Co	onter	nts Sc	chec	ILIA
C	JUIGI	112.00		1016

Revisions Schedule

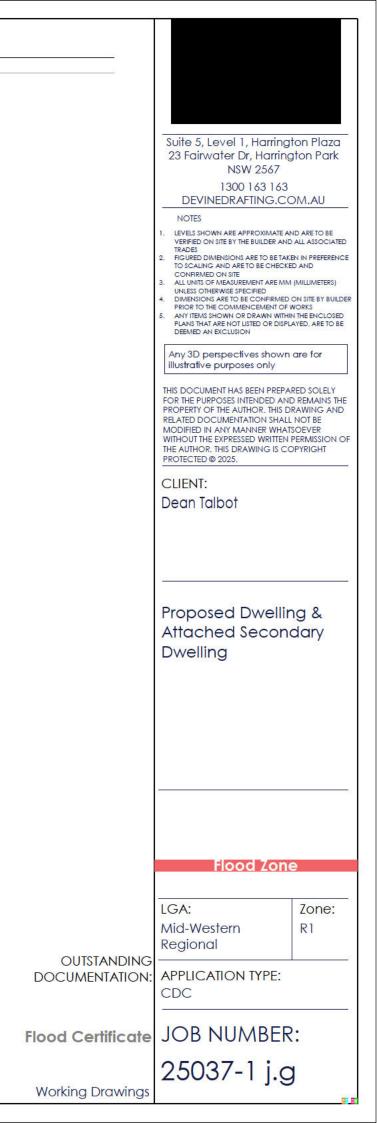
2 Floor Plan A 17-4-2025 JG Sketch 3 Elevations B 7-5-2025 JG Working Drav 4 Sections S Slab Plan Slab Plan	heat Number	Drawing Name	#	Date	By	Description
3ElevationsB7-5-2025JGWorking Drav4Sections5Slab Plan6Existing Site Plan7Site Plan & Driveway Profile8Drainage Plan9Landscaping Plan10Door/Window Schedule, Colours Schedule & Basix Notes11Electrical Plan			72	17-4-2025	JG	Sketch
4Sections5Slab Plan6Existing Site Plan7Site Plan & Driveway Profile8Drainage Plan9Landscaping Plan10Door/Window Schedule, Colours Schedule & Basix Notes11Electrical Plan			В	7-5-2025	JG	Working Drawing
 Existing Site Plan Site Plan & Driveway Profile Drainage Plan Landscaping Plan Door/Window Schedule, Colours Schedule & Basix Notes Electrical Plan 						
7 Site Plan & Driveway Profile Image Plan 8 Drainage Plan Image Plan 9 Landscaping Plan Image Plan 10 Door/Window Schedule, Colours Schedule & Basix Notes Image Plan 11 Electrical Plan Image Plan	5	Slab Plan				
8 Drainage Plan 9 Landscaping Plan 10 Door/Window Schedule, Colours Schedule & Basix Notes 11 Electrical Plan	6	Existing Site Plan				
 9 Landscaping Plan 10 Door/Window Schedule, Colours Schedule & Basix Notes 11 Electrical Plan 	7	Site Plan & Driveway Profile				
 Door/Window Schedule, Colours Schedule & Basix Notes Electrical Plan 	8	Drainage Plan				
11 Electrical Plan	9	Landscaping Plan				
11 Electrical Plan		Door/Window Schedule, Colours Schedule & Basix Notes				
	11	Electrical Plan				

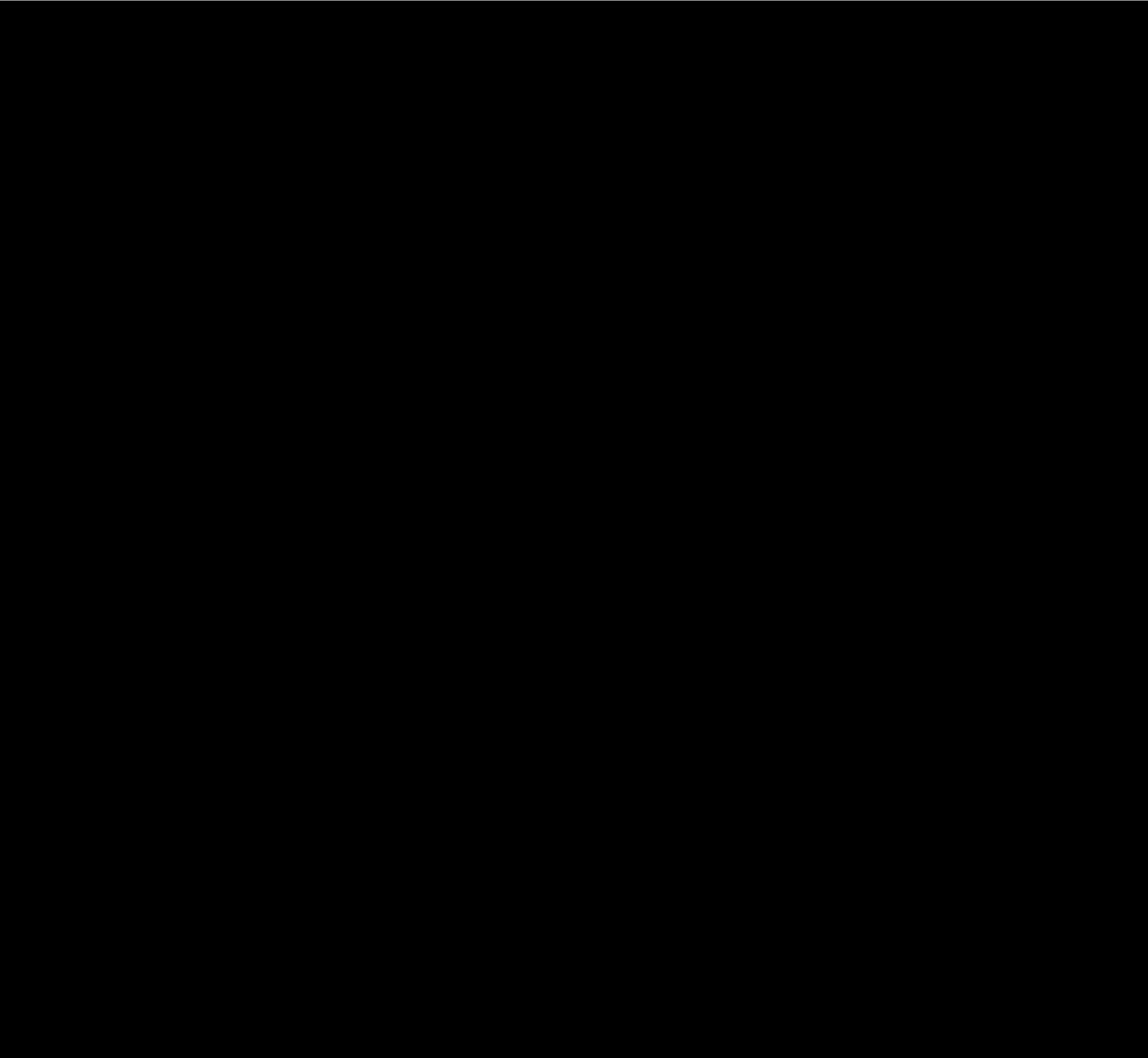


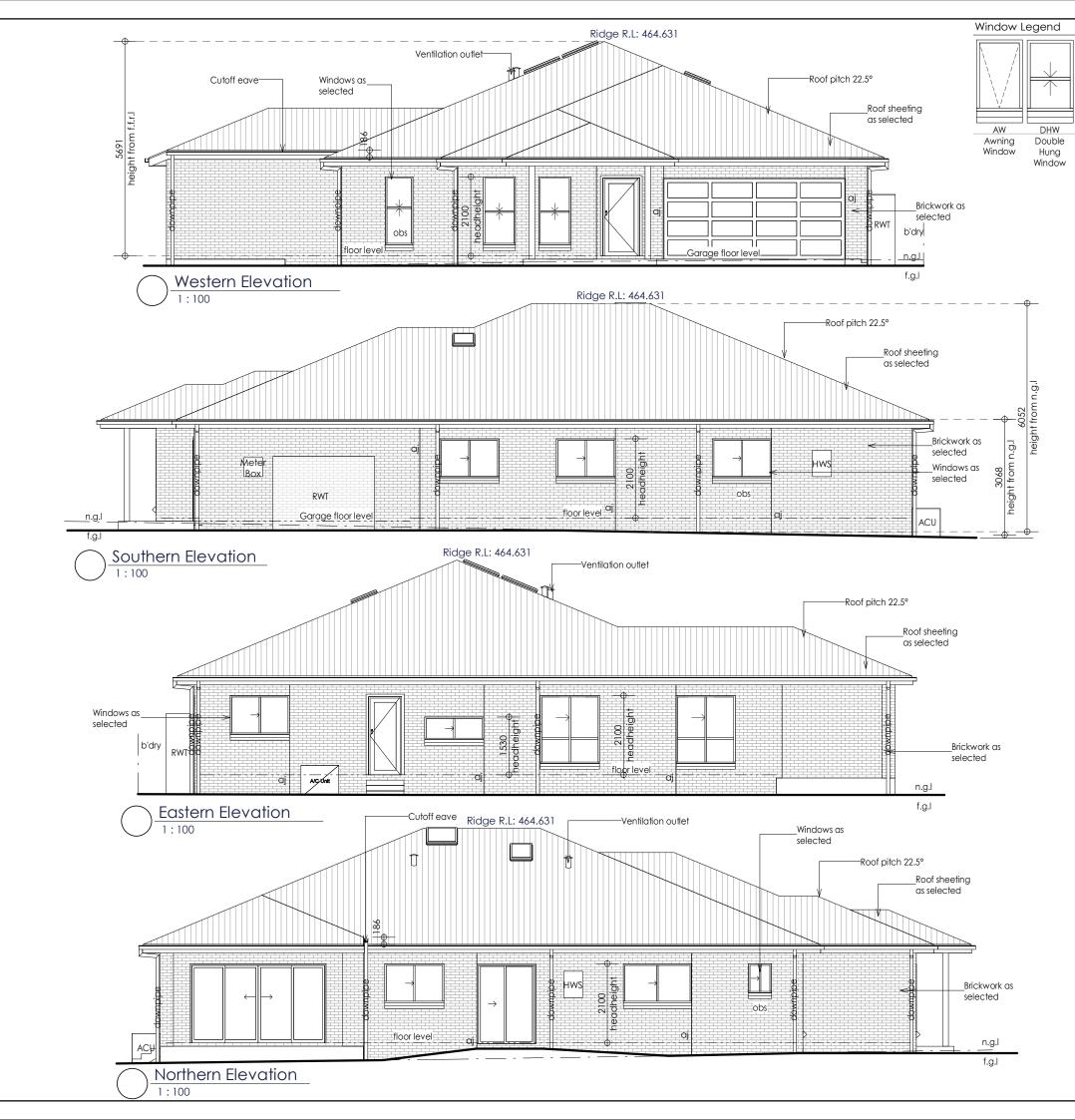
ADDRESS: Lot 1223 DP1302496 3 Margaret Lane, Caerleon, 2850

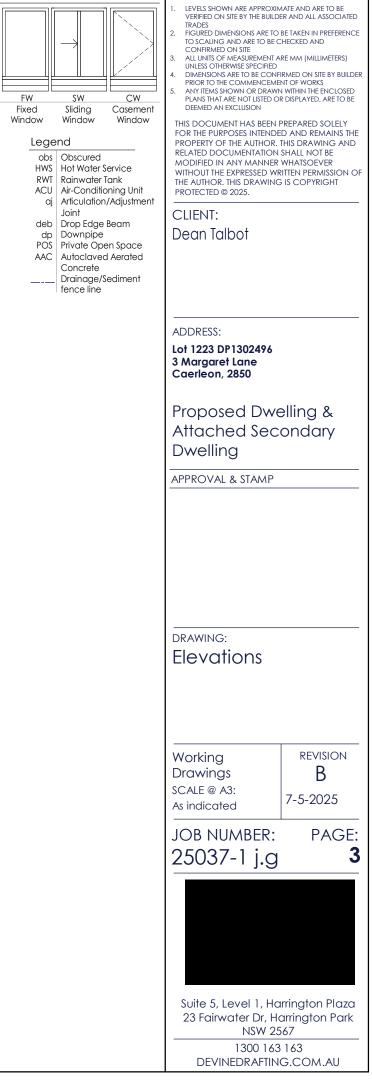




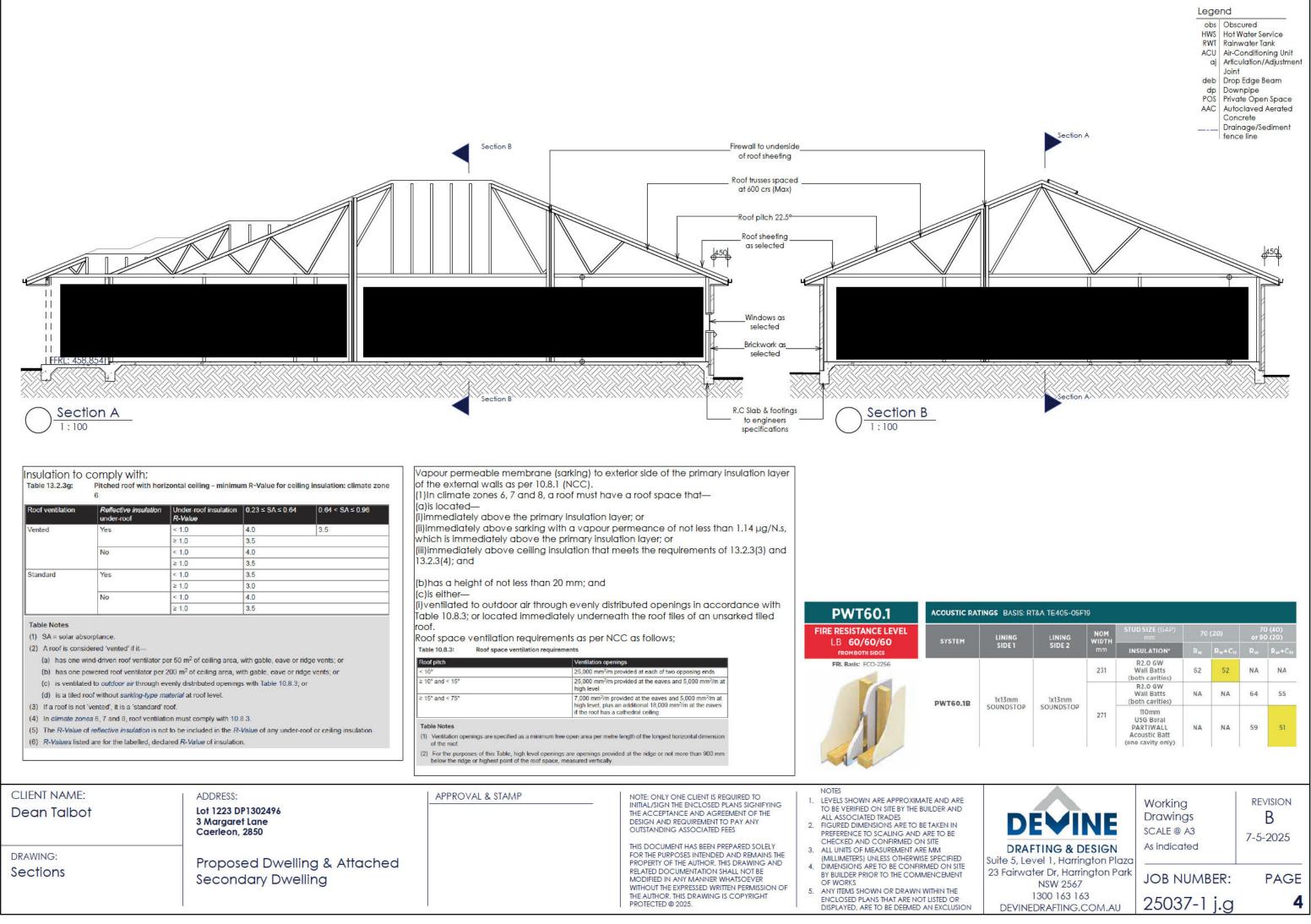




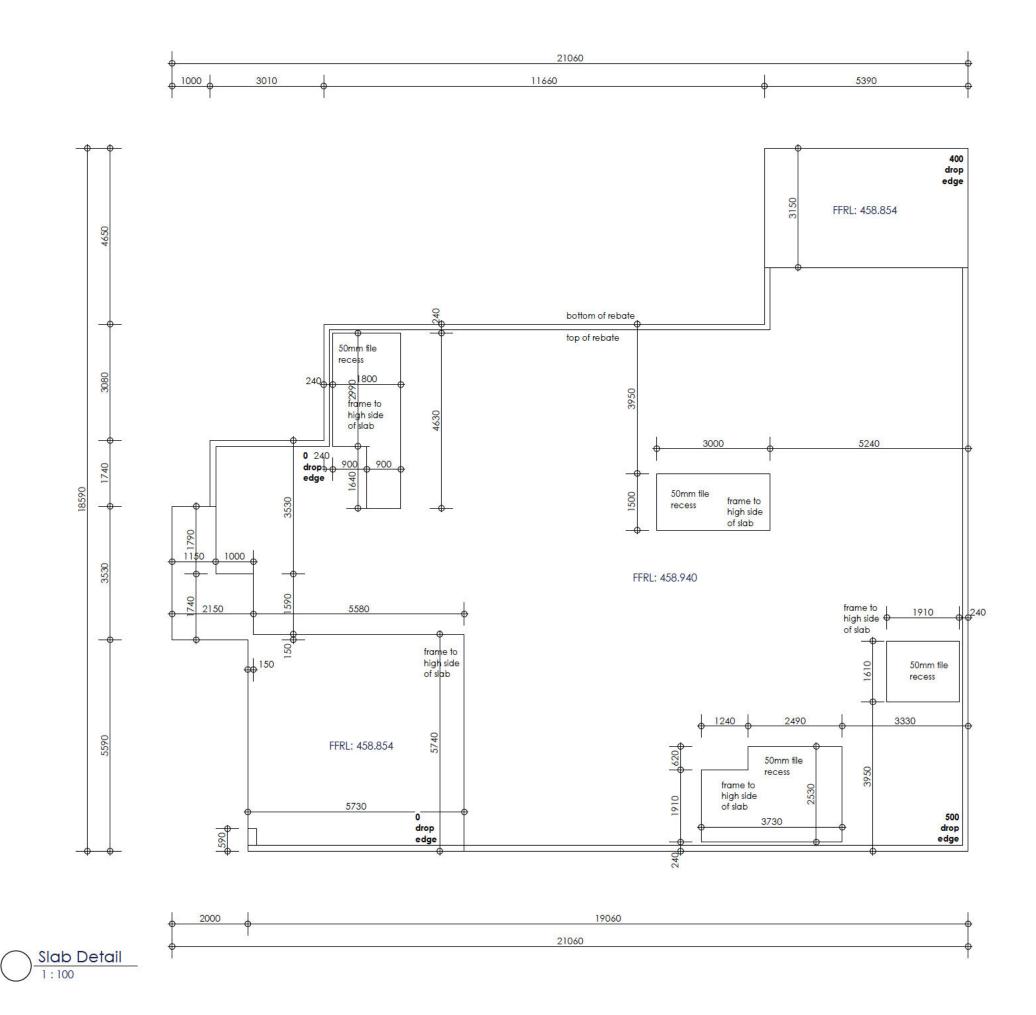




NOTES



LINING SIDE 1 Ix13mm UNDSTOP	LINING SIDE 2	NOM WIDTH mm	STUD SIZE (GAP) mm	70 (20)		70 (40) or 90 (20)	
			INSULATION*	Rw	R _w +C _{tr}		R _w +Ct
		231	R2.0 GW Wall Batts (both cavities)	62	52	NA	NA
	1x13mm		R2.0 GW Wall Batts (both cavities)	NA	NA	64	55
	SOUNDSTOP	271	110mm USG Boral PARTIWALL Acoustic Batt (one cavity only)	NA	NA	59	51



Legend

obs	Obscured
HWS	Hot Water Service
RWT	Rainwater Tank
ACU	Air-Conditioning Unit
aj	Articulation/Adjustment
	Joint
deb	Drop Edge Beam
dp	Downpipe
POS	Private Open Space
AAC	Autoclaved Aerated
Sector States	Concrete
	Drainage/Sediment
	fence line

NOTES

- LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED TRADES
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE

- FIG URED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND CONRIMED ON SITE
 ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS ANY ITEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION

THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025.

CLIENT: Dean Talbot

ADDRESS:

Lot 1223 DP1302496 3 Margaret Lane Caerleon, 2850

Proposed Dwelling & Attached Secondary Dwelling

APPROVAL & STAMP

DRAWING: Slab Plan

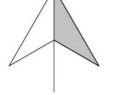


REVISION В 7-5-2025

JOB NUMBER: 25037-1 j.g



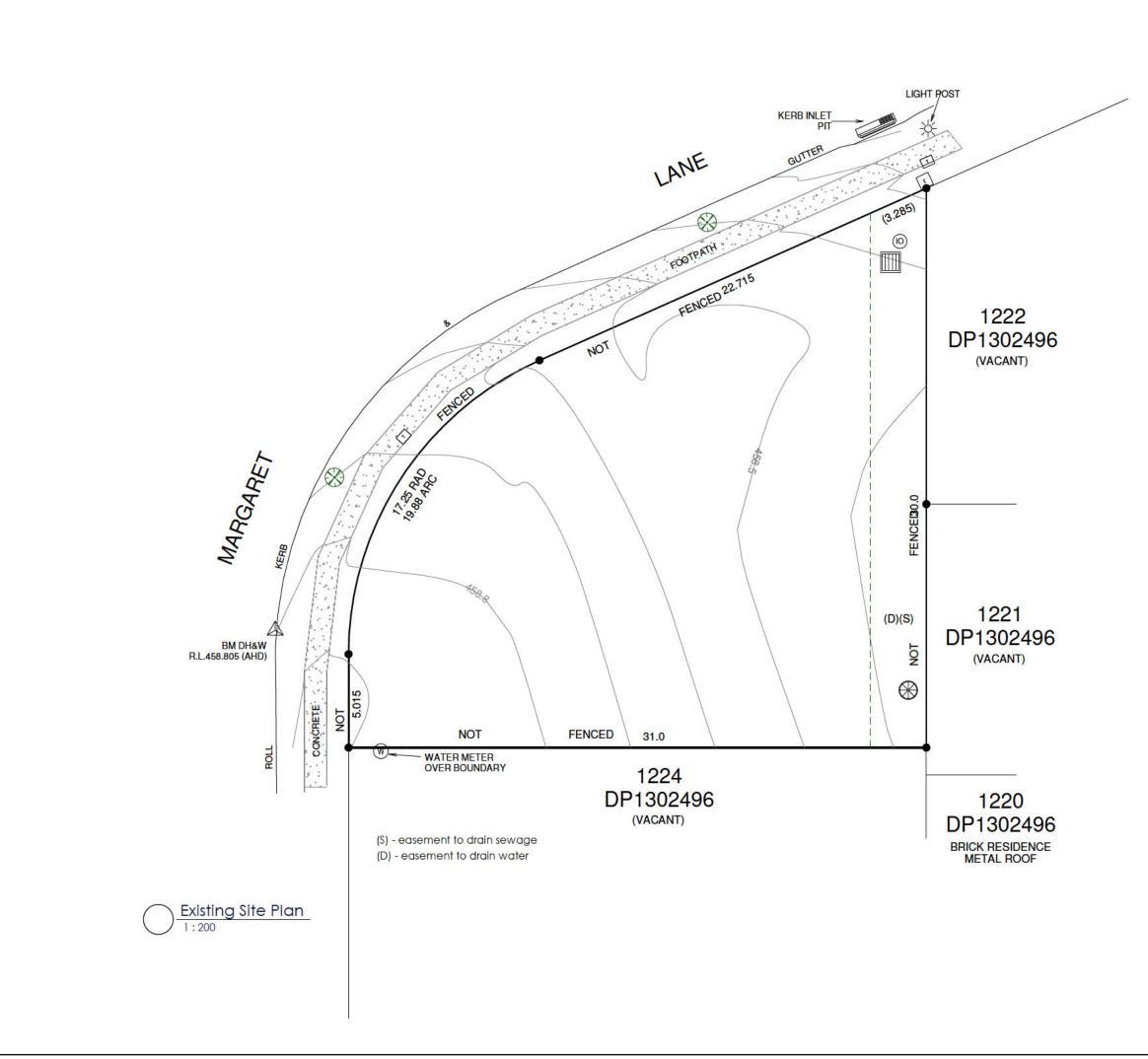


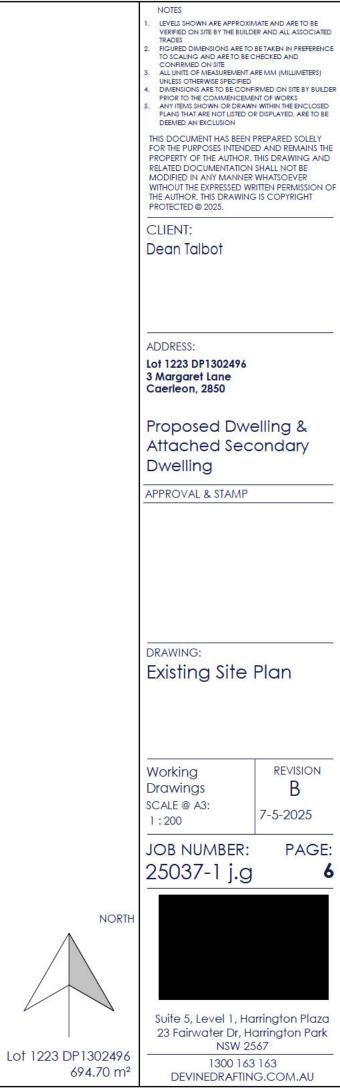


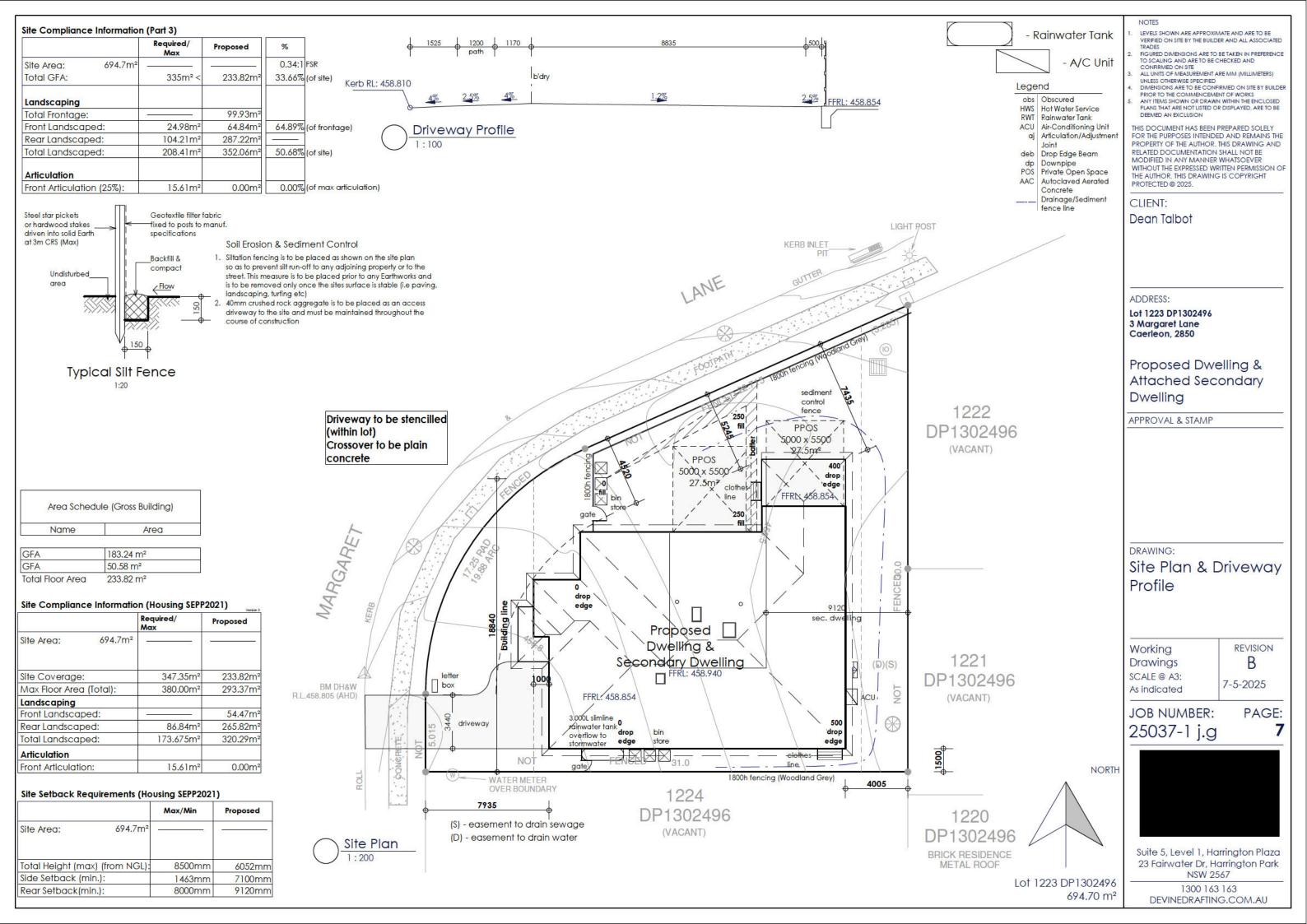
Lot 1223 DP1302496 694.70 m²

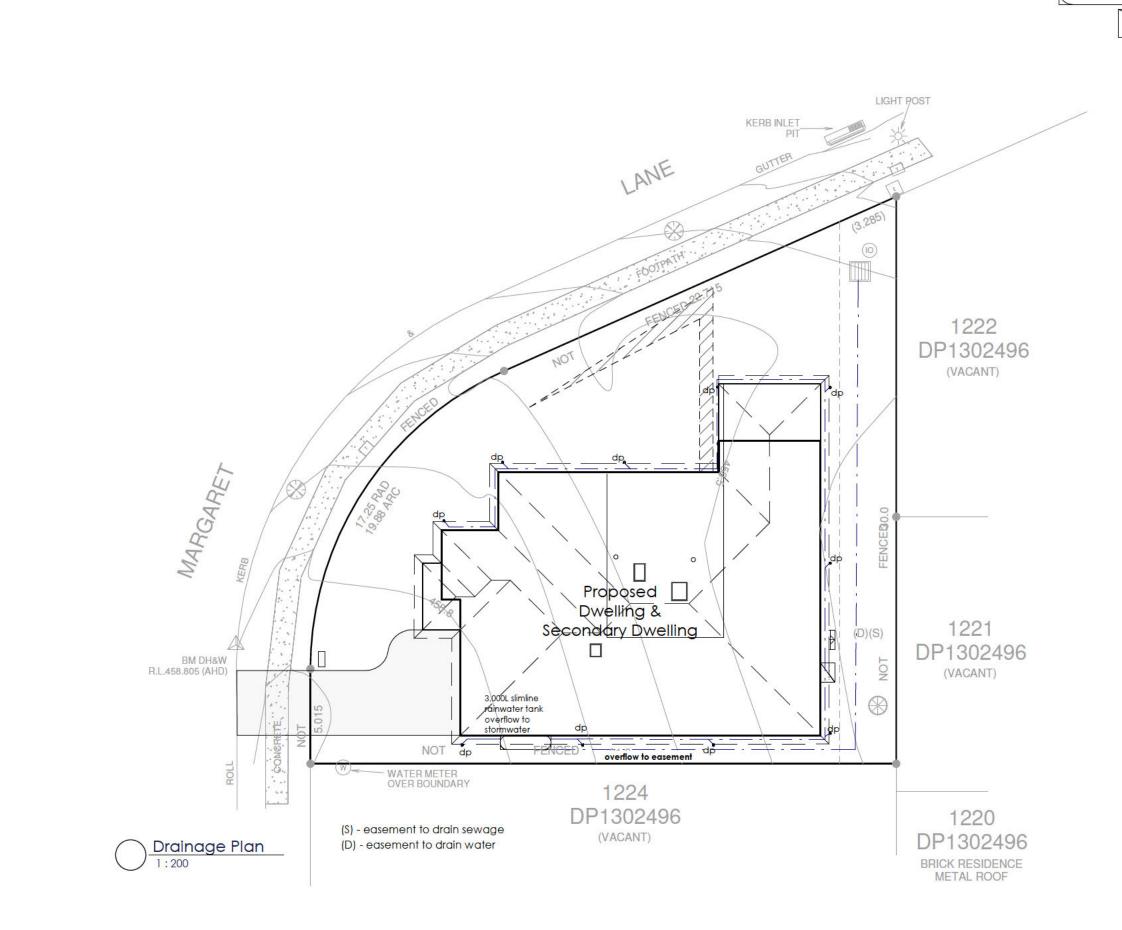
NSW 2567 1300 163 163 DEVINEDRAFTING.COM.AU

Suite 5, Level 1, Harrington Plaza 23 Fairwater Dr, Harrington Park





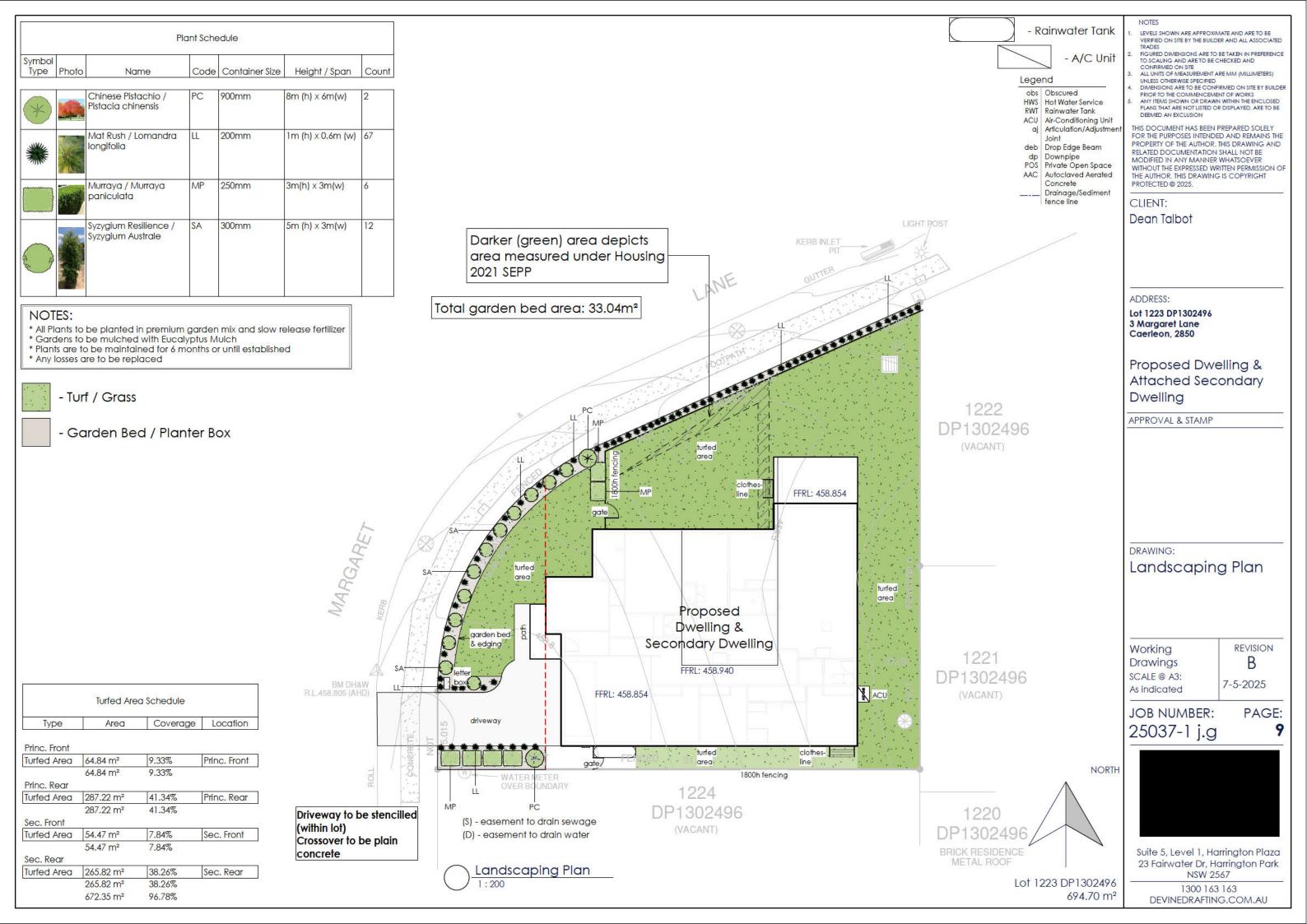




	7
- Rainwater Tank - A/C Unit Legend obs Obscured HWS Hot Water Service RWT Rainwater Tank ACU Air-Conditioning Unit aj Articulation/Adjustment Joint deb Drop Edge Beam dp Downpipe POS Private Open Space AAC Autoclaved Aerated Concrete Drainage/Sediment fence line	NOTES 1. LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED TRADES 2. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND CONFIRMED ON SITE 3. ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED 4. DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS 5. ANY ITEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION 5. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025. 5. CLIENT: Dean Talbot
	ADDRESS: Lot 1223 DP1302496 3 Margaret Lane Caerleon, 2850 Proposed Dwelling & Attached Secondary Dwelling APPROVAL & STAMP
	DRAWING: Drainage Plan Working REVISION
	Drawings B SCALE @ A3: As indicated 7-5-2025 JOB NUMBER: PAGE:
NORTH	25037-1 j.g 8 Suite 5, Level 1, Harrington Plaza 23 Fairwater Dr, Harrington Park NSW 2567
Lot 1223 DP1302496	1300 163 163

694.70 m²

DEVINEDRAFTING.COM.AU



Window Schedule Side Area: 0 and Michael Box Area: 0 and Michel Box Area: 0 and Michael Box Area: 0 and Michael Box	>4.5 min) 4 Star - (>6 but <7.5 L/min) **** ***** *****
Control Control Product Product <t< th=""><th>24.5 4 Star - (>6 but <7.5 L/min) ***** ***** ***** ***** ***** ****** ***** ****** ***** ****** ***** ****** ***** ****** ***** ****** ***** ****** ***** ****** ***** ****** ***** ******</th></t<>	24.5 4 Star - (>6 but <7.5 L/min) ***** ***** ***** ***** ***** ****** ***** ****** ***** ****** ***** ****** ***** ****** ***** ****** ***** ****** ***** ****** ***** ****** ***** ******
1 Oddrw 1898 1800 850 2100 w 1.53 mr 2 oddrw 1896 1800 850 2100 w 1.33 mr 3 asw 1015 1000 1370 2100 S 1.42 mr 4 asw 1015 1000 1570 2100 S 1.42 mr 5 asw 1015 1000 1570 2100 E 1.42 mr 6 asw 1015 1000 1570 2100 E 1.42 mr 7 asw 1015 1000 1570 2100 E 2.83 mr 8 asw 1015 1030 1570 2100 N 1.42 mr 10 asw 1015 1030 1570 2100 N 1.84 mr 11 asw 1016 1030 1570 2100 N 0.43 mr 12 asw 0766 obs. 772 410 2100 N 0.47 mr 12 asw 0766 obs. 772 410 2100 N 0.47 mr 13 addw 185 2100 350 N<	min) but <7.5 L/min)
2 adrw 1898 1900 500 2100 w 1.53 1.65 mm 500 mm <t< td=""><td>min) but <7.5 L/min)</td></t<>	min) but <7.5 L/min)
3 avx (11) 1000 1370 2100 \$ 1.42 mt 4 avx (10) 1030 1.570 2100 \$ 1.42 mt 5 avx (10) 1030 1.570 2100 \$ 1.42 mt 6 avx (10) 1030 1.570 2100 E 0.94 mt 7 avx (10) 1600 1.570 2100 E 0.94 mt 8 daw (10) 1.570 2100 E 2.83 mt 9 daw (10) 1.630 1.570 2100 N 1.63 mt 10 daw (10) 1.030 1.570 2100 N 1.63 mt 11 daw (10) 1.030 1.570 2100 N 1.63 mt 11 daw (10) 1.030 1.570 2100 N 0.07 mt 12 daw 076 das 772 4.10 2100 N 0.07 mt 13 dam 070 das 1.60 7.30 1.60 mt 1.60 mt 2 Minged Door 2.040 620 1.60 mt <t< td=""><td>***** ****** ***** ****** unoff: 0.00 m² EER *</td></t<>	***** ****** ***** ****** unoff: 0.00 m² EER *
4 aww 1015 1030 1570 2100 \$ 1.42 m² 6 aww 1015 1030 1570 2100 \$ 1.42 m² 7 aww 015 600 1570 2100 \$ 1.42 m² 7 aww 015 600 1570 2100 \$ 0.94 m² 8 aww 1815 1800 1570 2100 \$ 2.83 m² 9 aww 1815 1800 1570 2100 \$ 2.83 m² 9 aww 1815 1800 1570 2100 \$ 2.83 m² 10 aww 1815 1800 1570 2100 \$ 2.83 m² 11 asw 1018 1030 1570 2100 \$ 1.64 m² 11 asw 1018 1030 1610 2100 \$ 0.47 m² 12 admw 1807 obs 1800 730 2100 \$ 1.81 m² 12 admw 1807 obs 1800 2.720 \$ 1.88 m² \$ 13 adm² 2.00 3.20 m² 3.30 m	UNOFF: 0.00 m ²
S Cask (UIs Obs (Cask) 15.70 2100 E 1.62 m² C asw (615 6.00 1570 1330 E 0.94 m² = Kolkhon Tops: =	UNOFF: 0.00 m ²
Control Contro <thcontrol< th=""> <thcontro< th=""> <thcon< td=""><td>EER *</td></thcon<></thcontro<></thcontrol<>	EER *
8 own (815 1900 1570 2100 E 2.83 m² 9 asw (815 1800 1570 2100 E 2.83 m² 10 asw (1015 1030 1370 2100 N 1.42 m² 11 asw (1018 1330 1810 2100 N 1.42 m² 12 asw (766 obs 772 610 2100 N 0.47 m² 12 asw (766 obs 772 610 2100 N 0.47 m² External Door Schedule External Door Schedule Skylight Schedule Skylight Schedule Skylight Schedule N Skylight Schedule N N Skylight P80 550 Acu Acu Acu Skylight P80 550 N Ocide internal door height unless otherwise specifies Skylight P80 <t< td=""><td>EER *</td></t<>	EER *
9 csw 1815 1800 1570 2100 E 2.83 m² 10 csw 1015 1030 1570 2100 N 1.42 m² 11 csw 1018 1030 1810 2100 N 1.42 m² 12 csw 076 obs 772 610 2100 N 0.47 m² 13 cdhw 1807 obs 1800 750 2100 N 0.47 m² 13 cdhw 1807 obs 1800 750 2100 N 0.47 m² 13 cdhw 1807 obs 1800 750 2100 N 0.47 m² 14 besciplion Height Width Orientation Frame & Glozing Area 1 Hinged Door 2040 620 E 1.45 m² 4 csd 2135 2100 3598 N 7.56 m² Skylight 700 330 m² - - - Skylight 700 N 0.39 m² - - -	EER *
10 asw 1015 1030 1570 2100 N 1.42m² 11 asw 1018 1030 1810 2100 N 1.42m² 12 asw 0026 obs 772 610 2100 N 0.47m² 13 active 1807 obs 1800 730 2100 W 1.31m² External Door Schedule External Door Schedule External Door Schedule 1 Hinged Door 2040 920 W 1.88 m² 1 Actual Schedule 1.67 m² 1.67 m² 1.67 m² 2 Hinged Door 2040 820 E 1.67 m² 3 asd 2135 2100 1570 N 3.30 m² Skylight Schedule Number Description Height Width Orientation 1 Area N 0.39 m² 3.30 m² 4.20 Schight 1 Skylight 980 550	EER *
11 cow 1018 1030 1810 2100 N 1.86 m² 12 cow 0706 obs 772 610 2100 N 0.47 m² 13 codiw 1807 obs 772 610 2100 N 0.47 m² 3 codiw 1807 obs 730 2100 W 1.31 m² External Door Schedule metric linged Door 2040 920 W 1.88 m² 1 Hinged Door 2040 820 E 7.56 m² Skylight Schedule Number Description Height Width Orientation Frame & Glazing Area Skylight 700 550 N 0.75 m² Skylight 700 550 N 0.37 m² Skylight 700 550 N 0.37 m² Skylight 980 550 N 0.37 m² The Width Orientation Frame & Glazing Area AcU Coling:	EER *
12 gew 0706 obs 772 610 2100 N 0,47 m² 13 gadw 1807 obs 1800 730 2100 W 1,31 m² External Door Schedule External Door Schedule Under Door 2040 820 E 1,67 m² 2 Hinged Door 2040 820 E 1,67 m² 3 gad 2115 2100 3598 N 7,56 m² 4 asd 2115 2100 3598 N 7,56 m² Skylight Schedule Number Description Height Width Orientation Frame & Glazing Area ACU Frapce	
13 odhw 1807 obs 1800 730 2100 w 1.31 m² External Door Schedule Imped Door 2040 920 w 1.86 m² Imped Door 2040 920 w Imped Door 1.87 m² Hol Water Service: 1 Hinged Door 2040 920 w 1.86 m² Acu Acu Acu Treplace fireplace 2 Hinged Door 2040 920 w 1.86 m² Imped Door 2.40 M² Reficulated Water Service: 4 asd 2135 2100 3598 N 7.56 m² Imped Door Acu Acu Imped Cor Skylight Schedule Number Description Height Width Orientation Frame & Glazing Area * Window headheights as per schedule * Standard internal door height unless otherwise specified * Window headheights as per schedule * Skylight 980 780 N 0.54 m² 20 Double Hinged 1 Minge Door 5 0 Hinge Door 1 <	
External Door Schedule Integrad Door 2040 920 w 1.88 m² 1 Hinged Door 2040 920 w 1.88 m² Heating: 1-Phase Sold fuel Gas fued medias fuel Gas fued 2 Hinged Door 2040 820 E 1.67 m² Heating: 1-Phase Sold fuel Gas fued <td></td>	
Action of the leght Width Orientation Frame & Glazing Area I Hinged Door 2040 920 W 1.88 m² 1.67 m² 3 dasd 2135 2100 3598 N 7.56 m² 3.00 m² 4 asd 2115 2100 1570 N 3.00 m² -	
umber Description Height Width Orientation Frame & Glazing Area 1 Hinged Door 2040 920 W 1.88 m² 2 Hinged Door 2040 820 E 1.67 m² 3 asd 2135 2100 3598 N 7.56 m² 4 asd 2115 2100 1.570 N 3.30 m² wumber Description Height Width Orientation Frame & Glazing Area Number Description Height Width Orientation Frame & Glazing Area Skylight 700 550 N 0.39 m² -	
umber Description Height Width Orientation Frame & Glazing Area	
1 Hinged Door 2040 920 W 1.88 m² 2 Hinged Door 2040 820 E 1.47 m² 3 asd 2135 2100 3578 N 7.56 m² 4 asd 2115 2100 1570 N 3.30 m² Skylight Schedule Skylight Schedule Skylight 700 550 N 0.39 m² Skylight 700 550 N 0.39 m² Skylight 980 780 N 0.54 m² * Window headheights as per schedule * Double Hinged 1	
2 Hinged Door 2040 820 E 1.67 m² 3 asd 2135 2100 3598 N 7.56 m² 4 asd 2115 2100 1570 N 3.30 m² Skylight Schedule Number Description Height Width Orientation Frame & Glazing Area Skylight 700 550 N 0.39 m² 0.76 m² 0.54 m² Skylight 980 780 N 0.76 m² 0.54 m² Internal Door Schedule * * Window headheights as per schedule * * * * stondard internal door height unless otherwise specified * * * * * * * stondard internal door height unless otherwise specified * <td< td=""><td>EER *</td></td<>	EER *
3 asd 2135 2100 3598 N 7.56 m² 4 asd 2115 2100 1570 N 3.30 m² Skylight Schedule Number Description Height Width Orientation Frame & Glazing Area Skylight 700 550 N 0.39 m² -	EER *
4 asd 2115 2100 1570 N 3.30 m² Skylight Schedule Number Description Height Width Orientation Frame & Glazing Area Skylight 700 550 N 0.39 m² - - - - Cooling: 1-Phose 3-Phose Evapor. Ceiling frams -	EER *
Skylight Schedule Number Description Height Width Orientation Frame & Glazing Area Skylight 700 550 N 0.39 m² -	EER *
Number Description Height Width Orientation Frame & Glazing Area Skylight 700 550 N 0.39 m² 0.76 m² 0.39 m² 0.76 m² 0.076 m²	EER *
Number Description Height Width Orientation Frame & Glazing Area Skylight 700 550 N 0.39 m² 0.76 m² 0.39 m² 0.76 m² 0.076 m²	EER *
Number Description Height Width Orientation Frame & Glazing Area Skylight 700 550 N 0.39 m² 0.76 m² 0.39 m² 0.76 m² 0.76 m² 0.76 m² 0.54 m²<	EER *
Skylight 980 780 N 0.76 m² Skylight 980 550 NE 0.54 m² Internal Door Schedule * Window headheights as per schedule * Standard internal door height unless otherwise specified * Coulte Hinged 1	
Skylight 980 780 N 0.76 m² Skylight 980 550 NE 0.54 m² Internal Door Schedule * Window headheights as per schedule * Standard internal door height unless otherwise specified Photovoltaic System (PV): > LED or Fluorescent Lighting to: Cooktop & Oven: Thermal Comfort Photovoltaic System (PV): > LED or Fluorescent Lighting to: Cooktop & Oven: Thermal Comfort	
Skylight 980 550 NE 0.54 m² Internal Door Schedule * Window headheights as per schedule * Standard internal door height unless otherwise specified • Photovoltaic System (PV): • Double Hinged 1 620 Double Hinged 0 Hinged Door 5 0 Hinged Door 7 tal: 16	
Internal Door Schedule * Window headheights as per schedule * Standard internal door height unless otherwise specified be Mark Description Count i20 Double Hinged 1 0 Hinged Door 5 Docsd Cavity Sliding 0 Hinged Door 0 Hinged Door 1 0 0 Hinged Door 1 0	
Internal Door Schedule * Standard internal door height unless otherwise specified >> Photovoltaic System (PV): >> LED or Fluorescent Lighting to: 20 Double Hinged 20 Covity Sliding 20 Door 4 Hinged Door 7 Door 20 Lit 6	
Internal Door Schedule * Standard internal door height unless otherwise specified * pe Mark Description 520 Double Hinged 520 Double Hinged 620 Double Hinged 0 Hinged Door 16 - Insulation:	
Image: Pre-Mark Description Count 520 Double Hinged 1 620 Double Hinged 1 620 Double Hinged 1 0 Hinged Door 5 0csd Cavity Sliding 2 Door 7 tal: 16	Peak Output of 0kW
520 Double Hinged 1 520 Hinged Door 5 520 Cavity Sliding 2 520 Cavity Sliding 2 520 Hinged Door 7 520 Hinged Door 7 521 Hinged Door 7 532 Hinged Door 7 533 Hinged Door 7 541 Hinged Door 7	
620 Double Hinged 1 0 Hinged Door 5 0csd Cavity Sliding Door 2 0 Hinged Door 7 tal: 16	
Decision integral Termal Comfort SS 0 Hinged Door 5 0csd Cavity Sliding Door 2 0 Hinged Door 7 tal: 16	
Ocsd Cavity Sliding Door 2 0 Hinged Door 7 tal: 16	
Door Hinged Door 7 tal: 16 16	VERSON
D Hinged Door 7 ral: 16	
ral: 16	
External Colour Schedule	
Roof Brickwork Fascia Gutter	
Surfmist Australbricks; Metallix; Surfmist Surfmist	
Titanium (or similar)	
Downpipes Garage Door	
Surfmist	

e barrier.

- all external doors.
- to be fitted to WC, Bath, Pdr or cable).
- accordance with the BCA and Ustralian Standards.
- stalled in accordance with
- Australian standards. to be verified and confirmed on nencement of work.
- n detailing/tender.
- openings located on a floor that GL or FFRL (below) are to be fitted tion devices; 3.12.
- installed in accordance with
- BCA/NCC and AS 3786-2014;
- ply with the requirements of H4D2 , 3740-2010, including but not of drainage flanges, falls to floor ofing systems; 10.2.
- s to comply with Clause 11.2 of
- be a minimum of 1m high & are se 11.3 of the BCA/NCC; 11.3. hich have a door within 1.2m of provided with lift-off hinges;
- gement, where applicable, to visions of Part 10.8 of the ABCB
- I frame and trusses to be installed Part 6, AS 1684 and
- ification. Alternatively, cut on site full structural specification. w schedule confirms all windows to comply with these parts.
- ed exhaust systems to serve the n the floor plan; and their is on the elevations. The are to be in accordance with
- Australian standards.

NOTES

- LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED
- TRADES FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND
- TO SCALING AND ARE TO BE CHECKED AND CONFIRMED ON SITE ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS ANY TIEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION

THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025.

CLIENT: Dean Talbot

ADDRESS:

Lot 1223 DP1302496 3 Margaret Lane Caerleon, 2850

Proposed Dwelling & Attached Secondary Dwelling

APPROVAL & STAMP

DRAWING:

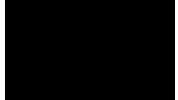
Door/Window Schedule, Colours Schedule & Basix Notes

Working Drawings SCALE @ A3:

REVISION В 7-5-2025

JOB NUMBER: 25037-1 j.g





Suite 5, Level 1, Harrington Plaza 23 Fairwater Dr, Harrington Park NSW 2567 1300 163 163 DEVINEDRAFTING.COM.AU

Description	Symbol	G
Light Point	0	
Wall Light Point	0—	
Downlight		
20W Fluoro		
Dimmer Switch	\bigcirc	
2-Way	\bigcirc	
3-Way	\ominus	
Single G.P.O	Δ	
Double G.P.O.	$\Delta \Delta$	
Ext. Single G.P.O.		
Ext. Double G.P.O.		
T.V. Point	+TV	
Exhaust Fan	\circledast	
2 in 1	\oplus	
3 in 1	\bigcirc	
Door Chime	\Box	
Smoke Alarm	(\mathbb{S})	
Ceiling Fan	\otimes	
Sensor Light	\odot	
Phone Point	+PH	
Gas Point	TGAS	

20. 70	100104		NOTES	
mbol	Qty	Notes	 LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATE TRADES 	D
\bigcirc			2. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND	CE
)—			CONFIRMED ON SITE 3. ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED	
			 DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILD PRIOR TO THE COMMENCEMENT OF WORKS 	
			 ANY ITEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION 	
\bigcirc			THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS TH	JC.
\bigcirc			PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE	
θ			MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION (OF
Δ			THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025.	
$\Delta\!\Delta$			CLIENT:	
			Dean Talbot	
+TV				
R				
$ \bigoplus_{i \in \mathcal{I}} (i) $				-
Ø			ADDRESS: Lot 1223 DP1302496	
\square			3 Margaret Lane Caerleon, 2850	
(S) (S)			Cuelleon, 2000	
\otimes		<u>.</u>	Proposed Dwelling &	
\bigcirc			Attached Secondary	
+PH			Dwelling	
TGAS			APPROVAL & STAMP	
		- Rainwater Tank		
		- A/C Unit		
		Legend obs Obscured		
		HWS Hot Water Service RWT Rainwater Tank		
		ACU Air-Conditioning Unit	DRAWING:	-
		aj Articulation/Adjustment Joint	Electrical Plan	
		deb Drop Edge Beam dp Downpipe		
		POS Private Open Space AAC Autoclaved Aerated Concrete		
		Drainage/Sediment		
		Tence ine	Working REVISION	-
			Drawings B	
			SCALE @ A3: As indicated 7-5-2025	
			As indicated	-
			JOB NUMBER: PAGE	
			25037-1 j.g 1	1
		NORTH		
		\wedge		
			Suite 5, Level 1, Harrington Plaza 23 Fairwater Dr, Harrington Park	
		Lot 1223 DP1302496	NSW 2567	-0
		694.70 m ²	1300 163 163 DEVINEDRAFTING.COM.AU	