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# Statement of Environmental Effects

**Client:** Brodie McGann

**Project:** Secondary Dwelling & Boundary Adjustment

**Site Address:** 4 Fisher Street, Gulgong

20 May 2025

**Our Reference :** 47098-PR01\_B

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<b>Project Name:</b>	Change of use from a garage to a Secondary Dwelling and associated Boundary Adjustment at 4 Fisher Street, Gulgong
<b>Client:</b>	<b>Brodie McGann</b>
<b>Project Number:</b>	47098
<b>Report Reference:</b>	47098-PR01_B
<b>Date:</b>	20 May 2025

Prepared by:	Reviewed by:
	
Jack Massey MPIA Senior Town Planner	Josh Eagleton MPIA Senior Town Planner

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## **1. INTRODUCTION**

### **1.1. Background**

Barnson Pty Ltd has been engaged by Brodie McGann to prepare information in support of a Development Application (DA) for the change of use of an existing garage to a secondary dwelling and associated boundary adjustment at 4 Fisher Street, Gulgong.

The subject site is located on the corner of Fisher Street and Wilbetree Street and has an area of 1,403.75m<sup>2</sup>. The site contains an existing dwelling and garage.

The project will consist of the change of use of an existing garage to a secondary dwelling and associated boundary adjustment. Internal and external alterations and additions to the existing structure has been undertaken without approval. As such a Building Information Certificate shall be lodged with Council in due course. The only remaining buildings works are a new carport at the front of the secondary dwelling structure facing Fisher Street.

The site is zoned R1 General Residential pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012*. The proposed development forms part of a 'secondary dwelling' and 'subdivision', which is permissible with consent in the R1 zone.

This application consists of:

- A completed development application form; and
- PDF copy of this written statement, including plans.

### **1.2. Proponent**

The proponent for the DA is Brodie McGann.

### **1.3. Consultant**

Barnson Pty Ltd

Jack Massey

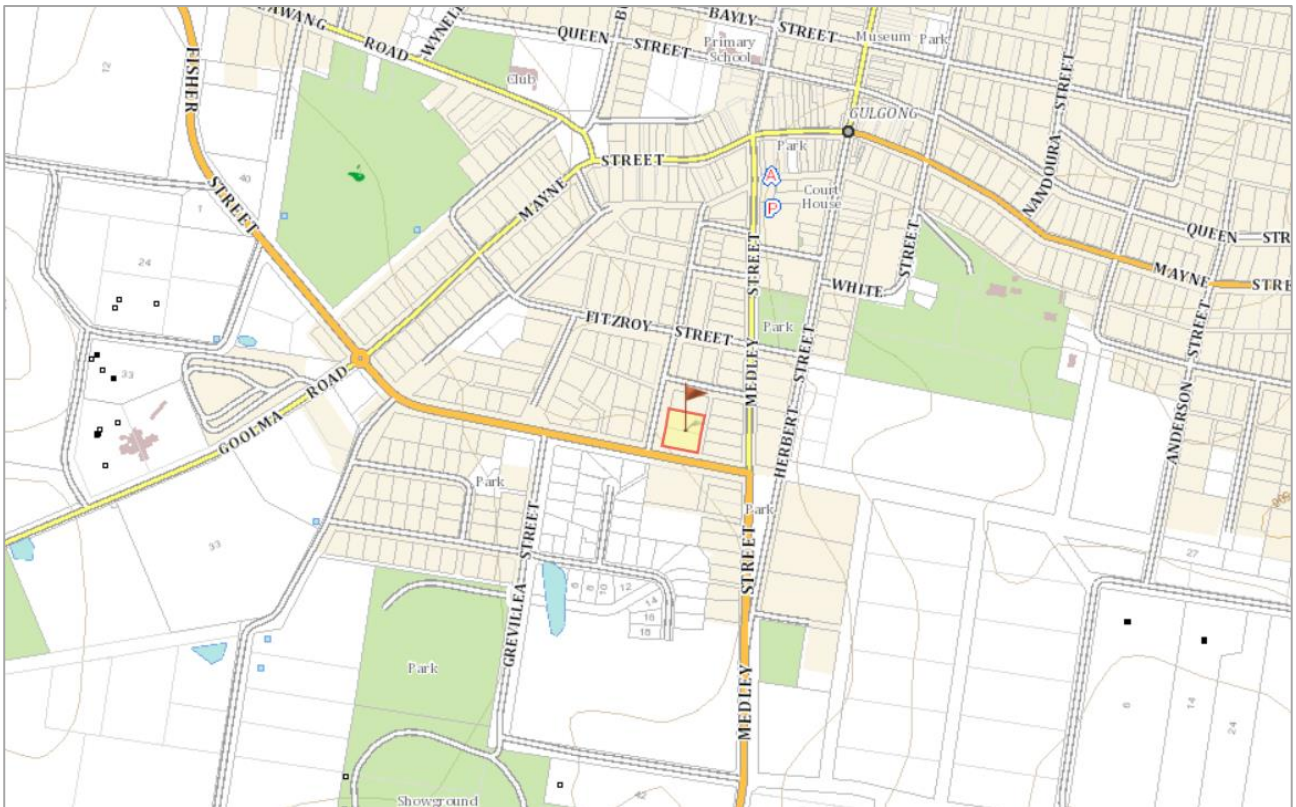
Unit 4 - 108/110 Market Street

Mudgee NSW 2850

## 2. EXISTING ENVIRONMENT

### 2.1. Location and Title

The subject site of this application is Lots 4 and 5 Section 38 DP 758482, known as 4 Fisher Street, Gulgong. The site is located on the corner of Fisher Street and Wilbetree Street within the township of Gulgong, as shown in Figure 1 below.



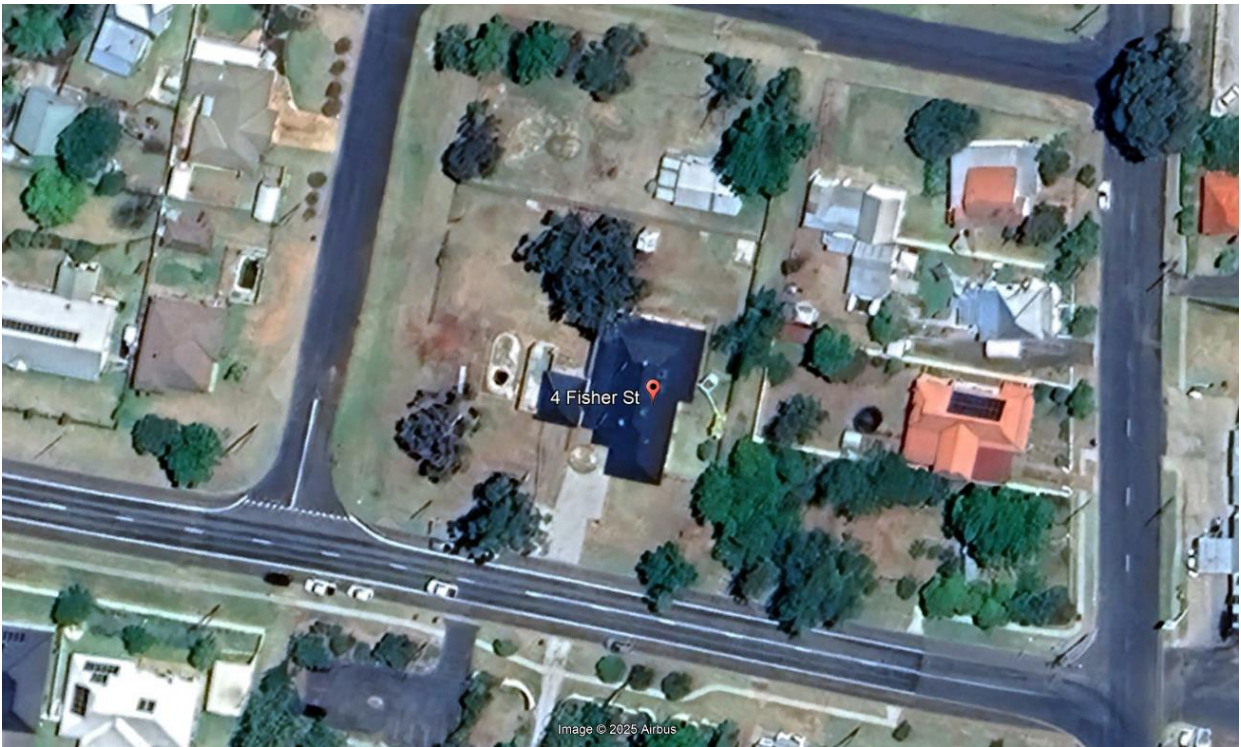
Source: (NSW Government Spatial Services, 2025)

**Figure 1 – Site Location**

The site has an overall area of 1,403.75m<sup>2</sup> (refer to Detail Survey in Appendix A of this report). The site has direct frontage to Fisher Street and Wilbetree Street, and is improved with one access point. There is an existing dwelling, garage, sheds, hardstand and landscaping areas on the site.

Refer to Figure 2 and Plate 1 for images of the site and locality.





Source: (NSW Government Spatial Services, 2025)

**Figure 2 – Site Aerial**



**Plate 1 – View of subject site Wilbetree Street**

## **2.2. Land Use**

The subject site is located in an established residential area in the township of Gulgong. There are existing residential developments surrounding the subject site with the emergence of infill dual occupancies and multi-dwelling housing developments within proximity. The subject site is surrounded by R1 General Residential zoned land.

## **2.3. Topography**

The subject site falls from north to south.

## **2.4. Flora and Fauna**

The subject site contains mainly managed grasslands with some scattered trees and gardens throughout.

## **2.5. Natural Hazards**

### **2.5.1. Flooding**

The site is not mapped within the flood planning area pursuant to the NSW ePlanning Spatial Viewer or *Mid-Western Regional Local Environmental Plan 2012*

### **2.5.2. Bush Fire**

The site is not mapped within a bushfire prone area pursuant to the NSW ePlanning Spatial Viewer or RFS' Online Bushfire Mapping Tool

## **2.6. Services**

By virtue of the existing dwelling, the site has existing connections to water supply, sewer, stormwater management, telecommunications, NBN, suitable road access and overhead electricity supply. All essential services are available to the subject site.

## 2.7. Access and Traffic

The subject site has direct frontage to Fisher Street and Wilbetree Street (two way, two laned sealed roads). Fisher Street is identified as a classified road under the TfNSW *Schedule of Classified Roads and Unclassified Regional Roads*. The existing dwelling on the subject site benefits from an existing crossover and layback off the northern side of Fisher Street.

## 2.8. Heritage

The site is not identified as containing a heritage listed item pursuant to the *Mid-Western Regional Local Environmental Plan 2012* (LEP) or State Heritage Register. However, the site is mapped within the Mid-Western Heritage Conservation Area, pursuant to Schedule 5 of the LEP.

An Aboriginal Heritage Information Management System (AHIMS) Search was undertaken for the site and immediate surrounds. The AHIMS search revealed that are no Aboriginal sites recorded within 200m of the subject site. Refer to AHIMS search in Appendix B of this report.

### 3. PROPOSED DEVELOPMENT

The proposed development includes the change of use of an existing garage to be used as a secondary dwelling on Lots 4 & 5 Section 38 DP 758482, known as 4 Fisher Street, Gulgong.

The existing boundaries traverse through the existing dwelling on the subject site. As such, a boundary adjustment subdivision is also proposed, which will ensure the existing dwelling and proposed secondary dwelling are situated on their own Lot and a vacant Lot is created, ready for future residential development. The proposed Lots and their sizes are shown in Table 1 below.

Table 1 – Subdivision Details

Proposed Lot	Address	Road Frontage	Area	Use of land
Lot 1	4 Fisher Street	Fisher Street	1,746m <sup>2</sup>	Dwelling and secondary dwelling
Lot 2	TBC	Wilbetree Street	1,074m <sup>2</sup>	Vacant

The proponent has undertaken unauthorised works on the site, consisting of demolition works and internal and external alterations to the existing garage for the use of a secondary dwelling. The only remaining building works required is the construction of the proposed carpark, attached to the secondary dwelling. Refer to Development Plans in Appendix C of this report. Given the extent of unauthorised works undertaken by the proponent, a Building Information Certificate shall be lodged with Council in due course.

The proposed secondary dwelling shall comprise of the following:

- Open living, kitchen and dining area;
- Laundry and storage room;
- Bathroom;
- Master bedroom and ensuite;
- Two other bedrooms;
- Aluminium framed glazing;
- Rendered brickwork; and
- Attached carport (to be constructed).

Refer to Development Plans in Appendix C, BASIX Certificate in Appendix D of this report.



A Structural Report, provided in Appendix E, has also been prepared which confirms the structural adequacy of the building.

To facilitate the proposed development and rectify existing boundary/building encroachments on the site, a boundary adjustment subdivision is also proposed. The boundary adjustment consists of the following main attributes:

- Proposed Lot 1 shall include the existing dwelling and proposed secondary dwelling;
- Proposed Lot 2 shall be vacant ready for future residential development;
- New colorbond fencing shall be established along the new internal boundary line, delineating the two proposed Lots;
- The existing service connections supporting the existing dwelling and secondary dwelling on proposed Lot 1 shall continue to be utilised;
- Proposed new service connections shall be connected to proposed Lot 2, consisting of a new sewer junction off the south western corner and new water connection off Wilbetree Street;
- All overland stormwater shall be directed into the kerb and gutter within Fisher Street. The existing dwelling and secondary dwelling on proposed Lot 1 consist of existing stormwater pipes that direct roofwater into Council's system;
- There is an existing open swale within Wilbetree Street road reserve which manages stormwater generated from the street network and properties along the road frontage. The stormwater is directed into existing pits along Fisher Street. This existing arrangement is considered suitable for the locality;
- A new electricity connection and telecommunications connection shall be established for proposed Lot 2, in consultation with the relevant service providers;
- The existing vehicular access crossover and layback off the northern side of Fisher Street supporting the existing dwelling and proposed secondary dwelling shall continue to be utilised. Proposed Lot 2 shall be afforded with a new vehicular access crossover and layback off the eastern side of Wilbetree Street at the northern end of the proposed Lot where the existing gate sits (refer to Detail Survey in Appendix A). The new crossover shall be subject to a separate Section 138 application to Council.

Refer to Detail Survey in Appendix A and Development Plans in Appendix C of this report.

## 4. LAND USE ZONING

The subject site is zoned R1 General Residential pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012* (LEP). The proposed development is for the change of use of an existing garage to be used as a 'secondary dwelling' and associated 'subdivision', which are both permissible with consent in the R1 zone.

The permissibility of the proposed development is assessed in terms of the heads of consideration in Section 4.15 of the *Environmental Planning & Assessment Act 1979*, which incorporates consideration of the LEP and the objectives and permissible uses outlined in the R1 zone, as outlined in Section 5 of this report.

## 5. PLANNING CONSIDERATIONS

### 5.1. Biodiversity Conservation Act 2016

#### 5.1.1. Is the development likely to significantly affect threatened species?

Clause 7.2 of the *Biodiversity Conservation Act 2016* (BC Act) identifies the following circumstances where a development is likely to significantly affect threatened species:

- (a) *it is likely to significantly affect threatened species or ecological communities, or their habitats, according to the test in section 7.3, or*
- (b) *the development exceeds the biodiversity offsets scheme threshold if the biodiversity offsets scheme applies to the impacts of the development on biodiversity values, or*
- (c) *it is carried out in a declared area of outstanding biodiversity value.*

Each of these is addressed below.

#### Section 7.3 Test

To determine whether a development is likely to significantly affect threatened species or ecological communities, or their habitats, the following is to be taken into account in accordance with Section 7.3 of the BC Act:

- (a) *in the case of a threatened species, whether the proposed development or activity is likely to have an adverse effect on the life cycle of the species such that a viable local population of the species is likely to be placed at risk of extinction,*
- (b) *in the case of an endangered ecological community or critically endangered ecological community, whether the proposed development or activity:*
  - (i) *is likely to have an adverse effect on the extent of the ecological community such that its local occurrence is likely to be placed at risk of extinction, or*
  - (ii) *is likely to substantially and adversely modify the composition of the ecological community such that its local occurrence is likely to be placed at risk of extinction,*
- (c) *in relation to the habitat of a threatened species or ecological community:*
  - (i) *the extent to which habitat is likely to be removed or modified as a result of the proposed development or activity, and*
  - (ii) *whether an area of habitat is likely to become fragmented or isolated from other areas of habitat as a result of the proposed development or activity, and*
  - (iii) *the importance of the habitat to be removed, modified, fragmented or isolated to the long-term survival of the species or ecological community in the locality,*
- (d) *whether the proposed development or activity is likely to have an adverse effect on any declared area of outstanding biodiversity value (either directly or indirectly),*
- (e) *whether the proposed development or activity is or is part of a key threatening process or is likely to increase the impact of a key threatening process.*

Comment: The site is not mapped with any significant biological values pursuant to the Biodiversity Values Map and Threshold Tool. The proposed development does not include clearing of any significant vegetation and is not identified to be the habitat of threatened or endangered ecological communities or species.

Therefore, the proposed development is not likely to significantly affect threatened species or ecological communities, or their habitats.

## Section 7.4 Test

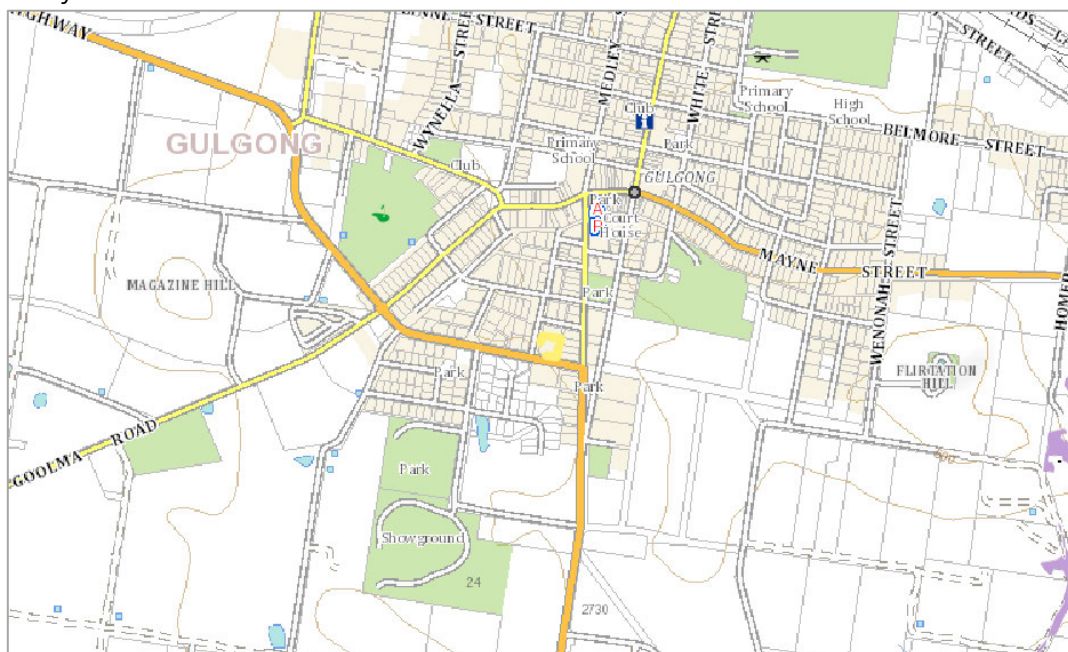
Section 7.4 of the BC Act states:

- (1) *Proposed development exceeds the biodiversity offsets scheme threshold for the purposes of this Part if it is development of an extent or kind that the regulations declare to be development that exceeds the threshold.*
- (2) *In determining whether proposed development exceeds the biodiversity offsets threshold for the purposes of this Part, any part of the proposed development that involves the clearing of native vegetation on category 1-exempt land (within the meaning of Part 5A of the Local Land Services Act 2013) is to be disregarded.*

Comment: No clearing of vegetation is proposed as part of this application.

## Declared Area of Outstanding Biodiversity Value

The site is not mapped on the Biodiversity Value Map as being land with a high biodiversity value as defined by the BC Act.



Source: (NSW Government, 2024)

**Figure 3 – Biodiversity Value Map**

## 5.1.2. Biodiversity Development Assessment Report

As outlined in Section 5.1.1, the proposed development is not likely to significantly affect threatened species as defined by Section 7.2 of the BC Act. Therefore, a Biodiversity Development Assessment Report is not required to accompany the application for development consent.

## 5.2. Fisheries Management Act 1994

### 5.2.1. Applicability

The Fisheries Management Act 1994 (FM Act) applies to:

- (a) *in relation to all waters that are within the limits of the State, and*
- (b) *except for purposes relating to a fishery, or a part of a fishery, that is to be managed in accordance with the law of the Commonwealth pursuant to an arrangement under Division 3 of Part 5 and except for purposes prescribed by paragraph (d)—in relation to any waters of the sea not within the limits of the State that are on the landward side of waters adjacent to the State that are within the Australian fishing zone, and*
- (c) *for purposes relating to a fishery, or a part of a fishery, that is managed in accordance with the law of the State pursuant to an arrangement under Division 3 of Part 5—in relation to any waters to which the legislative powers of the State extend with respect to that fishery, whether pursuant to section 5 of the Coastal Waters (State Powers) Act 1980 of the Commonwealth or otherwise, and*
- (d) *for purposes relating to recreational fishing activities engaged in otherwise than by use of a foreign boat (other than recreational activities prohibited or regulated under a plan of management determined under section 17 of the Commonwealth Act)—in relation to any waters to which the legislative powers of the State extend with respect to such activities.*

Comment: Not applicable to the proposed development.

### 5.2.2. Is the development likely to significantly affect threatened species, population or ecological community?

Section 221ZV of the FM Act requires the following matters to be taken into consideration to determine whether a proposed development or activity is likely to significantly affect threatened species, populations or ecological communities (unless it is carried out in critical habitat):

- (a) *in the case of a threatened species, whether the proposed development or activity is likely to have an adverse effect on the life cycle of the species such that a viable local population of the species is likely to be placed at risk of extinction,*
- (b) *in the case of an endangered population, whether the proposed development or activity is likely to have an adverse effect on the life cycle of the species that constitutes the endangered population such that a viable local population of the species is likely to be placed at risk of extinction,*
- (c) *in the case of an endangered ecological community or critically endangered ecological community, whether the proposed development or activity:*

- (i) *is likely to have an adverse effect on the extent of the ecological community such that its local occurrence is likely to be placed at risk of extinction, or*
- (ii) *is likely to substantially and adversely modify the composition of the ecological community such that its local occurrence is likely to be placed at risk of extinction,*
- (d) *in relation to the habitat of a threatened species, population or ecological community:*
  - (i) *the extent to which habitat is likely to be removed or modified as a result of the proposed development or activity, and*
  - (ii) *whether an area of habitat is likely to become fragmented or isolated from other areas of habitat as a result of the proposed development or activity, and*
  - (iii) *the importance of the habitat to be removed, modified, fragmented or isolated to the long-term survival of the threatened species, population or ecological community in the locality,*
- (e) *whether the proposed development or activity is likely to have an adverse effect on any critical habitat (either directly or indirectly),*
- (f) *whether the proposed development or activity is consistent with a Priorities Action Statement,*
- (g) *whether the proposed development constitutes or is part of a key threatening process or is likely to result in the operation of, or increase the impact of, a key threatening process.*

The assessment guidelines under section 220ZZA apply to the determination of whether any such proposed development or activity is likely to significantly affect threatened species.

Comment: Not applicable to the proposed development.

## **5.3. Environmental Planning & Assessment Act 1979**

### **5.3.1. Application of Biodiversity Conservation Act 2016 & Fisheries Management Act 1994**

Section 1.7 of the *Environmental Planning & Assessment Act 1979* (EP&A Act) identifies that Part 7 of the BC Act and Part 7A of the FM Act relate to the operation of the EP&A Act in relation to the terrestrial and aquatic environment. These Acts are addressed in Sections 5.1 and 5.2 of this report respectively.

### **5.3.2. Evaluation**

Section 4.15 of the EP&A Act (as amended) requires the Council to consider various matters in regard to the determination of the Development Application.

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) *The provisions of:*
  - (i) *any environmental planning instrument, and*



- (ii) *any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and*
- (iii) *any development control plan, and*
- (iv) *any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and*
- (v) *the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and*
- (vi) *any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates,*
- (b) *The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality;*
- (c) *The suitability of the site for the development,*
- (d) *Any submissions made in accordance with this act or the regulations,*
- (e) *The public interest.*

The proposed development has been designed with consideration to the following matters, as outlined below.

## **5.4. Environmental Planning Instruments**

### **5.4.1. SEPP (Resilience and Hazards) 2021**

Clause 4.6 of *State Environmental Planning Policy (Resilience and Hazards) 2021* requires Council to consider the following before granting consent to a DA:

- (a) *it has considered whether the land is contaminated, and*
- (b) *if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
- (c) *if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

Comment: There are no known contaminating uses that have been carried out on the site given the historic residential use. Therefore, the SEPP (Resilience and Hazards) 2021 does not require any further consideration for the purposes of the proposed development.

### 5.4.2. State Environmental Planning Policy (Transport and Infrastructure) 2021

Section 2.119 of *State Environmental Planning Policy (Transport and Infrastructure) 2021* provides provisions for development with frontage to a classified road. In this case, Fisher Street forms part of a classified road. Section 2.119 of the SEPP states:

(1) *The objectives of this section are—*

(a) *to ensure that new development does not compromise the effective and ongoing operation and function of classified roads, and*

(b) *to prevent or reduce the potential impact of traffic noise and vehicle emission on development adjacent to classified roads.*

(2) *The consent authority must not grant consent to development on land that has a frontage to a classified road unless it is satisfied that—*

(a) *where practicable and safe, vehicular access to the land is provided by a road other than the classified road, and*

(b) *the safety, efficiency and ongoing operation of the classified road will not be adversely affected by the development as a result of—*

(i) *the design of the vehicular access to the land, or*

(ii) *the emission of smoke or dust from the development, or*

(iii) *the nature, volume or frequency of vehicles using the classified road to gain access to the land, and*

(c) *the development is of a type that is not sensitive to traffic noise or vehicle emissions, or is appropriately located and designed, or includes measures, to ameliorate potential traffic noise or vehicle emissions within the site of the development arising from the adjacent classified road.*

Comment: Proposed Lot 1, which shall consist of the existing dwelling and proposed secondary dwelling, is benefitted with an existing access crossover and layback off the northern side of Fisher Street. Vehicular access for residential dwellings off the classified road is consistent with other dwellings in the vicinity and shall be retained for proposed Lot 1. Proposed Lot 2 shall be afforded with a new access point off the eastern side of Wilbetree Street. The new access point shall be positioned approximately 50m from the intersection connecting with Fisher Road, which is considered suitable in this instance. As such, the existing and proposed arrangements are considered suitable for vehicular access to and from the proposed Lots.

### 5.4.3. Mid-Western Regional Local Environmental Plan 2012

#### Land Use Table

The subject site is zoned R1 General Residential pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012* (LEP). The objectives of the R1 zone are:

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*

- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

Comment: The proposed development is defined as a 'secondary dwelling' and 'subdivision', which is considered to be consistent with the zone objectives as it provides for the housing needs of the community and encourages a variety of housing types and densities. The development is permissible with consent in the R1 zone.

## Subdivision

Clause 2.6 of the *Mid-Western Regional Local Environmental Plan 2012* (LEP) enables subdivision to be carried out with development consent.

## Minimum Lot Size

Clause 4.1 of the LEP states:

- (1) *The objectives of this clause are as follows—*
  - (a) *to ensure that subdivision of land occurs in a manner that promotes suitable land uses and development,*
  - (b) *to minimise any likely impact of subdivision and other development on the amenity of neighbouring properties,*
  - (c) *to ensure that lot sizes and dimensions are able to accommodate development, consistent with relevant development controls,*
  - (d) *to ensure that rural lands are not fragmented in a manner that threatens either their future use, or the use of neighbouring land, for agricultural production,*
  - (e) *to ensure that subdivision does not have an inappropriate impact on the natural environment,*
  - (f) *to maximise the economic potential of, and provide for more intensive, small lot agricultural uses in, areas that are able to access commercial quantities of irrigation water.*
- (2) *This clause applies to a subdivision of any land shown on the [Lot Size Map](#) that requires development consent and that is carried out after the commencement of this Plan.*
- (3) *The size of any lot resulting from a subdivision of land to which this clause applies is not to be less than the minimum size shown on the [Lot Size Map](#) in relation to that land.*

Comment: Each resultant Lot meets the specified minimum lot size of 600m<sup>2</sup> as shown in Table 1 and on the plans in Appendix C of this report. The proposed boundary adjustment is considered to be consistent with the objectives of Clause 4.1 of the LEP.

## Height of Buildings

Clause 4.3 of the LEP requires development to not exceed the maximum height shown for the development site on the Height of Building Map.

The height of the existing structure is approximately 3.5m and therefore does not exceed the maximum building height of 5.5m mapped for the subject site.

## Controls Relating to Miscellaneous Permissible Uses

Clause 5.4 'Controls relating to miscellaneous permissible uses' of the LEP applies, as follows:

*(9) Secondary dwellings on land other than land in a rural zone If development for the purposes of a secondary dwelling is permitted under this Plan on land other than land in a rural zone, the total floor area of the dwelling, excluding any area used for parking, must not exceed whichever of the following is the greater—*

- (a) 60 square metres,*
- (b) 50% of the total floor area of the principal dwelling.*

Comment: As shown on the plans in Appendix C of this report, the existing dwelling has a total floor area of approximately 277.40m<sup>2</sup> and the proposed secondary dwelling has a total floor area of approximately 113.63m<sup>2</sup>. The proposed secondary dwelling therefore equates to 40.1% of the total floor area of the principle dwelling, thereby complying with this part.

## Heritage Conservation

Clause 5.10 'Heritage Conservation' applies as the site is positioned within a Heritage Conservation Area under the LEP. The objectives of this clause are as follows:

- (a) to conserve the environmental heritage of Mid-Western Regional,*
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*
- (c) to conserve archaeological sites,*
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.*

Comment: The garage that existed on the site consisted of the following features; brick blockwork walls, two brown roller doors, dark coloured concrete tile roofing and matching guttering. The structure matched the materials of the existing dwelling on the subject site. Given that the use of the garage is proposed to be changed to a secondary dwelling, forming infill residential development, minor façade tweaks have been included to ensure the structure harmonises with the architectural character of the locality. The built form of the structure shall remain as existing.

This design approach ensures that the facade respects and complements the established historical streetscape, preserving the visual integrity and historical value of the heritage conservation area. The proposed changes do not intend to mimic any heritage features on the site or locality, but rather provide a facade that not only maintains the cohesive appearance of the conservation area but also contributes to the sustained appreciation of Gulgong's rich cultural heritage.

The following images show what the existing façade was for the existing dwelling and garage and what has been changed as a result of the works completed to date.





Image 1: Existing façade, December 2023 (Google Streetview)



Image 2: Current façade, May 2024 (Google Streetview)

As shown in the above images, the following changes to the existing garage have been undertaken, which are also shown on the Plans in Appendix C of this report:

- Removal of the existing brown roller doors. The roller door on the right hand side has been infilled as a wall and the roller door on the left hand side now forms a glazed door/window arrangement, providing access into the structure;
- The roof materials and colour remains as existing;
- The walls have been painted white with black aluminium framed glazing and black trims and lighting where required;
- The roofline of the left hand section of the building has been slightly raised to accommodate a flat roof over that part.

The proposal to convert the garage into a secondary dwelling necessitates minor changes to the façade to ensure architectural harmony with the surrounding area, which is consistent with the objectives of this Clause. While the built form of the structure remains unchanged, façade updates have been made to maintain the character of the heritage conservation area. The alterations, including the replacement of roller doors with glazed door/window arrangements and the painting of walls with black-framed glazing, aim to complement the established streetscape without imitating heritage features. These modifications preserve the historical integrity of Gulgong's cultural heritage while enhancing the visual cohesion of the locality.

## Essential Services

Development consent must not be granted for a development unless the consent authority is satisfied that the provision of the following essential services are available or that adequate arrangements have been made to make them available when required –

- a) *The supply of water,*
- b) *The supply of electricity,*
- c) *The disposal and management of sewerage,*
- d) *Stormwater drainage or on-site conservation,*
- e) *Suitable road access.*

Comment: The following information is provided in accordance with this Clause:

- The existing dwelling and proposed secondary dwelling shall utilise the existing water connection/meter. The vacant Lot (Proposed Lot 2) shall be afforded with a new water connection off the eastern side of Wilbetree Street, as shown on the Development Plans in Appendix C of this report;
- The existing dwelling and proposed secondary dwelling shall utilise the existing electricity connection to the site. A new electricity connection shall be established for proposed Lot 2 and consultation with the relevant service provide shall be undertaken;
- The existing dwelling and proposed secondary dwelling shall utilise the existing sewer connections. The vacant Lot (Proposed Lot 2) shall be afforded with a new sewer junction connection off the northern side of Fisher Street, as shown on the Development Plans in Appendix C of this report;



- All overland flow across the site shall continue to be directed into Council's system. Roof water generated by the existing dwelling and proposed secondary dwelling shall continue to be managed on the site and directed into Council system;
- The existing access off the northern side of Fisher Street shall continue to be utilised by the existing dwelling and proposed secondary dwelling. A new access point off the eastern side of Wilbetree Street shall be established for proposed Lot 2. The access shall be situated at the north end of the proposed Lot near the existing gate, as shown on the Detail Survey in Appendix A and Development Plans in Appendix C of this report. The access shall be subject to a separate Section 138 application to Council.

## 5.5. Draft Environmental Planning Instruments

No draft Environmental Planning Instruments are applicable to the subject site or development.

## 5.6. Development Control Plans

The *Mid-Western Regional Council Development Control Plan 2013* (DCP) applies to the subject site and proposed development. The relevant provisions of the DCP are addressed in Table 2 below.

Table 2 – DCP Compliance Table	
Provision	Comment
<i>Part 3.1 Residential Development</i>	
Building Setbacks	The existing dwelling and secondary dwelling are both setback in excess of 4.5m to the street and enjoy side/rear setbacks in excess of 1m.
Building Height	The existing structure is a single storey structure.
Site Coverage	Proposed Lot 1 has a site area of 1,746m <sup>2</sup> . The existing dwelling and proposed secondary dwelling have a total floor area of approximately 392m <sup>2</sup> , therefore equating to approximately 22.45% of site coverage for proposed Lot 2. The proposal complies with this part.
Solar Access	Solar access is available for both dwellings on the site. Given the structures on the site are single storey and have existed on the site for an extended period of time, no shadowing or visual impacts are triggered.
Privacy	The existing structure has an FFL that is less than 1m above the Natural Ground Level and is single story.

Parking	Each dwelling shall access proposed Lot 2 via the existing crossover off the northern side of Fisher Street. The secondary dwelling shall be provided with a carport for undercover parking and the existing dwelling on the site is provided with parking areas at the front. This is consistent with other residential dwellings in the area. There is ample space within the driveway for cars to enter and exit the site in a forward direction.
Landscaping	Landscaped areas are existing throughout the site.
Open Space	Private open space areas are located to the north of the existing dwelling and proposed secondary dwelling. The existing dwelling enjoys a large, grassed area directly to the north of the structure. The proposed secondary dwelling is provided with a 8.5m x 14m (119m <sup>2</sup> ) POS area directly to the north of the structure. The secondary dwelling, forming part of proposed Lot 2, can utilise large, grassed area directly to the north as well. Therefore, POS is considered suitable in this instance.
Corner Lots	No major changes to the built form of the site is proposed. Proposed Lot 2 shall form the 'corner Lot' as a result of the boundary adjustment component of the development. The corner lot provisions shall be addressed as part the future development of the site.
Fencing	Internal fencing is proposed consisting of colorbond fencing. No fencing is proposed as the front of the site.
Infrastructure	No surface infrastructure proposed is visible from the street nor in front of the building line.
Garages and Outbuildings	Not applicable.
Development Near Ridgelines	Not applicable.
Slopes	The structure is existing and as such, the provisions under this part are not relevant.
Access	All weather vehicle access is afforded to the site and is available at all times. The new access for proposed Lot 2 shall be subject to a separate section 138 application to Council.
Relocatable Dwellings	Not applicable.
Adaptability	Noted.
Design Principles	The proposed development complies with all the provisions from a through to k for the purposes of this part, and is not a proposed dual occupancy where both dwellings are pre-manufactured or relocatable homes.
<i>Part 7.1 Urban Subdivision: Land zoned R1, R2 and R3</i>	

Lot Size	<p>All proposed lot sizes meet the minimum lot size requirement of 600m<sup>2</sup>. (Refer to 5.4.3 of this report detailing the MLS relevant to the subject site and proposed development as per Clause 4.1 of the LEP). The slope of the land does not exceed 10 degrees.</p>
Lot Design	<p>The subdivision is a boundary adjustment subdivision (2 lots into 2 lots), of which one Lot shall contain the existing dwelling and proposed secondary dwelling and the other shall be vacant. The Lot layout has been designed to optimise solar access, considering solar patterns and solar orientation for the existing dwellings.</p> <p>The proposed lots allow an orientation to include 3-hours of sunlight access between 9:00am and 3:00pm on 21 June (Winter Solstice).</p>
Street Design and Layout	No new roads are proposed as part of this development application and there are no additional lots produced.
Cycleways and Footpaths	Not applicable to proposed development as there are no proposed footpaths or cycle ways proposed.
Open Space	Not applicable to proposed development as there are no proposed on-site detention basins, and the subject site is not a 'Greenfield' site.
Landscaping	Not applicable to proposed development as there are no proposed public reserve nor any proposed changes to the public domain including any nature strip, street furniture or paving materials.
Utility Services	Proposed Lot 1 has existing established connections to utility services and shall retain all utility connections afforded to the existing dwellings located on the site. Proposed Lot 2 shall comprise of new connections, as required.
Drainage	The proposed development does not include any additional drainage, as there is no proposed physical works, nor the provision of future physical works as part of this development application.
<i>Part 5.4 Environmental Controls</i>	
Protection of Aboriginal Archaeological Items	An AHIMS Search was undertaken and is provided in Appendix B of this report. The search shows that there are no known Aboriginal items or relics known to be on the subject site or within proximity. If any items of significance are identified the proponent will notify relevant authorities.
Bushfire Management	The subject site is not mapped as bushfire prone land.
Riparian and Drainage Line Environments	There are no riparian lands or identified watercourses on the subject site as per <i>ePlanning Spatial Viewer</i> and the <i>Biodiversity Values Map</i> .
Pollution and Water Management	There is no proposed pollution or waste producing activity as part of this proposed development.

Threatened Species and Vegetation Management	The proposed development is for the subdivision of a single lot into two new lots all of which have existing connections to essential services. It does not include significant clearing and is considered to not have any significant impact on local flora and fauna.
Building in Saline Environments	It is understood that salinity may occur on the subject site, resulting in any future proposed residential buildings being susceptible to salt damage.
House Slabs and Footings	Not applicable as there are no proposed slabs or footings.
Brickwork	Not applicable as there is no proposed brickwork.
All Buildings	Not applicable as there are no proposed buildings.
Alterations and Additions	Not applicable as there are no proposed alterations or additions.

## 5.7. Any Planning Agreement entered into

No Planning Agreements entered into are known to exist in relation to the development or site.

## 5.8. Any Matters Prescribed by the Regulations

For the purposes of Section 4.15(1)(a)(iv) of the EP&A Act, Clause 92 of the *Environmental Planning and Assessment Regulations 2000* (EP&A Regulations) specifies the additional matters a consent authority must take into consideration when determining a DA. None of which apply to the proposed development.

## 5.9. Any Likely Impacts of the Development

### 5.9.1. Context & Setting

The subject site is located in a residential locality which is characterised by existing residential and infill development. The proposed development is for a secondary dwelling which is considered consistent with the context and setting of the locality, and as such, would not have adverse impact on the context or setting in the locality.

### 5.9.2. Access, Transport & Traffic

The proposed development can be accessed utilising the existing road network. The existing access off Fisher Street supporting the existing dwelling and proposed secondary dwelling on the site is

considered acceptable. The new access off Wilbetree Street shall be constructed in accordance with Council's requirements and subject to a separate Section 138 application. Therefore, it is considered that the proposed development would have no adverse impacts on the road network in the locality.

### **5.9.3. Utilities**

The proposed development includes the provision of reticulated water, stormwater, sewerage, electrical and telecommunication infrastructure. The new connections shall be completed in accordance with Council's standards.

### **5.9.4. Social and Economic Impacts in the Locality**

The proposed development is in line with the zone objectives of the R1 zone and as such, contribute to the housing needs and desired housing character of the locality having positive social impacts on the community. The development will also contribute to economic activity for the local building and construction industry.

### **5.9.5. Site Design & Internal Design**

There are no prohibitive constraints posed by adjacent developments. There does not appear to be any zoning, planning or environmental matters that should hinder the proposed development of the site. In this regard, it can be concluded that the proposed secondary dwelling and subdivision is suitable for the locality.

### **5.9.6. Other Impacts**

There are no other impacts such as natural hazards or heritage that would result from the proposed development.

## **5.10. Suitability of the Site for the Proposed Development**

The suitability of the site for the proposed development has been addressed in the above sections of this report. There are no prohibitive constraints posed by adjacent developments. There does not appear to be any zoning, planning or environmental matters that should hinder the proposed development of the site. In this regard, it can be concluded that the proposal fits into the locality and the site attributes are conducive for the development.

## **5.11. The Public Interest**

The proposed development is considered to be in the public interest as it provides for a small scale dwelling that provides for the housing needs of the Mudgee area and encourages a higher-density residential area in line with the zones objectives. As outlined throughout this report the

development is consistent with the minimum lot size for the area and is not expected to have any adverse off-site impacts.



## 6. CONCLUSION

It is recommended that the proposed secondary dwelling and associated boundary adjustment on Lots 4 and 5 Section 38 DP 758482, known as 4 Fisher Street, Gulgong be supported on the following grounds:

- The proposal is considered acceptable in terms of the provisions of Section 4.15 of the *Environmental Planning and Assessment Act 1979*;
- The proposal is permissible with consent and consistent with the relevant development standards and provisions of the *Mid-Western Regional Local Environmental Plan 2012*;
- The proposal complies with the relevant provisions of the *Mid-Western Regional Development Control Plan 2012*;
- The proposed development is not anticipated to generate any adverse impacts in the locality; and
- The proposed development is considered suitable for the site and its surrounds.

## 7. REFERENCES

NSW Government. (2024, February 20). *Biodiversity Value Map*. Retrieved from <https://www.lmbc.nsw.gov.au/Maps/index.html?viewer=BVMap>

NSW Government Spatial Services. (2025, February 5). *Six Maps*. Retrieved from <http://maps.six.nsw.gov.au/>

NSW Rural Fire Service. (2019). *Planning for Bush Fire Protection: A Guide for Council's, Planners, Fire Authorities and Developers*. Sydney: NSW RFS.



## APPENDIX A

# Detail Survey



## NOTES:

- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9(1) OF THE "SURVEYING AND SPATIAL INFORMATION REGULATION 2017". IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.
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- THE LOCATIONS AND DEPTHS OF UNDERGROUND SERVICE LINES SHOWN ON THIS PLAN HAVE BEEN SCALED FROM RELEVANT AUTHORITY PLANS. IT IS RECOMMENDED THAT THE LOCATION OF THESE SERVICES SHOULD BE PRECISELY DETERMINED BY POT-HOLING PRIOR TO DESIGN AND CONSTRUCTION OR ANY EXCAVATION, DEMOLITION OR CONSTRUCTION COMMENCES. ALL MEASURES SHOULD BE TAKEN TO PROTECT THESE SERVICES FROM DAMAGE. THERE MAY BE UNDERGROUND SERVICES THAT HAVE NOT BEEN SHOWN HEREON. BARNSON TAKES NO RESPONSIBILITY FOR LOSSES, DAMAGES OR INJURIES TO ANY PERSON OR ORGANISATION THAT MAY OCCUR DUE TO THE RELIANCE ON THIS PLAN FOR THE LOCATION OF UNDERGROUND SERVICES.
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DATE OF SURVEY : 12th MARCH 2025  
SURVEY BY : B. Timalisina

DATUM : AUSTRALIAN HEIGHT DATUM (A.H.D.)  
ORIGIN : PM 70004, RL 461750m (S.C.I.M.S.)  
MAJOR CONTOUR INTERVAL : 1 METRE  
MINOR CONTOUR INTERVAL : 0.25 METRES

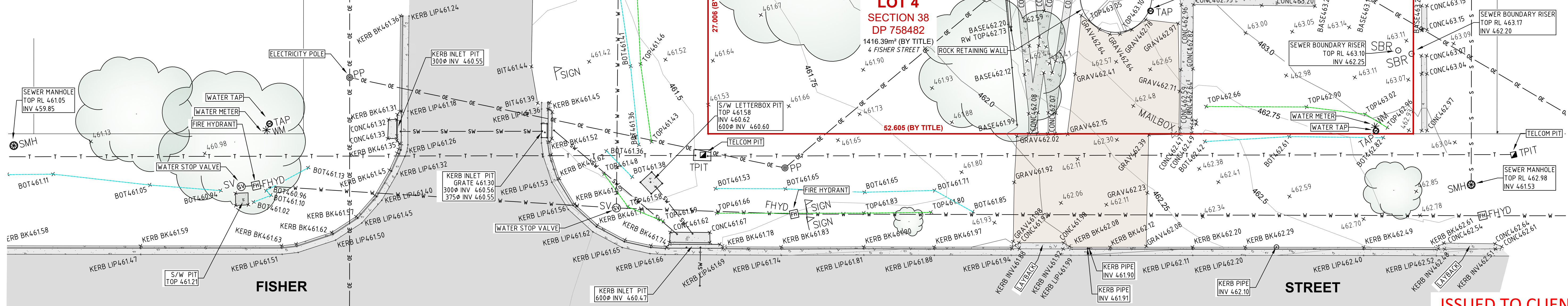
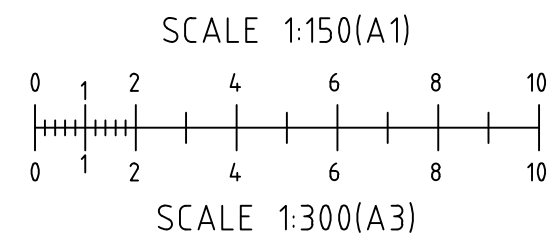


## KEY

— / —	EXISTING SUBJECT CADASTRAL BOUNDARIES
— / —	EXISTING FENCE LINE
— / —	TOP OF BANK
— / —	BOTTOM OF BANK
— W — W —	EXISTING UNDERGROUND WATER MAIN - APPROX.
— OE — OE —	EXISTING OVERHEAD ELECTRICITY LINES
— S — S —	EXISTING UNDERGROUND SEWER LINE - APPROX.
— T — T —	EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
— SW — SW —	EXISTING DRAIN PIPE (COUNCIL)
WM *	EXISTING WATER METER
FHYD [FH]	WATER FIRE HYDRANT
SV [S]	WATER STOP VALVE
TAP [T]	WATER TAP
PP [P]	ELECTRICITY POWER POLE
SMH [S]	SEWER MANHOLE
SBR [S]	SEWER BOUNDARY RISER
TPIT [T]	TELECOMMUNICATIONS PIT
SIGN [S]	ROAD SIGN

## LEVEL AND DETAIL SURVEY PLAN

REDUCTION RATIO 1:150 @ A1  
1:300 @ A3



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Rev	Date	Description
A	17.03.2025	ISSUED TO CLIENT

Project  
**LEVEL AND DETAIL SURVEY OVER  
LOTS 4 & 5 SECTION 38 IN DP 758482**  
Site Address  
**4 FISHER STREET  
GULGONG 2852**  
Client  
**HELIX CONSTRUCTION GROUP**

Drawing Title  
**LEVEL AND DETAIL SURVEY PLAN**

Survey	BT
Drawn	NS
Check	RB

Original Sheet Size	A1
Revision	A

Certification	
Project No	47098
Drawing No	L01



**APPENDIX B**  
**AHIMS Search**

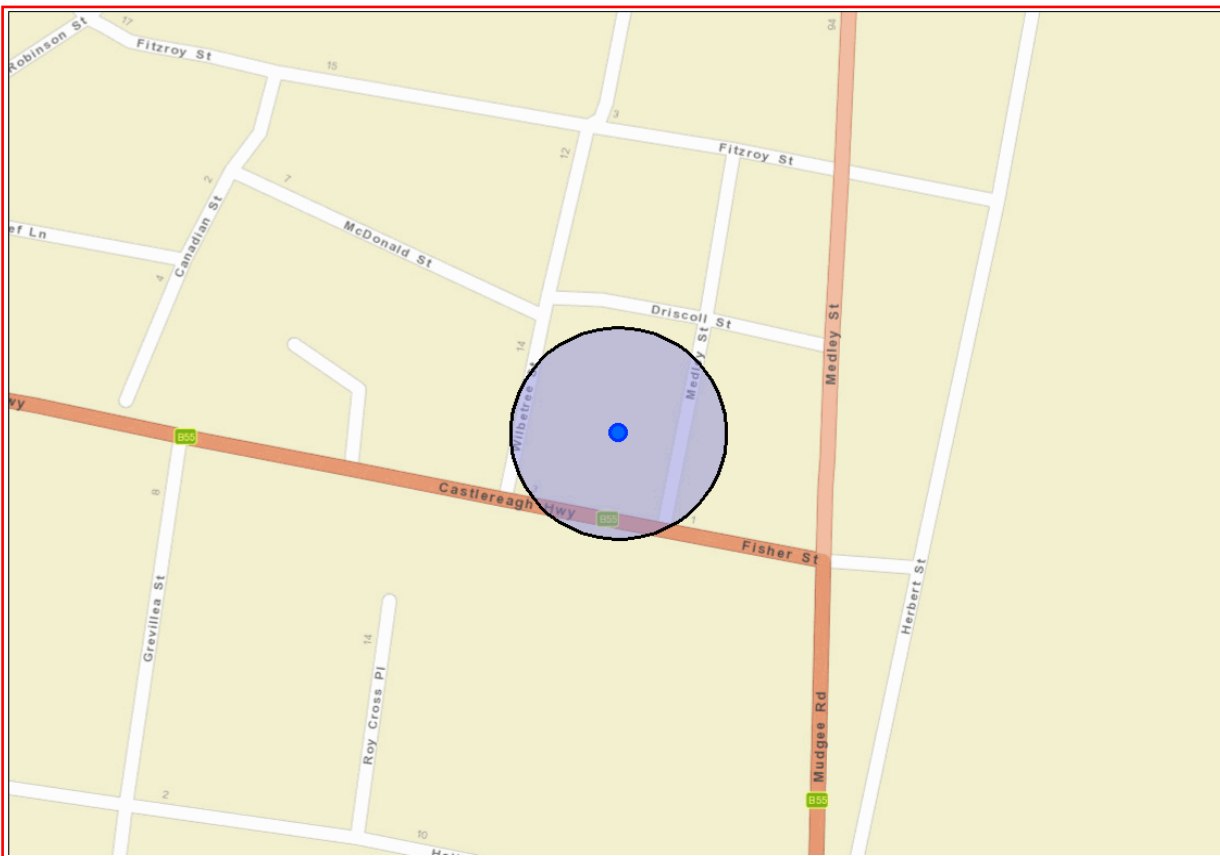
Barnson  
Suite 6 11 White Street  
Tamworth New South Wales 2340  
Attention: Jack Massey  
Email: jmassey@barnson.com.au

Date: 02 April 2025

Dear Sir or Madam:

**AHIMS Web Service search for the following area at Address : 4 FISHER STREET GULGONG 2852 with a Buffer of 50 meters, conducted by Jack Massey on 02 April 2025.**

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *



**If your search shows Aboriginal sites or places what should you do?**

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

**Important information about your AHIMS search**

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not to be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.

**APPENDIX C**

**Development Plans**



## NOTES:

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DATE OF SURVEY : 12th MARCH 2025  
SURVEY BY : B. Timalisina

DATUM : AUSTRALIAN HEIGHT DATUM (A.H.D.)  
ORIGIN : PM 70004, RL 461750m (S.C.I.M.S.)  
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MINOR CONTOUR INTERVAL : 0.25 METRES

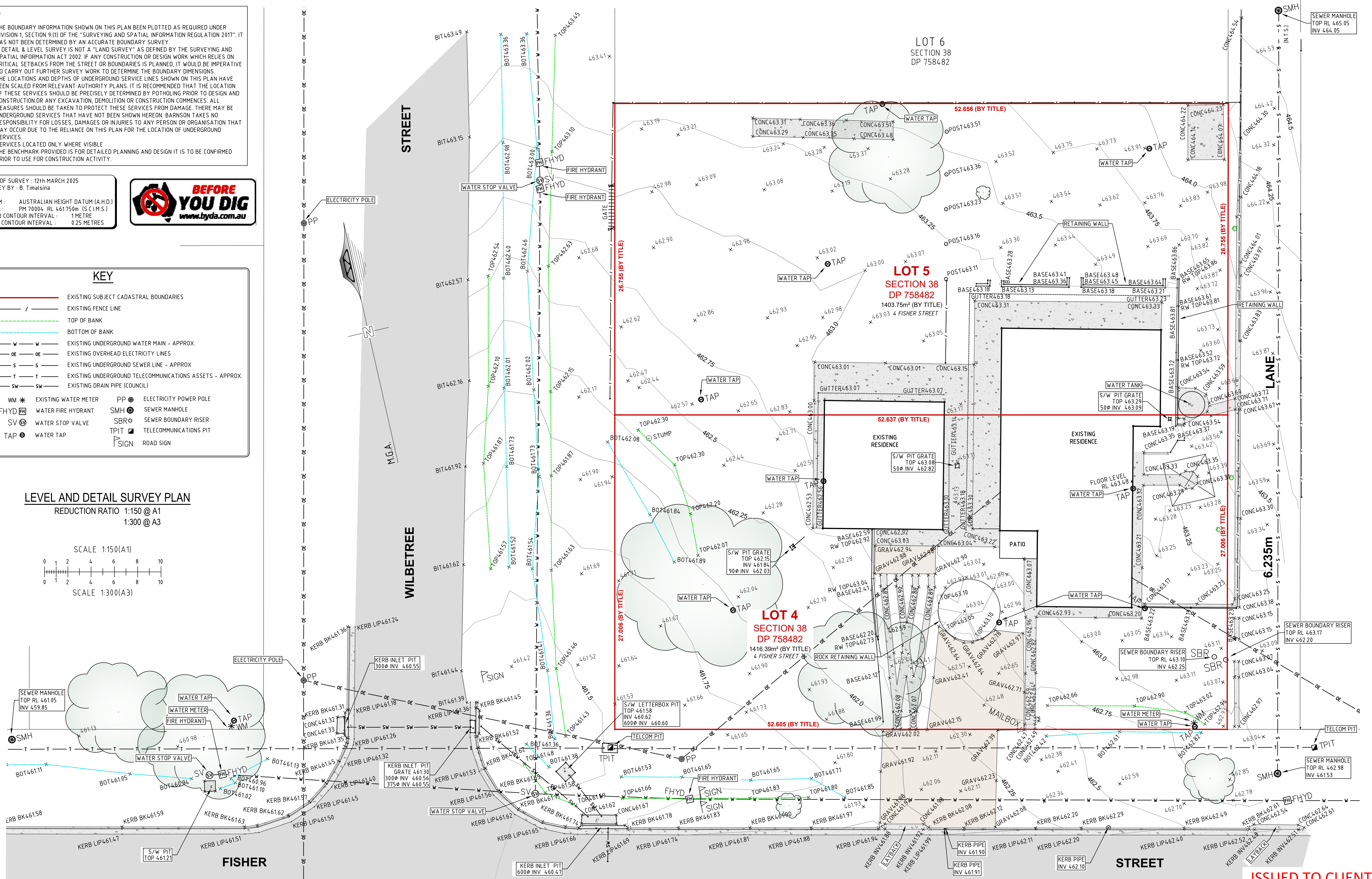
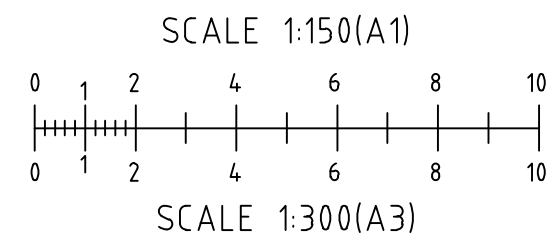


## KEY

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—	BOTTOM OF BANK
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— SW — SW —	EXISTING DRAIN PIPE (COUNCIL)
WM *	EXISTING WATER METER
FHYD	WATER FIRE HYDRANT
SV	WATER STOP VALVE
TAP	WATER TAP
PP	ELECTRICITY POWER POLE
SMH	SEWER MANHOLE
SBR	SEWER BOUNDARY RISER
TPIT	TELECOMMUNICATIONS PIT
SIGN	ROAD SIGN

## LEVEL AND DETAIL SURVEY PLAN

REDUCTION RATIO 1:150 @ A1  
1:300 @ A3



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Rev	Date	Description
A	17.03.2025	ISSUED TO CLIENT

Project  
**LEVEL AND DETAIL SURVEY OVER  
LOTS 4 & 5 SECTION 38 IN DP 758482**  
Site Address  
**4 FISHER STREET  
GULGONG 2852**  
Client  
**HELIX CONSTRUCTION GROUP**

Drawing Title  
**LEVEL AND DETAIL SURVEY PLAN**

Survey	BT
Drawn	NS
Check	RB

Original Sheet Size	A1
Revision	A

Certification

Project No	47098
Drawing No	L01



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MINOR CONTOUR INTERVAL : 0.25 METRES

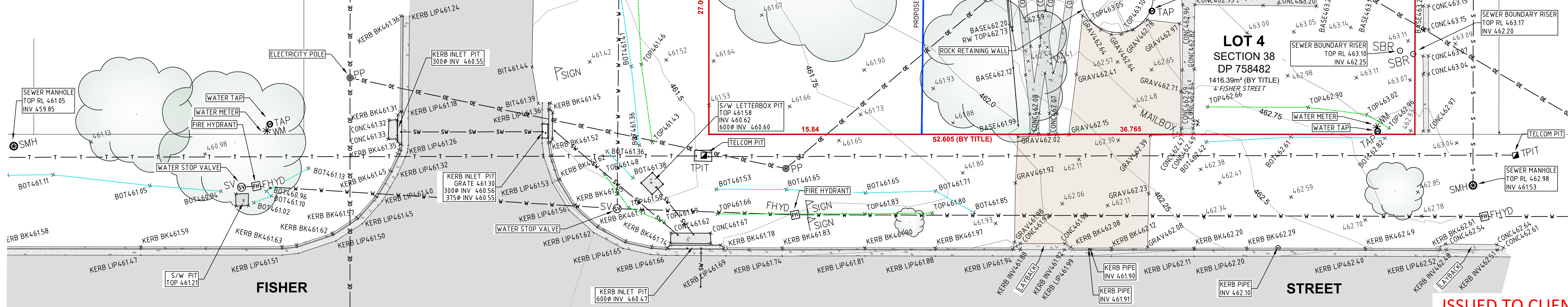
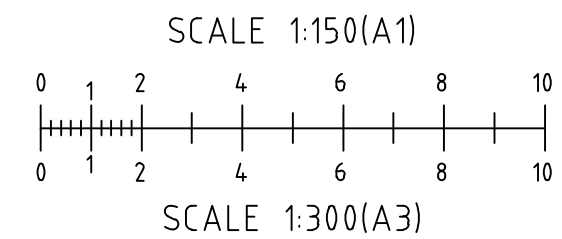


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| — / —       | BOTTOM OF BANK   |
| — W — W —   | EXISTING UNDERGROUND WATER MAIN - APPROX.                |
| — OE — OE — | EXISTING OVERHEAD ELECTRICITY LINES                      |
| — S — S —   | EXISTING UNDERGROUND SEWER LINE - APPROX.                |
| — T — T —   | EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX. |
| — SW — SW — | EXISTING DRAIN PIPE (COUNCIL)                            |
| WM *        | EXISTING WATER METER                                     |
| FHYD        | WATER FIRE HYDRANT                                       |
| SV          | WATER STOP VALVE   |
| TAP         | WATER TAP  |
| PP          | ELECTRICITY POWER POLE                                   |
| SMH         | SEWER MANHOLE  |
| SBR         | SEWER BOUNDARY RISER                                     |
| TPIT        | TELECOMMUNICATIONS PIT                                   |
| SIGN        | ROAD SIGN  |

## PROPOSED SUBDIVISION PLAN

REDUCTION RATIO 1:150 @ A1  
1:300 @ A3



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Rev	Date	Description
A	17.03.2025	ISSUED TO CLIENT
B	12.05.2025	PROPOSED LOTS AMENDED

Project  
**PROPOSED SUBDIVISION OF  
LOTS 4 & 5 SECTION 38 IN DP 758482**  
Site Address  
**4 FISHER STREET  
GULGONG 2852**  
Client  
**HELIX CONSTRUCTION GROUP**

Drawing Title  
**PROPOSED SUBDIVISION PLAN**

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Drawn NS  
Check RB

Original Sheet Size A1  
Revision B

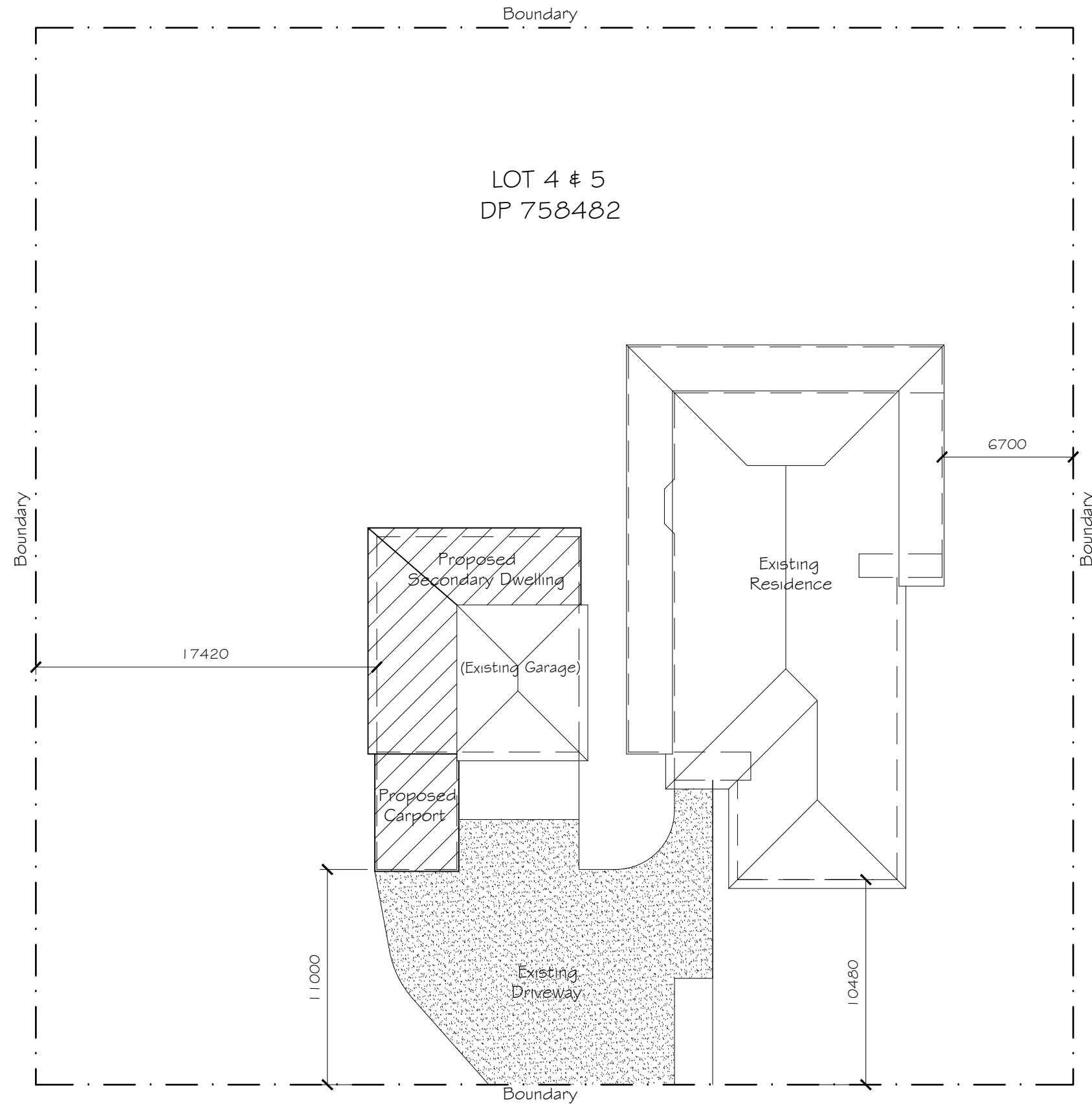
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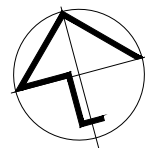


WILBETREE STREET

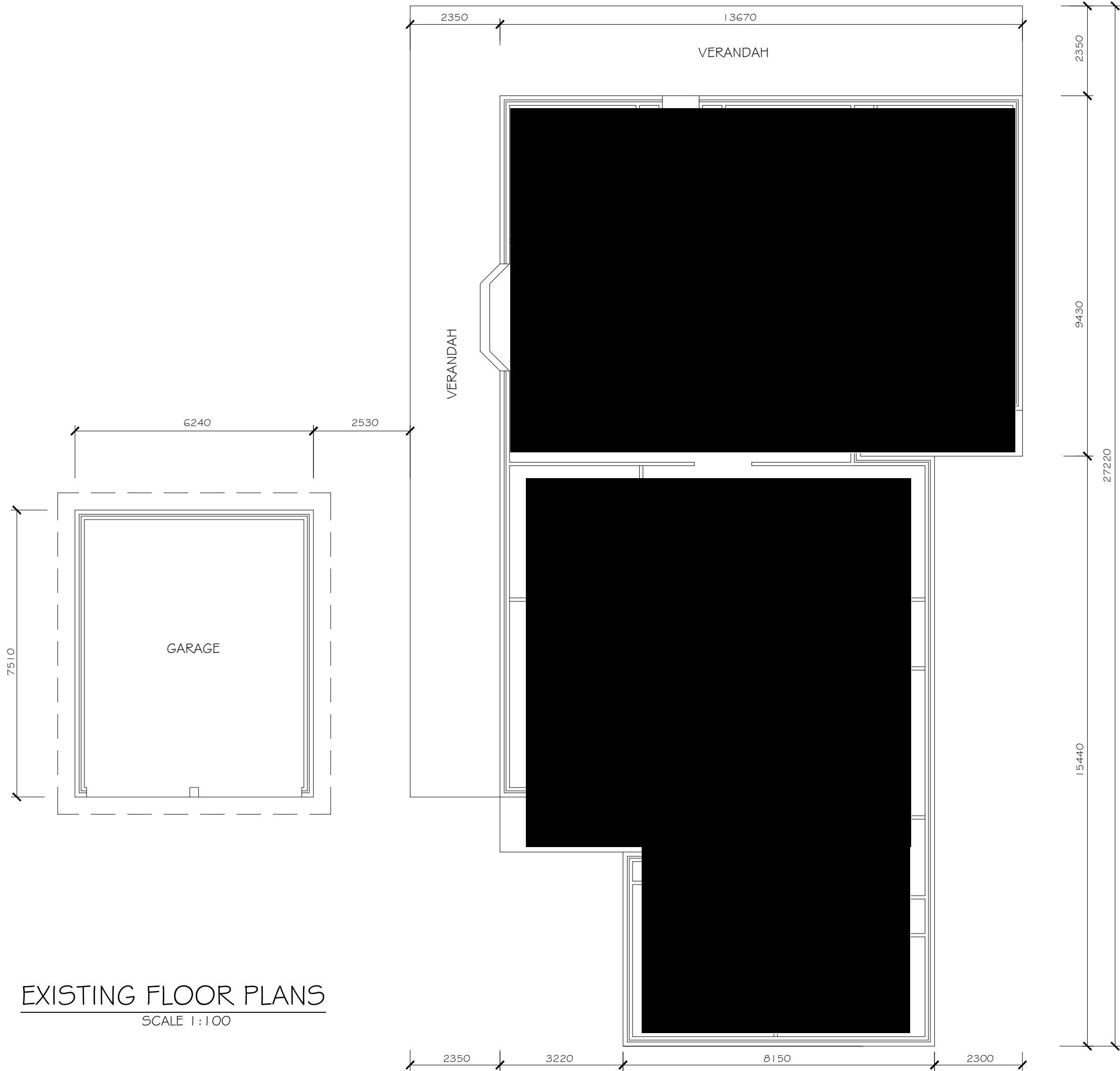


FISHER STREET

SITE PLAN  
SCALE 1:250



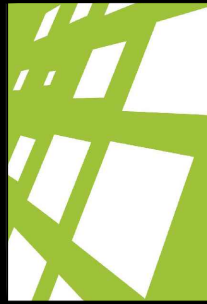
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REV	DATE	BY	DESCRIPTION
<div><div></div><div><div>Giselle Denley</div><div>Drafting Services</div><div><div>giselle.denley@bigpond.com</div><div>0417 688 326</div><div>53 Hill Sixty Drive</div><div>Mudgee NSW 2850</div></div></div></div>			
CLIENT: BRODIE MCGANN			
TITLE: PROPOSED SECONDARY DWELLING 4 FISHER STREET GULGONG			
SCALE: 1:250	FILE: 3910-A01	DWG No.	REV.
DRAWN: G.D.	DATE: NOV 2024	3910-A01	A
CKD: B.M.	DATE: NOV 2024		




EXISTING FLOOR PLANS  
SCALE 1:100

Floor Areas	
Existing Residence	= 277.40 m2
Ex. Verandahs & Porch	= 91.50 m2
Existing Garage	= 46.90 m2
Existing Total	= 415.80 m2

A	NOV 2024	G.D.	ISSUED FOR APPROVAL
REV	DATE	BY	DESCRIPTION





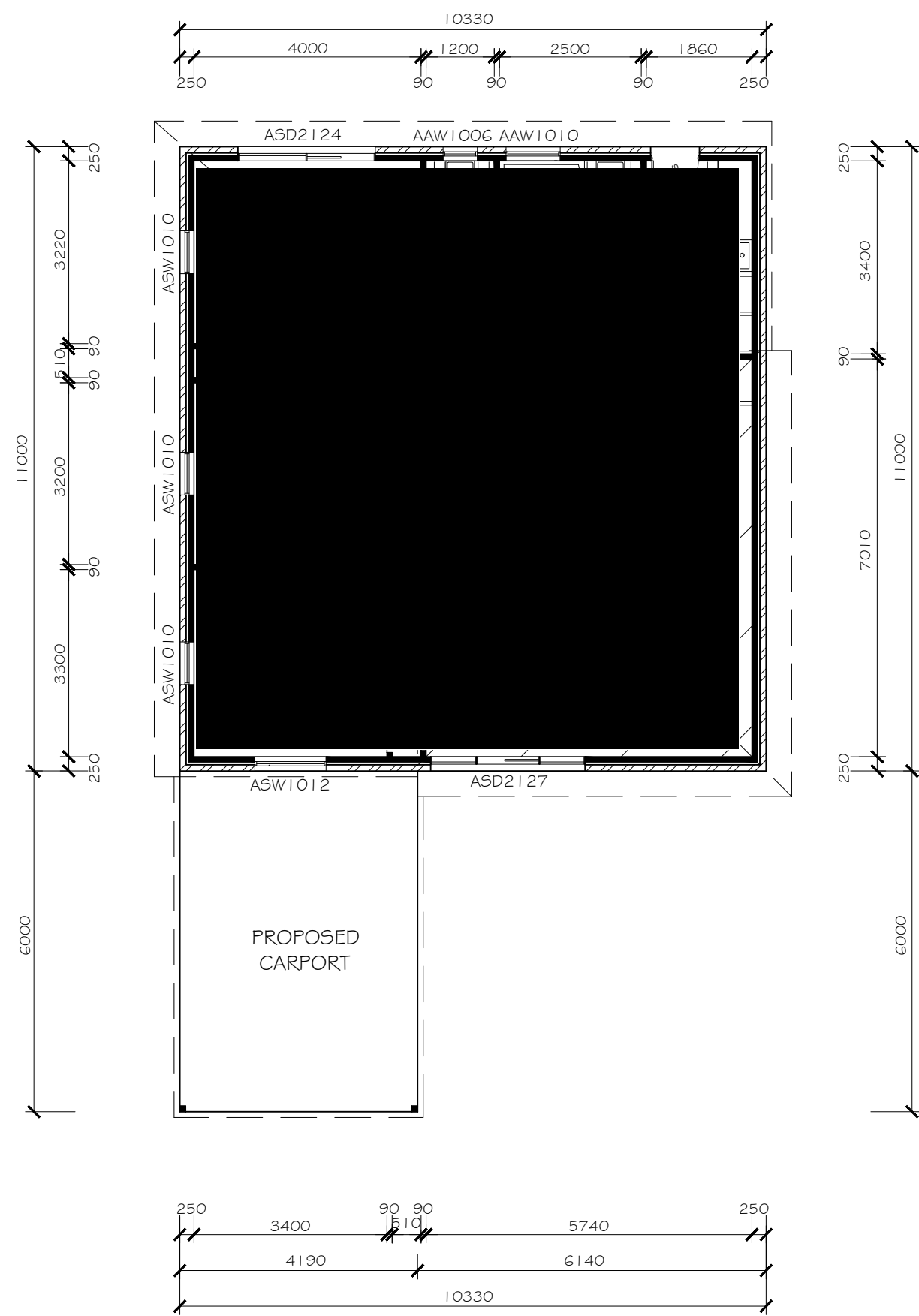
**Giselle Denley**  
Drafting Services  
giselle.denley@bigpond.com  
0417 688 326  
53 Hill Sixty Drive  
Mudgee NSW 2850

CLIENT:  
BRODIE MCGANN

TITLE:  
PROPOSED SECONDARY DWELLING  
4 FISHER STREET GULGONG

SCALE: 1:100	FILE: 3910-A01	DWG No.	REV.
DRAWN: G.D.	DATE: NOV 2024	3910-A02	A
CKD: B.M.	DATE: NOV 2024		





SECONDARY DWELLING  
FLOOR PLAN  
SCALE 1:100

Floor Areas	
Proposed Secondary Dwelling	= 113.63 m2
Proposed Carport	= 36.00 m2
New Total	= 149.63 m2

BASIX Notes

Water

2,000L Rain Water Tank Connected to:

- At least one outdoor tap in the development

Rain Water Tank to collect water from at least 130m2 of roof area of the development

Fixtures:

Shower heads - Minimum 4 Star Rating

Toilet - Minimum 4 Star Rating

Kitchen Taps - Minimum 5 Star Rating

Bathroom Taps - Minimum 5 Star Rating

Thermal Comfort

See section drawing for Thermal Comfort Commitments

Energy

HW - Gas Instantaneous (rated 5.5 star)

Cooling System - Living Area - Air Conditioning - non ducted (1 Phase - Rating 5 Star)

-Bedroom - Air Conditioning - non ducted (1 Phase - Rating 5 Star)

Heating System - Living Area - Air Conditioning - non ducted (1 Phase - Rating 5 Star)

-Bedroom - Air Conditioning - non ducted (1 Phase - Rating 5 Star)

Ventilation Systems:

1 Bathroom - Individual Fan - not ducted (Manual Switch On/Off)

Kitchen - Individual Fan - ducted to facade or roof (Manual Switch On/Off)

Laundry - Natural ventilation only

Other:

- Gas Cooktop & Electric Oven

A fixed outdoor clothes drying line must be installed as part of the development.

A	NOV 2024	G.D.	ISSUED FOR APPROVAL
REV	DATE	BY	DESCRIPTION

Giselle Denley

Drafting Services

giselle.denley@bigpond.com

0417 688 326

53 Hill Sixty Drive

Mudgee NSW 2850

CLIENT:

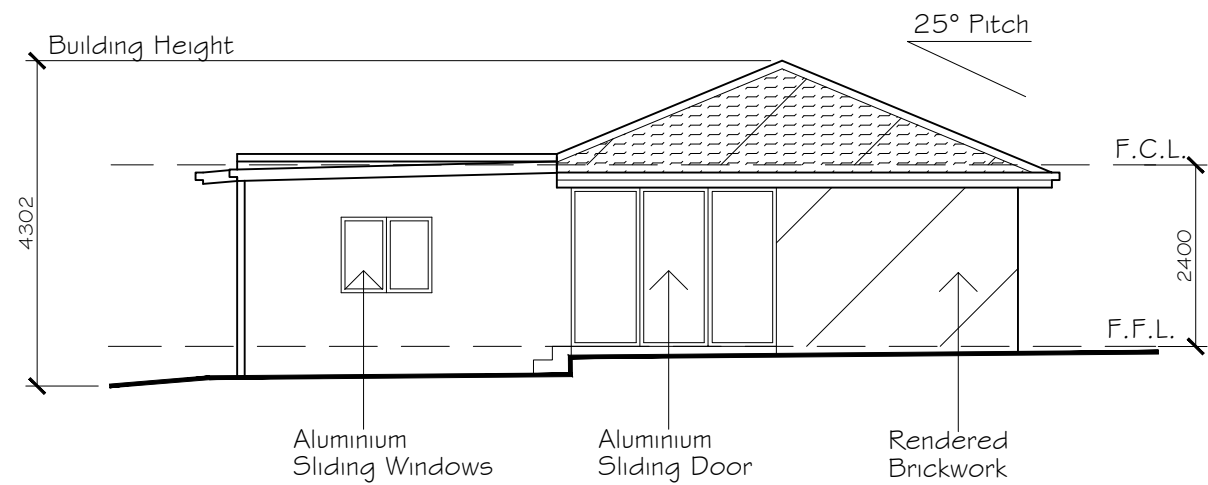
BRODIE MCGANN

TITLE:

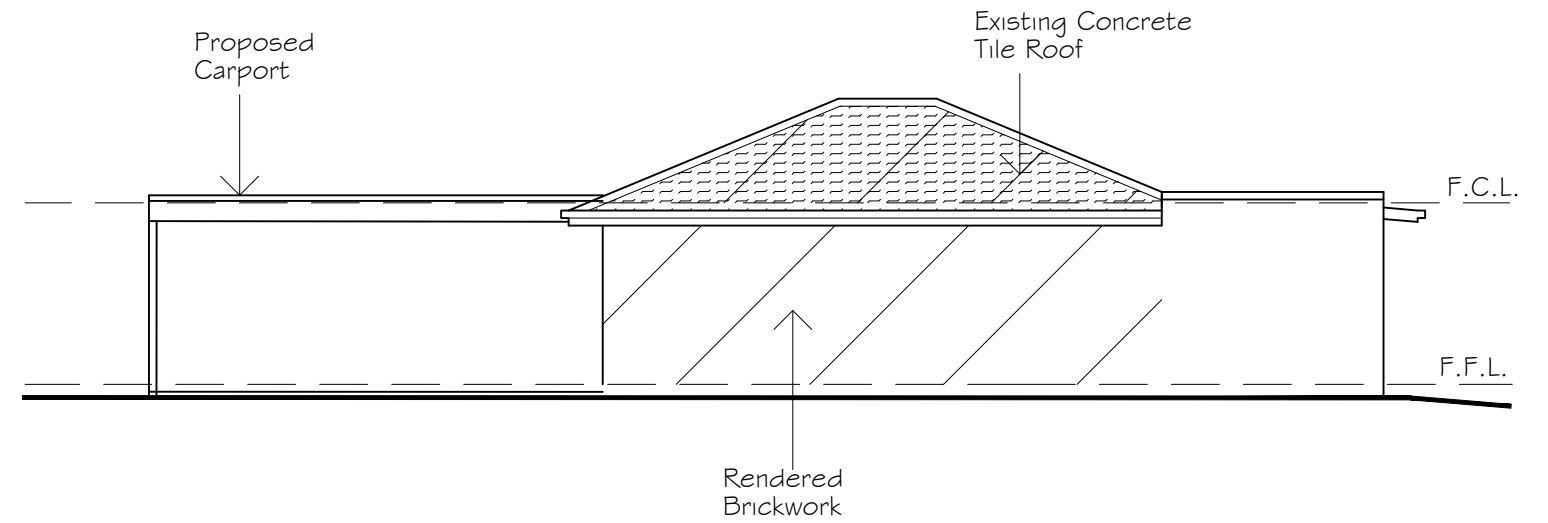
PROPOSED SECONDARY DWELLING

4 FISHER STREET GULGONG

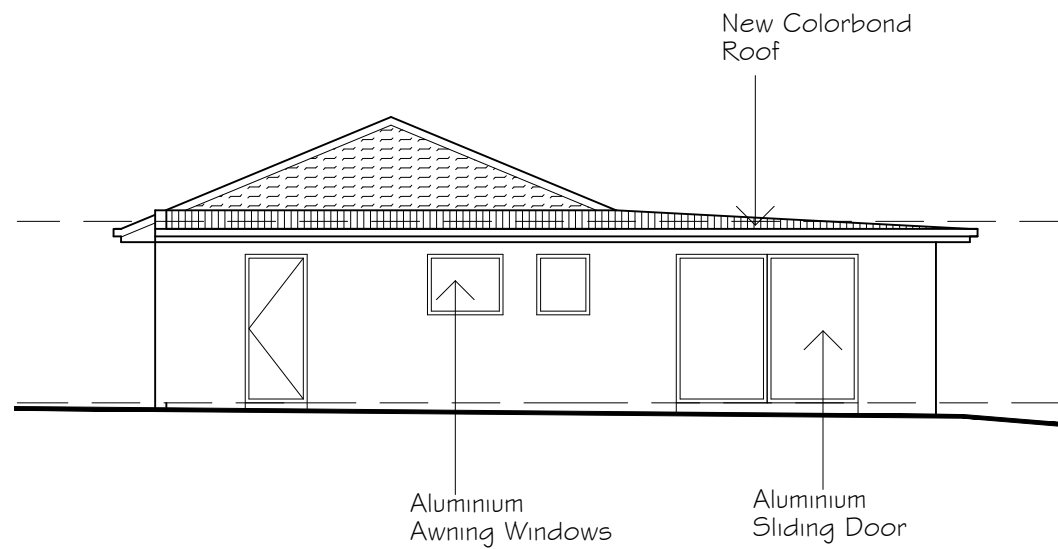
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CKD: B.M.	DATE: NOV 2024		



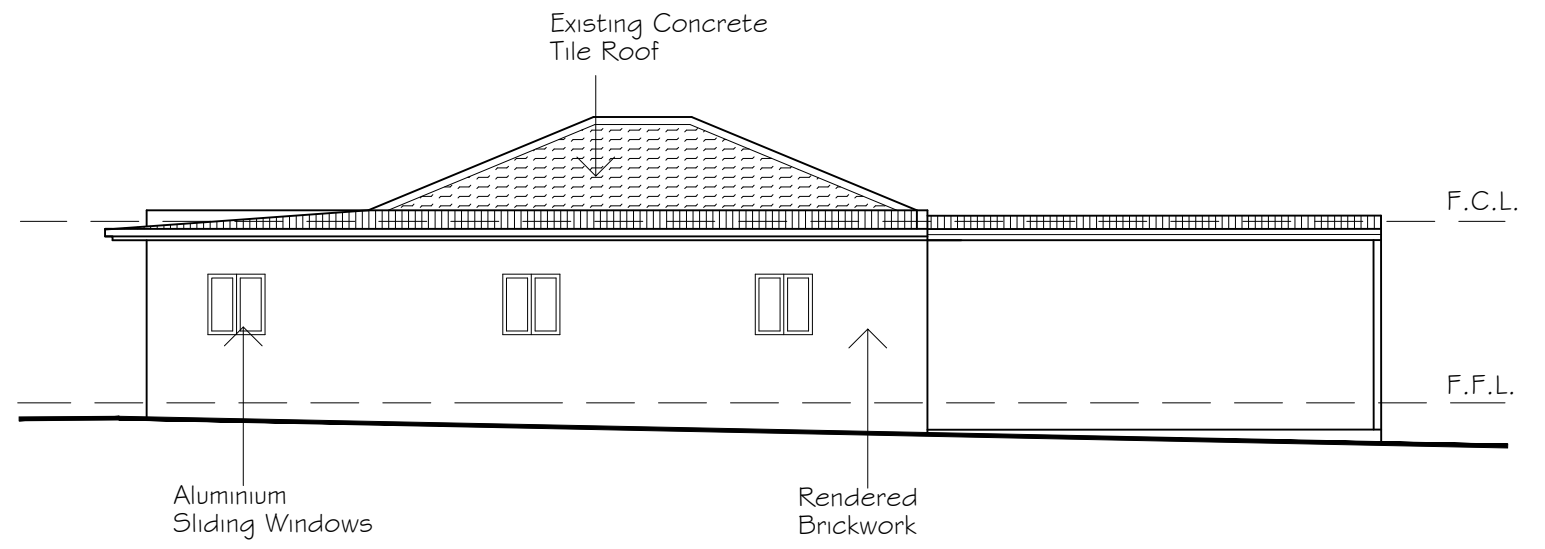
**SOUTH ELEVATION**  
SCALE 1:100



**EAST ELEVATION**  
SCALE 1:100

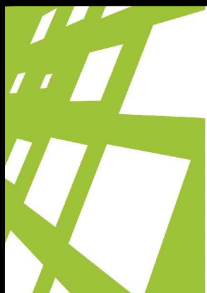



**NORTH ELEVATION**  
SCALE 1:100



**WEST ELEVATION**  
SCALE 1:100

REV	DATE	BY	DESCRIPTION
A	NOV 2024	G.D.	ISSUED FOR APPROVAL





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TITLE: PROPOSED SECONDARY DWELLING 4 FISHER STREET GULGONG			
SCALE: 1:100	FILE: 3910-A01	DWG No.	REV.
DRAWN: G.D.	DATE: NOV 2024	3910-A04	A
CKD: B.M.	DATE: NOV 2024		



Civil Design Documentation

Proposed Subdivision

Lots 4 & 5 Section 38 in DP 758482

4 Fisher Street, Gulgong, NSW, 2852

SCHEDULE OF DRAWINGS

SHEET No.	DESCRIPTION
47098-C00	COVER SHEET AND DRAWING SCHEDULE
47098-C01	EXISTING SITE PLAN
47098-C02	PROPOSED SITE PLAN
47098-C10	PROPOSED STORMWATER MANAGEMENT PLAN
47098-C11	STORMWATER SPECIFICATION
47098-C20	PROPOSED SEWER RETICULATION PLAN
47098-C21	SEWER RETICULATION LONG SECTION & NOTES AND DETAILS
47098-C30	PROPOSED WATER RETICULATION PLAN
47098-C31	WATER RETICULATION NOTES AND DETAILS



LOCALITY PLAN

NOT TO REDUCTION RATIO

SUBMISSION FOR DA

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D	4/04/2025	ISSUED FOR DA SUBMISSION
E	20/05/2025	BOUNDARIES AMENDED

Project

PROPOSED SUBDIVISION

Site Address

Lots 4 & 5 Section 38 in DP 758482

4 FISHER STREET, GULGONG, NSW, 2852

Client

HELIX CONSTRUCTION GROUP

Drawing Title

COVER SHEET & DRAWING SCHEDULE

Design	AR	Original Sheet Size	A1
Drawn	AR		
Check	DOS	Revision	E

Certification

Project No

Drawing No

47098

C00



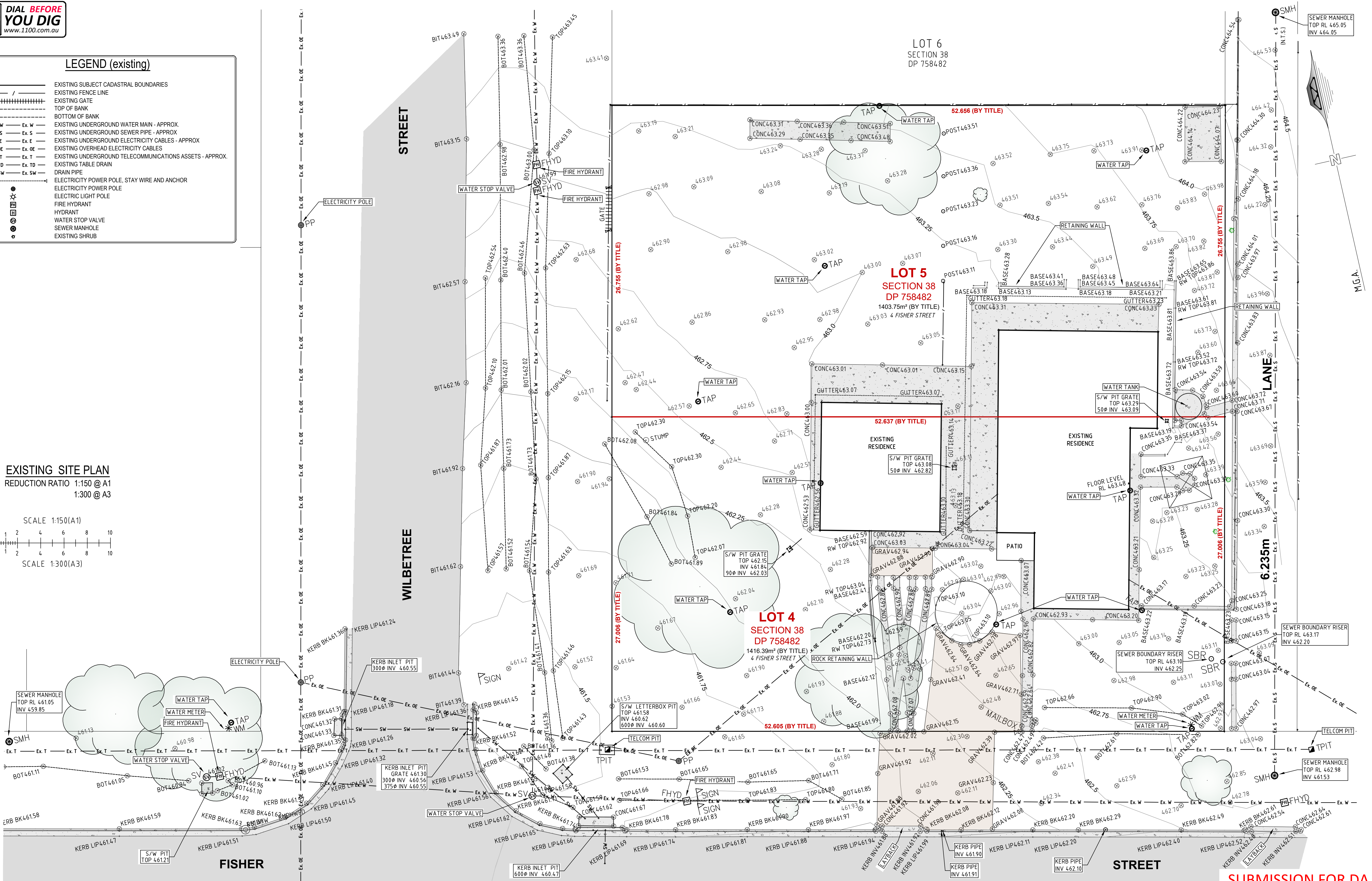
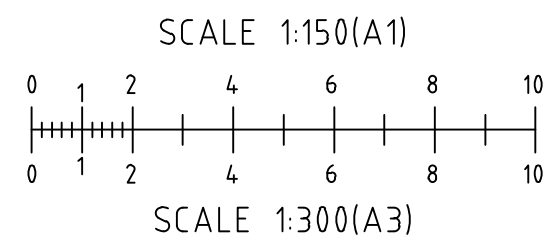


### LEGEND (existing)

---	EXISTING SUBJECT CADASTRAL BOUNDARIES
----	EXISTING FENCE LINE
=====	EXISTING GATE
-----	TOP OF BANK
-----	BOTTOM OF BANK
Ex. W	EXISTING UNDERGROUND WATER MAIN - APPROX.
Ex. S	EXISTING UNDERGROUND SEWER PIPE - APPROX.
Ex. E	EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX.
Ex. OE	EXISTING OVERHEAD ELECTRICITY CABLES
Ex. T	EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
Ex. TD	EXISTING TABLE DRAIN
Ex. SW	DRAIN PIPE
●	ELECTRICITY POWER POLE, STAY WIRE AND ANCHOR
○	ELECTRICITY POWER POLE
○	ELECTRIC LIGHT POLE
○	FIRE HYDRANT
○	HYDRANT
○	WATER STOP VALVE
○	SEWER MANHOLE
○	EXISTING SHRUB

### EXISTING SITE PLAN

REDUCTION RATIO 1:150 @ A1  
1:300 @ A3



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### PROPOSED SUBDIVISION

Site Address  
Lots 4 & 5 Section 38 in DP 758482  
4 FISHER STREET, GULGONG, NSW, 2852  
Client  
HELIX CONSTRUCTION GROUP

### EXISTING SITE PLAN

Design AR  
Drawn AR  
Check DOS

Original Sheet Size A1  
Revision E

Certification  
Project No 47098  
Drawing No C01





### LEGEND (proposed)

- PROPOSED WATER MAIN
- PROPOSED WATER METER
- PROPOSED UNDERGROUND SEWER MAIN
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER BOUNDARY RISER
- PROPOSED UNDERGROUND STORMWATER PIPE
- PROPOSED GRATED STORMWATER PIT

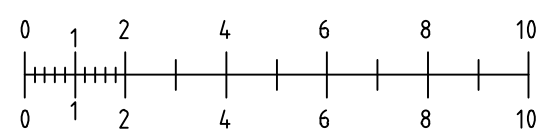
### LEGEND (existing)

- EXISTING SUBJECT CADASTRAL BOUNDARIES
- EXISTING FENCE LINE
- EXISTING GATE
- TOP OF BANK
- BOTTOM OF BANK
- EXISTING UNDERGROUND WATER MAIN - APPROX.
- EXISTING UNDERGROUND SEWER PIPE - APPROX.
- EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX.
- EXISTING OVERHEAD ELECTRICITY CABLES
- EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
- EXISTING TABLE DRAIN
- DRAIN PIPE
- ELECTRICITY POWER POLE, STAY WIRE AND ANCHOR
- ELECTRICITY POWER POLE
- ELECTRIC LIGHT POLE
- FIRE HYDRANT
- HYDRANT
- WATER STOP VALVE
- SEWER MANHOLE
- EXISTING SHRUB

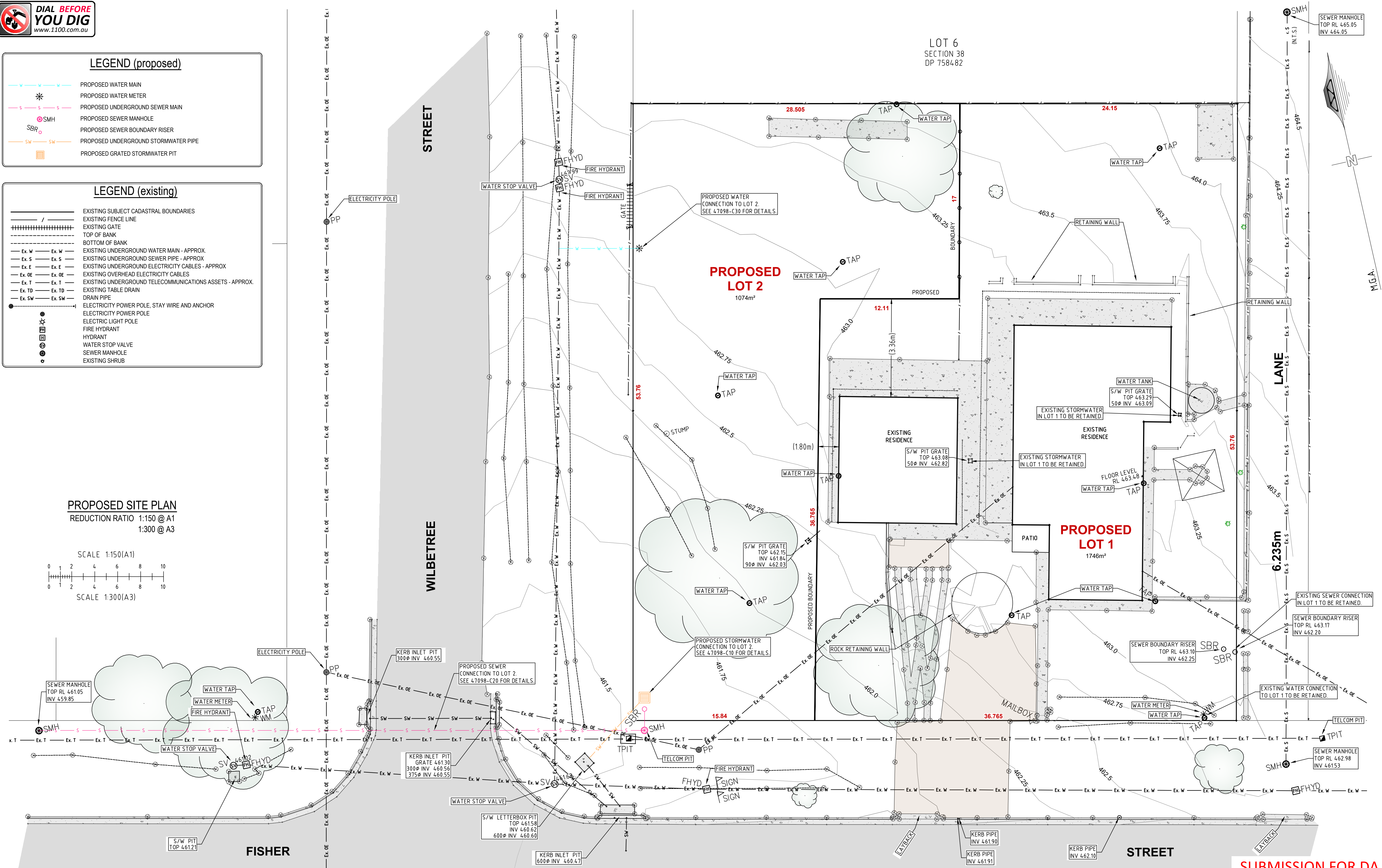
### PROPOSED SITE PLAN

REDUCTION RATIO 1:150 @ A1  
1:300 @ A3

SCALE 1:150(A1)



SCALE 1:300(A3)



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### PROPOSED SUBDIVISION

Site Address  
Lots 4 & 5 Section 38 in DP 758482  
4 FISHER STREET, GULGONG, NSW, 2852  
Client  
HELIUS CONSTRUCTION GROUP

### PROPOSED SITE PLAN

Design AR  
Drawn AR  
Check DOS

Original Sheet Size  
Revision

A1  
E

Certification  
Project No  
Drawing No

47098  
C02





### LEGEND (proposed)

- PROPOSED WATER MAIN
- PROPOSED UNDERGROUND SEWER MAIN
- PROPOSED UNDERGROUND STORMWATER PIPE
- PROPOSED GRATED STORMWATER PIT
- PROPOSED SURFACE FALL DIRECTION

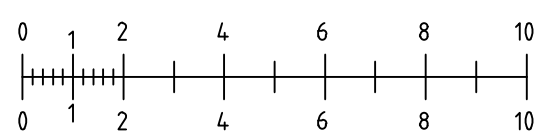
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- EXISTING FENCE LINE
- EXISTING GATE
- TOP OF BANK
- BOTTOM OF BANK
- EXISTING UNDERGROUND WATER MAIN - APPROX.
- EXISTING UNDERGROUND SEWER PIPE - APPROX
- EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX
- EXISTING OVERHEAD ELECTRICITY CABLES
- EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
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- DRAIN PIPE
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- FIRE HYDRANT
- HYDRANT
- WATER STOP VALVE
- SEWER MANHOLE
- EXISTING SHRUB

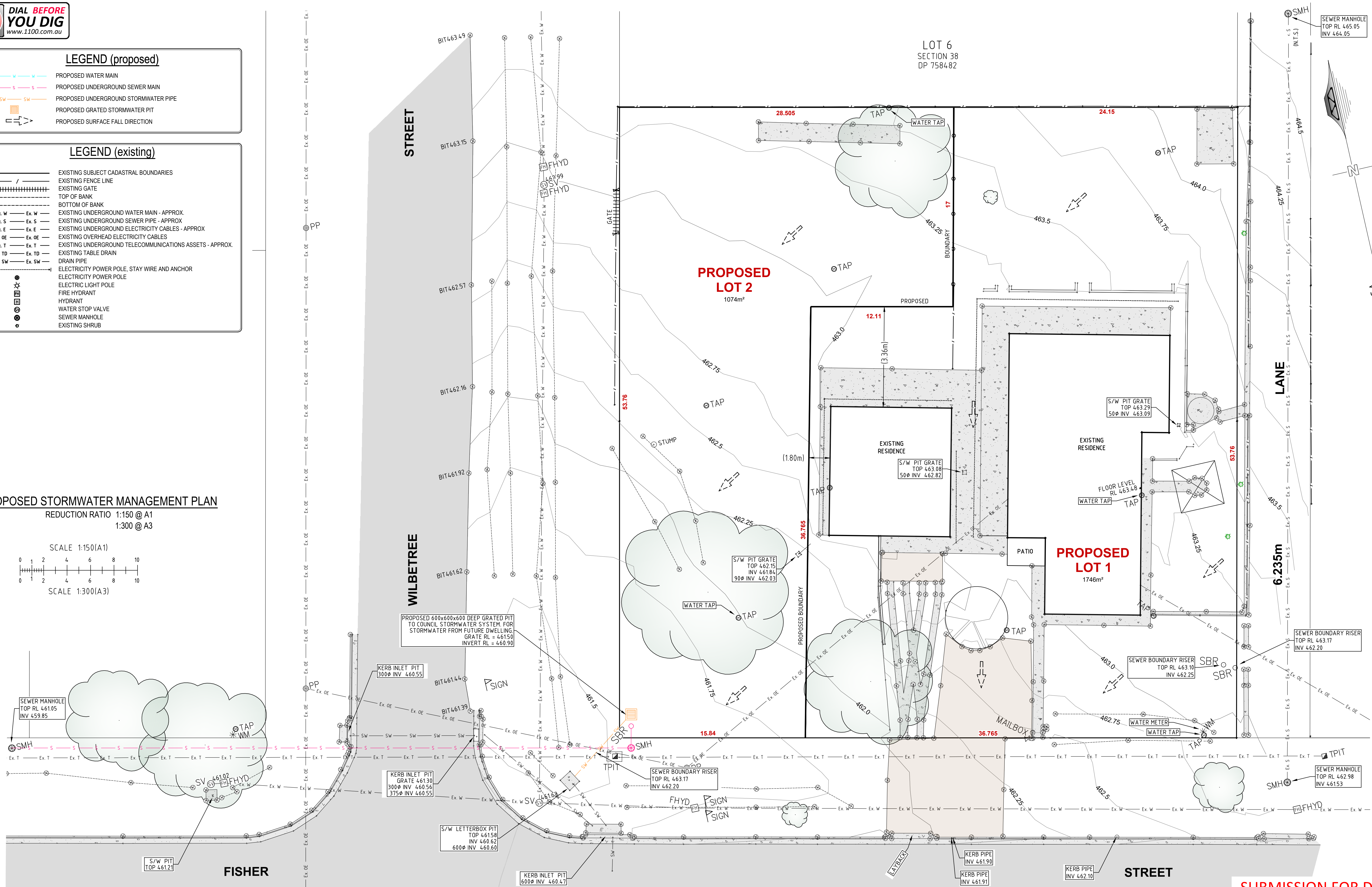
### PROPOSED STORMWATER MANAGEMENT PLAN

REDUCTION RATIO 1:150 @ A1  
1:300 @ A3

SCALE 1:150(A1)



SCALE 1:300(A3)



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### PROPOSED SUBDIVISION

Site Address  
Lots 4 & 5 Section 38 in DP 758482  
4 FISHER STREET, GULGONG, NSW, 2852  
Client  
HELIUS CONSTRUCTION GROUP

### PROPOSED STORMWATER MANAGEMENT PLAN

Design AR  
Drawn AR  
Check DOS

Original Sheet Size A1  
Revision E

Certification  
Project No  
Drawing No

47098  
C10



SITEWORKS NOTES

1. ORIGIN OF LEVELS :- AHD
2. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK.
3. ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS, THE SPECIFICATIONS AND THE DIRECTIONS OF THE SUPERINTENDENT.
4. EXISTING SERVICES HAVE BEEN OBTAINED FROM SURFACE INSPECTION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
5. WHERE NEW WORKS ABUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED.
6. THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A QUALIFIED SURVEYOR.
7. CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOM OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.
8. ON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS.
9. MAKE SMOOTH TRANSITION TO EXISTING AREAS.
10. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY DIVERSION DRAINS AND MOUNDS TO ENSURE THAT AT ALL TIMES EXPOSED SURFACES ARE FREE DRAINING AND WHERE NECESSARY EXCAVATE SUMPS AND PROVIDE PUMPING EQUIPMENT TO DRAIN EXPOSED AREAS. ALL WORK TO BE UNDERTAKEN WITH ADHERENCE TO THE REQUIREMENTS OF THE SOIL AND WATER MANAGEMENT PLAN.
11. THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATIONS.

SURVEY NOTES

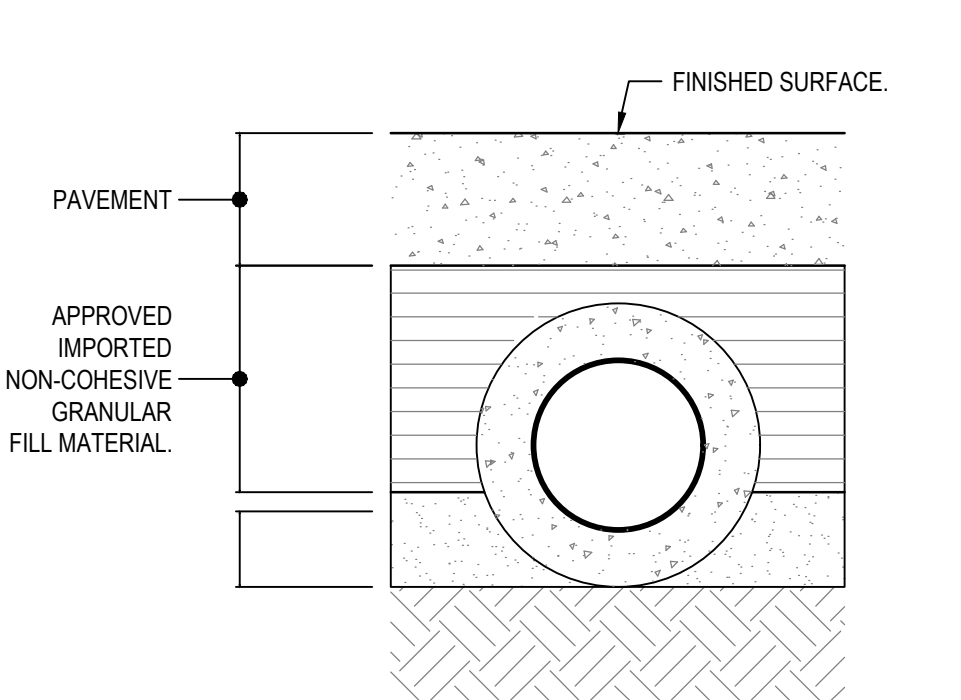
1. CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT.
2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE AND ARE INDICATIVE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH.

PIPE TRENCH - FILL NOTES:

1. **BEDDING SAND**  
BEDDING SAND SHALL BE GRANULAR MATERIAL HAVING A LOW PERMEABILITY AND HIGH STABILITY WHEN SATURATED, CONFORMING TO THE GRADING LIMITS FOR BEDDING SAND AS INDICATED IN THE CONTRACT DOCUMENTS. BEDDING SAND SHALL BE COMPACTED TO A DENSITY INDEX OF 95% AS DETERMINED IN ACCORDANCE WITH AS1289.
2. **APPROVED IMPORTED GRANULAR FILL**  
ONLY IMPORTED GRANULAR FILL MATERIAL APPROVED BY THE SUPERINTENDENT SHALL BE USED. THIS FILL MATERIAL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 300mm THICK TO A DRY DENSITY OF 100% OF THE STANDARD MAXIMUM DRY DENSITY OF THE MATERIAL AND WITH A MOISTURE CONTENT NO MORE THAN 1% ABOVE OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH AS1289.
3. **ORDINARY EXCAVATED FILL MATERIAL**  
ORDINARY EXCAVATED FILL MATERIAL IS EXCAVATED TRENCH MATERIAL THAT IS FREE OF VEGETABLE MATTER, HUMUS, LARGE CLAY LUMPS AND ROCK BOULDERS. THIS FILL MATERIAL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 300mm THICK, TO A DENSITY OF 95% OF THE STANDARD MAXIMUM DRY DENSITY OF THE MATERIAL WITH A MOISTURE CONTENT OF NOT MORE THAN 1% ABOVE THE OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH AS1289.

STORMWATER NOTES

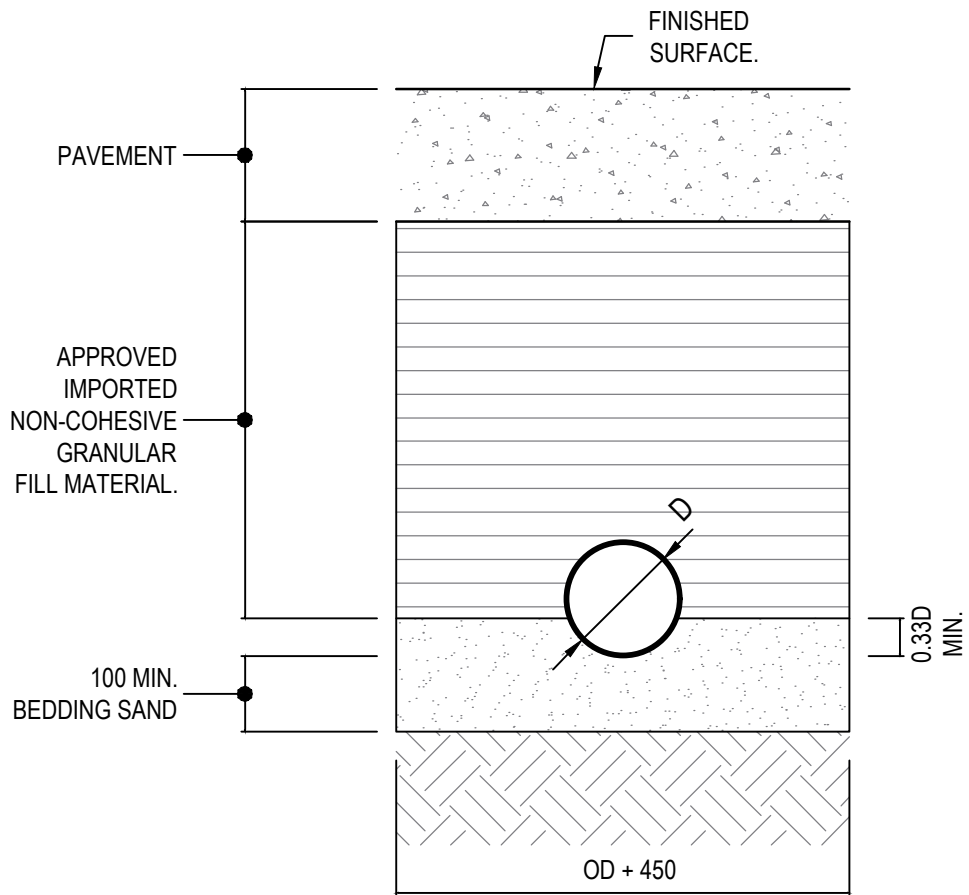
1. ALL DOWNPIPE LINES SHALL BE SEWER GRADE uPVC WITH SOLVENT WELD JOINTS (U.N.O)
2. EQUIVALENT STRENGTH VCP OR FCP PIPES MAY BE USED.
3. MINIMUM GRADE TO STORMWATER LINES TO BE 0.5% MINIMUM (U.N.O)
4. CONTRACTORS TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.
5. ALL CONNECTIONS TO EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN-LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH.
6. APPROVED PRECAST PITS MAY BE USED.
7. WHERE TRENCHES ARE IN ROCK, THE PIPE SHALL BE BEDDED ON A MIN. 50mm CONCRETE BED (75mm THICK BED OF 12mm BLUE METAL) UNDER THE BARREL OF THE PIPE. THE PIPE COLLAR AT NO POINT SHALL BEAR THE ROCK. IN OTHER THAN ROCK, PIPES SHALL BE LAID ON A 75mm THICK SAND BED. IN ALL CASES, BACKFILL THE TRENCH WITH THE SAND TO 200mm ABOVE THE PIPE. WHERE THE PIPE IS UNDER PAVEMENTS, BACKFILL REMAINDER OF TRENCH WITH SAND OR APPROVED GRANULAR BACKFILL COMPACTED IN 150mm LAYERS TO 98% MAX. DRY DENSITY.
8. WHERE STORMWATER LINES PASS UNDER FLOOR SLABS, SEWER GRADE RUBBER RING JOINTS ARE TO BE USED.
9. ALL PIPES IN THE ROADWAY AND FOOTPATH AREAS, WHERE THE DEPTH OF PIPE IS LESS THAN 500mm FROM THE FINISHED SURFACE LEVEL ARE TO BE CONCRETE ENCASED.



TYPICAL PIPE ENCASEMENT

SCALE 1:10

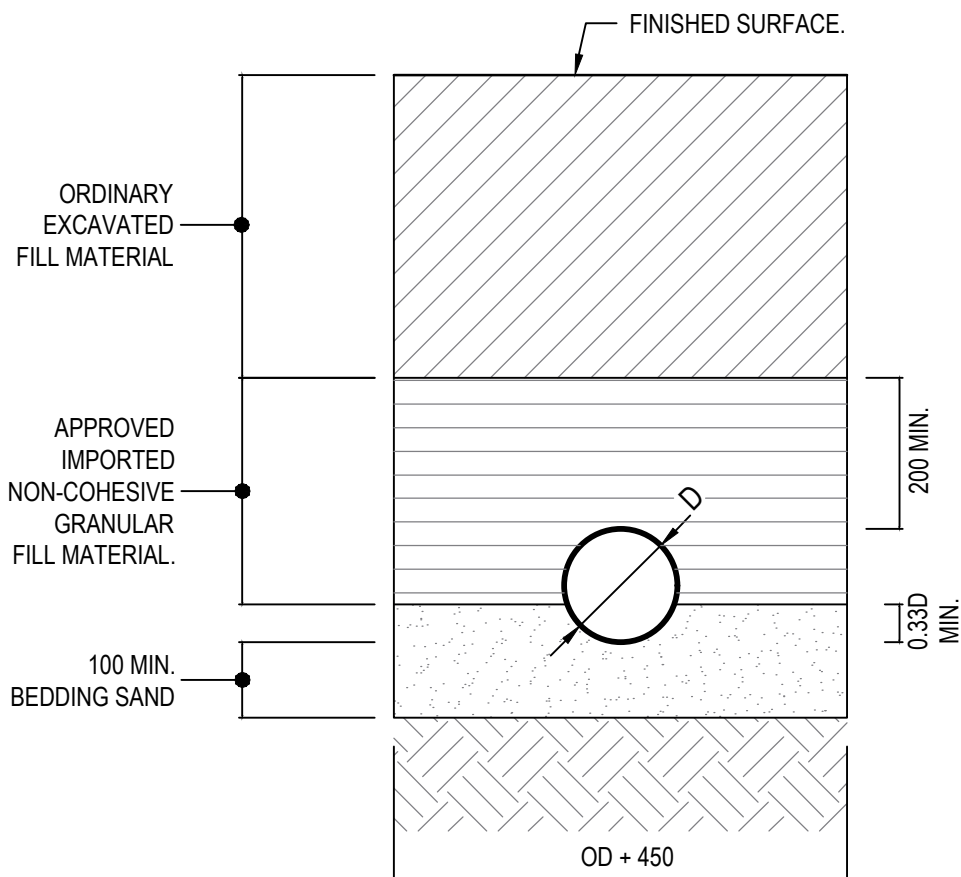
NOTE: PIPE COLLAR IS NOT TO REST ON ORIGINAL MATERIAL



TYPICAL SECTION TRENCH IN ROADWAY

SCALE 1:10

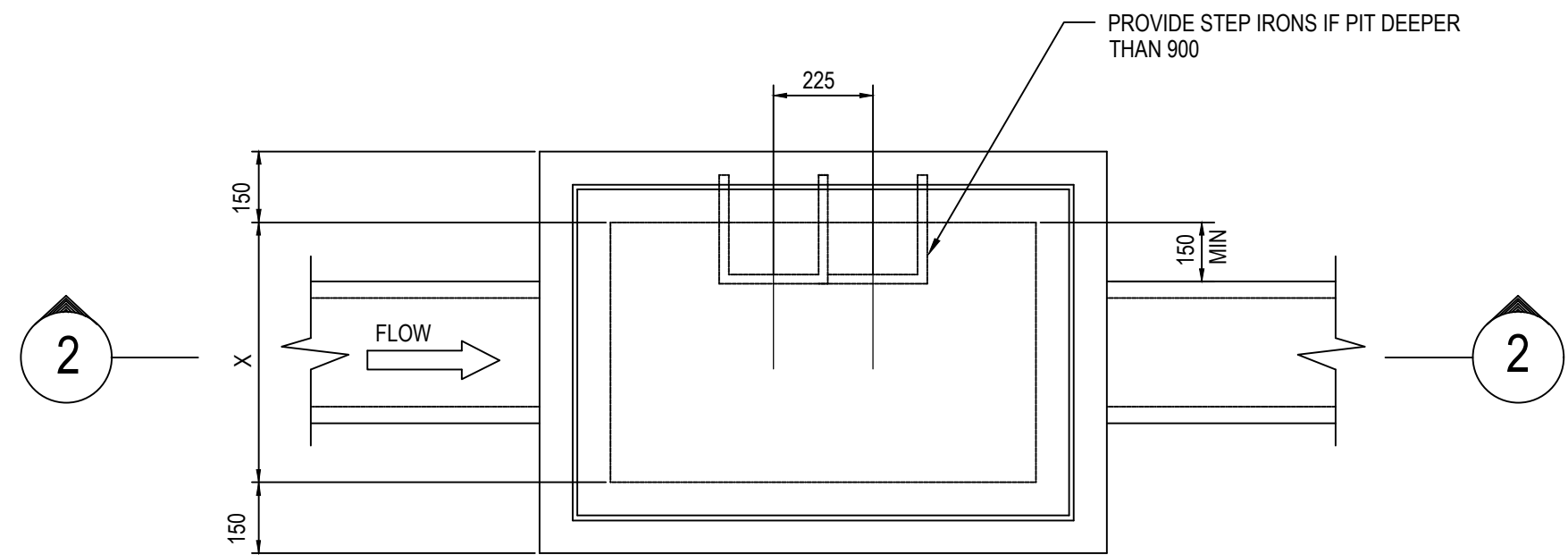
NOTE: PIPE COLLAR IS NOT TO REST ON ORIGINAL MATERIAL



TYPICAL SECTION EARTH FOUNDATION TRENCH

SCALE 1:10

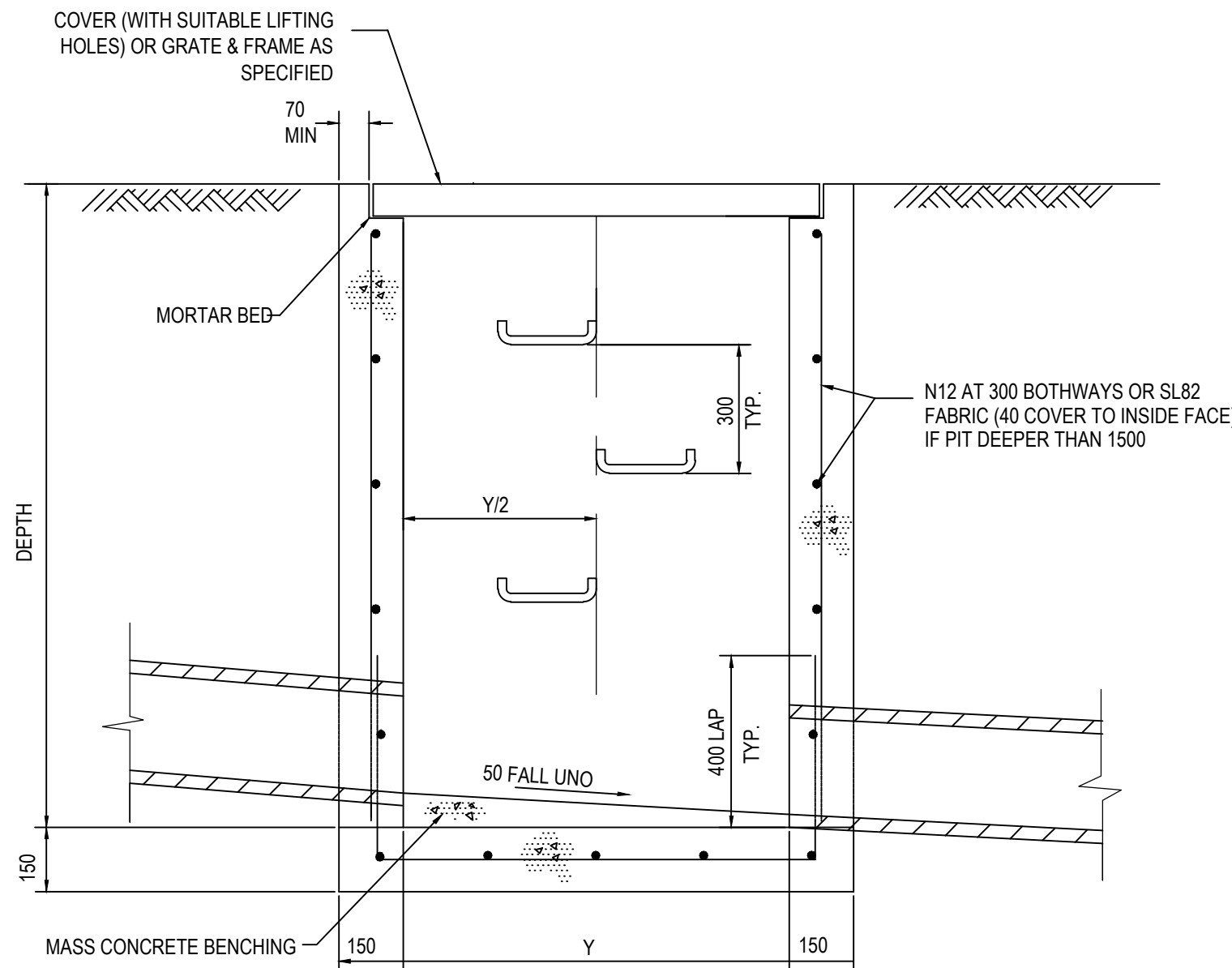
NOTE: PIPE COLLAR IS NOT TO REST ON ORIGINAL MATERIAL



PLAN

GRATED INLET PIT

N.T.S.



SECTION

2

SUBMISSION FOR DA

BARNSON PTY LTD

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email [generalenquiry@barnson.com.au](mailto:generalenquiry@barnson.com.au)  
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Project  
**PROPOSED SUBDIVISION**

Site Address  
Lots 4 & 5 Section 38 in DP 758482  
4 FISHER STREET, GULGONG, NSW, 2852  
Client  
HELIX CONSTRUCTION GROUP

Drawing Title  
**STORMWATER SPECIFICATION**

Design	AR	Original Sheet Size	A1
Drawn	AR		
Check	DOS	Revision	E

Certification

Project No  
Drawing No

47098  
**C11**







SEWER NOTES:

- ALL WORK TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS AND ALL COSTS INCLUDING COUNCIL FEES AND CHARGES AT THE CONTRACTORS EXPENSE.
- CONTRACTOR TO CONFIRM LOCATION OF ALL EXISTING SERVICE LINES INCLUDING WATER MAINS, TELSTRA CABLES AND COUNTRY ENERGY CABLES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE SEWER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
- SEWER MAINS SHALL BE UPVC CLASS SN8 TO AS1260 UNO. MAINS TO BE RRJ TO AS1646.
- DUCTILE IRON PIPE (TYTON EXTREME OR EQUIVALENT), CONFORMING WITH AS2280 SHALL BE USED UNDER ROADS WHERE THERE IS LESS THAN 1.2M COVER FROM CONSTRUCTION TRAFFIC.
- SEWER MAINS SHALL BE LAID TRUE TO GRADE AND ALIGNMENT.
- WATER STOPS/BULK HEADS SHALL BE PROVIDED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
- ALL PIPES SHALL BE TESTED BY THE RELEVANT TESTING AUTHORITY AT THE PLACE OF MANUFACTURE.
- ALL MAINS ARE TO BE TESTED IN ACCORDANCE WITH COUNCIL STANDARD PROCEDURES PRIOR TO ACCEPTANCE OF THE WORKS INTO MAINTENANCE. ALL COSTS ASSOCIATED WITH TESTING INCLUDING COUNCIL FEES AND CHARGES AT THE CONTRACTORS EXPENSE.
- MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
- MANHOLES SHALL BE FINISHED WITH A SMOOTH RENDERED FINISH INTERNALLY AND BE WATERTIGHT. ALL MANHOLES SHALL BE FITTED WITH STEP IRONS IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
- WHERE MANHOLE LIDS ARE LOCATED IN BATTERS THE SURROUND SHALL BE PACKED TO PROVIDE MAXIMUM PRACTICABLE CROSSFALL IN THE PLANE OF THE BATTER FACE AND THE UPPER AND LOWER EDGES OF THE SURROUND SHALL BE EQUIDISTANT FROM THE PLANE OF THE BATTER FACE.
- U.N.O. MANHOLES LIDS SHALL BE IN ACCORDANCE WITH AS3996, AND COUNCIL REQUIREMENTS.

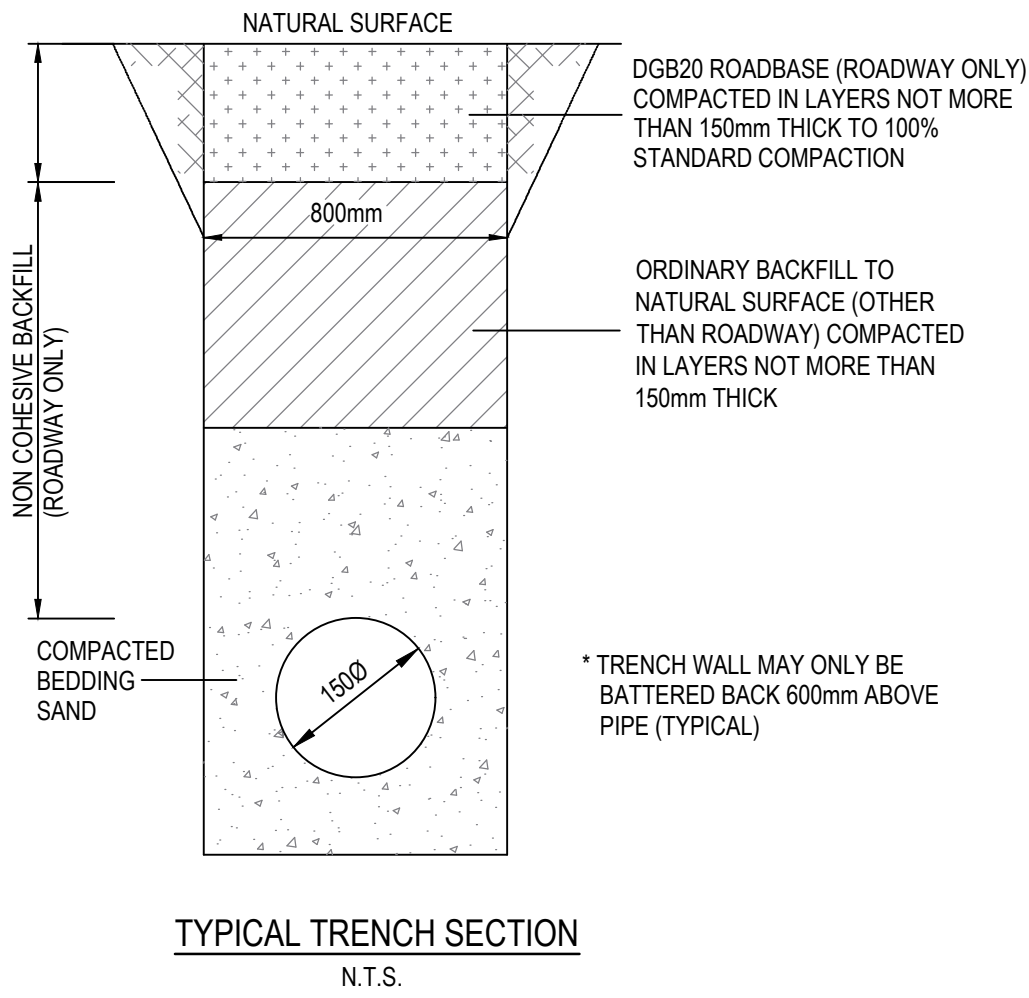
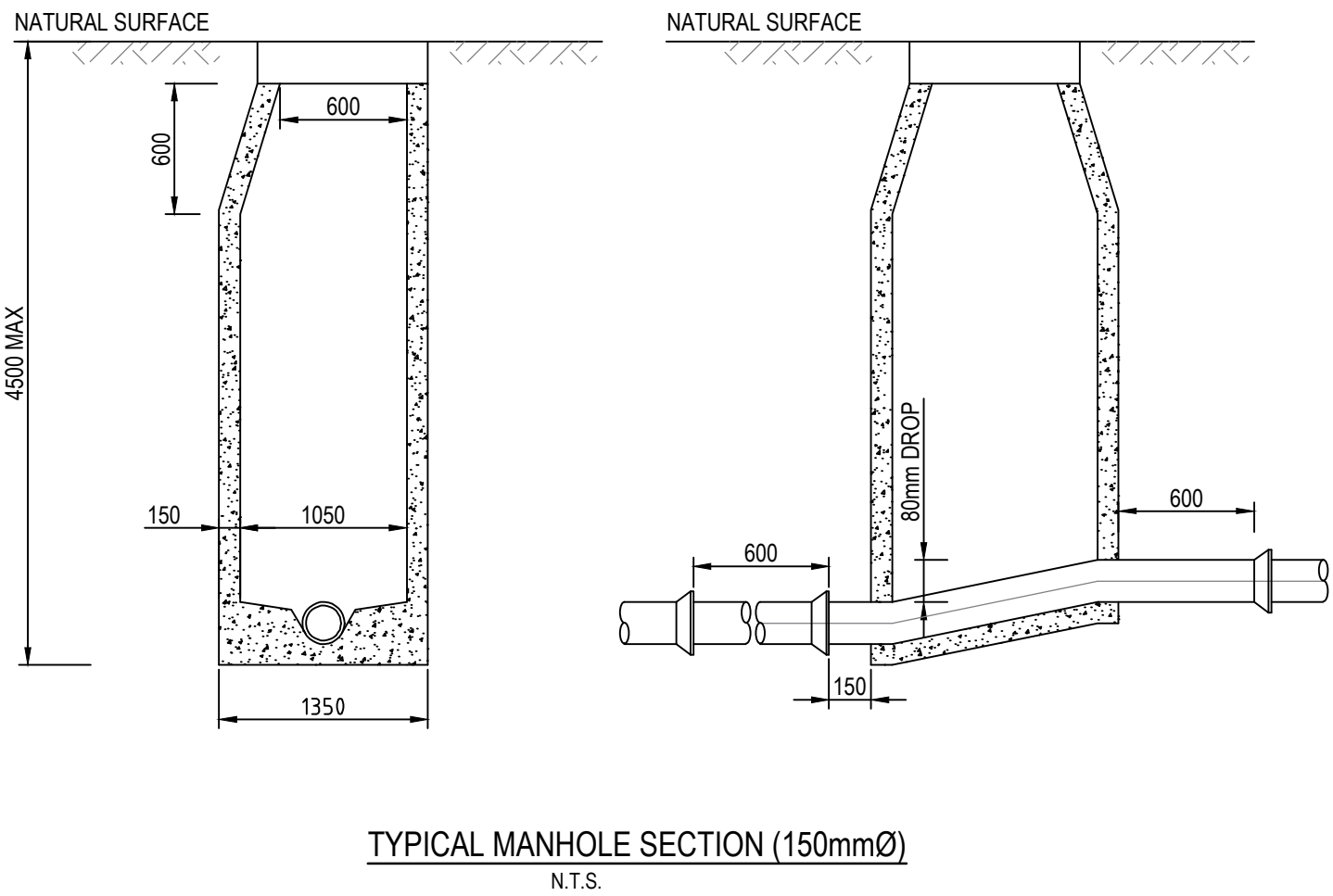
BEDDING NOTES:

- THE MINIMUM DEPTH TO TOP OF PIPE SHALL BE 1000mm, EXCEPT UNDER ROAD PAVEMENT WHERE MINIMUM COVER TO TOP OF PIPE SHALL BE 1200mm MINIMUM UNLESS SHOWN OTHERWISE. PIPES WITH LESS COVER THAN THESE LIMITS TO BE CONCRETE ENCASED, AND DICL UNDER ROADS.
- GRADES OF GRAVITY SEWER NOT TO BE FLATTER THAN 1:179 (0.55%) FOR 150mm DIAMETER PIPES AS PER WSA-2014.
- MANHOLES SHALL BE PLACED AT EACH CHANGE IN DIRECTION OR GRADE OF THE PIPE LINE AT INTERVALS ALONG THE LINE NOT EXCEEDING 80m.

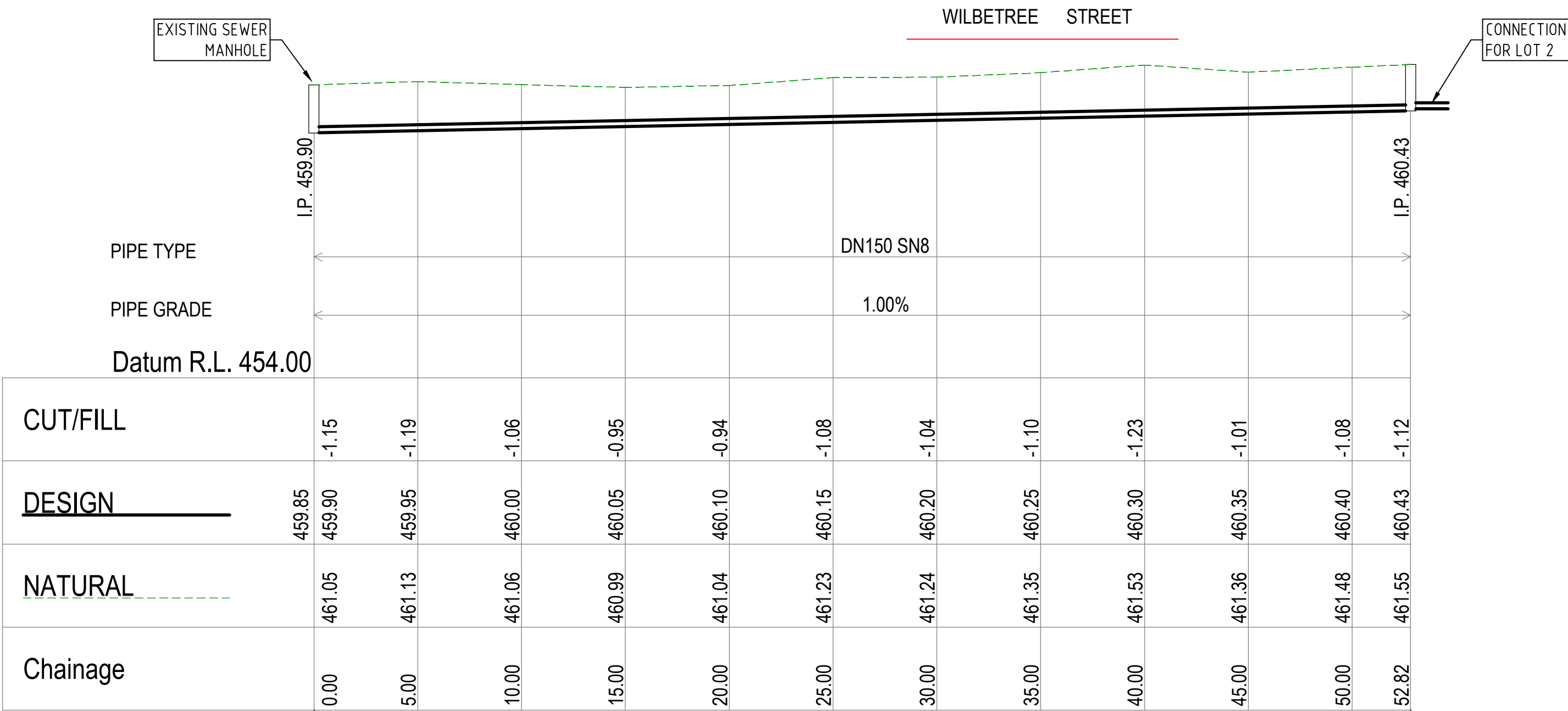
FIELD NOTES:

- BEARINGS AND DISTANCES ARE BY TITLE AND/OR DEED ONLY. NO BOUNDARY INVESTIGATION HAS BEEN CARRIED OUT.
- SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH.
- ALL HEIGHTS TO AHD (AUSTRALIAN HEIGHT DATUM).

INSPECTION HOLD POINTS
1. INSTALLATION OF SEDIMENT & EROSION CONTROL MEASURES.
2. WATER & SEWER LINE INSTALLATION PRIOR TO BACKFILL.
3. ESTABLISHMENT OF LINE & LEVEL FOR KERB & GUTTER PLACEMENT.
4. ROAD PAVEMENT CONSTRUCTION.
5. ROAD PAVEMENT SURFACING.
6. PRACTICAL COMPLETION.
SERVICES INSTALLATION
1. INSTALLATION OF ALL UUNDERGROUND PIPES BE INSTALLED PRIOR TO INSTALLATION OF ROAD PAVEMENT.



\* INSTALLATION OF UPVC PIPES SHALL TO CONFORM TO AS2032-1977 "INSTALLATION OF UPVC PIPE SYSTEMS", AS2566-1998 "BURIED FLEXIBLE PIPELINES", WSA-02 2002 AND MANUFACTURERS INSTRUCTIONS.



Scale Horizontal 1:200 Vertical 1:100

SEWER LONGSECTION

REDUCTION RATIO 1:200H 1:100V @ A1  
1:400H 1:200V @ A3

SUBMISSION FOR DA

BARNSON PTY LTD

phone 1300 BARNSON (1300 227 676)  
email generalenquiry@barnson.com.au  
web barnson.com.au

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D	4/04/2025	ISSUED FOR DA SUBMISSION
E	20/05/2025	BOUNDARIES AMENDED

Project  
PROPOSED SUBDIVISION

Site Address  
Lots 4 & 5 Section 38 in DP 758482  
4 FISHER STREET, GULGONG, NSW, 2852  
Client  
HELIX CONSTRUCTION GROUP

Drawing Title  
SEWER RETICULATION LONG SECTION  
& NOTES AND DETAILS

Design	AR	Original Sheet Size	A1
Drawn	AR		
Check	DOS	Revision	E

Certification

Project No  
Drawing No

47098  
C21





### LEGEND (proposed)

- PROPOSED WATER MAIN
- PROPOSED WATER METER
- PROPOSED UNDERGROUND SEWER MAIN
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER BOUNDARY RISER
- PROPOSED UNDERGROUND STORMWATER PIPE
- PROPOSED GRATED STORMWATER PIT

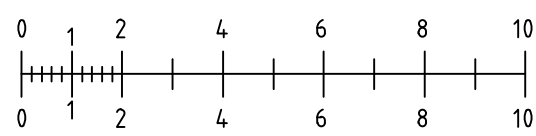
### LEGEND (existing)

- EXISTING SUBJECT CADASTRAL BOUNDARIES
- EXISTING FENCE LINE
- EXISTING GATE
- TOP OF BANK
- BOTTOM OF BANK
- EXISTING UNDERGROUND WATER MAIN - APPROX.
- EXISTING UNDERGROUND SEWER PIPE - APPROX.
- EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX.
- EXISTING OVERHEAD ELECTRICITY CABLES
- EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
- EXISTING TABLE DRAIN
- DRAIN PIPE
- ELECTRICITY POWER POLE, STAY WIRE AND ANCHOR
- ELECTRICITY POWER POLE
- ELECTRIC LIGHT POLE
- FIRE HYDRANT
- HYDRANT
- WATER STOP VALVE
- SEWER MANHOLE
- EXISTING SHRUB

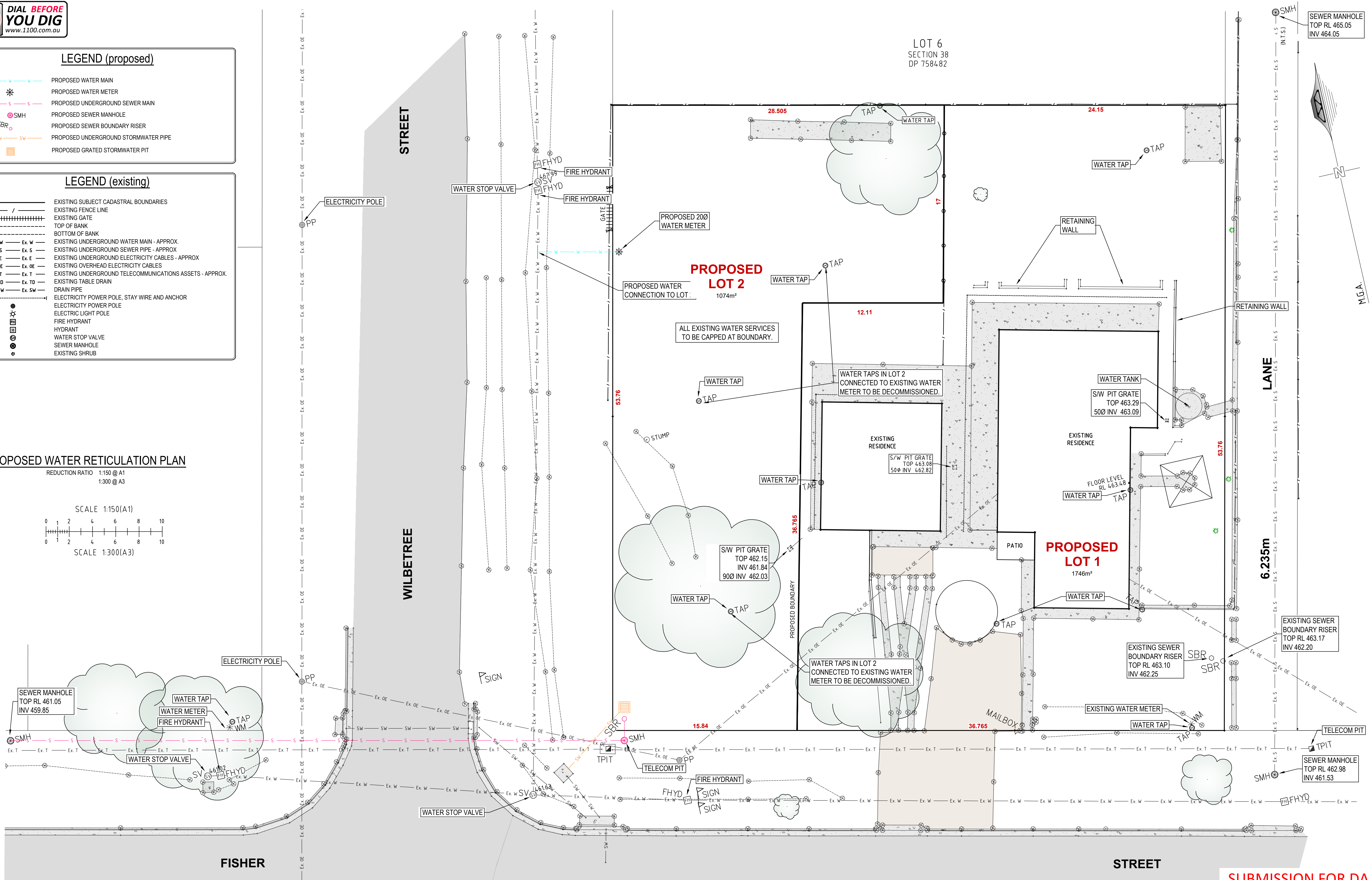
### PROPOSED WATER RETICULATION PLAN

REDUCTION RATIO 1:150 @ A1  
1:300 @ A3

SCALE 1:150(A1)



SCALE 1:300(A3)



SUBMISSION FOR DA

BARNSON PTY LTD

phone 1300 BARNSON (1300 227 676)  
email [generalenquiry@barnson.com.au](mailto:generalenquiry@barnson.com.au)  
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### PROPOSED SUBDIVISION

Site Address  
Lots 4 & 5 Section 38 in DP 758482  
4 FISHER STREET, GULGONG, NSW, 2852  
Client  
HELIUS CONSTRUCTION GROUP

### PROPOSED WATER RETICULATION PLAN

Design	AR	Original Sheet Size	A1
Drawn	AR	Revision	E
Check	DOS		

Certification

Project No  
Drawing No

47098  
C30



PIPE NOTES:

1. THE FOLLOWING PIPE MATERIALS MAY BE USED FOR WATER RETICULATION MAINS:

1a. ALL WATER MAINS LESS THAN 300mm IN DIAMETER FACTURED IN ACCORDANCE WISHALL BE CONSTRUCTED FROM CLASS K9 DUCTILE IRON CEMENT LINED (DICL), SPIGOT AND SOCKET, RUBBER RING JOINTED PIPE MANUTH AUSTRALIAN STANDARD 2280.

1b. ALL WATER PIPES GREATER THAN 300MM IN DIAMETER SHALL BE CLASS K12 DICL. ALTERNATIVELY, CLASS 20 (MIN) "BLUE BRUTE" UPVC PIPE MAY BE USED, PROVIDED THAT OD COMPATIBILITY WITH DICL PIPING IS MAINTAINED.

1c. POLYETHYLENE (AS/NZS4130) MINIMUM PN12.5, BLUE STRIPED FOR POTABLE SYSTEMS. LILAC STRIPED FOR RE-USE OR RAW WATER SYSTEMS. ALL JOINTING TO BE ELECTRO-FUSION OR BUTT-WELDED.
2. PRODUCTS IN CONTACT WITH POTABLE WATER SHALL BE TESTED AND COMPLY WITH THE REQUIREMENTS OF AS/NZS4020 FOR PRODUCTS IN CONTACT WITH DRINKING WATER.

DICL NOTES:

1. ALL DUCTILE IRON CEMENT LINED PIPES TO BE IN ACCORDANCE WITH AS2280-2014.
2. ALL SLUICE VALVES TO BE IN ACCORDANCE WITH AS/NZS 2638.2-2011-GATE VALVES FOR WATERWORKS PURPOSES.
3. ALL POLYETHELENE SLEEVING TO BE IN ACCORDANCE WITH AS3680-2008.
4. ALL ELASTOMETRIC SEALS TO BE IN ACCORDANCE WITH 1646-2007.

NOTES:

1. STOP VALVE & SCOUR VALVE CHAMBERS MAY EITHER BE CONSTRUCTED USING PREFABRICATED UNITS, 375mm DIAM. PVC OR CONCRETE PIPE, INTERLOCKING POLYPROPYLENE CONCRETE BLOCKS OR BRICKS WITH SAND/CEMENT MORTAR JOINTS.
2. THE BOTTOM OF THE BRICK, INTERLOCKING CONCRETE BLOCK OR PIPE CHAMBERS SHALL NOT REST DIRECTLY ON BUT ON A COURSE OF BRICKS OR A 100mm THICK CONCRETE THE PIPE FOUNDATION.
3. MINIMUM COVER OVER PIPELINES (ALL TYPES) SHALL BE 800mm IN AREAS SUBJECT TO VEHICULAR LOADING SUCH AS ROADS & FOOTPATHS AND 800mm ELSEWHERE ALSO.
4. IN AREAS PAVED WITH BITUMEN SEALING, ASPHALT, CONCRETE OR PAVING BLOCKS THE SURFACE OF VALVE AND HYDRANT COVERS SHALL FINISH FLUSH WITH THE PAVED SURFACE.
5. FOR STOP VALVES INSTALLATION, SOCKETS SHALL BE BUTTED UP TO SPIGOTS AND TRENCH WIDTHS SHALL BE KEPT TO A MINIMUM.
6. FILL SAND SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 150mm AND COMPACTED TO ACHIEVE A MINIMUM 70 % DENSITY INDEX AND TO THE SATISFACTION OF THE SUPERINTENDENT.
7. INDICATOR POSTS SHALL BE WHITE IN COLOUR AND ONE OF THE FOLLOWING TYPES :

- 100mm x 100mm REINFORCED CONCRETE WITH 20mm CHAMFERS.

- POWDER COATED METAL SUCH AS "EZIDRIVE" POST OR EQUIVALENT.

- RECYCLED PLASTIC POST WITH RECESSES FOR MARKER PLATES.

- OTHER POSTS APPROVED BY COUNCIL.
8. DIMENSIONS OF SURFACE BOX COVERS SHOWN ON THIS DRAWING ARE NOMINAL. IF SURFACE BOX COVERS OTHER THAN THOSE SHOWN ARE SUPPLIED, THE DIMENSIONS OF THE CONCRETE SURROUNDS SHALL BE ADJUSTED ACCORDINGLY.
9. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AND COMPLY WITH THE AUS-SPEC SPECIFICATION FOR MINOR CONCRETE WORKS.
10. THE DIMENSION BETWEEN THE UNDERSIDE OF THE STOP VALVE SURFACE BOX LID AND THE TOP OF THE VALVE SPINDLE SHALL BE A MINIMUM OF 80mm. THE TOP OF VALVE SPINDLE SHALL BE NO MORE THAN 300mm BELOW TOP SURFACE OF SURFACE BOX LID. IF THIS CANNOT BE ATTAINED, A GALVANIZED OR EPOXY PAINTED VALVE KEY EXTENSION SECURED BY GRUB SCREWS SHALL BE FITTED. IF NECESSARY, TO ENSURE THAT THE KEY EXTENSION IS CENTERED CORRECTLY A SPIDER ASSEMBLY SHALL BE INCORPORATED IN THE EXTENSION.

CONSTRUCTION NOTES:

1. CONSTRUCTION TO BE TO COUNCIL REQUIREMENTS AND APPROVAL.
2. COUNCIL WILL CONNECT TO EXISTING WATER MAIN AT THE CONTRACTORS EXPENSE.
3. WORKS ON COUNCIL WATER MAINS SHALL BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
4. COPPER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL REQUIREMENTS TO ALL LOTS WHERE DIRECTED.
5. LAY PIPES TRUE TO GRADE WITH A MINIMUM COVER OF 600MM BELOW FINISHED SURFACE WHERE POSSIBLE. AVOID STORMWATER PIPES, PITS AND EXISTING SERVICES. PIPE BACKFILL TO BE IN ACCORDANCE WITH WSA 03-2011-3.1 T7.2.
6. D.I.C.L. PIPES & COPPER ROAD CROSSING PIPES TO EXTEND 300MM BEHIND FACE OF KERB, AND IN ACCORDANCE WITH COUNCIL REQUIREMENTS..
7. ALL PIPES SHALL BE BEDDED ON SAND OR APPROVED COHESIONLESS MATERIAL IN ACCORDANCE WITH COUNCIL REQUIREMENTS. WATER STOPS SHALL BE PROVIDED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
8. ALL PIPES SHALL BE LAID IN STRAIGHT LENGTHS AND NOT BENT TO SUIT A PARTICULAR ALIGNMENT.
9. MASS CONCRETE THRUST BLOCKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL REQUIREMENTS. BEHIND TEES, BENDS, VALVES ETC.
10. STAMP "W" IN FACE OF KERB ABOVE COPPER WATER SERVICES AND MAINS TO COUNCIL REQUIREMENTS.
11. STOP VALVES TO COUNCIL REQUIREMENTS.
12. SPRING HYDRANTS TO COUNCIL REQUIREMENTS.
13. MARKER POSTS, PLATES, PAINT, DELINEATORS TO COUNCIL REQUIREMENTS.
14. WATER CROSSINGS TO BE PLACED A MINIMUM OF 600MM FROM COUNTRY ENERGY/TELSTRA CONDUITS AND ON ALTERNATE BOUNDARIES WHERE POSSIBLE.
15. THRUST BLOCKS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.

SUBMISSION FOR DA

BARNSON PTY LTD

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Project  
PROPOSED SUBDIVISION

Site Address

Lots 4 & 5 Section 38 in DP 758482  
4 FISHER STREET, GULGONG, NSW, 2852

Client

HELIX CONSTRUCTION GROUP

Drawing Title  
WATER RETICULATION NOTES  
& DETAILS

Design	AR	Original Sheet Size
Drawn	AR	
Check	DOS	Revision

A1

Project No

E

Drawing No

47098  
C31

**APPENDIX D**  
**BASIX Certificate**



# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Single Dwelling

Certificate number: 1776022S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary

Date of issue: Wednesday, 04 December 2024

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



### Project summary

Project name	3910 - McGann
Street address	4 FISHER Street GULGONG 2852
Local Government Area	Mid-Western Regional Council
Plan type and plan number	Deposited Plan DP758482
Lot no.	4
Section no.	38
Project type	dwelling house (detached) - secondary dwelling
No. of bedrooms	3

### Project score

Water	✓ 30	Target 30
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 73	Target 65
Materials	✓ 32	Target n/a





### Certificate Prepared by

Name / Company Name: Rohrs Refrigeration

ABN (if applicable): 37101256320

# Description of project

Project address	
Project name	3910 - McGann
Street address	4 FISHER Street GULGONG 2852
Local Government Area	Mid-Western Regional Council
Plan type and plan number	Deposited Plan DP758482
Lot no.	4
Section no.	38
Project type	
Project type	dwelling house (detached) - secondary dwelling
No. of bedrooms	3
Site details	
Site area (m <sup>2</sup> )	2862
Roof area (m <sup>2</sup> )	130
Conditioned floor area (m <sup>2</sup> )	87.0
Unconditioned floor area (m <sup>2</sup> )	15.0
Total area of garden and lawn (m <sup>2</sup> )	80
Roof area of the existing dwelling (m <sup>2</sup> )	390
Number of bedrooms in the existing dwelling	6

Assessor details and thermal loads			
Assessor number	n/a		
Certificate number	n/a		
Climate zone	n/a		
Area adjusted cooling load (MJ/ m².year)	n/a		
Area adjusted heating load (MJ/ m².year)	n/a		
Project score			
Water		30	Target 30
Thermal Performance		Pass	Target Pass
Energy		73	Target 65
Materials		32	Target n/a

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 130 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> <li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li> </ul>		✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Do-it-yourself Method</b>			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓

Construction	Area - m <sup>2</sup>	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, conventional slab.	113	nil;not specified	nil	
external wall: AAC veneer; frame: timber - H2 treated softwood.	all external walls	2.04 (or 3.00 including construction);fibreglass batts or roll + reflective foil in the cavity	nil	wall colour: Light (solar absorptance < 0.48)
internal wall: plasterboard; frame: timber - H2 treated softwood.	91	none	nil	

Construction	Area - m <sup>2</sup>	Additional insulation required	Options to address thermal bridging	Other specifications
ceiling and roof - raked ceiling / pitched or skillion roof, framed - concrete tiles , timber - H2 treated softwood.	52	ceiling: 4 (up), roof: foil/sarking ;ceiling: fibreglass batts or roll; roof: foil/sarking.	nil	roof colour: medium (solar absorptance 0.6-0.7); ceiling area fully insulated
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - H2 treated softwood.	78	ceiling: 4 (up), roof: foil/sarking ;ceiling: fibreglass batts or roll; roof: foil/sarking.	nil	roof colour: medium (solar absorptance 0.6-0.7); ceiling area fully insulated

Note	<ul style="list-style-type: none"> <li>Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.</li> </ul>
Note	<ul style="list-style-type: none"> <li>If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.</li> </ul>
Note	<ul style="list-style-type: none"> <li>In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.</li> </ul>
Note	<ul style="list-style-type: none"> <li>Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.</li> </ul>



**Thermal Performance and Materials commitments**

Show on  
DA plans

Show on CC/CDC  
plans & specs

Certifier  
check

Ceiling fans

The applicant must install at least one ceiling fan in each bedroom.



Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
<ul style="list-style-type: none"> <li>The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.</li> </ul>	✓	✓	✓
<ul style="list-style-type: none"> <li>Each window and glazed door must have a U- value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.</li> </ul>		✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✓	✓	✓

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					
Laundry	2100.00	800.00	aluminium, single glazed (U-value: <=6.5, SHGC: >0.6)	eave 550 mm, 300 mm above head of window or glazed door	not overshadowed
Bath	1000.00	1000.00	aluminium, single glazed (U-value: <=6.5, SHGC: >0.6)	eave 550 mm, 300 mm above head of window or glazed door	not overshadowed
Ens	1000.00	600.00	aluminium, single glazed (U-value: <=6.5, SHGC: >0.6)	eave 550 mm, 300 mm above head of window or glazed door	not overshadowed
Bed1	2100.00	2400.00	aluminium, single glazed (U-value: <=6.5, SHGC: >0.6)	eave 550 mm, 300 mm above head of window or glazed door	not overshadowed


Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
<b>South facing</b>					
Bed 3	1000.00	1200.00	aluminium, single glazed (U-value: $\leq 6.5$ , SHGC: $> 0.6$ )	eave 550 mm, 300 mm above head of window or glazed door	not overshadowed
Living	2100.00	2700.00	aluminium, single glazed (U-value: $\leq 6.5$ , SHGC: $> 0.6$ )	eave 550 mm, 300 mm above head of window or glazed door	not overshadowed
<b>West facing</b>					
Bed 3	1000.00	1000.00	aluminium, single glazed (U-value: $\leq 6.5$ , SHGC: $> 0.6$ )	eave 550 mm, 300 mm above head of window or glazed door	not overshadowed
Bed 2	1000.00	1000.00	aluminium, single glazed (U-value: $\leq 6.5$ , SHGC: $> 0.6$ )	eave 550 mm, 300 mm above head of window or glazed door	not overshadowed
Bed 1	1000.00	1000.00	aluminium, single glazed (U-value: $\leq 6.5$ , SHGC: $> 0.6$ )	eave 550 mm, 300 mm above head of window or glazed door	not overshadowed


Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5.5 stars.	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 5 star (cold zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 5 star (cold zone)		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 5 star (cold zone)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 5 star (cold zone)		✓	✓
<b>Ventilation</b>			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, open to façade; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
<b>Artificial lighting</b>			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓


Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

## Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a  in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.



**barnson.**

**APPENDIX E**  
**Structural Report**



Unit 4 / 108-110 Market Street  
Mudgee, NSW 2850



1300 BARNSON (1300 227 676)



generalenquiry@barnson.com.au

to.

**Helix Construction Group**  
**Att; Brodie McGann**  
admin@helixconstructions.com.au

date.

8.05.2025

reference.

47098-SL01\_A

Dear Brodie,

**Re: Residential Change of Use for Converted Garage at 4 Fisher Street,  
Gulgong NSW 2852**  
**Structural Inspection**

A request was made for Barnson to conduct an inspection of the existing renovated garage structure at the above address. The purpose of this inspection was to assess the existing structure to determine its suitability to be occupied as a Class 1a building (single dwelling). The building has been renovated prior to the inspection and was originally constructed for use as a Class 10a building. The inspection was carried out by the writer of this letter, Mr. Sam Rochester, an Engineer with Barnson Pty Ltd, on Friday 4<sup>th</sup> of April 2025.

The garage is believed to have been originally constructed 30-40 years ago. It is understood that the shed was constructed with the necessary approvals at that time and is therefore only being assessed for suitability for a change of use. The renovations were reportedly completed in March of 2024. Photographs of the existing building as well as those provided by the client showing the works in progress are attached in Appendix A. According to building design drawings prepared by Giselle Denley Drafting Services for the conversion of the garage (see Appendix B), the plan dimensions of the original building were 7.51m x 6.24m (excluding eaves). Additions have been added along the North and West sides extending the plan dimensions to 11.00m x 10.33m. The proposed carport shown on the building design drawings had not been constructed at the time of the inspection.

The original garage is of block construction with a tiled roof supported over timber framing. The timber framing has been modified, in that the timber strutting beams and strutting beams have been replaced with steel members. The exposed steel beams are 200UBs spaced at 2.3m, each supporting three 100SHS struts to the support the framing above. A topping slab has been added over the original garage slab to provide an exposed polished finish. Through review of the client supplied photographs, a damp-proof membrane is observed below this topping slab, which is required to prevent moisture permeating the ground slab. The ceilings are raked and lined with timber boards.

The external block walls (190mm thick) are rendered internally and externally. The extensions are steel sheeted (Custom Orb) skillion roofs pitched at 5-degrees, with raked plasterboard ceilings and plasterboard lined walls. External walls of the extension are also blockwork. It was verified that the internal walls of the extension are comprised of 90mm studs at maximum 600mm centres. A damp-proof membrane is noted below the extension slabs in the provided photographs.

On both internal and external faces of the rendered blockwork approximately 1mm wide cracking was noted vertically to the full height of the rendered wall adjacent to the South-East corner. This cracking aligns with the position of the original garage door opening. Multiple joins between adjacent wall lining sheets are visible within the kitchen over the joinery (four instances in kitchen, one instance in laundry). Maximum 0.5mm wide cracking is noted in two locations to the exposed polished concrete slab. Maximum 1mm wide cracking is noted to the pavement slabs that surround the majority of the building. The instances of cracking are noted to extend from the corners of the building. The render along the West face is raised and cracking towards the base of the wall.

The noted damages as described above are considered aesthetic concerns only. Reference is made to Tables C1 and C2 of AS2870-2011 for classification of the cracking damage to the walls and slabs respectively. Both the wall and slab cracking are considered 'very slight'. Repairs are recommended to the render as this damage is likely to progress as moisture penetrates the crack in the surface of the render.

Based on the previous use of the building, the original slab was likely designed for a Class 10a building, for which design specification is not provided in *AS2870:2011 – Residential slabs and footings*. Although the slab has not been designed for residential purposes, based on the existing condition of the building we advise that it is structurally adequate to support the imposed floor loading for a self-contained dwelling. It should be noted however that as the slab was not designed for residential use the slab may not have sufficient stiffness to prevent cracking in brittle finishes, such as plasterboard lining. Ongoing maintenance may be required to repair any cracks that form in such materials.

Based on our assessment of the structure the existing building is considered structurally adequate to be used as a Class 1a building. This assessment is provided with reference to the below Australian Standards and assumed design parameters.

**1. Design Standards:**

- a. AS/NZS 1170.0:2002 – Structural Design Actions, Part 0: General Principles
- b. AS/NZS 1170.1:2002 – Structural Design Actions, Part 1: Permanent, Imposed and Other Actions
- c. AS/NZS 1170.2:2021 – Structural Design Actions, Part 2: Wind Actions
- d. AS/NZS 1684.2:2010 – Residential Timber Framed Construction
- e. AS 2870:2011 – Residential Slabs and Footings

## 2. Loading:

General principles of loading calculation and loading combinations to Australian Loading Code AS/NZS 1170.0-2002 and other relevant codes as below:

- a. Dead Loads:
  - i. Tile Roof: Weight of tiled roofing and timber framing with timber board ceiling, maximum 0.9kPa (90kg/sqm).
  - ii. Sheet Roof: Weight of steel sheeting and framing with plasterboard ceiling, maximum 0.4kPa (40kg/sqm).
  - iii. Floor: Weight of concrete slab, 0.25kN/m<sup>3</sup>.
- b. Live Loads:
  - i. Roof: Maintenance load of  $1.8/A + 0.12\text{kPa}$  (min 0.25kPa), or 1.1kN point loading as per AS/NZS 1170.1-2002.
  - ii. Floor: Imposed action for general areas in self-contained dwellings 1.5kPa distributed action or 1.8kN point loading as per AS/NZS 1170.1-2002.
- c. Wind Loads:
  - i. Wind Class N2 to AS 4055-2021.

If you have any further enquiries regarding this matter, please contact the undersigned.

Yours faithfully,

**BARNSON PTY LTD**



Jim Saran  
*BE(Hon) MES CPEng NER 401058*  
**Structural Engineer Manager**

*Encl:*

- *Inspection and Client Photographs*
- *Building Design of Conversion*

**APPENDIX A**

**Inspection and Client  
Photographs**







































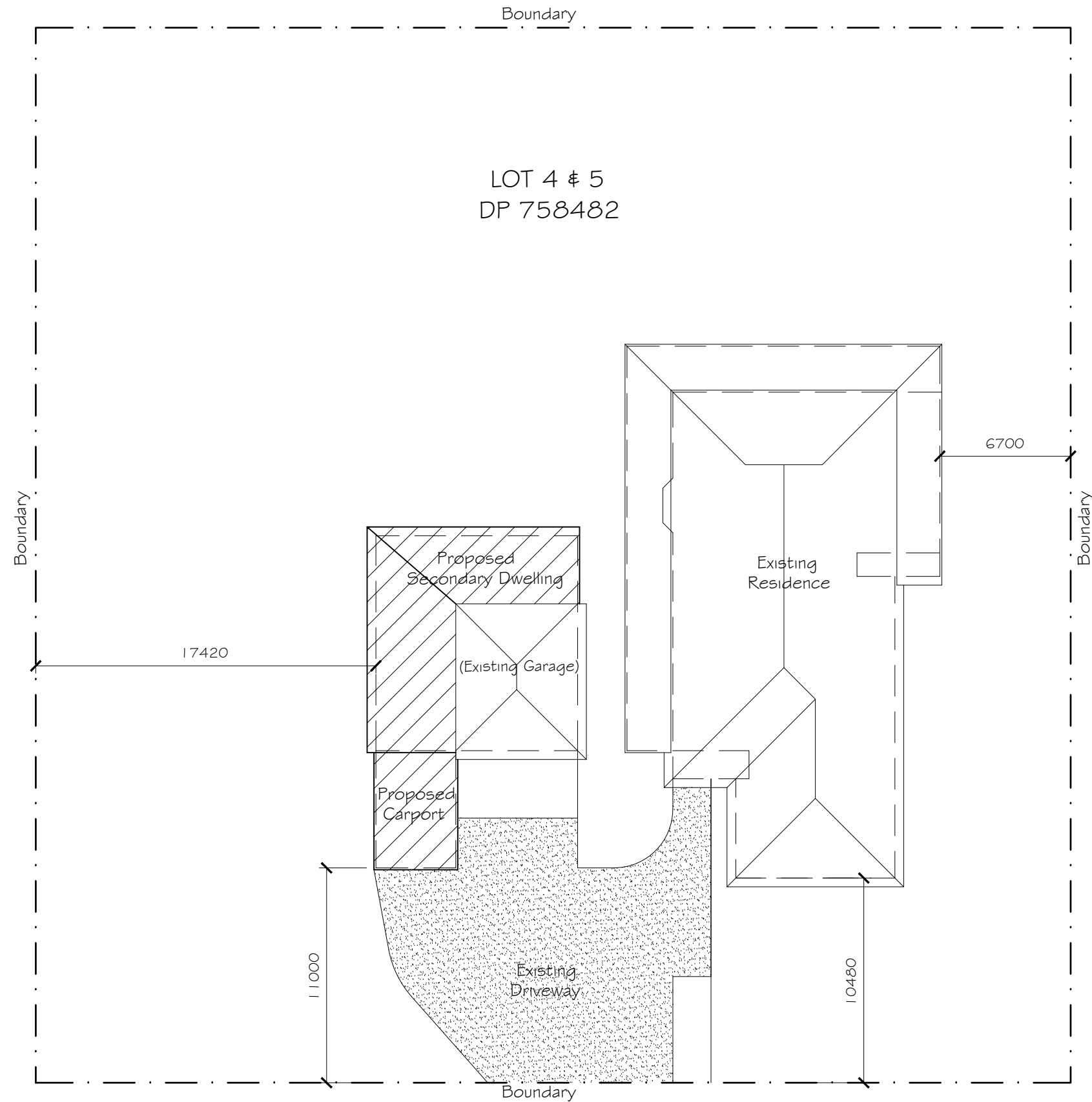




**APPENDIX B**

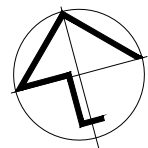
**Building Design for Conversion**

WILBETREE STREET



FISHER STREET

SITE PLAN  
SCALE 1:250



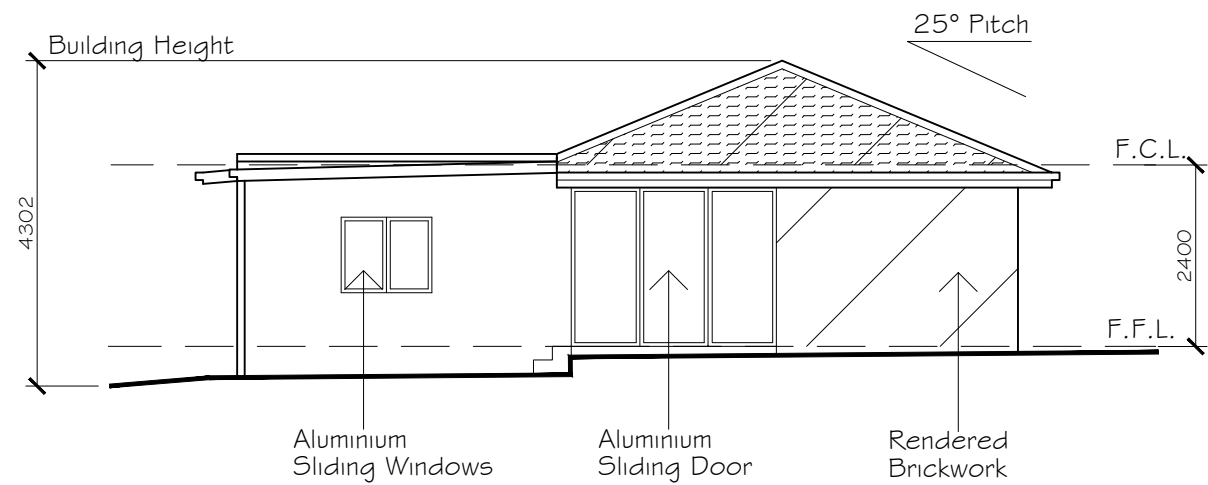
A	NOV 2024	G.D.	ISSUED FOR APPROVAL
REV	DATE	BY	DESCRIPTION
<div><div></div><div><div>Giselle Denley</div><div>Drafting Services</div><div>giselle.denley@bigpond.com</div><div>0417 688 326</div><div>53 Hill Sixty Drive</div><div>Mudgee NSW 2850</div></div></div>			
CLIENT: BRODIE MCGANN			
TITLE: PROPOSED SECONDARY DWELLING 4 FISHER STREET GULGONG			
SCALE: 1:250	FILE: 3910-A01	DWG No.	REV.
DRAWN: G.D.	DATE: NOV 2024	3910-A01	A
CKD: B.M.	DATE: NOV 2024		



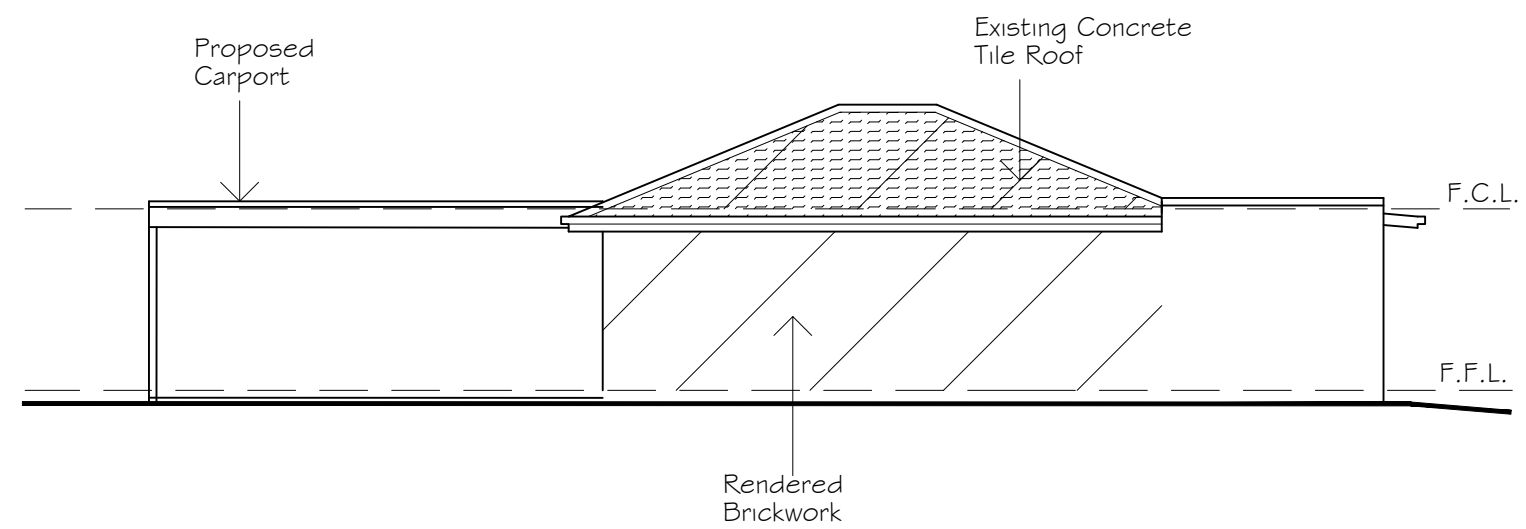


Proposed Secondary Dwelling	=	113.63 m2
Proposed Carport	=	36.00 m2
New Total	=	149.63 m2

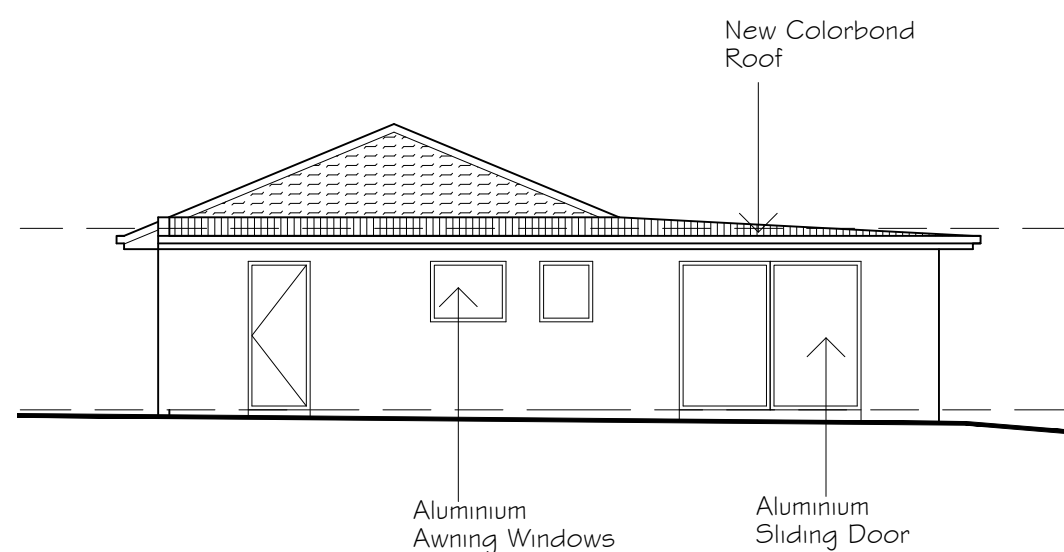
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CKD: B.M.	DATE: NOV 2024		



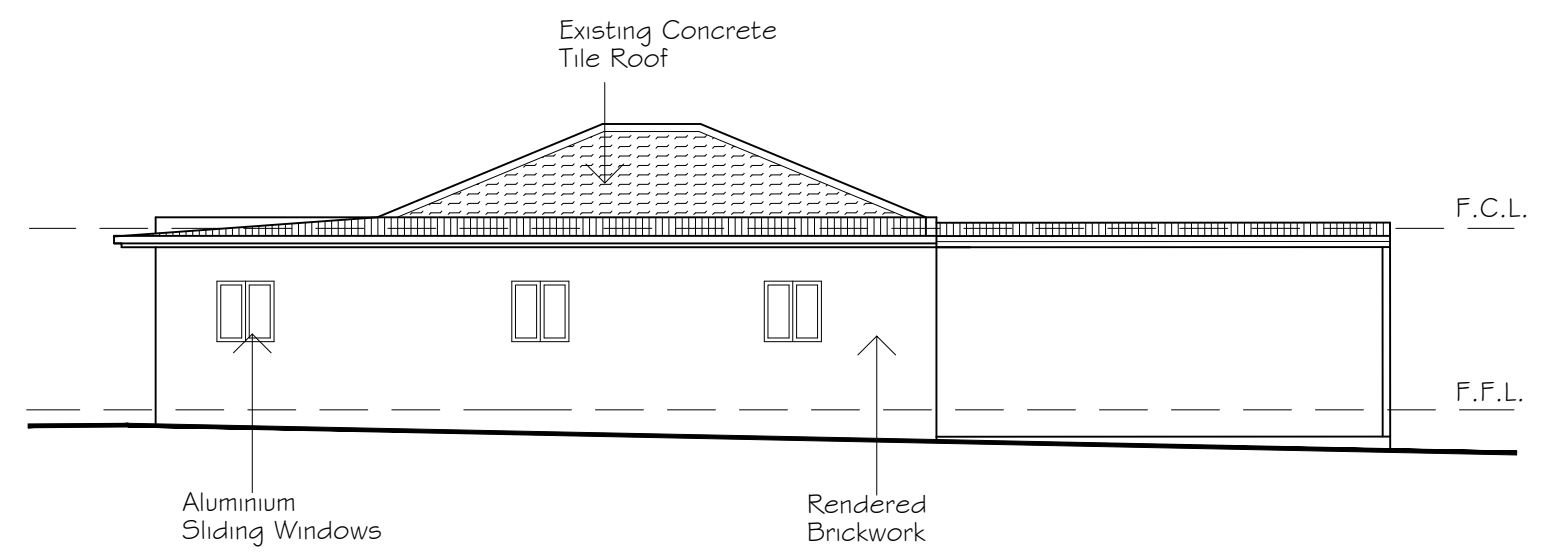
**SOUTH ELEVATION**  
SCALE 1:100



**EAST ELEVATION**  
SCALE 1:100



**NORTH ELEVATION**  
SCALE 1:100



**WEST ELEVATION**  
SCALE 1:100

A	NOV 2024	G.D.	ISSUED FOR APPROVAL
REV	DATE	BY	DESCRIPTION





**Giselle Denley**  
Drafting Services

giselle.denley@bigpond.com  
0417 688 326  
53 Hill Sixty Drive  
Mudgee NSW 2850

CLIENT: BRODIE MCGANN			
TITLE: PROPOSED SECONDARY DWELLING 4 FISHER STREET GULGONG			
SCALE: 1:100	FILE: 3910-A01	DWG No.	REV.
DRAWN: G.D.	DATE: NOV 2024	3910-A04	A
CKD: B.M.	DATE: NOV 2024		