



to.

General Manager
86 Market Street
Mudgee, NSW 2850

date.

29.04.2025

reference.

47302-PL01_A

Dear General Manager,

Re: Development Application – Construction of Dwelling at 8 Davies Road, Kandos

Barnson Pty Ltd has been engaged to prepare this Statement of Environmental Effects (SEE) to accompany a Development Application (DA) for the construction of a two-storey residential dwelling at 8 Davies Road, Kandos. The subject land is legally described as Lot 3 in Section 21 of Deposited Plan 9704. The proposed development involves the construction of a contemporary two-storey dwelling to facilitate residential use of the site. The design seeks to provide a functional and visually appropriate addition to the existing streetscape, consistent with the prevailing residential character of the area.

This SEE has been prepared in accordance with the provisions of Section 4.15 of the *Environmental Planning and Assessment Act 1979* (EP&A Act), which outlines the matters for consideration by the consent authority when assessing development proposals. The assessment addresses relevant environmental, social, and economic impacts of the proposed development, including but not limited to:

- Consistent with applicable planning instruments and controls, including the local environmental plan (LEP) and development control plan (DCP);
- Impacts on the amenity of surrounding properties, including privacy, overshadowing, and view sharing;
- Compatibility with the character and built form of the local area;
- Provision of suitable access, parking, and site servicing;
- Site suitability in terms of topography, drainage, and existing environmental constraints; and
- Construction impacts, including erosion and sediment control, noise, and waste management.

The findings of this assessment conclude that the proposed development:

- Is permissible with development consent under the relevant planning framework;
- Is generally consistent with the objectives and development standards of the applicable planning controls;
- Has been designed to respond appropriately to the site's context and constraints; and
- Will not result in any significant adverse environmental, social, or economic impacts.

Accordingly, this SEE demonstrates that the development is suitable for the site and is capable of being approved subject to the imposition of reasonable and appropriate conditions of consent. It is therefore recommended that Council support the proposal.

Introduction

This report has been prepared in support of a Development Application for the construction of a two-storey dwelling at 8 Davies Road, Kandos, legally described as Lot 3 in Section 21 of Deposited Plan 9704. The assessment considers the relevant planning controls and environmental factors in accordance with Section 4.15 of the *Environmental Planning and Assessment Act 1979*.

The subject site is located on the southern side of the Kandos Railway Line and is zoned RU5 Village under the provisions of the *Mid-Western Regional Local Environmental Plan 2012* (MWRLEP). The RU5 Village zone is intended to provide for a range of land uses to support and enhance village communities while maintaining the village character.

The site comprises a regular-shaped allotment with a primary frontage of approximately 20.115 metres to Davies Road. The topography is relatively flat, and the site is currently vacant. The surrounding area is characterised by low-density residential development, with a mix of single and two-storey dwellings contributing to the existing village setting.



Figure 1: Subject Site

Image 1-3 have been taken of the property and the surrounding area.



Image 1: Image 1 was taken from the current extent of the Davies Road construction. Notably, the site is accessed via a section of the Davies Road reserve that remains unsealed. The development application seeks to utilise this unnamed portion of the Council Road reserve for site access.

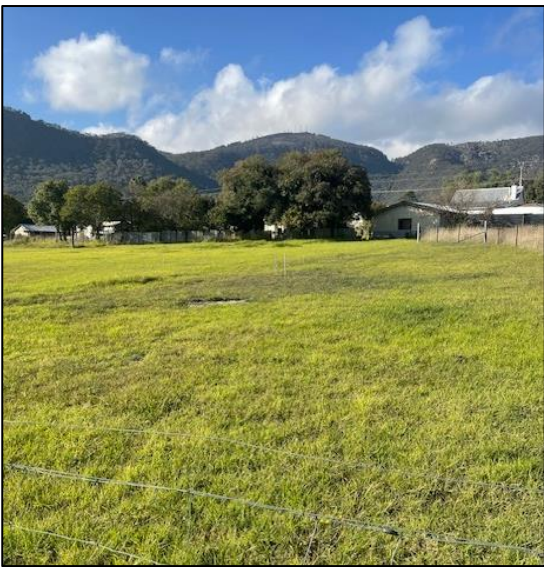


Image 2: Image 2 was taken from the site, looking south. The terrain is generally flat, with a slight gradient sloping towards the front of the property.



Image 3: Image 3, similar to Image 2, was taken from the site looking south. The site is clear of vegetation and appears to be a well-maintained land parcel.

Proposal

The proposed development is supported by a comprehensive set of construction and engineering drawings prepared by Steelx Pty Ltd and Wide Span Homes (Drawing No. AWSH250011, dated 18/02/2025). These plans detail the design, structure, and construction methodology for a two-storey steel-framed dwelling at 8 Davies Road, Kandos.

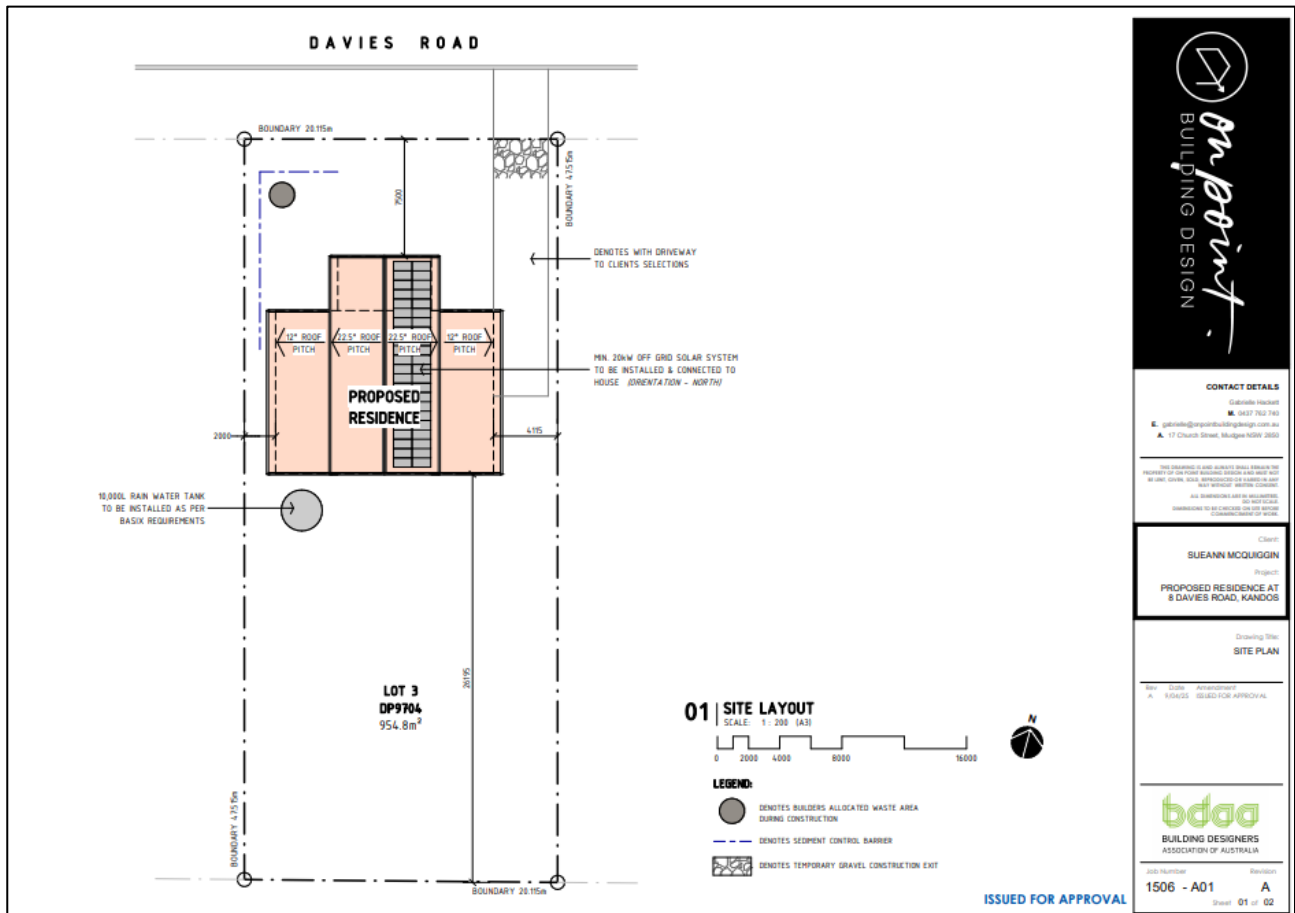


Figure 2: Site layout.

Site Configuration and Layout

The site is a regular-shaped allotment with a 20.115 metre frontage to Davies Road, located on the southern side of the Kandos Railway Line. It is zoned RU5 Village under the *Mid-Western Regional Local Environmental Plan 2012*, which permits residential development subject to consent.

The proposed dwelling comprises:

- Lower floor living area of 147.00 m²
- Mezzanine living area of 63.50 m²
- Verandah (lower level): 21.00 m²
- Balcony (mezzanine level): 21.00 m²

Total floor area: 252.50 m²

The layout includes four bedrooms, multiple living areas, kitchen, bathroom, ensuite, laundry, and covered outdoor spaces, providing a functional and well-articulated home that complements the existing residential context.

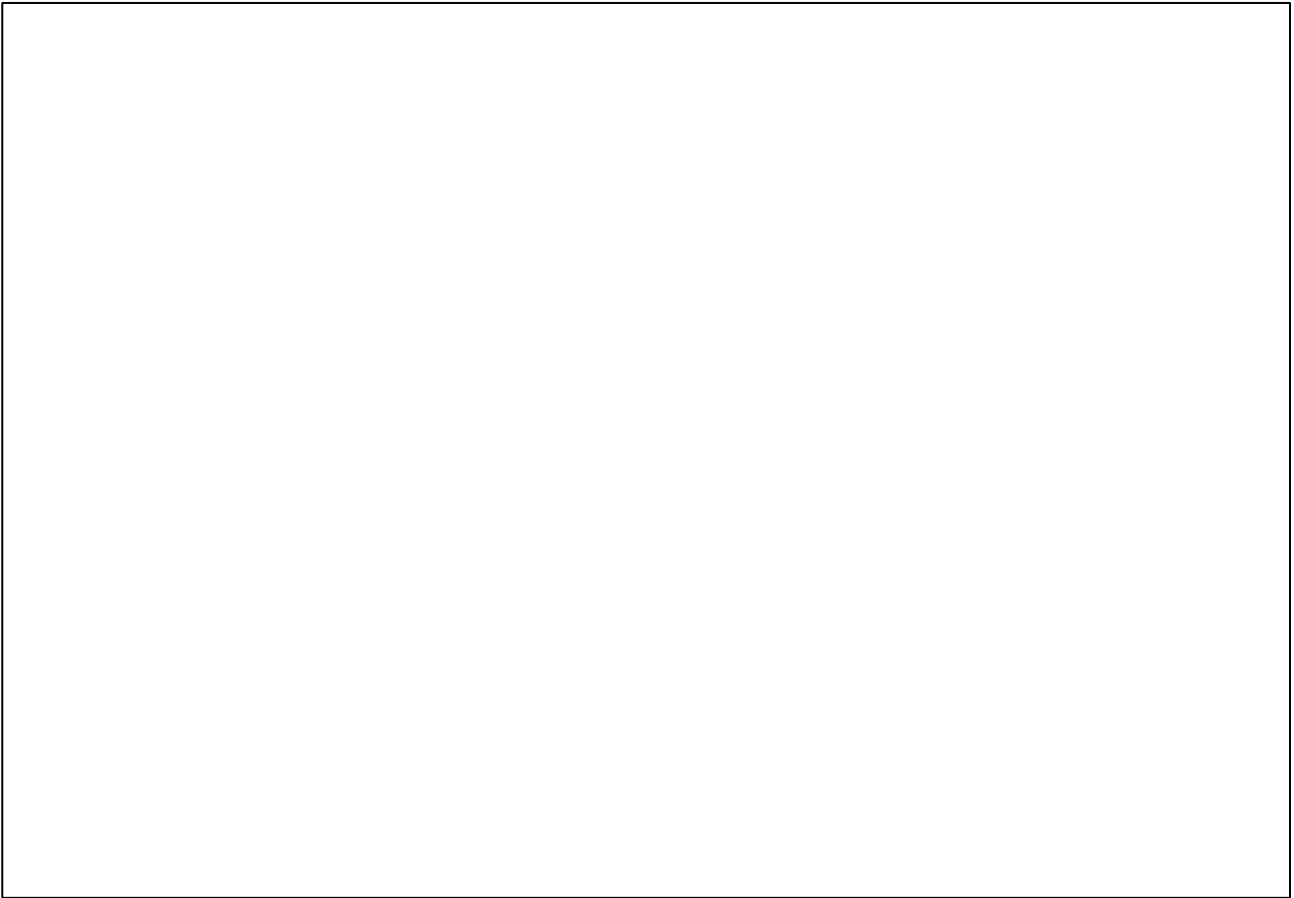


Figure 3: Proposed Layout

Architectural Design and Materials

Elevations and sectional drawings demonstrate a contemporary dwelling design featuring:

- Colorbond corrugated metal roofing and guttering
- Horizontal wall cladding
- Aluminium-framed sliding doors and windows
- Roof ridgeline height of +6990 mm (below the maximum height limit)
- Eaves at +5370 mm above floor level

The dwelling incorporates varied roof forms and fenestration to ensure visual interest and compatibility with surrounding built form. The design responds sensitively to site orientation and ensures adequate natural light and ventilation throughout.

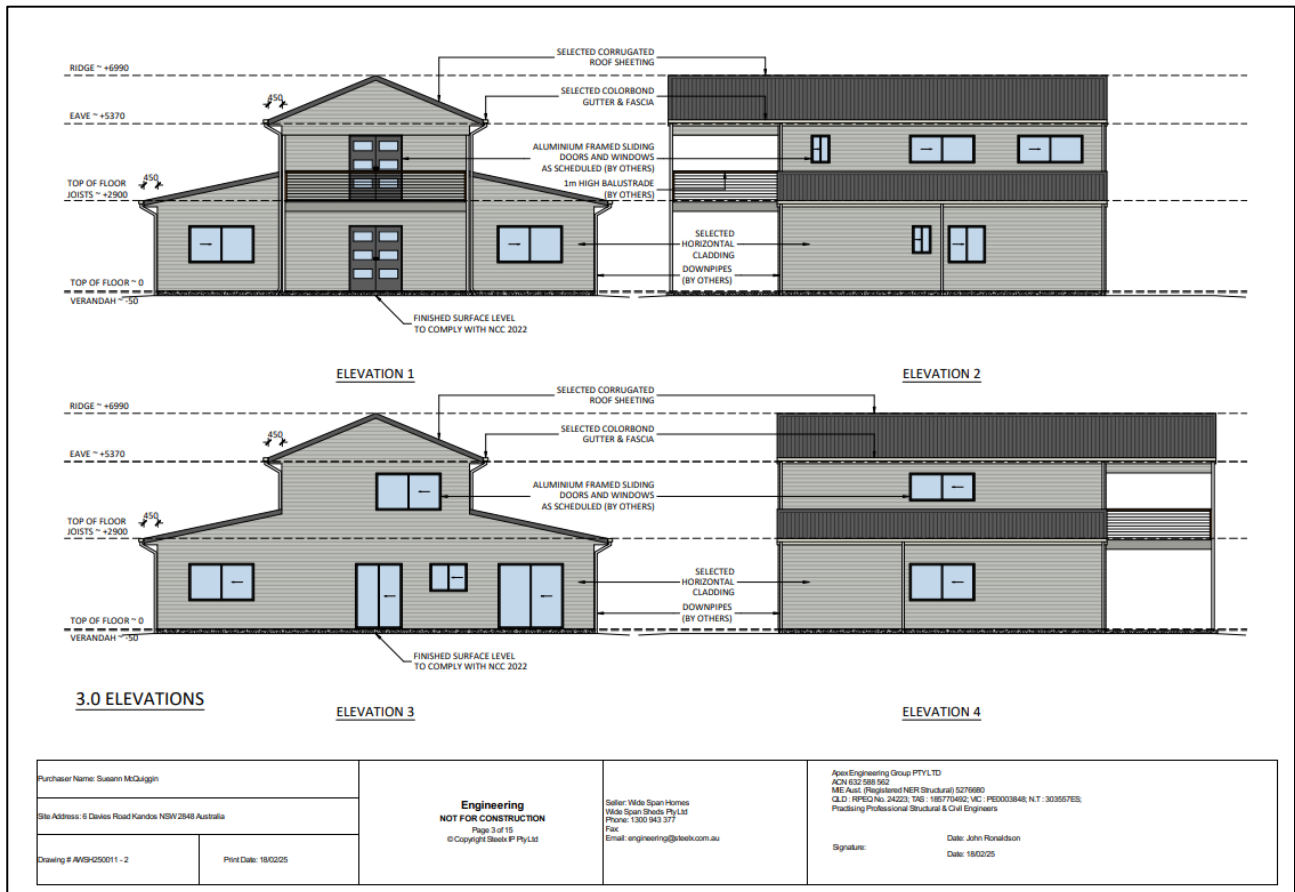


Figure 4: Elevations and Sectional Drawings

Environmental Assessment

State Environmental Planning Policy – Assessment

SEPP – Building and Sustainability Index	The Building Sustainability Index (BASIX) is designed to promote equitable and effective reductions in water consumption and greenhouse gas emissions across New South Wales. In support of this application, a BASIX Certificate has been prepared and is submitted with the Development Application. The certificate number is 17910845 .
SEPP – Biodiversity Conservation 2021	No provisions in the SEPP relate to this Development Application. The site is clear of vegetation and suitable for development.
SEPP – Housing 2021	No provisions in this SEPP relate to this Development Application.
SEPP – Planning Systems 2021	No provisions in this SEPP relate to this Development Application.
SEPP – Resilience and Hazards 2021	Chapter 4 is to be considered as part of this application. The subject site at 8 Davies Road, Kandos, is currently vacant and zoned RU5 Village. There is no evidence of potentially contaminating activities at the site. The site is not within an investigation area and there is no indication that it requires

	remediation. As such, the land is considered suitable in its current state for the proposed residential development, and the consent authority can be satisfied that the requirements relating to contaminated land under the relevant planning provisions have been appropriately addressed.
SEPP – Resources and Energy 2021	No provisions in this SEPP relate to this Development Application.
SEPP – Transport and Infrastructure 2021	Part 2.3, Division 15 of the State Environmental Planning Policy (SEPP) may be relevant to the development of the site due to its proximity to a rail corridor. However, upon reviewing Clauses 2.98, 2.100, and 2.101, it is clear that the site is not directly "adjacent" to the rail corridor. Instead, the property is separated by a 20-meter road reserve. As a result, for the purposes of this Statement of Environmental Effects (SEE), the provisions of this section of the SEPP have not been considered in relation to this application.
SEPP – Primary Production 2021	No provisions in this SEPP relate to this Development Application.

Mid-Western Regional LEP 2012

The site is located within the Local Government Area (LGA) of Mid-Western Regional Council, where the statutory planning controls of the Mid Western Regional Local Environmental Plan (LEP) 2012 apply. The property is zoned RU5, as illustrated in the zoning map below.

The proposed development, involving the construction of a two-storey dwelling, is consistent with the objectives of the RU5 zone in the following ways:

- The development provides for additional residential accommodation within the rural village, contributing to the diversity of land uses and supporting the village's role as a service and residential hub.
- The design and scale of the dwelling ensure it is compatible with the existing infrastructure capacity, thus promoting sustainable development that does not place excessive demand on the village's services and facilities.

Therefore, the proposal aligns with the RU5 zone's objectives, facilitating balanced and sustainable growth within the rural village area.



Figure 5: Subject Site Zoning Map

The development application has been assessed against the relevant clauses of the Mid Western Regional Local Environmental Plan (LEP) 2012, as outlined in the table below:

Table 1: LEP Assessment

Clause 4.2A Erection of dwelling houses, dual occupancies and tourist and visitor accommodation on land in certain zones.	<p>In accordance with Clause 4.2A(2), this clause is applicable as the development application pertains to the construction of a dwelling on land zoned RU5 Village.</p> <p>As per subclause 3, the development complies with the relevant control, as it meets the minimum allotment size of 600sqm, exceeding this requirement.</p>	Complies
Clause 4.3 height of buildings	The proposed development has a maximum height of 6.990m above natural ground level, which is below the maximum allowable height of 8.5m.	Complies
Clause 6.3 Earthworks	The proposed earthworks will be limited to minor benching works, which fall within the thresholds permitted under the exempt development provisions. As such, the requirements	Not applicable.

	of this clause are not applicable to the proposed development.	
Clause 6.9 – Essential Services	<p>Supply of Water – S68 application is currently being prepared to access potable water.</p> <p>Supply of Electricity-The proposed development is to be “off the grid” no connection will be made to Endeavour Energy services.</p> <p>Disposal and management of sewerage – S68 application is currently being prepared to access council sewer.</p> <p>Stormwater drainage – Roof Water will be directed to the 10,000L tank within rear yard. An overflow pipe will be installed and directed away from the dwelling. Rip-Rap and scour protection will be construction to control the flow. Sheet flow of exceed water will be directed over the site.</p> <p>Suitable road access – No formal driveway is provided. However, road access is via council road reserve, which is currently be utilised by the landowner.</p>	Complies

Table 2: DCP Requirements

Provision	Provision	Provision
<i>Section 3.1 RESIDENTIAL DEVELOPMENT IN URBAN AREAS (SINGLE DWELLINGS AND DUAL-OCCUPANCIES)</i>		
<p>Note. Where a development does not comply with the “Fast-track” criteria, a normal development application may be lodged. In lodging the development application justification must be given to the variation from the fast track criteria by addressing the objectives outlined in the discretionary standards relevant to the particular type of development.</p> <p>Comment: Certain provisions of the fast-tracked DCP cannot be met. For the areas of the DCP that cannot be met, justification will be given to the variation from the fast-track criteria by addressing the objectives outlined in the discretionary standards relevant to the particular type of development. It is understood that the application will therefore not be considered as a fast-track application.</p>		
Building Setbacks Part 3.1 – Discretionary Development Standards addressed.	(a) Setbacks must be compatible with the existing and/or future desired streetscape. (b) Side or rear building setbacks are to demonstrate no unreasonable adverse impact on the privacy or solar access of adjoining properties.	Front Setback: There are no Deemed-to-Satisfy (DTS) setback requirements for land zoned RU5 Village. Nonetheless, a front setback of 7.5m has been adopted for the site. This setback is consistent with the prevailing

(c) Garages are to be setback a minimum of 5.5 metres from the front boundary.

Side and rear walls within 900mm and eaves within 450mm of boundaries are to comply with the BCA requirements for fire rating.

pattern of development in the Kandos area, where similar front setbacks are commonly applied.

Side and Rear Setbacks: Similarly, there are no specified DTS requirements for side or rear setbacks in the RU5 zone. However, the proposed development provides a generous rear setback of approximately 26m, along with varied side setbacks. This approach reflects the established built form within the locality, where dwellings are typically positioned closer to the front boundary, allowing for larger rear setbacks to accommodate landscaping and private open space.

Building Height Deemed to Satisfy	Single storey (Single storey dwelling is one that has only one storey (as defined by the BCA) and the Finished Floor Level (FFL) is less than 1 metre above natural ground level.	The dwelling does not comply as the dwelling is for a double storey dwelling, that sits below the maximum height limit of the LEP.
Site Coverage Deemed to Satisfy	Maximum site coverage of 35%	Site coverage can be considered as the following: <i>Dwelling: Lower Floor Living – 168sqm</i> <i>Site Area: 955 sqm</i> Totalling 17% Site Coverage.
Solar Access Deemed to Satisfy	Living areas and private open space areas are to be located with a northerly aspect (i.e. on the north or eastern side of the building).	The proposed development has been designed to position the main living areas of both units on the northern side of the site, maximising access to natural sunlight. The site enjoys a large, open backyard with no nearby structures or adjoining residences that would impede solar access. Additionally, the regular shape of the allotment and its north-south orientation further enhance the

		potential for effective solar gain throughout the day.
Privacy Deemed to Satisfy	Dwellings must be single storey and have a finished floor level less than 1,000 mm above the natural ground level.	The proposed development is a two-storey dwelling designed to take advantage of both the northern and southern aspects. While windows are included on the eastern and western façades, they are limited in number and placement to minimise opportunities for overlooking and maintain the privacy of adjoining properties.
Parking Deemed to Satisfy	Two (2) spaces per dwelling.	A parking area has been incorporated on the eastern side of the dwelling, accommodating two stacked car spaces to meet the parking requirements of the development.
Landscaping	<p>(a) Landscaping must enhance the quality of the built environment.</p> <p>(b) Species selection and location should improve energy efficiency through reducing heat gain through windows and deflecting winter winds.</p> <p>Plants with low maintenance and water requirements should be selected.</p>	Specific landscaping features have not yet been proposed as part of this application. However, the applicant intends to maximise the use of open space and potentially incorporate appropriate landscaping within the property. At this stage, detailed landscape plans have not been prepared to accompany the development application.
Open Space Part 3.1 – Discretionary Development Standards addressed.	<p>(a) Sufficient open space must be provided for the use and enjoyment of the residents.</p> <p>(b) A plan shall be submitted which demonstrates that the dimension of the open space provides for functional space, including placement of outdoor furniture.</p> <p>(c) Open space areas provided must be suitably located and landscaped to obtain adequate sunlight and protection from prevailing winds.</p>	Suitable open space has been provided in the rear yard that exceed the minimum requirements.

	<p>(d) Private open space for dual occupancy development is to be a minimum area of 80m² and have a minimum dimension of 5 metres (depth and width).</p> <p>Private open space for dual occupancy development is to be located behind the front building line and on the northern, eastern or western side of the dwelling.</p>	
Corner Lots	<p>(a) Development must address both street frontages.</p> <p>Utility windows are not permitted on either elevation with frontage to the street unless they are integrated into architectural features of the development.</p>	Not applicable.
<p>Fencing</p> <p>Part 3.1 – Discretionary Development Standards addressed.</p>	<p>(a) Fencing facing the street or forward of the building line must avoid extensive lengths of ‘Colourbond’ as it presents a barrier to the street.</p> <p>Solid fencing of a length greater than 30% may be permitted where landscaping is provided to soften the visual impact on the streetscape.</p>	Colourbond fencing will be provided at the side and rear boundary. No fencing at the front of the site.
Infrastructure	<p>(a) Surface infrastructure (e.g. tanks, clotheslines) must not be located within front setback.</p> <p>(b) Surface infrastructure must not be visible from the street.</p> <p>Garbage storage locations must be included in landscape plan and show how they will be screened.</p>	<p>A clothesline is not shown on the submitted plans; however, it is intended to be installed within the rear yard of the property.</p> <p>A 10,000L rainwater tank is proposed to be positioned behind the dwelling, ensuring it is not visible from the street frontage.</p> <p>Waste storage areas will also be located at the rear of the site, screened from public view.</p>
Garages, Out buildings	N/A	N/A – No Garages or outbuildings proposed.
Development Near Ridgelines	(a) A ridgeline is considered an elevated section of land, visible from beyond the individual property boundary.	N/A – The proposal is not located near any identified ridgelines.

- (b) Development shall protect key landscape features, being the dominant ridgelines and slopes and the intermediate ridges forming a visual backdrop to existing and future urban localities and places of special landscape amenity.
- (c) Development should not be visually intrusive or degrade the environmental value, landscape integrity or visual amenity of land.
- (d) The dwelling-house and associated buildings must not be visible above the existing skyline or any prominent ridgeline or local hilltop.

The dwelling-house and associated buildings will be constructed from low reflectivity building materials and incorporate colours which are visually unobtrusive in relation to the surrounding environment.

<p>Slopes</p> <p>Deemed to Satisfy</p>	<ul style="list-style-type: none"> (a) Cut is to be limited to 1,000 mm (b) Fill is restricted to 600 mm. It must be clean fill and a geotechnical assessment issued for the fill to demonstrate compaction to the Australian Standard. (c) Any cut and/or fill must be provided with retaining walls, drainage and must be setback a minimum of 300 mm from any boundary. (d) Fill must not direct stormwater onto adjoining properties and drainage pits for overland flow paths are to be provided. <p>Cut and fill is not permitted within water or sewer easements.</p>	<p>The site is relatively flat, and will not exceed the DTS requirements.</p>
<p>Access</p>	<p>All weather vehicle access is required to ensure that emergency services (fire, ambulance, police) are able to access the dwelling at all times.</p>	<p>Access is via the existing road reserve. Notably, the current road reserve is open managed land, however, does not accommodate an all weather access road.</p>

Relocated Dwellings	N/A	Proposed development does not involve relocated or transportable dwellings.
Design Principles	<ul style="list-style-type: none"> (a) Design should maximise surveillance with clear sightlines between public and private places, effective lighting of public places and landscaping that makes places. (b) Physical and symbolic barriers should be used to attract, channel or restrict the movement of people to minimise opportunities for crime and increase the effort required to commit crime (c) Must be sympathetic with existing adjoining and surrounding developments in relation to bulk and height. (d) Well-proportioned building form that contributes to the streetscape and amenity (e) Density appropriate to the regional context, availability of infrastructure, public transport, community facilities and environmental quality (f) Design must demonstrate efficient use of natural resources, energy and water throughout its full life cycle, including construction. (g) Landscape design should optimise useability, privacy and social opportunity, equitable access and respect for neighbours' amenity, and provide for practical establishment and long-term management. (h) Optimise amenity (e.g. appropriate room dimensions and shapes, access to sunlight, natural ventilation, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas, outlook and ease of access for all age groups and degrees of mobility). 	<p>The design of the proposed development has been carefully considered to enhance passive surveillance and contribute positively to neighbourhood safety. Clear sightlines are maintained between public spaces, such as the street frontage, and private open space areas at both the front and rear of the dwelling. This allows for greater visibility across the site and reduces the likelihood of concealed or isolated areas, thereby deterring anti-social behaviour and minimising opportunities for crime. The design avoids creating spaces that lack natural surveillance or are difficult to monitor, aligning with the principles of Crime Prevention Through Environmental Design (CPTED).</p> <p>In terms of built form, the proposal is respectful of the established character of the surrounding locality. The height, scale, and bulk of the proposed two-storey dwelling are consistent with nearby developments and the broader streetscape. Importantly, the development achieves compliance with all relevant development standards prescribed under the Mid Western Regional LEP 2012. In accordance with the planning principle established in <i>Gunnamatta Bay Holdings Pty Ltd v Sutherland Shire Council [2025]</i>, compliance with these standards provides a strong indication that</p>

-
- | | |
|--|---|
| <p>(i) Optimise safety and security, both internal to the development and for the public domain.</p> <p>(j) Design must demonstrate response to the social context and needs of the local community in terms of lifestyles, affordability, and access to social facilities.</p> <p>Council will not support dual occupancy development where both dwellings are premanufactured or relocatable homes in urban zones.</p> | <p>the proposal is not out of character with the area, even in the absence of complete uniformity with surrounding buildings.</p> <p>Furthermore, the site includes ample space for future landscaping, which will assist in softening the built form, enhancing visual amenity, and contributing to the overall environmental quality of the site. While detailed landscaping plans have not yet been submitted, the development allows for the integration of suitable planting and open space areas, supporting both environmental and residential amenity outcomes.</p> |
|--|---|
-

Environmental Planning and Assessment Act 1979

In determining a Development Application, the consent authority is take in consideration such of the following matters as are of relevant to the development of the subject site.

Section 4.5 Evaluation:

S4.15 (1)(a)(i) – Environmental Planning Instruments

In accordance with Clause 4.15(1)(a)(i) the proposal has been passed against the applicable planning framework, including the provisions of the relevant environmental planning instruments and development control plan. The proposal is found to be consistent with the relevant policies and control.

S4.15 (1)(a)(ii) – Proposed Environmental Planning Instruments

At the time of this assessment, there are no exhibited or draft environmental planning instruments that would apply to or alter the permissibility of the proposed development. A review of the NSW Department of Planning's Planning Portal and relevant Council strategic planning documents has not identified any draft State Environmental Planning Policies (SEPPs) or amendments to the Mid-Western Regional LEP 2012 that would impact the assessment or approval of this application.

Accordingly, there are no proposed environmental planning instruments that are relevant to the proposed development.

S4.15 (1)(a)(iii) – Development Control Plan

The proposal has been assessed against the relevant provisions of the **Mid-Western Regional Development Control Plan (DCP)**. The DCP provides detailed planning and design guidelines to supplement the provisions of the Mid-Western Regional LEP 2012.

The proposed development is generally consistent with the applicable DCP controls

S4.15 (1)(a)(iia) – Planning Agreements

There are no planning agreements or draft planning agreements under Section 7.4 of the Environmental Planning and Assessment Act 1979 that apply to the subject site or the proposed development.

Accordingly, this provision is not applicable to the assessment of the development application.

S4.15 (1)(a)(iv) – Regulations

The proposed development has been assessed in accordance with the relevant provisions of the **Environmental Planning and Assessment Regulation 2021**, including but not limited to:

- **Clause 29 – Matters to be considered in determining a development application**, including the likely impacts of the development and suitability of the site.
- **Schedule 1 – Requirements for the Form and Content of Development Applications**, including a description of the site, the proposed works, and relevant accompanying documentation such as site plans, elevations, and Statement of Environmental Effects.
- **BASIX Requirements** (if applicable) – A valid BASIX Certificate has been provided demonstrating compliance with NSW sustainability targets for water and energy efficiency (insert certificate number if required).

S4.15 (1)(b) – The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality.

1. Section 4.15(1)(b) – Likely Impacts of the Development

The proposed development has been assessed in terms of its likely impacts on the natural and built environments, as well as its potential social and economic impacts on the locality.

Natural Environment

- **Vegetation and Landform:** The site is largely cleared and does not contain any significant native vegetation. The proposal does not involve the removal of any mature trees or disturbance to sensitive environmental features.
- **Topography and Drainage:** The site has a gentle slope and is suitable for development. Minimal earthworks are proposed, primarily involving minor benching, which is consistent with exempt development standards and will not adversely alter natural drainage patterns.
- **Water and Soil:** The development is unlikely to impact groundwater, surface water, or result in soil erosion. Appropriate stormwater measures will be implemented to manage runoff in accordance with Council requirements.

Built Environment

- **Streetscape and Character:** The proposed dwelling is consistent with the existing built form in the area. It maintains appropriate setbacks, scale, and bulk that complement nearby development within the RU5 Village zone.
- **Privacy and Amenity:** The layout and design of the dwelling have been carefully considered to minimise overlooking and overshadowing. Living areas and private open space are oriented to maximise solar access and residential amenity.

- **Access and Parking:** Access to the site will be provided via the existing road reserve, and on-site parking complies with Council's requirements. This will ensure that traffic and parking impacts are negligible.

Social Impacts

- The development will provide residential accommodation in a rural village setting.
- The design promotes safety and passive surveillance through its orientation and visibility from the street, contributing positively to neighbourhood amenity and security.

Economic Impacts

- The construction of the dwelling will contribute to the local economy through job creation during the build phase and ongoing support for local trades and services.
- The development will add to the local rate base and supports the long-term viability of village infrastructure and services.

Overall, the proposal is considered to have minimal adverse impact and delivers a positive contribution to the character, function, and economy of the area, while protecting the natural environment.

S4.15 (1)(c) – Suitability of the site

The subject site is considered to be highly suitable for the proposed development based on the following key considerations:

Zoning and Land Use Compatibility

- The land is zoned RU5 Village under the Mid-Western Regional Local Environmental Plan 2012, which permits dwelling houses with development consent.
- The proposed detached two-storey dwelling is consistent with the intended land use for this zone and meets the zone objectives by supporting low-density village living and providing housing diversity in a rural village context.

Site Characteristics

- The site is a regular-shaped allotment with sufficient area and frontage to accommodate the proposed dwelling, private open space, landscaping, and essential services.
- The lot has a relatively flat topography with a minor fall toward the front, reducing the need for significant earthworks and allowing for a straightforward construction process.

Access and Services

- Access is to be provided via an existing Council Road reserve, with a suitable location for the provision of a future driveway.

Environmental Constraints

- The site is not affected by flooding, bushfire risk, or heritage constraints, and is not mapped as containing significant vegetation or environmental sensitivity under local or state environmental planning instruments.
- No critical habitat or threatened species are present on the land.

Amenity and Context

- The proposed dwelling has been designed to respect the existing streetscape and built form character of the locality.
- Adequate setbacks, building height, and design measures have been incorporated to maintain privacy, amenity, and passive solar access.

S4.15 (1)(d)- Submissions

In accordance with the requirements of the Environmental Planning and Assessment Act 1979, the application will be publicly notified and/or advertised in line with Council's adopted Community Participation Plan. The applicant reserves the right to respond to any submission received.

S4.15 (1)(e) – Public interest.

The proposed development is considered to be in the public interest for the following reasons:

- **Consistency with planning objectives:** The development aligns with the planning goals for the area by facilitating appropriately scaled residential development within an RU5 Village zone. It contributes to housing diversity while not impeding on the rural village character.
- **Efficient use of zoned land:** The development makes efficient use of zoned land.
- **Minimal environmental impact:** The design and siting of the development minimise environmental impact by utilising a cleared site, avoiding native vegetation removal, and responding to natural site characteristics such as topography and solar orientation.
- **Design responsiveness:** The proposed dwelling has been designed to not impeded on the existing built form and character of the locality, including consideration of bulk, scale, height, and setbacks. The layout promotes passive surveillance and safe access, consistent with CPTED (Crime Prevention Through Environmental Design) principles.
- **No adverse social or economic impacts:** The development will provide additional housing stock to support local growth, with no anticipated adverse social or economic impacts. It may also support local employment opportunities during the construction phase.

In summary, the proposed development is consistent with the planning framework, is unlikely to result in unreasonable impacts, and positively contributes to the planning outcomes intended for the area. As such, it is considered to be in the public interest.

Conclusion

This Statement of Environmental Effects has assessed the proposed construction of a detached two-storey dwelling on the subject site, legally described as Lot 3 in Section 21 of Deposited Plan 9704. The assessment demonstrates that the development is consistent with the applicable planning controls and environmental considerations outlined under Section 4.15 of the *Environmental Planning and Assessment Act 1979*.

The proposed development has been sensitively designed to respond to the site's characteristics, including its orientation, surrounding built form, and existing infrastructure. The siting and layout support good urban design outcomes through appropriate setbacks, efficient access arrangements, and the provision of private open space. The development will not result in any significant adverse environmental, social, or economic impacts.

Importantly, the proposal aligns with the objectives of the RU5 Village zone by facilitating low-impact residential development within an existing rural village setting. It contributes to the ongoing growth and consolidation of the locality without detracting from its character, amenity, or function.

On balance, the development represents a logical, appropriate, and orderly use of the land. All relevant impacts can be suitably managed via standard conditions of consent. It is therefore recommended that [Mid-Western Regional Council grant development consent to the application, subject to appropriate conditions.

Yours faithfully,

BARNSON PTY LTD

Josh Eagleton
B.Urb & Env.Plng (Griffith) Grad.Dip.Eng. MPIA
Senior Town Planner