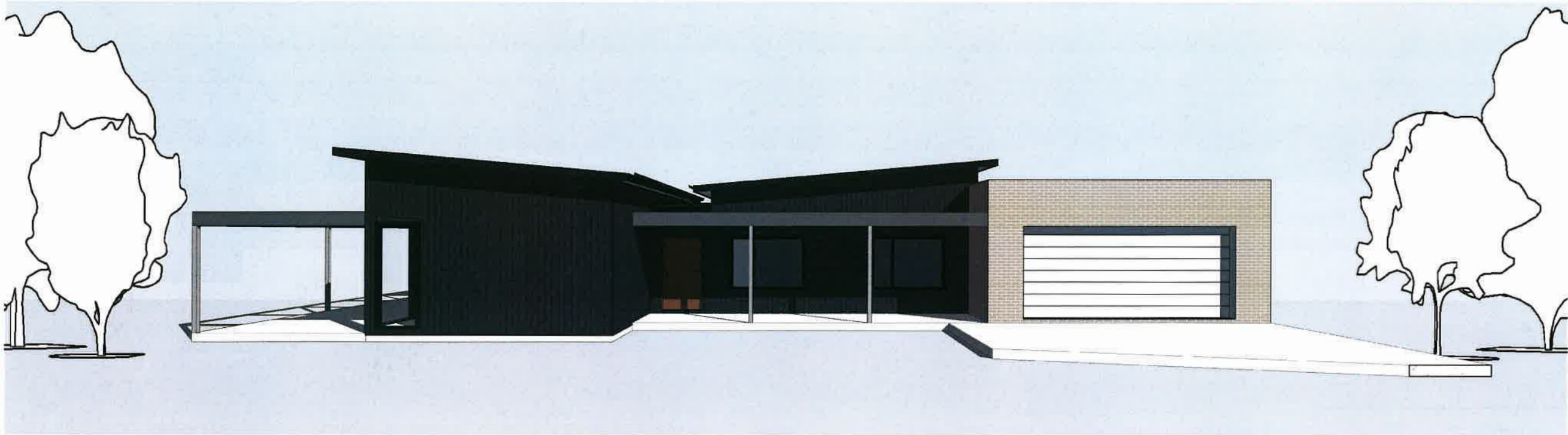


PROPOSED RESIDENCE  
FOR  
72 MORTIMER STREET  
MUDGEEE NSW 2850



GENERAL NOTES:

Builder to confirm all dimensions before commencing any works.

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Site information is based on information supplied by the owner and must be verified by the supplier on acceptance of this plan.

All works shall comply with the National Construction Code (NCC 2022) current Australian Standards, building regulations and statutory approvals. Notify this office of any discrepancies.

These plans should be read in conjunction with project specification and all consultant drawings including but not limited to Structural Engineer and Surveyor.

Soil Classification - refer to Engineers report and soil tests.

SPECIFICATIONS:

WIND CLASSIFICATION - BY ENGINEER

PLUMBING

All plumbing to AS3500.3 and must be carried out by a licensed plumber in accordance with the Plumbing Code of Australia (PCA) to comply with the requirements of the Local Authority.

ELECTRICAL

All electrical work shall be undertaken by a licensed electrician and in accordance with AS/NZS 3000

CONDENSATION MANAGEMENT

Install a pliable building membrane to comply with AS4200.1 & AS4200.2 with a vapour permeance of not less than 1,14ug/Ns in this climate. (Climate 6). Except for single skin masonry or concrete, where a pliable building membrane is not installed in an external wall, the primary water control layer must be separated from water sensitive materials by a drained cavity. To NCC 2022 Vol 2 Clause H4D9 and HP 10.8.

WATER PROOFING OF WET AREAS

Shall comply with NCC 2022 Vol 2 Clause H4D2, AS 3740-2021 and HP Part 10.2

PRE-FABRICATED WALL FRAMES AND ROOF TRUSSES

Shall comply with NCC 2022 Vol 2 Clause H2D6 (4) and AS1720.1-2010, AS1720.5-2015, AS1684.2-2021, AS1684.4-2010 AND AS1860.2-2006

SPECIFICATIONS:

TERMITE PROTECTION

All buildings shall be protected against termite attack in accordance with AS3660.1 and NCC 2022 Vol 2 Clause H1D3 and HP Part 3.4. Provide a durable notice in the meter box indicating type of barrier and required inspections.

SMOKE DETECTORS

Smoke detectors shall be installed as noted on the plans and in accordance with AS 3786-2014 and NCC 2022 Vol 2 Clause H3D6 and HP Part 9.5.2 and 9.5.4. They must be hard wired to the electrical supply.

WINDOWS / GLAZING / SHOWER SCREENS

Provide glazing to AS1288-2021 AS 2047-2014, as relevant and NCC 2022 Vol 2 Clause H1D8 and HP Part 8.2 and 8.3.

LIFT OFF HINGES (LOH)

Provide lift of hinges to the doors on sanitary compartments as labeled on the plans in accordance with NCC 2022 Clause H4P3 and HP 10.4.2.

DRAUGHT SEALING

Provide a seal/draught excluder to the bottom edge of all external doors in accordance with NCC 2022 clause H6D2 and HP Part 13.4.4.

HEATING APPLIANCES / FIREPLACES

Shall comply with NCC 2022 Vol 2 Clause H7D5 and AS/NZS 2918 for domestic solid fuel burning appliance, or HP Part 12.4 for heating appliances

SPECIFICATIONS:

STAIRS

Timber steps to NCC 2022 Vol 2 H5D2 and HP Part 11.2.

	MIN	MAX
Riser	115mm	190mm
Going	240mm	355mm
Slope relationship (2R+G)	550mm	700mm

Ensure slip resistance of P4 to be achieved with intergrain ultra deck slip resistance timberoil

SPECIFICATIONS: RURAL LAND

FIRE FIGHTING EQUIPMENT

A 65mm Storz outlet with a metal Gate or Ball Valve to be provided on the water storage tank.

Above ground tanks to be manufactured of concrete or metal. Tanks on hazard side of building are to be provided with adequate shielding for the protection of the fire fighters

Above ground water pipes external to the building are to be metal including and up to any laps

Pumps are to be shielded

Ensure 20,000L min. reserved for fire fighting purposes

BASIX NOTES:

HEATING

1-phase airconditioning (3.5 Stars) to be installed in at least one living area and at least one bedroom.

COOLING

1-phase airconditioning (3.5 Stars) to be installed in at least one living area and at least one bedroom.

VENTILATION

Bathrooms - Install an exhaust fan in the ceiling, ducted to facade or roof and operate manually

Kitchens - Install a rangehood over cooktop, duct to facade or roof and operate manually

Laundries - natural ventilation.

LIGHTING

A minimum of 80% of the light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

HOT WATER

Gas Instantaneous with a minimum of 5 stars to be installed

AAA RATING

All showerheads minimum rating of 4 star (>6 but <= 7.5L/min)

Toilets to have a minimum rating of 5 Star

Kitchen taps to have a minimum rating of 5 star and Basin taps to have a minimum rating of 5 stars

OTHER

Gas cooktop and electric oven to be installed.

An outdoor clothes drying line must be installed.

LOW WATER VEGETATION

A minimum of 50 sqm of indigenous or low water species of vegetation must be planted on the site.

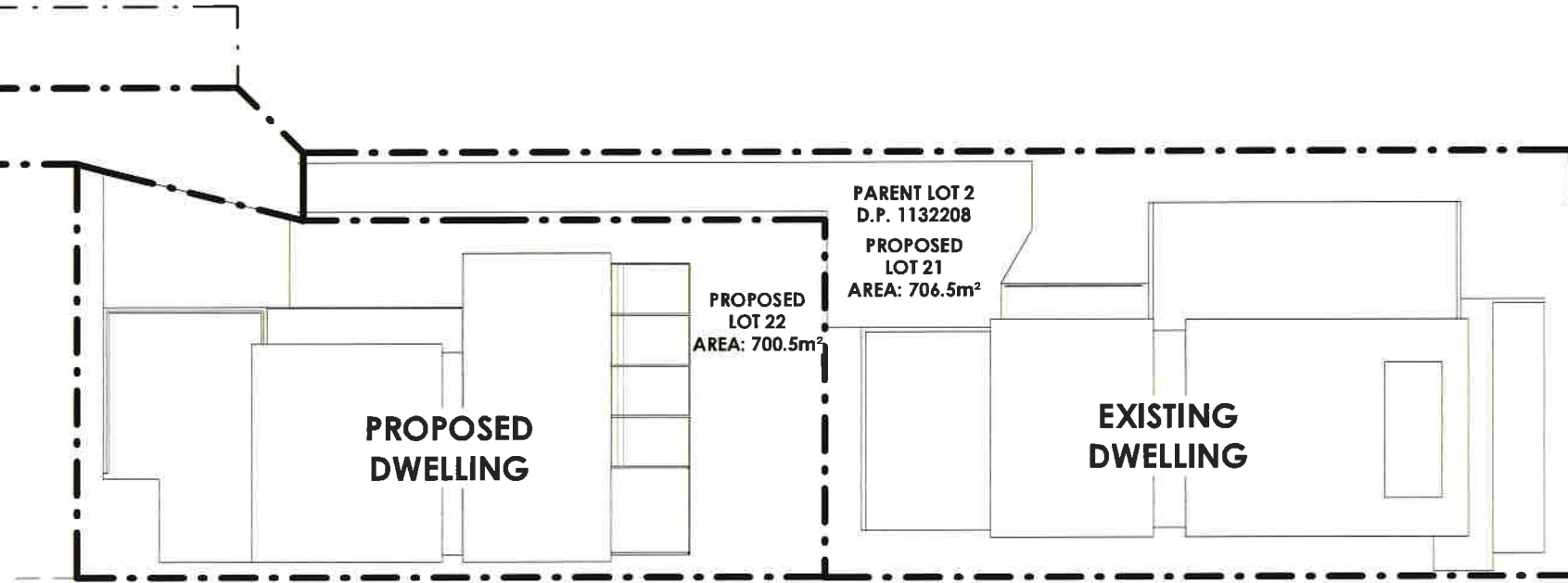
GENERALLY

The information found in these notes are by no means the extent of information relating to compliance with BASIX commitments. These notes must be read in conjunction with the full set of plans and elevations and with the BASIX Certificate pertaining to this property.

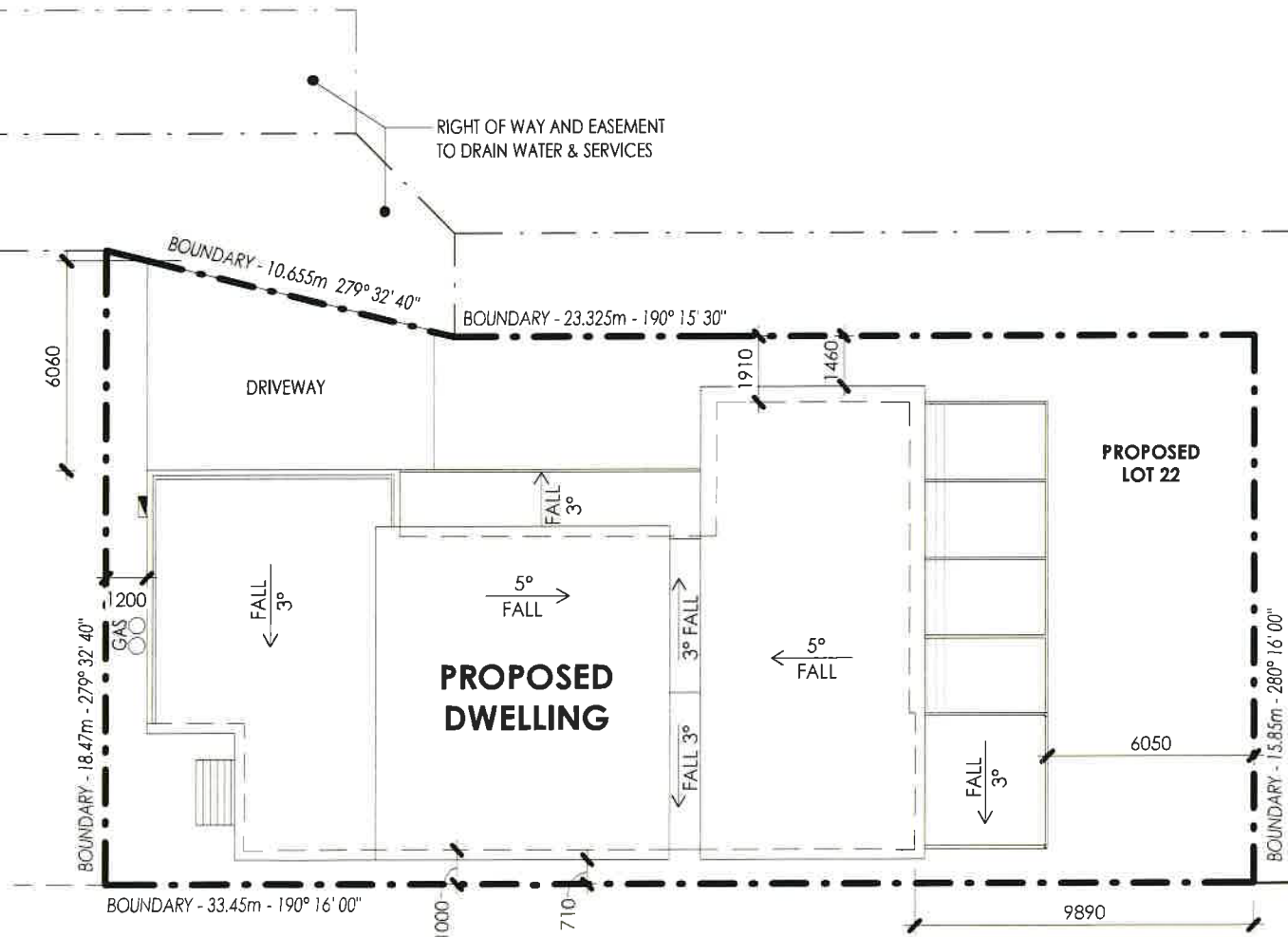
MORTIMER STREET

MORTIMER STREET

1 SITE PLAN  
SCALE 1 : 300



2 DETAIL SITE PLAN  
SCALE 1 : 200



- Notes
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Issue	Description	Date
D	GENERAL AMENDMENTS	28.04.25
C	DA ISSUE	07.04.25
B	DESIGN CHANGES	07.03.24
A	PRELIMINARY	14.08.24



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Project  
72 Mortimer Street  
Mudgee NSW 2850

Title  
SITE PLAN

Scale at A3  
As indicated

Date  
OCTOBER 2023

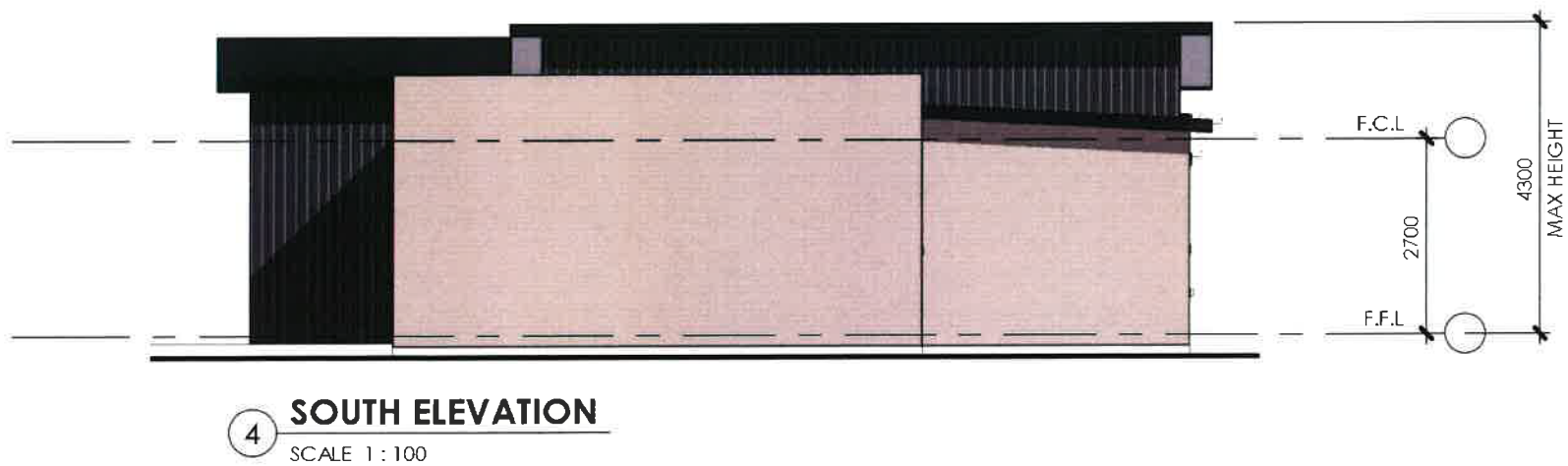
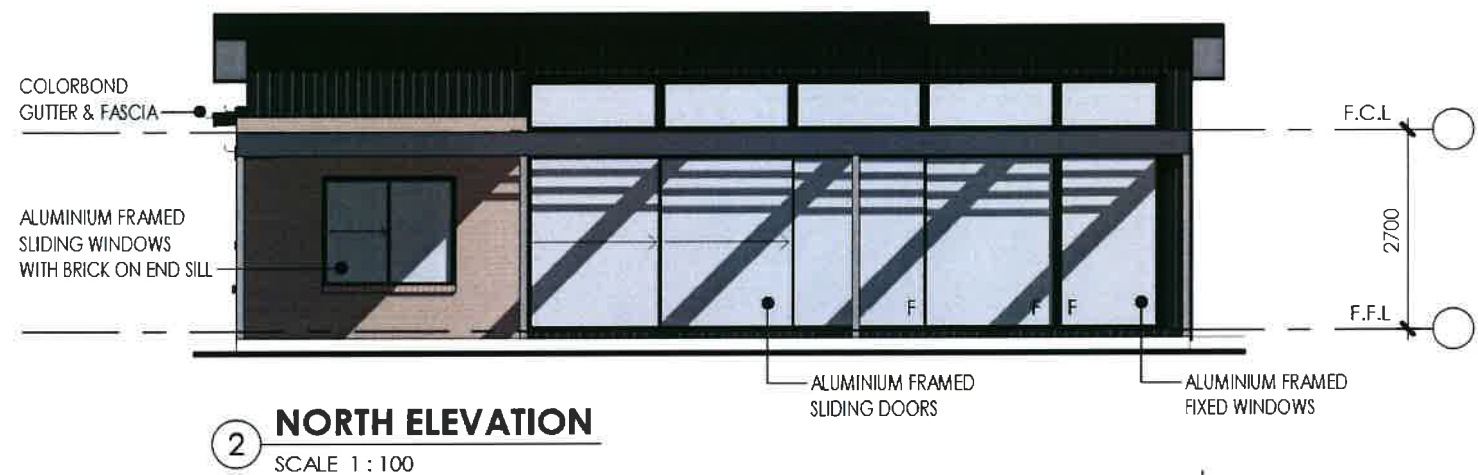
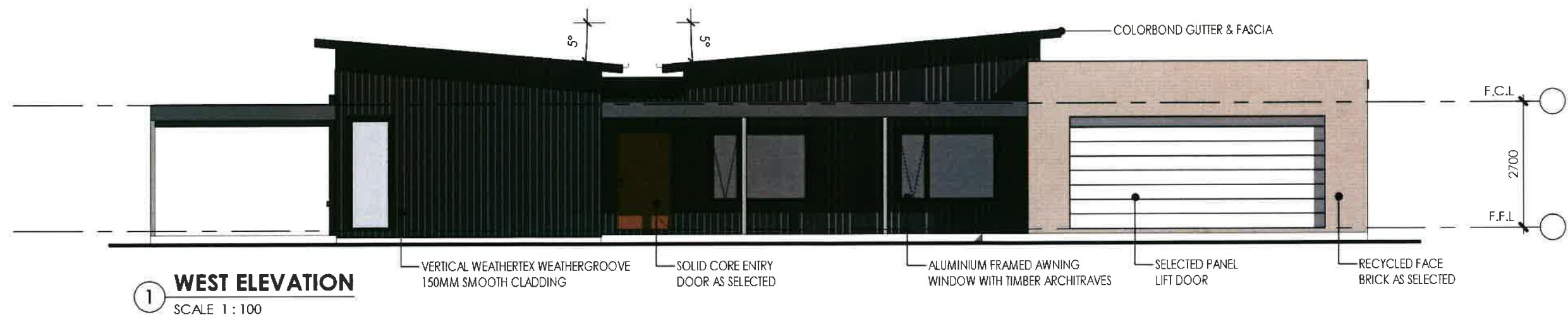
Drawn  
RG/DW











#### Notes

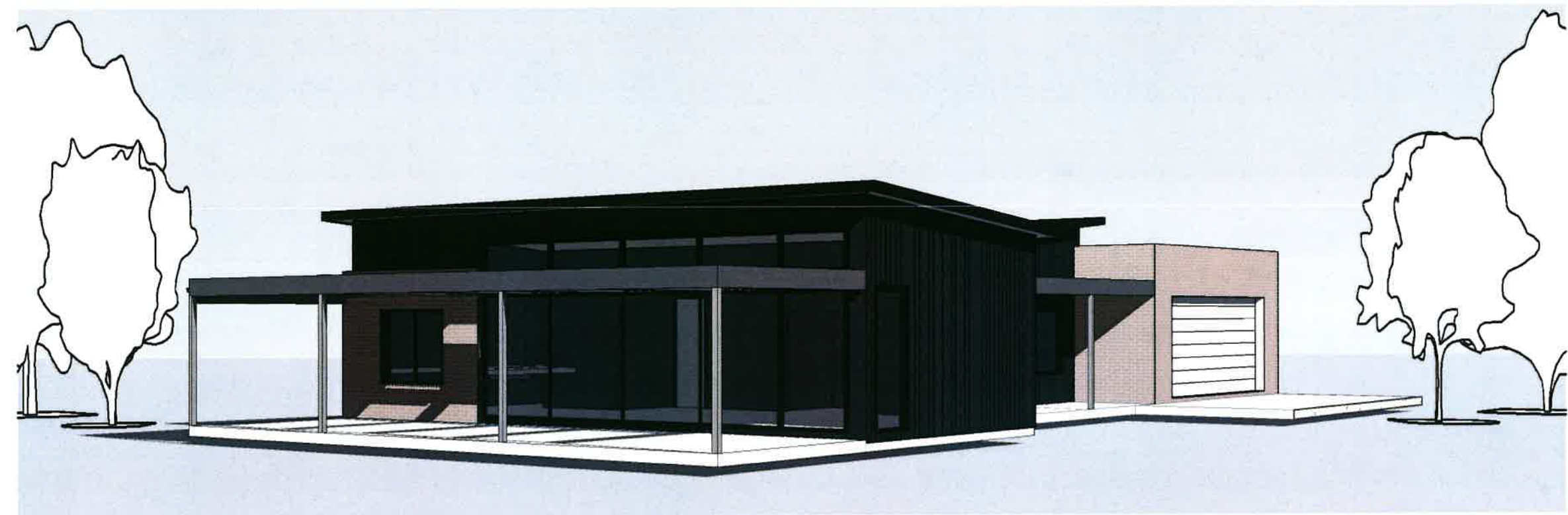
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Project	72 Mortimer Street Mudgee NSW 2850
Title	ELEVATIONS
Scale at A3	1 : 100
Date	OCTOBER 2023
Drawn	RG/DW



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B	DESIGN CHANGES	07.03.24
A	PRELIMINARY	14.08.24
Issue	Description	Date



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Project  
72 Mortimer Street  
Mudgee NSW 2850

Title  
PERSPECTIVES

Scale at A3  
NA

Date	OCTOBER 2023	Drawn	RG/DW
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Project  
72 Mortimer Street  
Mudgee NSW 2850

Title  
PERSPECTIVES

Scale at A3  
NA

Date  
OCTOBER 2023

Drawn  
RG/DW





