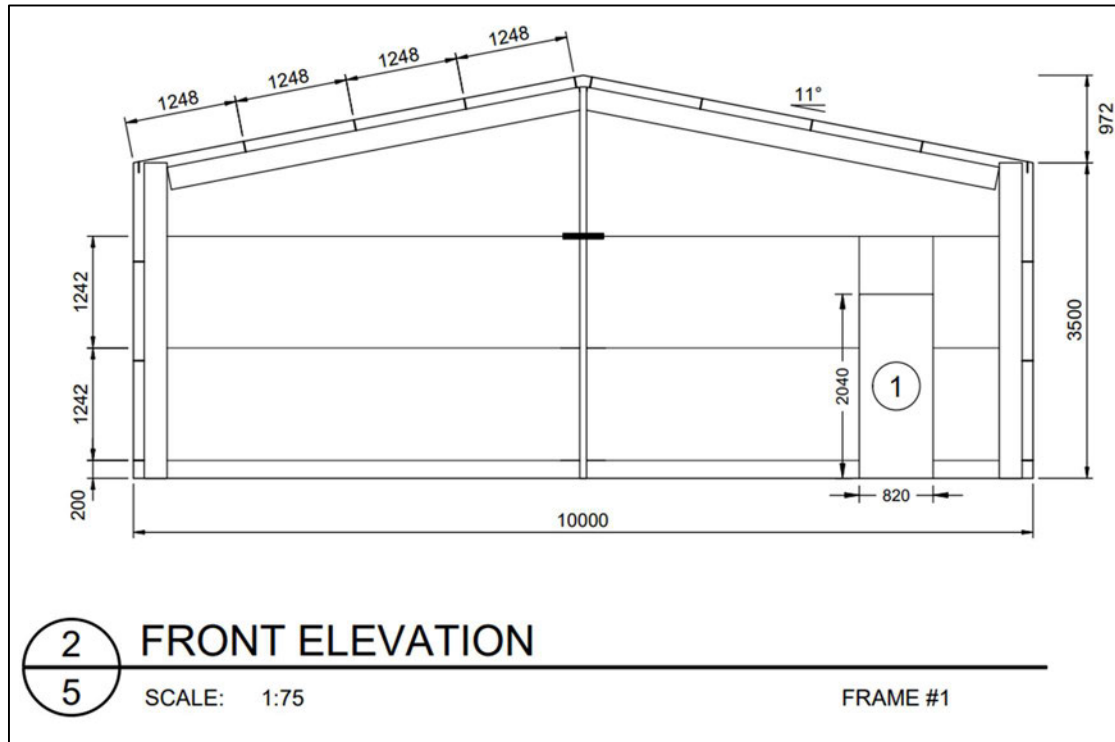


Figure 4 Front Elevation Frame #1 Prepared by Emerald Design and Construction (Appendix 2)

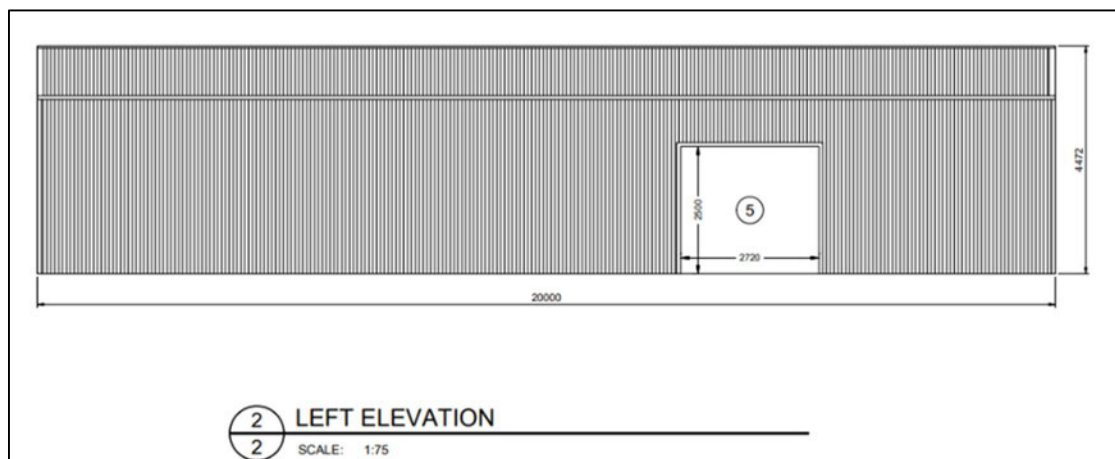


Figure 5 Left Elevation Prepared by Emerald Design and Construction (Appendix 2)

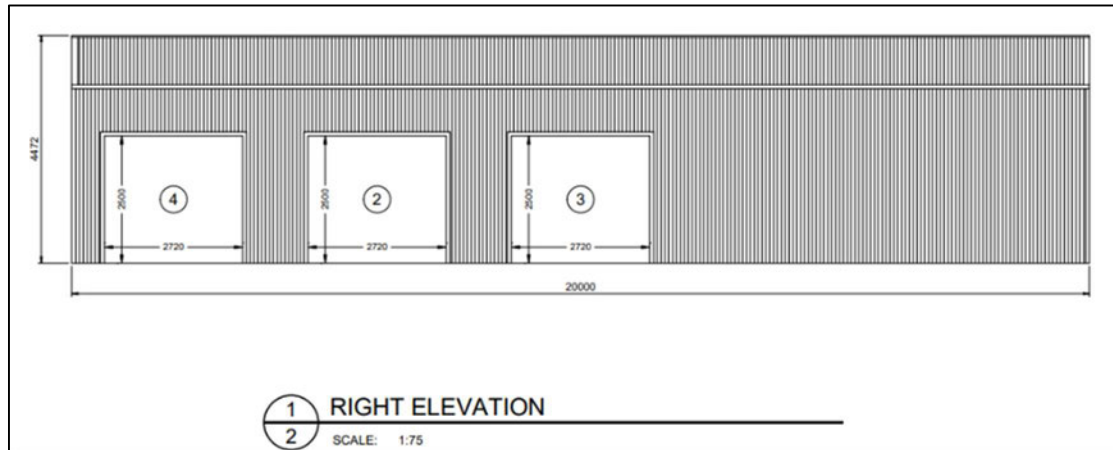


Figure 6 Right Elevation Prepared by Emerald Design and Construction (Appendix 2)

One length of the proposed shed (see **Figure**) will have one door that is 0.82m in width and 2.04m in height. Three roller doors will be positioned along the other length of the proposed shed (see **Figure**). These three doors will be 2.72m in width and 2.5m in height. These wider doors will provide access to the shed for larger machinery.

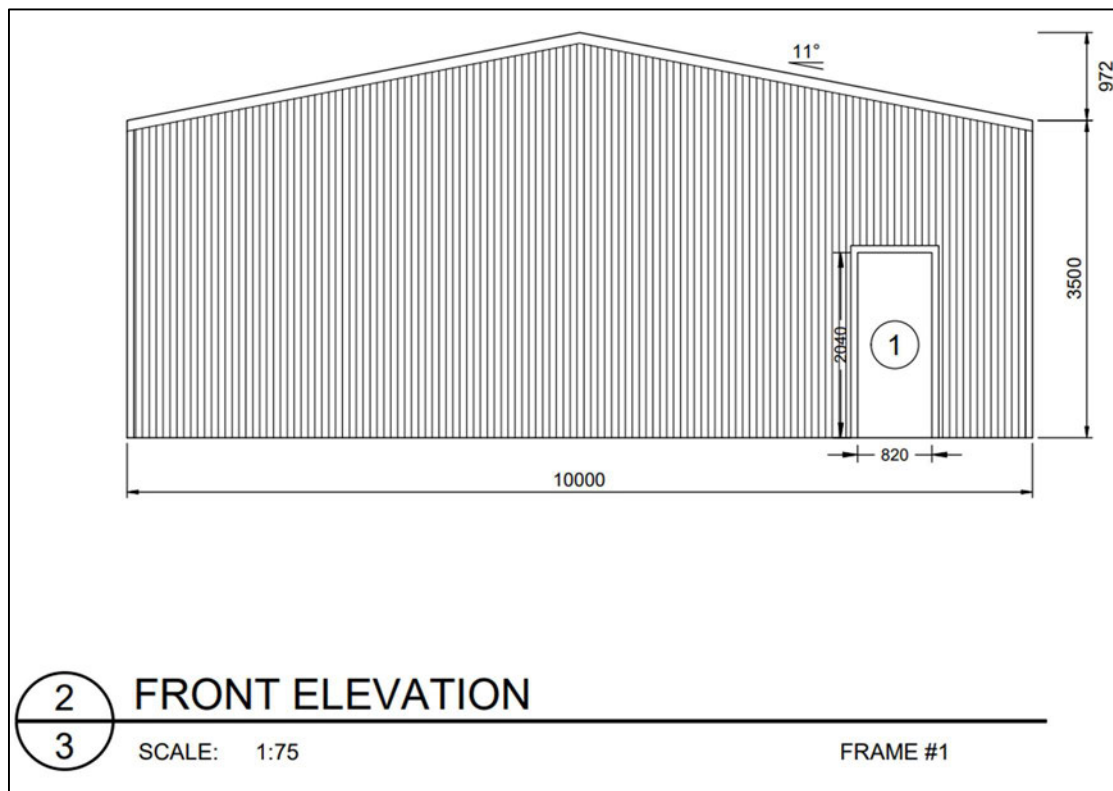


Figure 2 Front Elevation Prepared by Emerald Design and Construction (Appendix 2)

As captured in the front elevation above (**Figure 2**), there will be a smaller door (2.04m in height and 0.82m in width) for people to access the shed through.

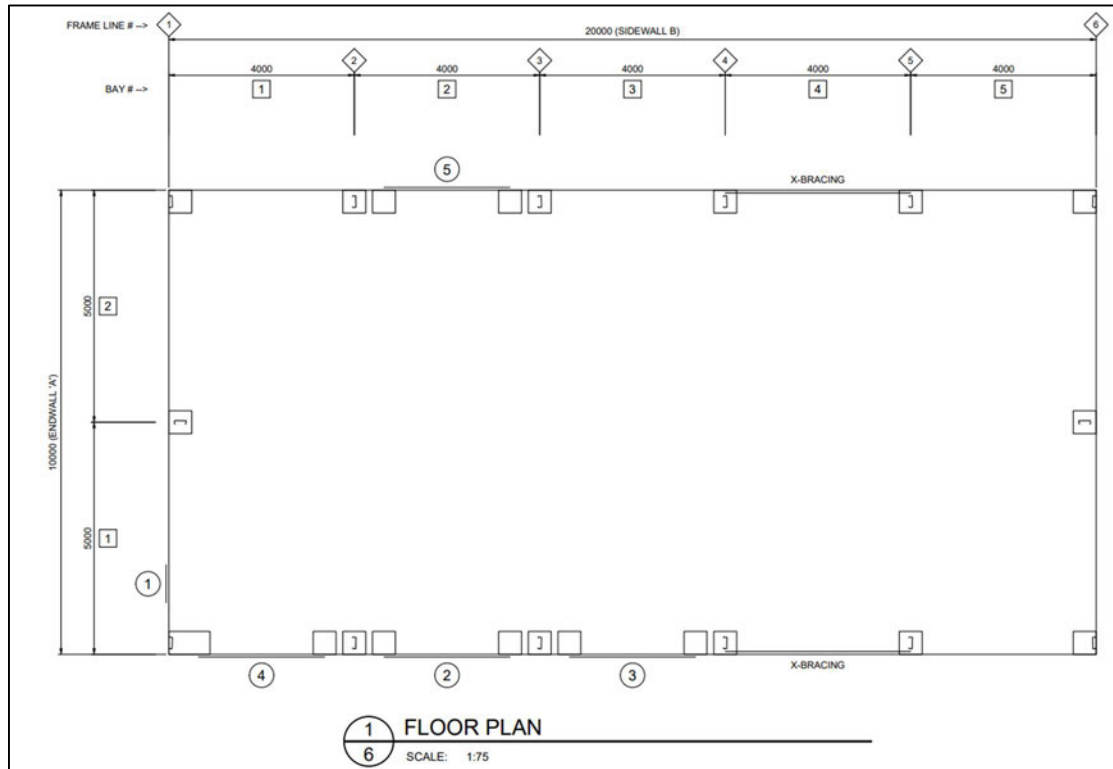


Figure 3 Floor Plan Prepared by Emerald Design and Construction (Appendix 2)

The length of the proposed shed is comprised of 5 bays, each of 4 metres width.

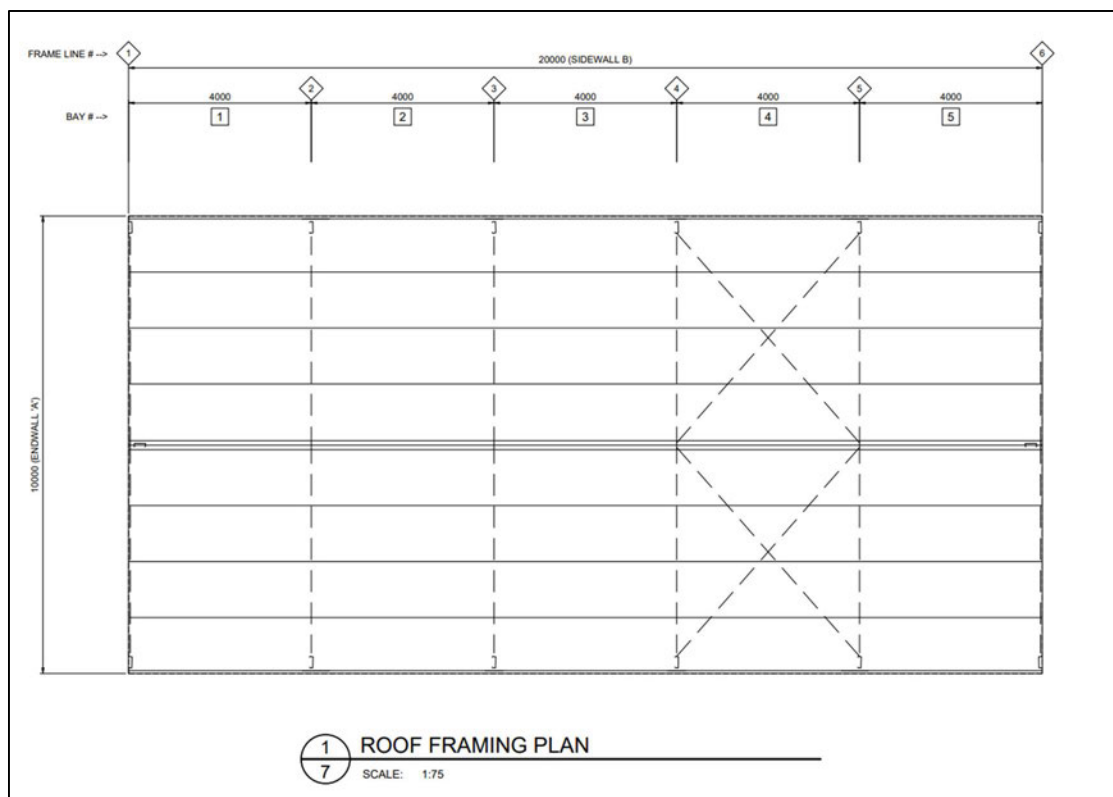


Figure 4 Roof Framing Plan 1/7 Prepared by Emerald Design and Construction (Appendix 2)

3.1. LANDSCAPING

No landscaping is required or proposed.

3.2. VEHICLE ACCESS

The proposed shed will be accessible by extending the internal driveway. No new vehicle crossings are proposed.

3.3. OPERATIONAL DETAILS

The proposed shed will be used for private purposes including the storage of landscaping and land maintenance equipment, as well as bulky recreational items that would benefit from additional weather protection, such as caravans.

3.4. UTILITIES

Electricity will be extended to the shed.

4. STATUTORY PLANNING CONTROLS

4.1. ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 AND REGULATIONS 2021

The proposed development is not exempt or complying development in accordance with State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 and therefore requires consent under the provisions of Part 4 of the EP&A Act. The proposal is not integrated development pursuant to section 4.46 of the EP&A Act, nor is it designated development, State significant development or regionally significant development.

4.2. RELEVANT STATE ENVIRONMENTAL PLANNING POLICIES (SEPPs)

Table 1 addresses the relevant SEPPs in accordance with section 4.15(1) of the EP&A Act.

Table 1: Relevant SEPPs

SEPP	COMPLIANCE
SEPP (Biodiversity and Conservation) 2021	Chapter 2 of the SEPP aims to protect biodiversity values of trees and other vegetation and associated amenity in non-rural areas of the State. No vegetation removal is proposed.
SEPP (Industry and Employment) 2021	The proposal not a type of development to which the SEPP applies. No further consideration required.
SEPP (Primary Production) 2021	The proposed shed will support the maintenance and ongoing use of the site for small scale rural activities.
SEPP (Sustainable Buildings) 2021	The proposal is not a type of development to which the SEPP applies.

4.3. MID-WESTERN REGIONAL LOCAL ENVIRONMENTAL PLAN 2012

LEP 2012 provides a planning framework to facilitate development in an appropriate manner with due consideration to ecologically sustainable development. Relevant clauses of LEP 2012 are discussed in Table 2.

Table 2: Consistency with relevant clauses of LEP 2012

CLAUSE	CONSISTENCY
Zone Objectives	The objectives of Zone R1 General Residential in LEP2012 are as follows: • To provide for the housing needs of the community. • To provide for a variety of housing types and densities. • To enable other land uses that provide facilities or services to meet the day to day needs of residents. The proposed development is consistent with the R1 zone objections. It will facilitate land uses (other than housing) to meet the day-to-day needs of residents on the site.
Permissibility	Dwelling houses are permitted with consent in Zone R1. The shed will serve the dominant purpose which is the dwelling through allowing the storage of landscaping and land management equipment needed to appropriately manage the land and vegetation thereon and is therefore permitted with consent.
Part 4 Principal development standards	
4.3 Height of buildings	The proposed shed (from ground to roof top) will be 4.72m in height (below the required 8.5m height maximum control). The proposed is therefore compliant with this clause.
Part 5 Miscellaneous Provisions	
5.10 Heritage Conservation	The site does not contain items of heritage significance and is not within a heritage conservation area. The heritage conservation area located to the northwest will not be impacted by the proposal..
5.21 Flood Planning	The site does not contain and is not located near flood-prone land.

CLAUSE	CONSISTENCY
Part 6 Additional Local Provisions	
6.3 Earthworks	Minor site disturbance will occur as part of the proposed development.
6.4 Groundwater Vulnerability	The site is not mapped as groundwater vulnerable.
6.5 Terrestrial biodiversity	The site is not identified as “Moderate” or “High” on the LEP 2012’s Sensitive Biodiversity Map. No further assessment is required.
6.10 Visually Sensitive Land Near Mudgee	The site is not identified as “Visually Sensitive Land” on this LEP’s Visually Sensitive Land Map.

4.4. MID-WESTERN REGIONAL DEVELOPMENT CONTROL PLAN 2012

The DCP 2013 provides guidance to development of land under LEP 2012 and is intended to act as an integrated planning document. The purpose of the DCP 2013 is to supplement LEP2012 and provide additional information to consider when preparing a development application. An assessment of the proposed development against applicable DCP requirements is provided in Table 3 below.

Table 3: Consistency with Mid-Western Regional DCP 2013

CLAUSE / CONTROL	CONSISTENCY
3.1 Residential Development in Urban Areas (Single Dwellings and Dual-Occupancies)	
Buildings Setbacks	Shortest setback is 30.94m and should be considered compliant.
Site Coverage	The shed represents additional site coverage of approximately 0.5%, complies.
Garages, Outbuildings	The proposed development, being a shed of 200m ² represents a 33% variation to the DCP control of 150m ² for a property of 3,001m ² or greater. Providing the larger shed permits the landowner to store landscaping and land management equipment required to manage the land appropriately, as well as store bulky personal and recreational items.
Part 5	
5.2 Flooding	As previously identified, the site is not within flood-prone land. No further assessment is required.
5.3 Stormwater Management	The surrounding private open green space will be able to absorb additional stormwater run-off. The proposed development is therefore compliant with this control.
5.4 Environmental Controls	
Protection of Aboriginal Archaeological Items (a-c)	As previously discussed, no Aboriginal archaeological relics or other archaeological significance has been identified within or surrounding the site.
Bushfire Management (a-c)	Previously addressed in Table 2. No further assessment is necessary.
Riparian and drainage line Environments (a-b)	No riparian or drainage lines are present on site.
Pollution and Waste Management (a-c)	No significant pollution or waste is anticipated to occur on the site during construction of the proposed development. This is because the proposed shed is a prefabricated structure and will therefore be built off the site and assembled on the site.
Threatened Species and Vegetation Management (a-c)	No threatened species or vegetation are present on site, and no trees are proposed for removal. No further assessment is required.
All buildings (C) (2)	Appropriate sub-soil drainage will be installed for the concrete slabs.

5. ASSESSMENT OF ENVIRONMENTAL EFFECTS

5.1. SECTION 4.15(1)(A) – STATUTORY PLANNING CONSIDERATIONS

In determining the subject DA, Council is required to consider those relevant matters listed in section 4.15(1) of the EP&A Act. Each of the relevant matters is addressed below.

Section 4.15(1)(a) requires the consent authority to take into consideration the provisions of any environmental planning instrument (EPI), draft EPI, DCP, planning agreement that has been entered into under section 7.4 of the EP&A Act or under the EP&A Regulations 2021.

These matters (and others) are addressed in Section 4 of this report, and below.

The proposal is permissible with the consent of Council, and is generally consistent with the provisions and objectives of LEP2012 and DCP2013.

5.2. SECTION 4.15(1)(B) – ENVIRONMENTAL, SOCIAL AND ECONOMIC IMPACTS

The following table provides an overview of the potential impacts of the development on the natural and built environments.

Table 4: Assessment of Environmental Effects

IMPACT	COMMENT
Biodiversity	No biodiversity will be negatively impacted by the proposed development.
Bushfire	The site is not within a bushfire-prone area.
Economic	The construction of the shed will support Gulgong's local business and trades industries.
Flood	The site is not within a flood-prone area.
Heritage	No heritage or culturally significant items (Aboriginal or European), areas or lands are within or near the site, as per LEP2012.
Stormwater	The surrounding private open green space be able to absorb any additional stormwater run-off.
Visual	The shed will be 'monolith' coloured (see Appendix 2) and will therefore not starkly contrast against the built forms, infrastructure and natural environment within and surrounding the site. The site and its surrounding area predominantly comprise of private open green space. The small-scale nature of the proposed development means that any visual impacts, considering the surrounding setting, will be minor.

Overall, the proposal is substantially consistent with the objectives and development controls contained within the various environmental planning instruments and development controls that apply to the site (see Section 4). The proposed development will not result in an adverse impact to the environment and is compatible with existing built form onsite/in the surrounding area. The proposed development comprises orderly economic development of the site for purposes for which it is zoned and currently used. The proposal will not pose any negative social or economic impacts.

5.3. SECTION 4.15(1)(C) – THE SUITABILITY OF THE SITE

Suitability of the site for the proposed development is dealt with in Section 2.

5.4. SECTION 4.15(1)(D) – SUBMISSIONS

Any relevant representations will need to be considered by Council in the determination of the development application.

5.5. SECTION 4.15(1)(E) – PUBLIC INTEREST

The public interest is best served by the orderly and economic use of land for purposes permissible under the relevant planning regime and substantially in accordance with the prevailing planning controls. The development is a permissible form of development and is therefore considered to be in the public interest.

6. CONCLUSION

This SEE has been prepared on behalf of Andrew Maunder (the client) to accompany a DA for an ancillary shed at 14 Zimmer Lane, Gulgong NSW 2852 (Lot 157/DP755433). This SEE complies with the relevant strategic and statutory framework including LEP2012 and other legislation. As demonstrated, the variance from DCP standards is minor and justifiable in its context.

The proposed shed should be approved because it will have a positive impact on current and future residents of the site as well as land management. It will enhance their lifestyle by increasing the land use and activity opportunities on the site, as well as allow for appropriate land management equipment.

The proposal is reasonable and appropriate when considered under the relevant heads of consideration in Section 4.15(1) of the EP&A Act and is considered to be worthy of favourable determination by Council.

APPENDICES



APPENDIX 1 – PARTIAL DETAIL SURVEY PLAN PREPARED BY DE WITT CONSULTING



APPENDIX 2 – SHED PLANS AND ENGINEERING SCHEDULES PREPARED BY EMERALD DESIGN AND CONSTRUCTION



APPENDIX 3 – SITE PLAN PREPARED BY DE WITT CONSULTING