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Sheet Number	Drawing Name
2	Floor Plan
3	Elevations
4	Sections
5	Slab Plan
6	Existing Site Plan
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8	Drainage Plan
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10	Door/Window Schedule, Colours Schedule & Basix Notes
11	Electrical Plan

Revisions Schedule

#	Date	By	Description
A	17-4-2025	JG	Sketch
B	7-5-2025	JG	Working Drawings



Suite 5, Level 1, Harrington Plaza  
23 Fairwater Dr, Harrington Park  
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- NOTES
1. LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED TRADES
  2. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND CONFIRMED ON SITE
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Any 3D perspectives shown are for illustrative purposes only

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CLIENT:  
Dean Talbot

Proposed Dwelling &  
Attached Secondary  
Dwelling

Flood Zone

LGA: Mid-Western Regional	Zone: R1
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OUTSTANDING  
DOCUMENTATION:

APPLICATION TYPE:  
CDC

Flood Certificate

JOB NUMBER:  
25037-1 j.g

Working Drawings

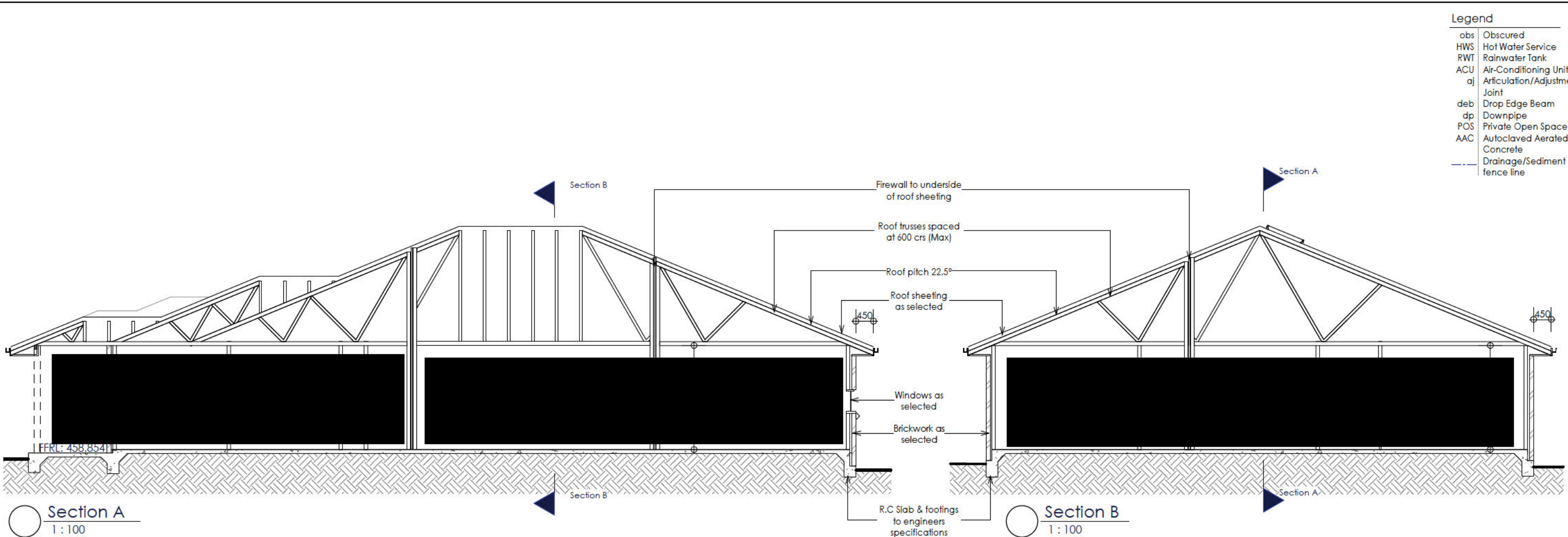
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Caerleon, 2850

Flood Level FFRL:0m









Insulation to comply with;

Table 13.2.3g: Pitched roof with horizontal ceiling – minimum R-Value for ceiling insulation: climate zone 6

Roof ventilation	Reflective insulation under-roof	Under-roof insulation R-Value	0.23 ≤ SA ≤ 0.64	0.64 < SA ≤ 0.96
Vented	Yes	< 1.0	4.0	3.5
	No	< 1.0	4.0	3.5
Standard	Yes	< 1.0	3.5	3.0
	No	< 1.0	4.0	3.5

Table Notes

(1) SA = solar absorptance.

(2) A roof is considered 'vented' if it—

(a) has one wind-driven roof ventilator per 50 m<sup>2</sup> of ceiling area, with gable, eave or ridge vents; or

(b) has one powered roof ventilator per 200 m<sup>2</sup> of ceiling area, with gable, eave or ridge vents; or

(c) is ventilated to outdoor air through evenly distributed openings with Table 10.8.3; or

(d) is a tiled roof without sarking-type material at roof level.

(3) If a roof is not 'vented', it is a 'standard' roof.

(4) In climate zones 6, 7 and 8, roof ventilation must comply with 10.8.3.

(5) The R-Value of reflective insulation is not to be included in the R-Value of any under-roof or ceiling insulation.

(6) R-Values listed are for the labelled, declared R-Value of insulation.

Vapour permeable membrane (sarking) to exterior side of the primary insulation layer of the external walls as per 10.8.1 (NCC).

(1) In climate zones 6, 7 and 8, a roof must have a roof space that—

(a) is located—

(i) immediately above the primary insulation layer; or

(ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or

(iii) immediately above ceiling insulation that meets the requirements of 13.2.3(3) and 13.2.3(4); and

(b) has a height of not less than 20 mm; and

(c) is either—

(i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or located immediately underneath the roof files of an unsarked tiled roof.

Roof space ventilation requirements as per NCC as follows;

Table 10.8.3: Roof space ventilation requirements

Roof pitch	Ventilation openings
< 10°	25,000 mm <sup>2</sup> /m provided at each of two opposing ends
≥ 10° and < 15°	25,000 mm <sup>2</sup> /m provided at the eaves and 5,000 mm <sup>2</sup> /m at high level
≥ 15° and < 75°	7,000 mm <sup>2</sup> /m provided at the eaves and 5,000 mm <sup>2</sup> /m at high level, plus an additional 18,000 mm <sup>2</sup> /m at the eaves if the roof has a cathedral ceiling

Table Notes

(1) Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof.

(2) For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.

PWT60.1

FIRE RESISTANCE LEVEL

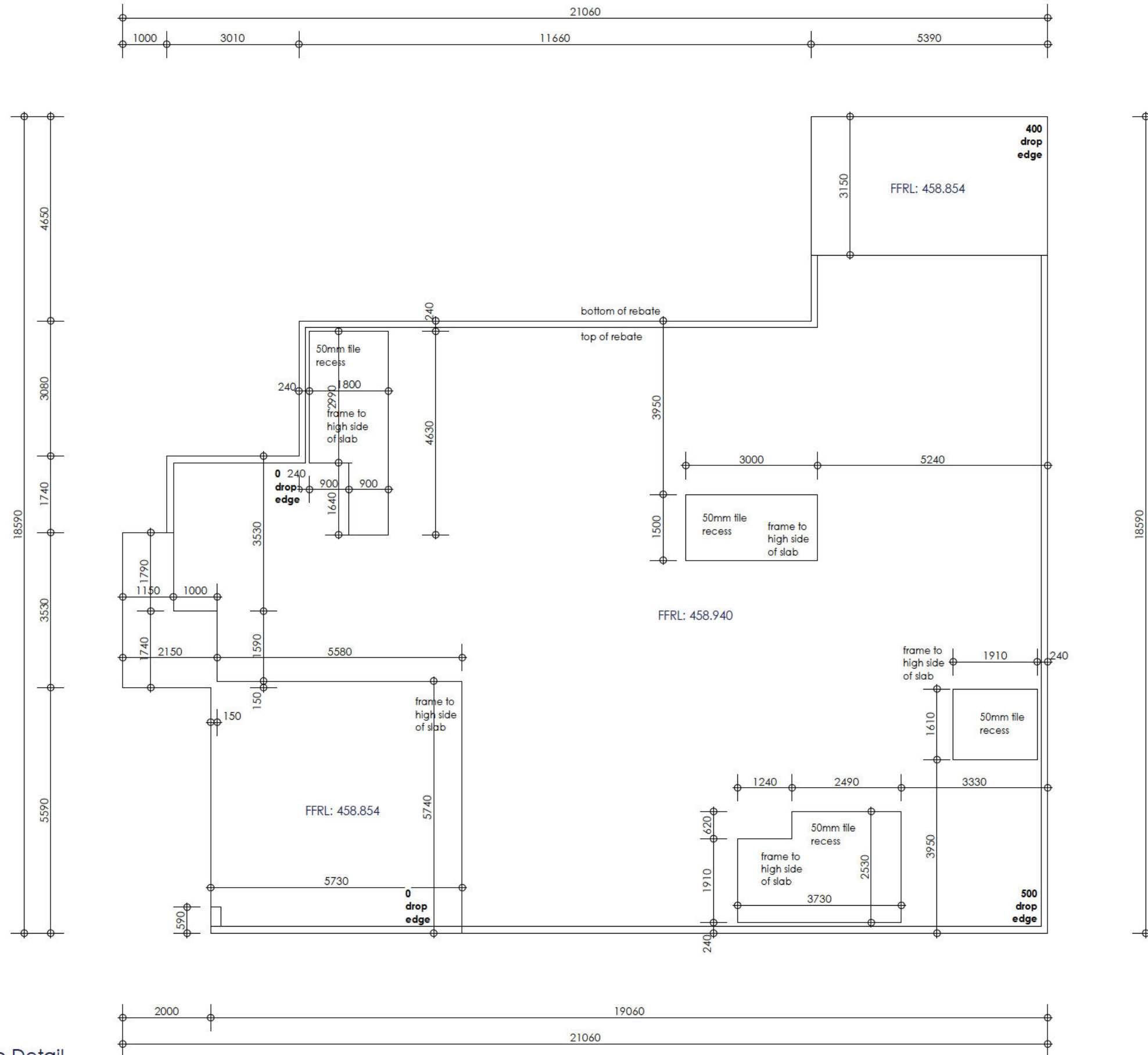
LB 60/60/60

FROM BOTH SIDES

FRL Basis: FCO-2256

ACOUSTIC RATINGS BASIS: RT&A TE405-05F19

SYSTEM	LINING SIDE 1	LINING SIDE 2	NOM WIDTH mm	STUD SIZE (GAP) mm	70 (20)		70 (40) or 90 (20)	
				INSULATION*	R <sub>w</sub>	R <sub>w</sub> +C <sub>tr</sub>	R <sub>w</sub>	R <sub>w</sub> +C <sub>tr</sub>
PWT60.1B	1x13mm SOUNDSTOP	1x13mm SOUNDSTOP	231	R2.0 GW Wall Batts (both cavities)	62	52	NA	NA
			271	R2.0 GW Wall Batts (both cavities)	NA	NA	64	55
				110mm USG Boral PARTI WALL Acoustic Batt (one cavity only)	NA	NA	59	51



Legend	
obs	Obscured
HWS	Hot Water Service
RWT	Rainwater Tank
ACU	Air-Conditioning Unit
aj	Articulation/Adjustment Joint
deb	Drop Edge Beam
dp	Downpipe
POS	Private Open Space
AAC	Autoclaved Aerated Concrete
---	Drainage/Sediment fence line

NOTES

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Dean Talbot

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3 Margaret Lane  
Caerleon, 2850

Proposed Dwelling &  
Attached Secondary  
Dwelling

APPROVAL & STAMP

DRAWING:  
Slab Plan

Working Drawings SCALE @ A3: As indicated	REVISION B 7-5-2025
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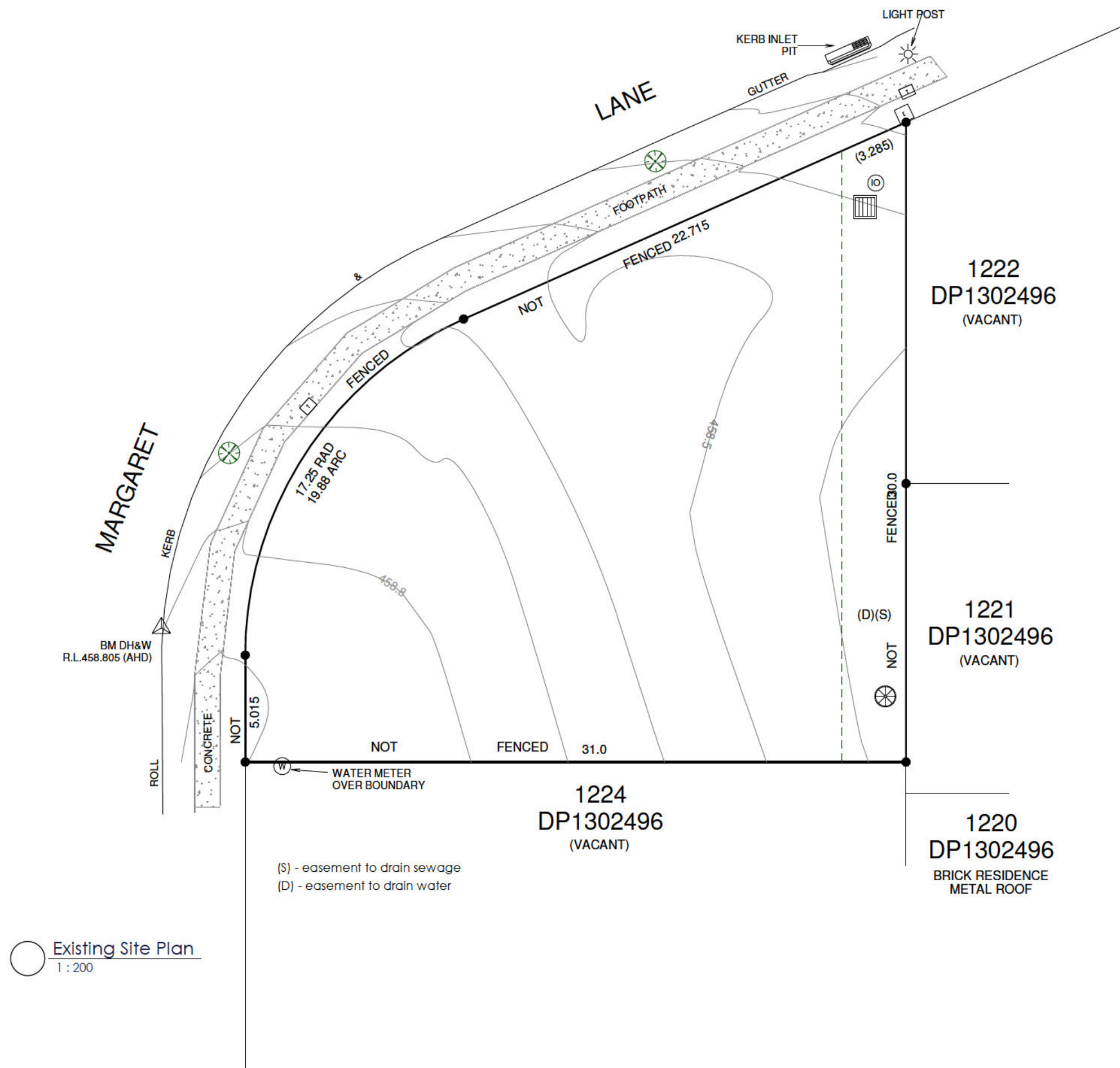
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PAGE: 5

NORTH

Lot 1223 DP1302496  
694.70 m²

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Slab Detail  
1 : 100



#### NOTES

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#### Proposed Dwelling & Attached Secondary Dwelling

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#### DRAWING:

Existing Site Plan

Working  
Drawings  
SCALE @ A3:  
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PAGE:  
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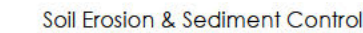
NORTH

Lot 1223 DP1302496  
694.70 m<sup>2</sup>

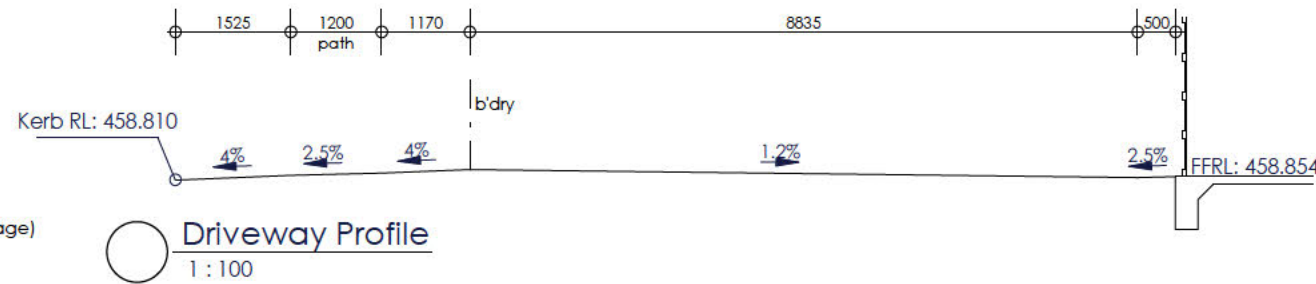
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	Required/ Max	Proposed	%
Site Area: 694.7m <sup>2</sup>	_____	_____	0.34:1
Total GFA:	335m <sup>2</sup> <	233.82m <sup>2</sup>	33.66%
<b>Landscaping</b>			
Total Frontage:	_____	99.93m <sup>2</sup>	
Front Landscaped:	24.98m <sup>2</sup>	64.84m <sup>2</sup>	64.89%
Rear Landscaped:	104.21m <sup>2</sup>	287.22m <sup>2</sup>	_____
Total Landscaped:	208.41m <sup>2</sup>	352.06m <sup>2</sup>	50.68%
<b>Articulation</b>			
Front Articulation (25%):	15.61m <sup>2</sup>	0.00m <sup>2</sup>	0.00%



1. Siltation fencing is to be placed as shown on the site plan so as to prevent silt run-off to any adjoining property or to the street. This measure is to be placed prior to any Earthworks and is to be removed only once the sites surface is stable (i.e paving, landscaping, turfing etc)
2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction



 - Rainwater Tank

 - A/C Unit

obs	Obscured
RWS	Hot Water Service
HWT	Rainwater Tank
ACU	Air-Conditioning Unit
aj	Articulation/Adjustment
	Joint
deb	Drop Edge Beam
dp	Downpipe
POS	Private Open Space
AAC	Autoclaved Aerated Concrete
---	Drainage/Sediment fence line

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Proposed Dwelling &amp; Attached Secondary Dwelling

APPROVAL &amp; STAMP

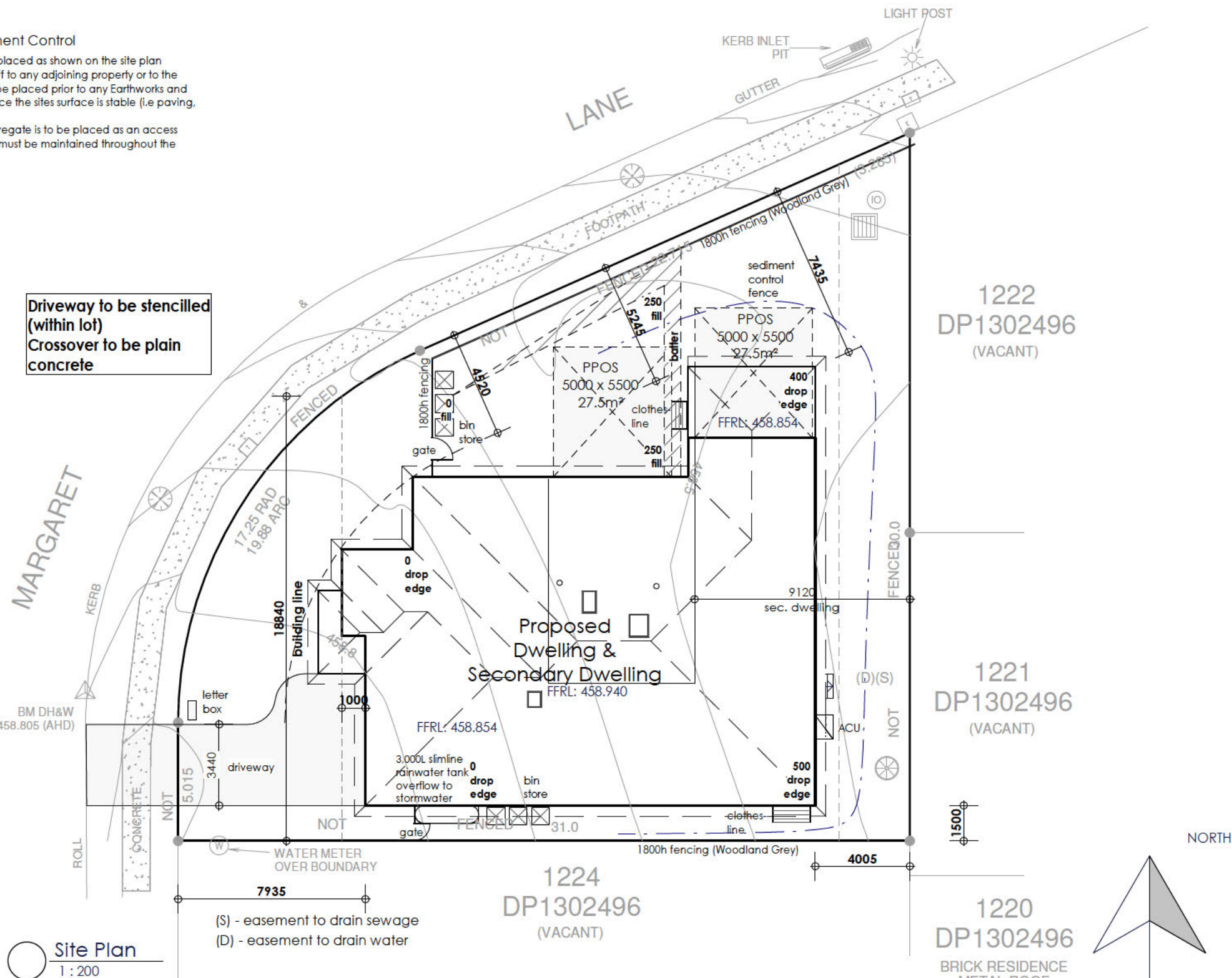
## Site Plan & Driveway Profile

Working  
Drawings  
SCALE @ A3:  
As indicated

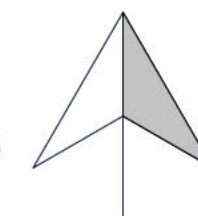
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**7**



NORTH



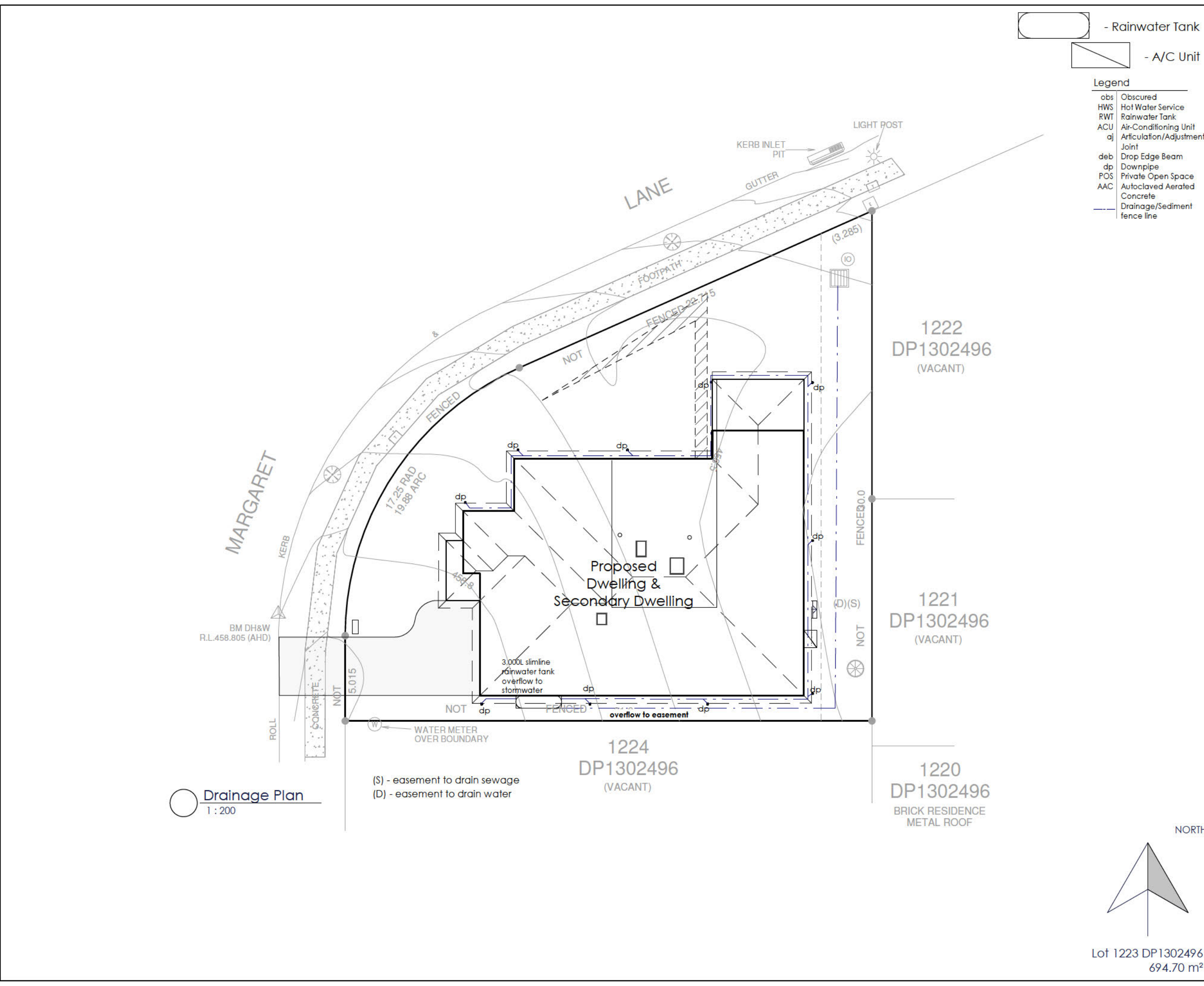
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694.70 m<sup>2</sup>


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	Required/ Max	Proposed
Site Area: 694.7m <sup>2</sup>	_____	_____
Site Coverage:	347.35m <sup>2</sup>	233.82m <sup>2</sup>
Max Floor Area (Total):	380.00m <sup>2</sup>	293.37m <sup>2</sup>
<b>Landscaping</b>		
Front Landscaped:	_____	54.47m <sup>2</sup>
Rear Landscaped:	86.84m <sup>2</sup>	265.82m <sup>2</sup>
Total Landscaped:	173.675m <sup>2</sup>	320.29m <sup>2</sup>
<b>Articulation</b>		
Front Articulation:	15.61m <sup>2</sup>	0.00m <sup>2</sup>

	Max/Min	Proposed
Site Area: 694.7m <sup>2</sup>	_____	_____
Total Height (max) (from NGL):	8500mm	6052mm
Side Setback (min.):	1463mm	7100mm
Rear Setback(min.):	8000mm	9120mm





- Rainwater Tank



- A/C Unit

Legend

obs	Obscured
HWS	Hot Water Service
RWT	Rainwater Tank
ACU	Air-Conditioning Unit
aj	Articulation/Adjustment Joint
deb	Drop Edge Beam
dp	Downpipe
POS	Private Open Space
AAC	Autoclaved Aerated Concrete
---	Drainage/Sediment fence line

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Proposed Dwelling & Attached Secondary Dwelling

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Drainage Plan

Working Drawings

SCALE @ A3:  
As indicated

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B

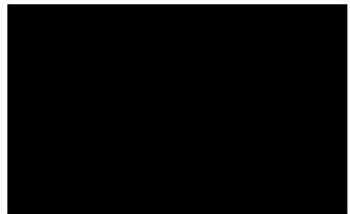
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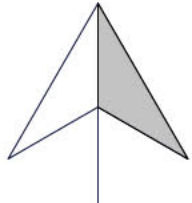
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Drainage Plan  
1 : 200

(S) - easement to drain sewage  
(D) - easement to drain water

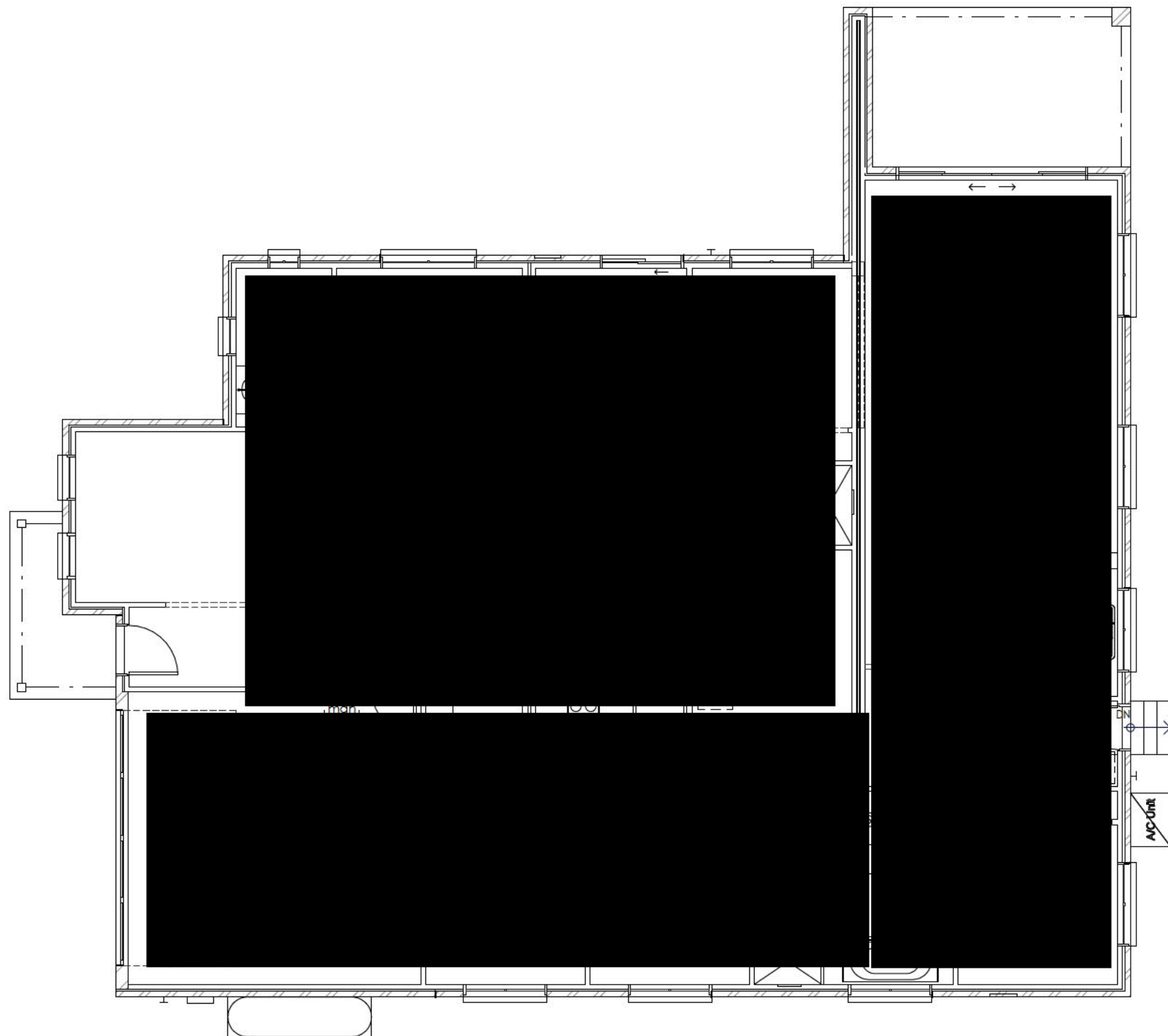
NORTH



Lot 1223 DP1302496  
694.70 m²







Electrical Plan  
1 : 100

Description	Symbol	Qty	Notes
Light Point			
Wall Light Point			
Downlight			
20W Fluoro			
Dimmer Switch			
2-Way			
3-Way			
Single G.P.O			
Double G.P.O.			
Ext. Single G.P.O.			
Ext. Double G.P.O.			
T.V. Point	+TV		
Exhaust Fan			
2 in 1			
3 in 1			
Door Chime			
Smoke Alarm			
Ceiling Fan			
Sensor Light			
Phone Point	+PH		
Gas Point	+GAS		



Legend	
obs	Obscured
HWS	Hot Water Service
RWT	Rainwater Tank
ACU	Air-Conditioning Unit
aj	Articulation/Adjustment Joint
deb	Drop Edge Beam
dp	Downpipe
POS	Private Open Space
AAC	Autoclaved Aerated Concrete
---	Drainage/Sediment fence line

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Electrical Plan

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