

Contents Schedule

Sheet Number	Drawing Name
2	Floor Plan
3	Elevations
4	Sections & Slab Plan
5	Existing Site Plan
6	Site Plan & Driveway Profile
7	Drainage Plan
8	Landscape Plan
9	Door/Window Schedule & External Colours Schedule
10	Electrical Plan
11	Roof Plan
12	Basix Notes

Revisions Schedule

#	Date	By	Description
A	23-5-2025	JG	Working Drawings
B	11-6-2025	JG	Basix & NatHERS Notes



ADDRESS:
Lot 1215 DP1301185
20 Moore Street,
Caerleon, 2850

Suite 5, Level 1, Harrington Plaza
23 Fairwater Dr, Harrington Park
NSW 2567
1300 163 163
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Any 3D perspectives shown are for illustrative purposes only

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Proposed Dwelling &
Attached Secondary
Dwelling

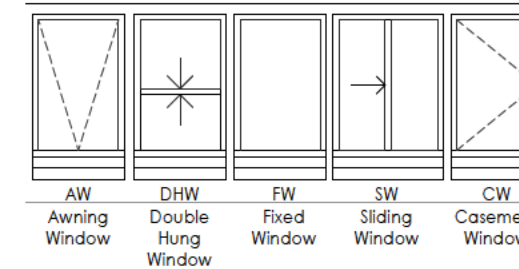
LGA: Mid-Western Regional	Zone: R1
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APPLICATION TYPE:
CDC

JOB NUMBER:
25042-1 j.g



Window Legend



Legend

obs	Obscured
HWS	Hot Water Service
RWT	Rainwater Tank
ACU	Air-Conditioning Unit
aj	Articulation/Adjustment Joint
deb	Drop Edge Beam
dp	Downpipe
POS	Private Open Space
AAC	Autoclaved Aerated Concrete
—	Drainage/Sediment fence line

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Proposed Dwelling &
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DRAWING:
Elevations

Working
Drawings
SCALE @ A3:
As indicated

REVISION
B
11-6-2025

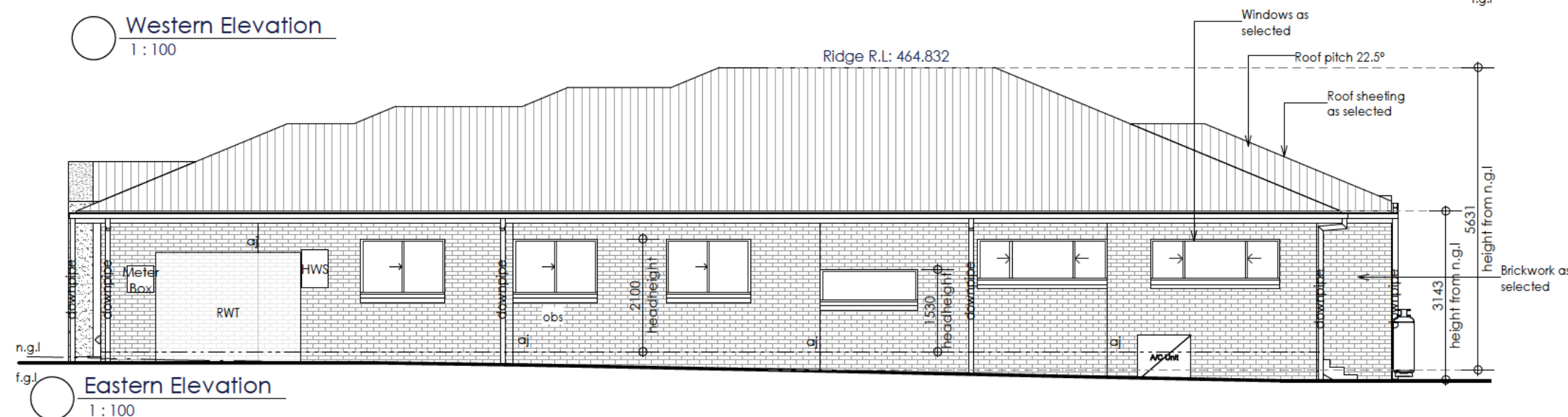
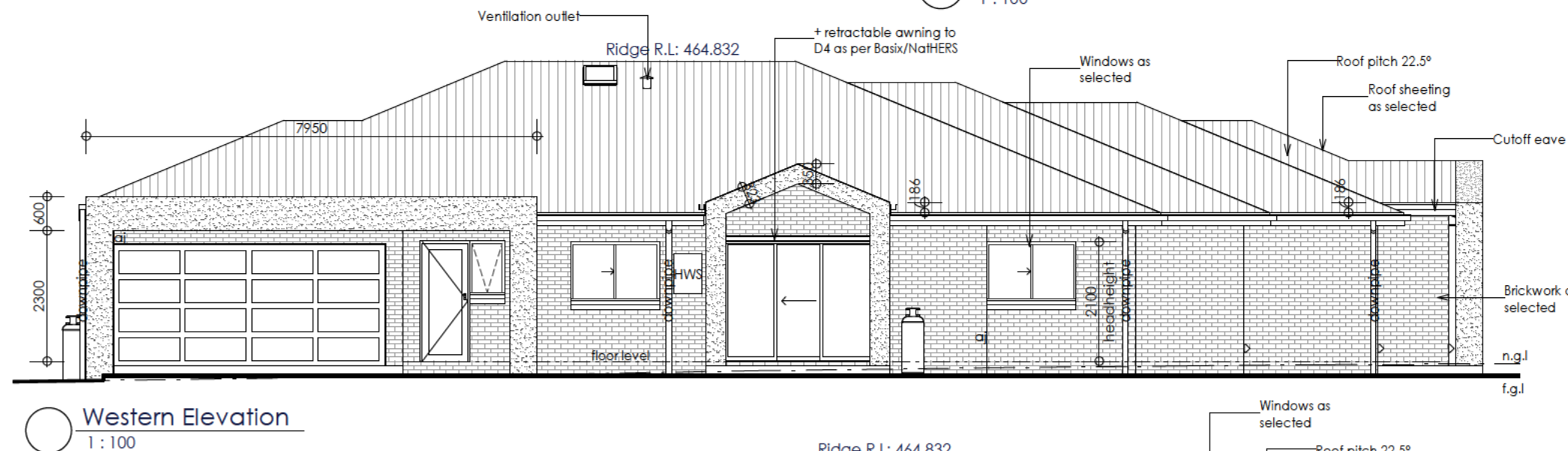
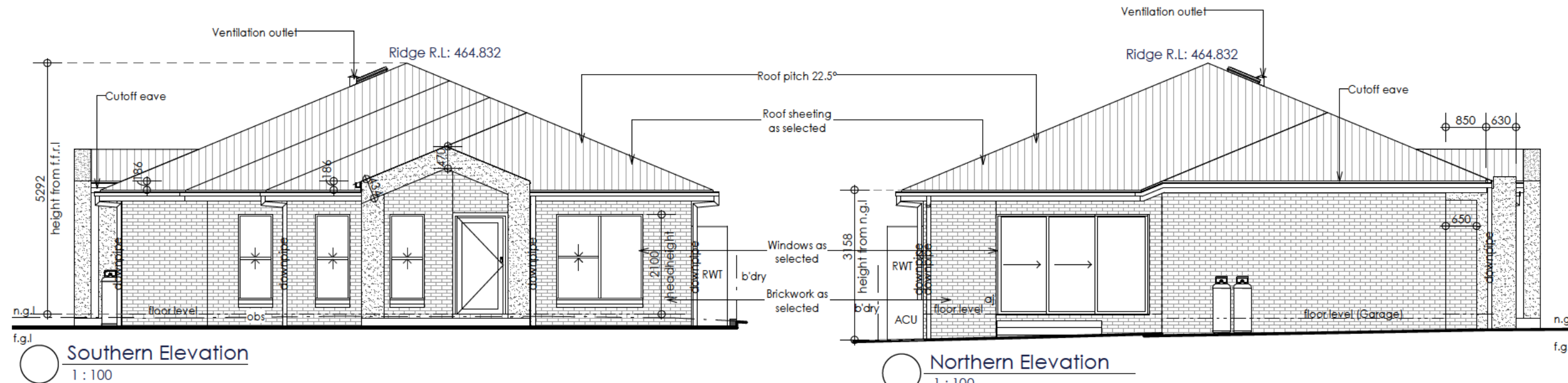
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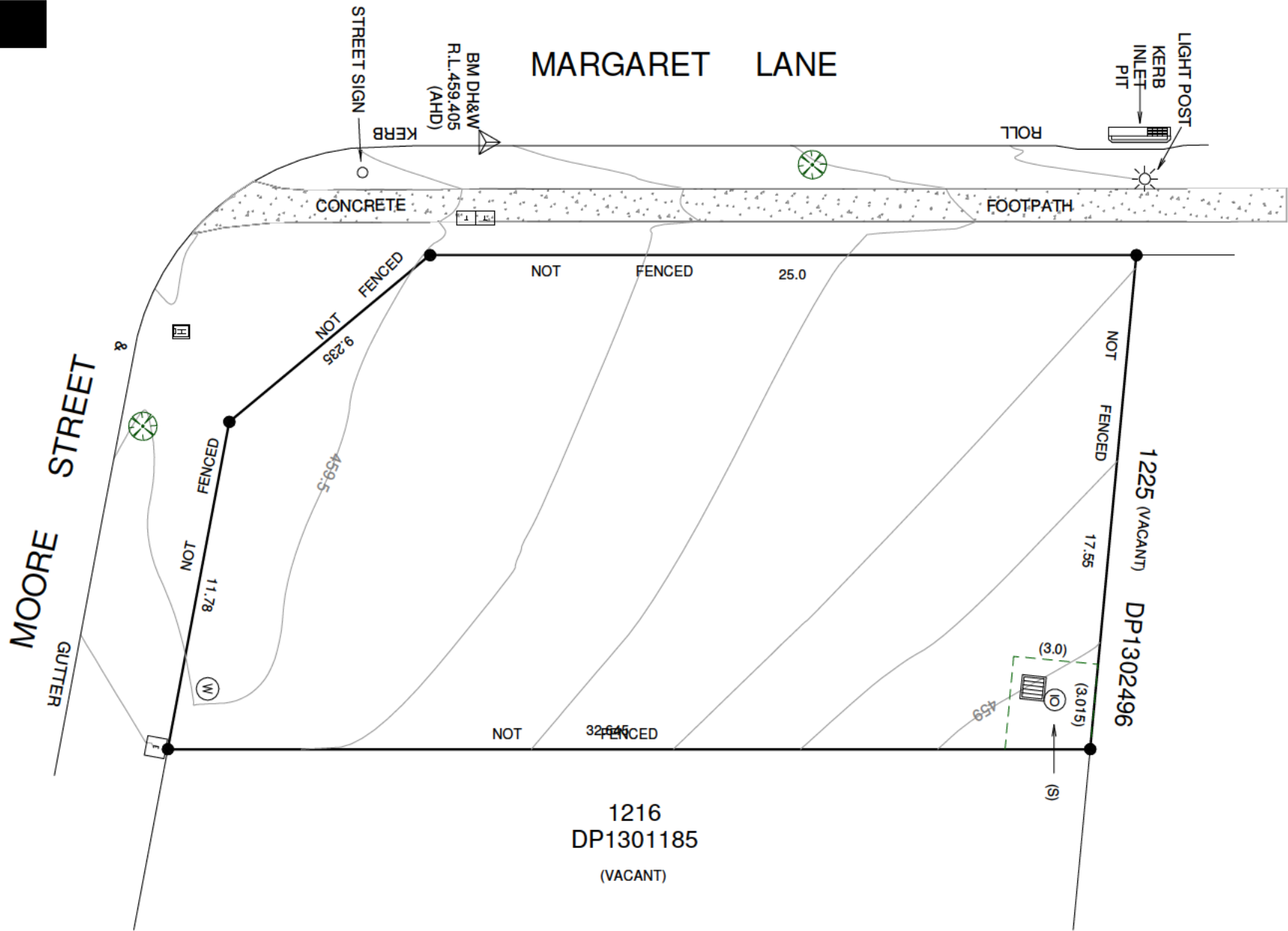
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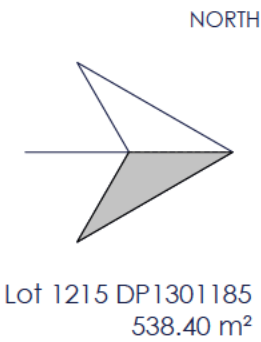
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Existing Site Plan
1 : 200



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Proposed Dwelling &
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Dwelling

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DRAWING:
Existing Site Plan

Working Drawings SCALE @ A3: 1 : 200	REVISION B 11-6-2025
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JOB NUMBER: 25042-1 j.g
PAGE: 5



Suite 5, Level 1, Harrington Plaza
23 Fairwater Dr, Harrington Park
NSW 2567
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Lot 1215 DP1301185
538.40 m²

Site Compliance Information (Part 3)

	Required/ Max	Proposed	%
Site Area:	538.4m ²		0.42:1 FSR
Total GFA:	290m ² <	224.78m ²	41.75% (of site)
Landscaping			
Total Frontage:		55.56m ²	
Front Landscaped:	13.89m ²	46.11m ²	82.99% (of frontage)
Rear Landscaped:	53.84m ²	166.68m ²	
Total Landscaped:	107.68m ²	212.79m ²	39.52% (of site)
Articulation			
Front Articulation (25%):	14.83m ²	6.54m ²	44.10% (of max articulation)

Site Compliance Information (Housing SEPP2021)

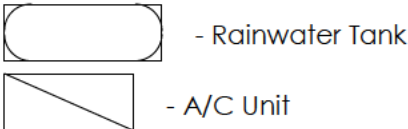
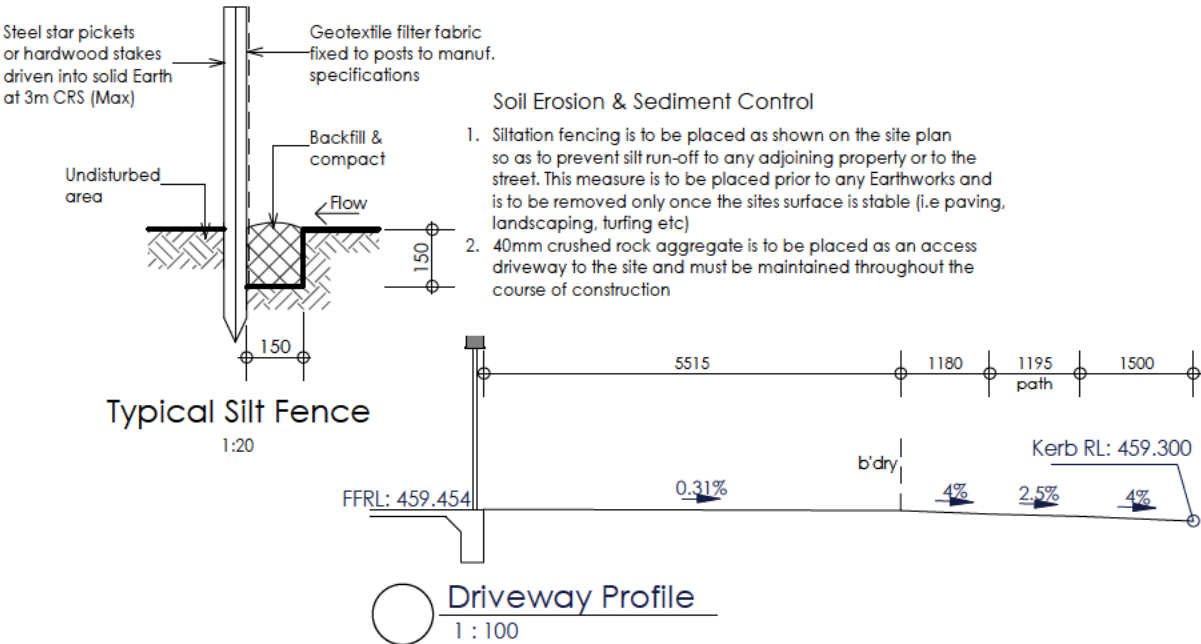
	Required/ Max	Proposed
Site Area:	538.4m ²	
Site Coverage:	269.2m ²	253.64m ²
Max Floor Area (Total):	330.00m ²	263.34m ²
Landscaping		
Front Landscaped:		46.11m ²
Rear Landscaped:	53.84m ²	155.72m ²
Total Landscaped:	107.68m ²	201.83m ²
Articulation		
Front Articulation:	14.83m ²	6.54m ²

Site Setback Requirements (Housing SEPP2021)

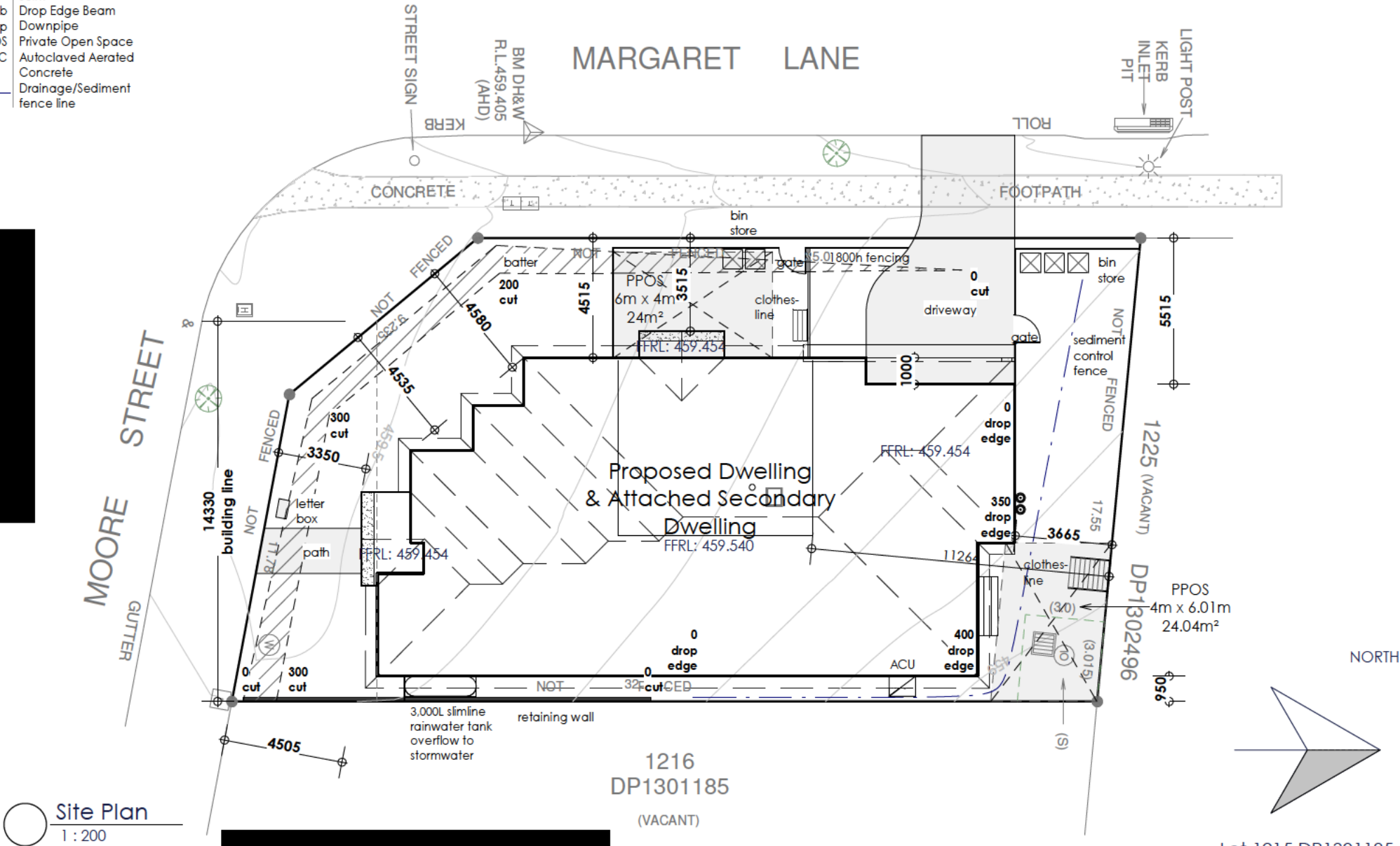
	Max/Min	Proposed
Site Area:	538.4m ²	
Total Height (max) (from NGL):	8500mm	5631mm
Side Setback (min.):	1357.75mm	4515mm
Rear Setback(min.):	8000mm	11264mm

Area Schedule (Gross Building)	
Name	Area
GFA	224.78 m ²
Total Floor Area	224.78 m ²
Area Schedule (Total Area)	
Name	Area
Living	171.26 m ²
Garage	33.24 m ²
Porch	6.53 m ²
211.03 m ²	
GF	
Living	49.14 m ²
Porch	3.24 m ²
52.38 m ²	
Total Area	263.41 m ²

CDC Part 3 Setbacks		
Site Area:	538.4m ²	
Lot Width:	14330mm	
Setback		
Front:	4500mm	4515mm
Height Lower Side A:		3143mm
Side A (lower):	900mm	950mm
Height Lower Rear:		3158mm
Rear (lower):	3000mm	3665mm



- Legend
- obs Obscured
 - HWS Hot Water Service
 - RWT Rainwater Tank
 - ACU Air-Conditioning Unit
 - aj Articulation/Adjustment Joint
 - deb Drop Edge Beam
 - dp Downpipe
 - POS Private Open Space
 - AAC Autoclaved Aerated Concrete
 - Drainage/Sediment fence line



NOTES

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Proposed Dwelling &
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Dwelling

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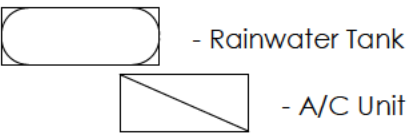
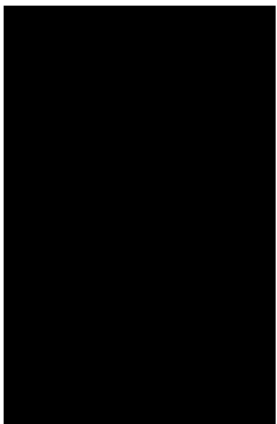
DRAWING:
Site Plan & Driveway
Profile

Working Drawings SCALE @ A3: As indicated	REVISION B 11-6-2025
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JOB NUMBER: 25042-1 j.g
PAGE: 6



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Legend

- obs Obscured
HWS Hot Water Service
RWT Rainwater Tank
ACU Air-Conditioning Unit
aj Articulation/Adjustment Joint
deb Drop Edge Beam
dp Downpipe
POS Private Open Space
AAC Autoclaved Aerated Concrete
Drainage/Sediment fence line

- NOTES
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Proposed Dwelling &
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DRAWING:
Drainage Plan

Working
Drawings
SCALE @ A3:
As indicated

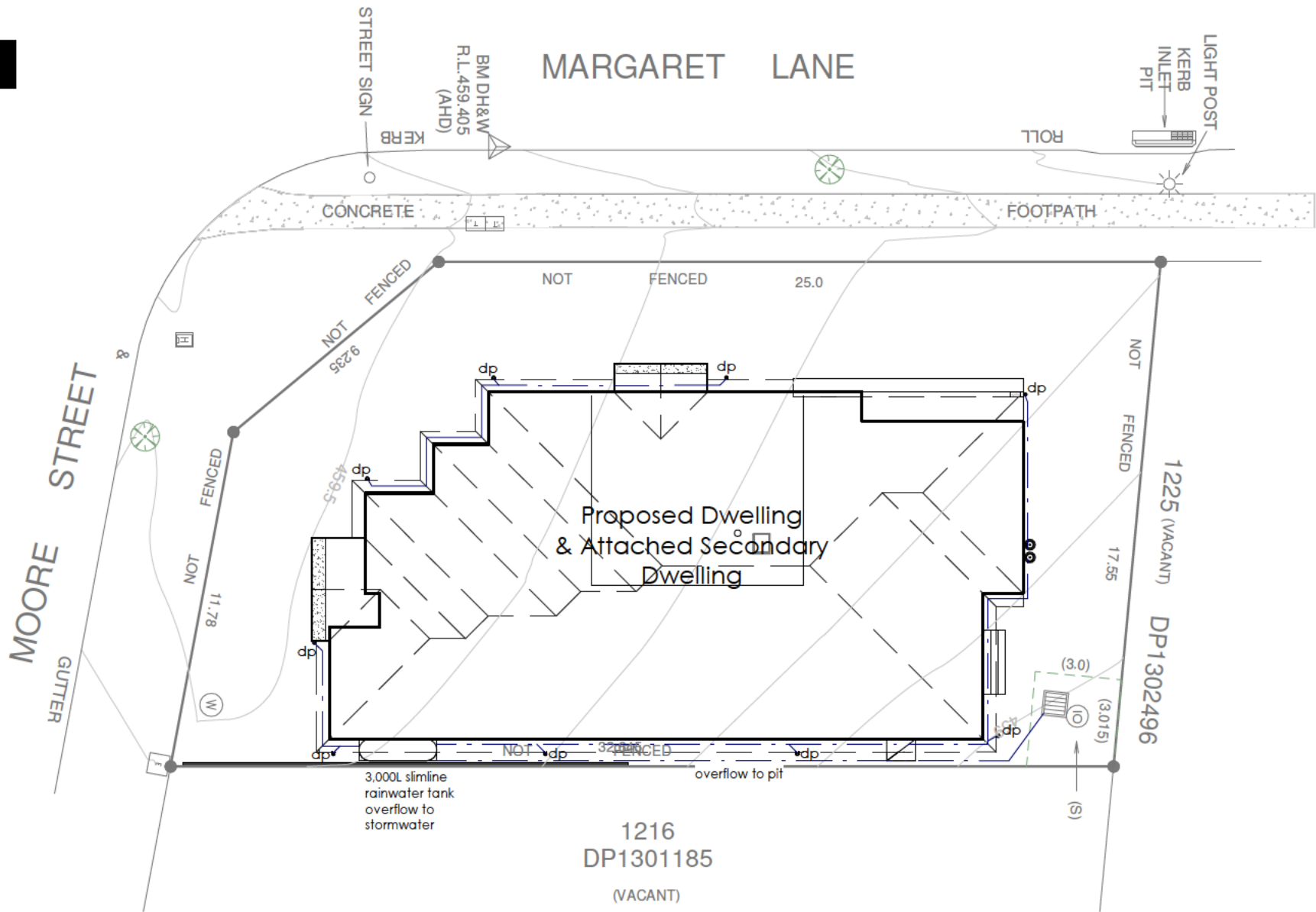
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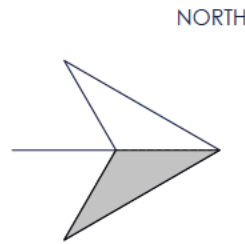


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Drainage Plan
1 : 200



Lot 1215 DP1301185
538.40 m²

Window Schedule							
Number	Description	Height	Width	Head Height	Orientation	Frame & Glazing	Area
W1	adhw 1807	1800	730	2100	S	Aluminium Single Glazed Clear	1.31 m²
W2	adhw 1807	1800	730	2100	S	Aluminium Single Glazed Clear	1.31 m²
W2	adhw 1818	1800	1810	2100	S	Aluminium Double Glazed Clear	3.26 m²
W3	asw 1015	1030	1570	2100	E	Aluminium Single Glazed Clear	1.62 m²
W4	asw 1015 obs	1030	1570	2100	E	Aluminium Glazed Clear	1.62 m²
W5	asw 1015	1030	1570	2100	E	Aluminium Single Glazed Clear	1.62 m²
W6	afw 0618	600	1810	1530	E	Aluminium Single Glazed Clear	1.09 m²
W7	asw 0724	772	2410	2100	E	Aluminium Single Glazed Clear	1.86 m²
W8	asw 0724	772	2410	2100	E	Aluminium Single Glazed Clear	1.86 m²
W9	asw 1015	1030	1570	2100	W	Aluminium Single Glazed Low-e	1.62 m²
W10	asw 1015	1030	1570	2100	W	Aluminium Single Glazed Clear	1.62 m²
W11	adhw 1807 obs	1800	730	2100	S	Aluminium Single Glazed Clear	1.31 m²

External Door Schedule							
Number	Description	Height	Width	Orientation	Frame & Glazing	Area	
D1	Hinged Door	2040	1000	S	Aluminium Glazed Clear	2.04 m²	
D2	assd 2132	2100	3224	N	Aluminium Glazed Clear	6.77 m²	
D3	1450 comb.	2120	1450	W	Aluminium Glazed Clear	3.07 m²	
D4	asd 2126	2100	2684	W	Aluminium Double Glazed Low-e with external retractable awning	5.64 m²	

Skylight Schedule						
Number	Description	Height	Width	Orientation	Frame & Glazing	Area
S1	Skylight	700	550	W	Single Glazed Clear Skylight	0.39 m²

Internal Door Schedule		
Type Mark	Description	Count

2x520	Double Hinged	1
720	Hinged Door	4
820	Hinged Door	6
820csd	Cavity Sliding Door	1

Total: 12

* Window headheights as per schedule
* Standard internal door height unless otherwise specified

External Colour Schedule

Roof
Surfmist

Render
Surfmist

Fascia
Surfmist

Gutter
Surfmist

Windows
Basalt

Downpipes
Surfmist

Garage Door
Surfmist

Brickwork
PGH: Olympus

NOTES

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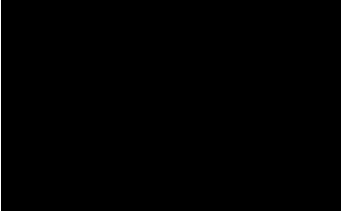
Proposed Dwelling &
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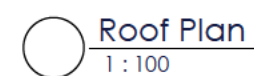
DRAWING:
Door/Window
Schedule & External
Colours Schedule

Working Drawings SCALE @ A3:	REVISION B 11-6-2025
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JOB NUMBER: 25042-1 j.g
PAGE: 9

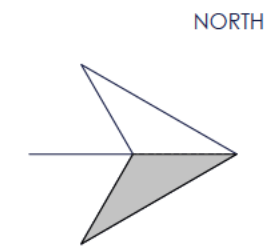







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Lot 1215 DP1301185
538.40 m²



Basix Notes & Specifications										[Primary]
Site Area:		538.4m²								
Conditioned Floor Area:		131.4m²		Unconditioned Floor Area:						49.6m²
Roof Area:		263.41 m²								
Water				3 Star - (>7.5 but <9 L/min)		4 Star - (>4.5 but <6 L/min)		4 Star - (>6 but <7.5 L/min)		
▷ Showerheads:		⊙								
		★		★★		★★★		★★★★		
▷ Toilets:				⊙						
▷ Kitchen Taps:				⊙						
▷ Basin Taps:				⊙						
▷ Rainwater Tank:		3000L								
▷ Roof Runoff:		160.00 m²		▷ Other Runoff:		0.00 m²				
▷ Connection To:		Toilets and at least 1 garden tap								
▷ Reticulated Water Supply:										
Energy										
▷ Hot Water Service:		gas instantaneous - 6 star								
▷ Heating:		1-Phase ACU	3-Phase ACU	Solid fuel fireplace	Gas flued fireplace		EER	★		
								>2.5		
								2.5-3.0		
								3.0-3.5		
		⊙				⊙		3.5-4.0		
								>4.0		
▷ Cooling:		1-Phase ACU	3-Phase ACU	Evapor. cooling	Ceiling fans		EER	★		
								>2.5		
								2.5-3.0		
								3.0-3.5		
		⊙				⊙		3.5-4.0		
								>4.0		
▷ Photovoltaic System (PV):		Peak Output of 0kW								
▷ LED or Fluorescent Lighting to:										
▷ Cooktop & Oven:		gas cooktop & electric oven								
Thermal Comfort										
▷ Insulation:										
R7.0 – Ceiling – except garage										
R1.3 – Roof blanket										
R2.5 – Internal walls of garage and bath										
R2.7 – External Walls – except garage										