

**THESE NOTES MUST BE READ AND UNDERSTOOD
BY ALL INVOLVED IN THE PROJECT.**
Verify on site all survey information including all existing services & levels prior to construction

Prior to site establishment - Contractor to engage underground services search to locate all existing services within the location of the proposed work

Contractor to ensure site safety is upheld at all times in accordance with all relevant Australian standards

Demolish existing structures & clear all vegetation as required and/or as shown on drawings, ready for new works. Dispose of demolished building materials and asbestos material encountered during demolition, except those items specifically identified for reuse

Perform all new works in best tradesman-like manner and to the satisfaction of all relevant authorities & Australian Standards

Terminate, cap off or divert all existing services where so require and/or as necessary to carry out new works

Where any services are damaged during new works, contractor to rectify immediately to ensure full working order

Refer to structural & civil engineer's documents for details of concrete slabs steps and footings. Including sizes of structural members

Comply with landscaping requirements as required by the council conditions and/or as detailed by landscape architect

Refer to hydraulic & civil engineer's details for location and levels of all storm water pits. Uno. Connect all downpipes into nearest existing storm water system as required and/or to hydraulic & civil engineer's details. Uno. Provide fall in all ground finishes to ensure all storm water falls away from building/s. Lay paving with sufficient falls to pits & floor wastes to avoid ponding

Refer to hydraulic engineer's details for details of sewer connection. All works / connections comply with relevant authorities' requirements

Supply & install all electrical services including but not limited to, power, exit signs, lighting, emergency lighting & telephone supply to relevant Australian Standards, authorities' requirements & electrical engineer's details

Supply & install all mechanical ventilation including but not limited to, mechanical exhaust fans & ducts, air conditioning units & ducts to relevant Australian standards, authorities' requirements & mechanical engineer's details

Remove all redundant vehicle crossings & replaced with new concrete kerb & gutter to council's requirements. Make good to surrounds where disturbed by new works to council engineer's specification

Uno. Provide 50mm set down in floor slab to all wet areas

Repair/reinstate to a standard of new to all surfaces, damaged / effected during new construction works

At completion clean up the entire site & clean all building surfaces prior to hand over

Builder to ensure site remains tidy during construction to reduce risks onsite

All works (including materials & workmanship) to comply with current NCC / BCA & all relevant Australian standards

All exit doors & doors in the path of travel to exits are to be capable of being operated at all times from the side facing a person seeking egress from the building with a single handed downward action or pushing action on a single device without the use of a key and located between 900mm and 1000mm above the floor level, all in accordance with the NCC / BCA & relevant Australian standards

All glazing to comply with all relevant Australian standards

All glazed balustrading to comply with all relevant Australian standards

Exit signs and emergency lighting to comply with all relevant Australian standards

Fire hydrant and hose reel installations to comply with all relevant Australian standards

Portable fire extinguishers to comply with all relevant Australian standards. Provide 2a2ob (e) dry chemical fire extinguisher adjacent to each electrical switchboard

Waterproofing to walls and floors in wet areas to be provided in accordance with all relevant Australian standards, NCC / BCA

Provide weatherproof sealant and backing rod to all precast joints as required

All internal steelwork to be shop primed. All external / exposed steel work to be hot dip galvanised prior to installation

Provide lift off hinges to all access toilets & toilet partitions

Provide downpipe / service pipe guards to all downpipes & service pipes. Refer to detail if provided

Contractor to ensure all construction documentation is read in conjunction with all services engineer's documentation & any other provided supporting information. Any anomalies to be brought to the superintendent's attention prior to manufacture / installation.

Provide / install flashing to all wall / roof / floor junctions as required to ensure complete watertightness to comply with the requirements of the NCC / BCA and relevant Australian standards

Provide / install waterproof deck-tite flashing & or colorbond metal back flashing to all roof penetrations to ensure complete watertightness to comply with the requirements of the NCC / BCA and relevant Australian standards

UNO - Contractor to provide / install all necessary colorbond metal capping, flashings & trims as required.

Should asbestos materials / contamination be discovered during the course of the building works, the contractor must ensure safe removal in accordance with all relevant Australian standards

Provide subsoil drains where necessary to intercept groundwater seepage and to prevent water build up behind walls and under floors. Connect subsoil drains to the stormwater drainage system.

Proposed Dual Occupancy

23 Marskell Circuit, Mudgee NSW 2850



RSDNC.

RESIDENCE DESIGN STUDIO

Prepared for
Forever Landscapes Pty Ltd

Multi Dwelling

Certificate number: 1782462M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 06 February 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate HR-B9ZLC-03.

Project summary			
Project name	Proposed New Dwellings-738		
Street address	23 MARSKELL CIRCUIT MUDGEE 2850		
Local Government Area	MID-WESTERN REGIONAL		
Plan type and plan number	Deposited Plan 1307255		
Lot No.	7		
Section no.	-		
No. of residential flat buildings	0		
Residential flat buildings: no. of dwellings	0		
Multi-dwelling housing: no. of dwellings	2		
No. of single dwelling houses	0		
Project score			
Water	✔ 36	Target 30	
Thermal Performance	✔ Pass	Target Pass	
Energy	✔ 66	Target 61	
Materials	✔ -69	Target n/a	

Certificate Prepared by	
Name / Company Name: Elam Eco Design	
ABN (if applicable): 13300972631	

No common areas specified.

Fixtures					Appliances			Individual pool			Individual spa			
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 4.5 but <= 6 L/min)	4 star	5 star	5 star	-	-	-	-	-	-	-	-	-	-

Alternative water source								
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
1	Individual water tank (No. 1)	Tank size (min) 1500 litres	To collect run-off from at least: 220 square metres of roof area; 0 square metres of impervious area; 0 square metres of garden and lawn area; and 0 square metres of planter box area.	yes	-	no	-	-
All other dwellings	Individual water tank (No. 2)	Tank size (min) 1500 litres	To collect run-off from at least: 220 square metres of roof area; 0 square metres of impervious area; 0 square metres of garden and lawn area; and 0 square metres of planter box area.	yes	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for daylight zoning between living areas and bedrooms.		✓	✓

Description of project

Project address		Common area landscape	
Project name	Proposed New Dwellings-738	Common area lawn (m²)	0
Street address	23 MARSKELL CIRCUIT MUDGEE 2850	Common area garden (m²)	0
Local Government Area	MID-WESTERN REGIONAL	Area of indigenous or low water use species (m²)	0
Plan type and plan number	Deposited Plan 1307255	Assessor details and thermal loads	
Lot No.	7	Assessor number	20348
Section no.	-	Certificate number	HR-B9ZLC-03
Project type		Climate zone	65
No. of residential flat buildings	0	Project score	
Residential flat buildings: no. of dwellings	0	Water	✓ 36 Target 30
Multi-dwelling housing: no. of dwellings	2	Thermal Performance	✓ Pass Target Pass
No. of single dwelling houses	0	Energy	✓ 66 Target 61
Site details		Materials	✓ -69 Target n/a
Site area (m²)	713.7		
Roof area (m²)	440		
Non-residential floor area (m²)	0		
Residential car spaces	1		
Non-residential car spaces	0		

Schedule of BASIX commitments

- Commitments for multi-dwelling housing
 - Dwellings
 - Water
 - Energy
 - Thermal Performance and Materials
- Commitments for single dwelling houses
 - Dwellings
 - Water
 - Energy
 - Thermal Performance and Materials
- Commitments for common areas and central systems/facilities for the development (non-building specific)
 - Common areas and central systems/facilities
 - Water
 - Energy

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	✓
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous - 5 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
1	4+	132.4	6	99	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
2	4+	126.5	4.5	125	0



Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(a) Dwellings

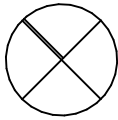
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.	✓	✓	
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).		✓	✓
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(h) The pool or spa must be located as specified in the table.	✓	✓	
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Cooling			Heating		Natural lighting	
Dwelling no.	living areas	bedroom areas		living areas	bedroom areas	No. of bathrooms or toilets	Main kitchen
All dwellings	1-phase airconditioning - ducted / 4 star (cold zone)	1-phase airconditioning - ducted / 4 star (cold zone)		1-phase airconditioning - ducted / 4 star (cold zone)	1-phase airconditioning - ducted / 4 star (cold zone)	1	no

Individual pool				Individual spa		Appliances other efficiency measures				
Dwelling no.	Pool heating system	Pool Pump	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Dishwasher	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	-	gas cooktop & electric oven	-	-	no	yes

	Alternative energy		
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)	Photovoltaic collector installation	Orientation inputs
All dwellings	-	-	-

(ii) Thermal Performance and Materials												Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.														
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.														
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.														
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.												✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.													✓	



(iii) Thermal Performance and Materials				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.					✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:				✓	✓	✓
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or						
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.						
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.				✓	✓	✓
(i) The applicant must show on The Plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.				✓		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.					✓	
Thermal loads						
Dwelling no.	Area adjusted heating load (in MJ/m ² /yr)	Area adjusted cooling load (in MJ/m ² /yr)	Area adjusted total load (in MJ/m ² /yr)			
1	143.5	1.4	144.900			
All other dwellings	146.3	1.3	147.600			
Construction of floors and walls						
Dwelling no.	Concrete slab on ground (m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls	
1	138.4	-	-	-	no	
All other dwellings	131	-	-	-	no	
Floor types						
Dwelling no.	Concrete slab on ground				Suspended floor above open subfloor	
	Area (m ²)	Insulation	Low emissions option	Dematerialisation	Construction type	Area (m ²)
1	138.4	-	-	waffle pod slab	-	-
All other dwellings	131	-	-	waffle pod slab	-	-

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2. Commitments for single dwelling houses			
(a) Dwellings			
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✓	✓
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(h) The pool or spa must be located as specified in the table.	✓	✓	
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓
(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓

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3. Commitments for common areas and central systems/facilities for the development (non-building specific)			
(b) Common areas and central systems/facilities			
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓
Common area	Showerheads rating	Toilets rating	Taps rating
All common areas	no common facility	no common facility	no common facility
Clothes washers rating			
no common laundry facility			
(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

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Floor types										
Dwelling no.	Concrete slab on ground				Suspended floor above enclosed subfloor		Suspended floor above open subfloor			
	Area (m ²)	Insulation	Low emissions option	Dematerialisation	Construction type	Area (m ²)	Insulation	Construction type	Area (m ²)	Insulation
All other dwellings	131	-	-	waffle pod slab	-	-	-	-	-	-
Garage floor types										
Dwelling no.	Suspended floor above garage				Garage floor					
	Construction type	Area (m ²)	Insulation	Construction type	Area (m ²)	Insulation	Construction type	Area (m ²)	Insulation	Dematerialisation
1	-	-	-	-	-	-	concrete slab on ground	21.6	-	-
All other dwellings	-	-	-	-	-	-	concrete slab on ground	20.3	-	-
External walls										
Dwelling no.	External wall type 1				External wall type 2					
	Wall type	Area (m ²)	Insulation	Low emissions option	Wall type	Area (m ²)	Insulation	Low emissions option	Wall type	Area (m ²)
1	brick veneer, frame: timber - H2 treated softwood	111.9	fibreglass batts or roll	-	-	-	-	-	-	-
All other dwellings	brick veneer, frame: timber - H2 treated softwood	112.6	fibreglass batts or roll	-	-	-	-	-	-	-

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(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:			
(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and		✓	
(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	
(h) The applicant must install in the dwelling:			
(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; and		✓	
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		✓	✓
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓
(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			

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Central energy systems	Type	Specification
Other	-	-

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External walls								
Dwelling no.	External wall type 3				External wall type 4			
	Wall type	Area (m ²)	Insulation	Low emissions option	Wall type	Area (m ²)	Insulation	Low emissions option
All dwellings	-	-	-	-	-	-	-	-
Internal walls								
Dwelling no.	Internal walls shared with garage				Internal wall type 1		Internal wall type 2	
	Wall type	Area (m ²)	Insulation	Construction type	Area (m ²)	Insulation	Area (m ²)	Insulation
1	plasterboard, frame: timber - H2 treated softwood	24.7	-	-	plasterboard, frame: timber - H2 treated softwood	125.6	-	-
All other dwellings	plasterboard, frame: timber - H2 treated softwood	25.2	-	-	plasterboard, frame: timber - H2 treated softwood	117.5	-	-
Ceiling and roof								
Dwelling no.	Flat ceiling / pitched roof				Raked ceiling / pitched or skillion roof		Flat ceiling / flat roof	
	Construction type	Area (m ²)	Insulation	Construction type	Area (m ²)	Insulation	Construction type	Area (m ²)
All dwellings	framed - metal roof, frame: timber - H2 treated softwood	220	Ceiling: fibreglass batts or roll, Roof: foil backed blanket	-	-	Ceiling: Roof:	-	-
Glazing type								
Dwelling no.	Glazing type				Frame types			
	Single glazing (m ²)	Double glazing (m ²)	Triple glazing (m ²)	Aluminium frames (m ²)	Timber frames (m ²)	uPVC frames (m ²)	Steel frames (m ²)	Composite frames (m ²)
1	9.9	9.6	-	19.5	-	-	-	-
All other dwellings	9.5	9.6	-	19.1	-	-	-	-

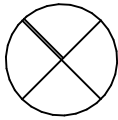
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(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:			
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or	✓	✓	✓
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓
(i) The applicant must show on The Plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✓		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✓	

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Notes
1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.
Legend
1. Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfillment it is required to monitor in relation to the building or part, has been fulfilled).

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SITE LEGEND

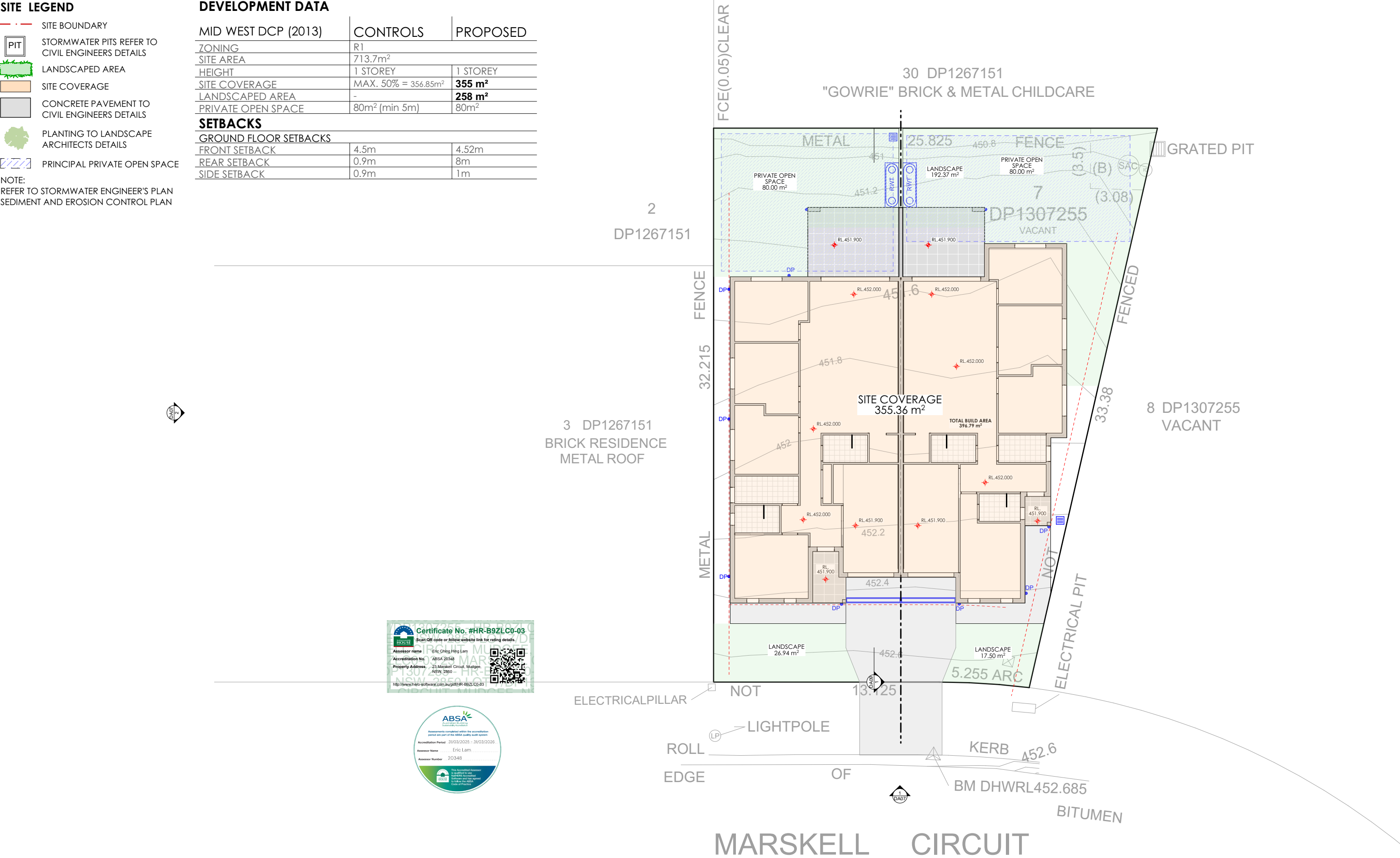
- SITE BOUNDARY
- PIT

STORMWATER PITS REFER TO CIVIL ENGINEERS DETAILS
- LANDSCAPED AREA
- SITE COVERAGE
- CONCRETE PAVEMENT TO CIVIL ENGINEERS DETAILS
- PLANTING TO LANDSCAPE ARCHITECTS DETAILS
- PRINCIPAL PRIVATE OPEN SPACE

NOTE:
REFER TO STORMWATER ENGINEER'S PLAN
SEDIMENT AND EROSION CONTROL PLAN

DEVELOPMENT DATA

MID WEST DCP (2013)	CONTROLS	PROPOSED
ZONING	R1	
SITE AREA	713.7m ²	
HEIGHT	1 STOREY	1 STOREY
SITE COVERAGE	MAX. 50% = 356.85m ²	355 m ²
LANDSCAPED AREA	-	258 m ²
PRIVATE OPEN SPACE	80m ² (min 5m)	80m ²
SETBACKS		
GROUND FLOOR SETBACKS		
FRONT SETBACK	4.5m	4.52m
REAR SETBACK	0.9m	8m
SIDE SETBACK	0.9m	1m



1

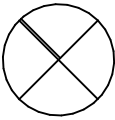
SITE PLAN
1:200

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NOTE
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06/02/2025
DATE



1:200, 1:100, 1:0.91
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2/04/2025
ISSUE DATE

SITE PLAN
DA04
DRAWING NAME

Proposed Dual Occupancy
23 Marskell Circuit, Mudgee NSW 2850
PROJECT

1

ROOF PLAN
1:100

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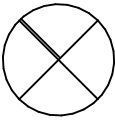
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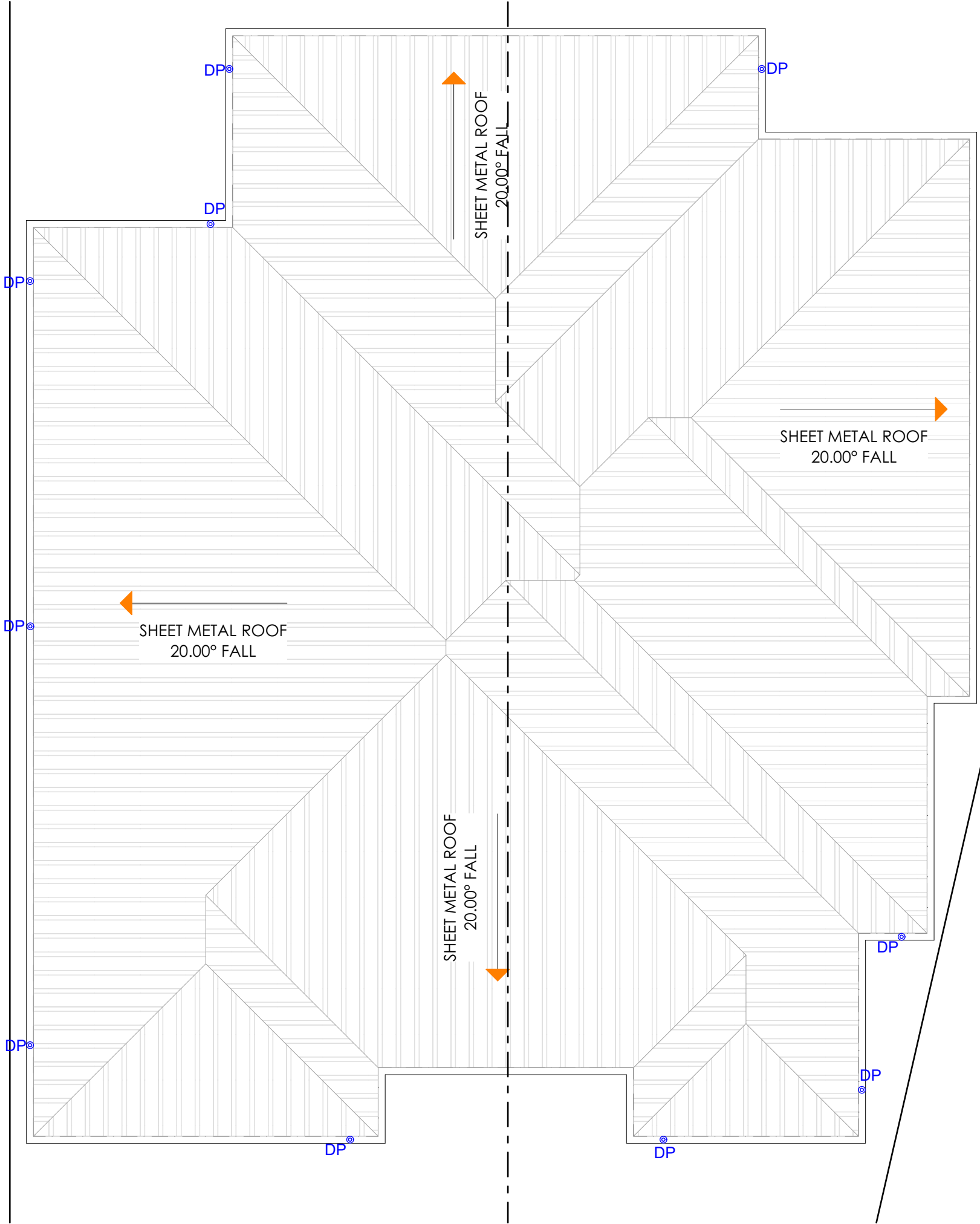
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2/04/2025
ISSUE DATE

ROOF PLAN
DA06
DRAWING NAME

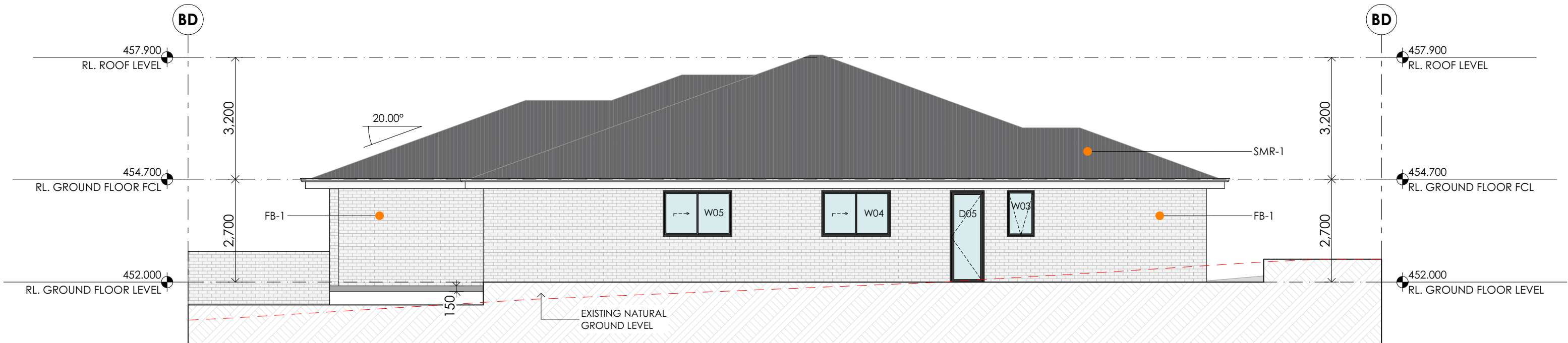
Proposed Dual Occupancy
23 Marskell Circuit, Mudgee NSW 2850
PROJECT





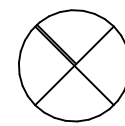
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SOUTH WEST ELEVATION
1:100



2

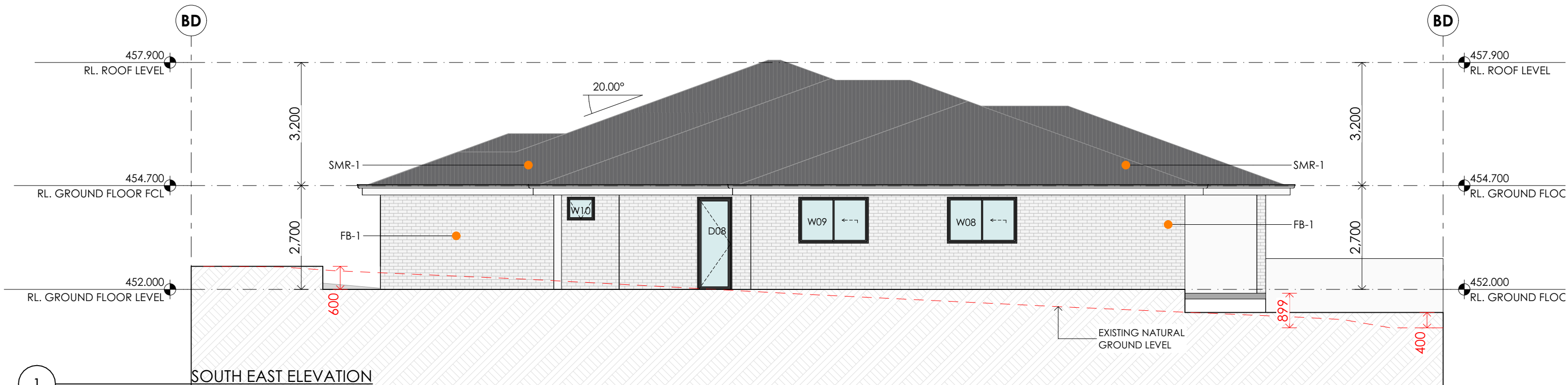
NORTH WEST ELEVATION
1:100





2

NORTH EAST ELEVATION
1:100



1

SOUTH EAST ELEVATION
1:100



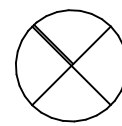
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NOTE

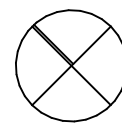
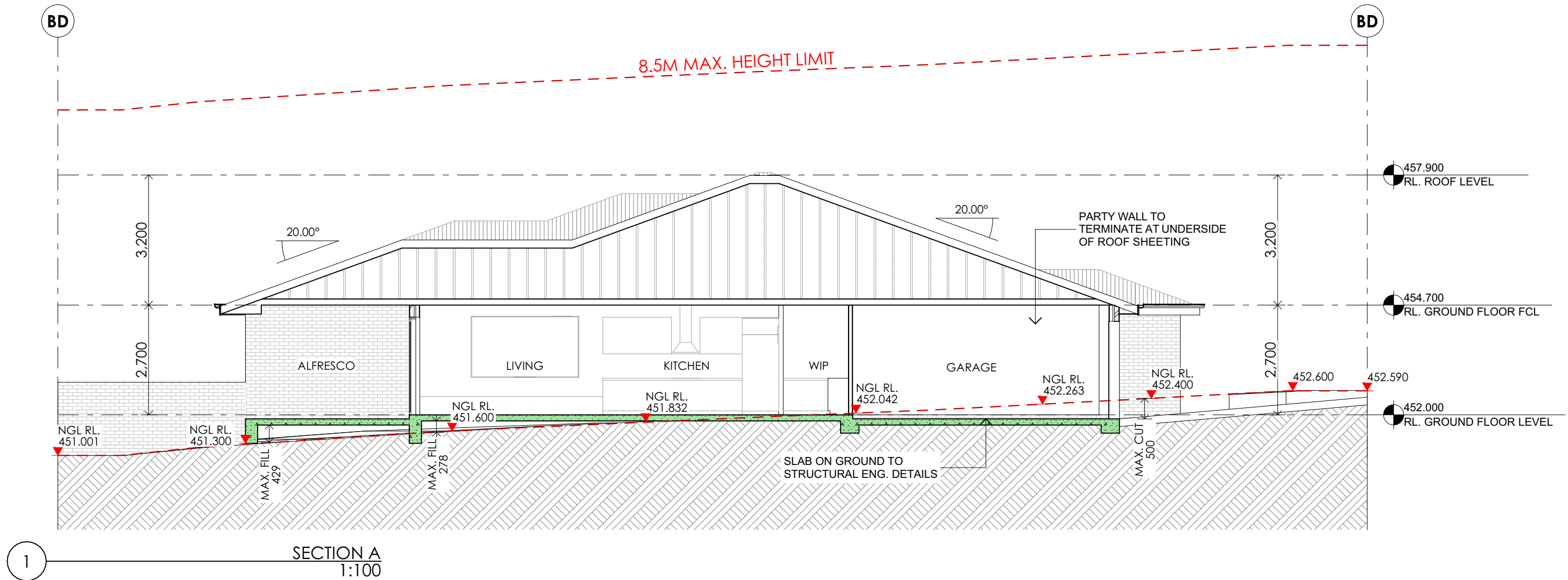
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REV DATE



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2/04/2025
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ELEVATIONS
DA08
DRAWING NAME

Proposed Dual Occupancy
23 Marskeil Circuit, Mudgee NSW 2850
PROJECT



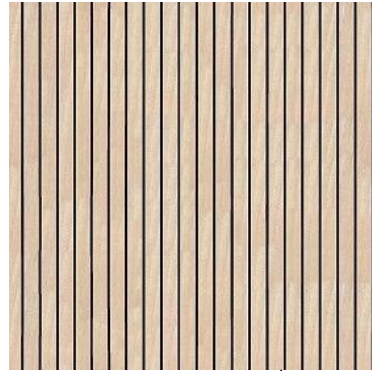
WINDOW FRAMES AND
FASCIA / GUTTER:
COLORBOND MONUMENT
OR SIMILIAR



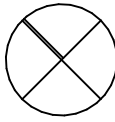
SHEET METAL ROOF TYPE 1:
COLORBOND MONUMENT
OR SIMILIAR



TIMBER BATTENING: OAK OR
SIMILIAR



FB-1: PGH BRICKS COASTAL
HAMPTONS OR SIMILIAR



ELEVATION												
ID	W01	W02	W03	W04	W05	W06	W07	W08	W09	W10	W11	W12
Nominal W x H Size	710x1,800	710x1,800	710x1,200	1,810x1,200	1,810x1,200	1,810x1,200	1,810x1,200	1,810x1,200	1,810x1,200	710x600	710x1,800	710x1,800
HEAD HEIGHT	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400

1
-

WINDOW ELEVATIONS

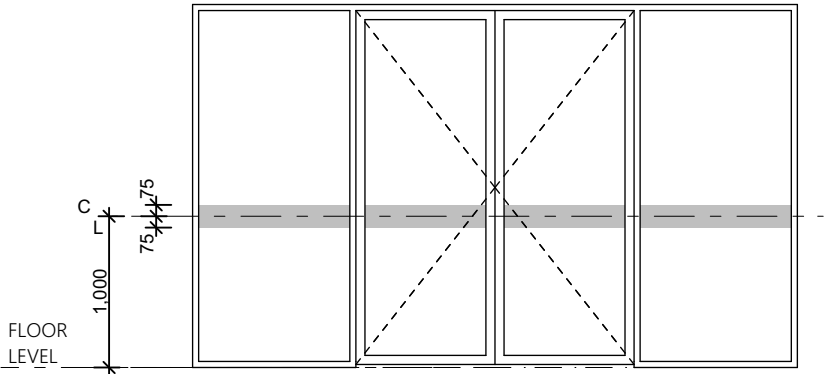
1:1

ELEVATION								
ID	D01	D02	D03	D04	D05	D06	D07	D08
Nominal W x H Size	1,000x2,400	2,700x2,400	2,700x2,400	1,000x2,400	900x2,400	4,000x2,400	4,000x2,400	900x2,400

2
-

DOOR ELEVATIONS

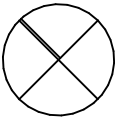
1:1

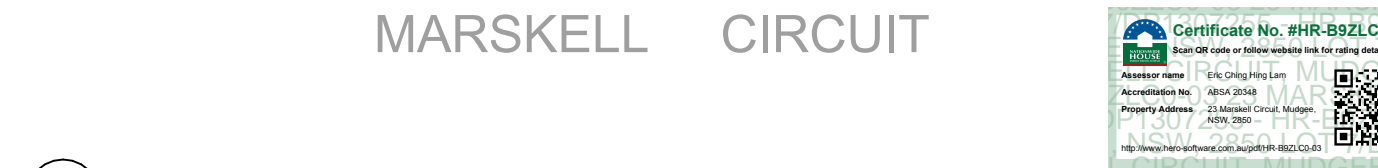
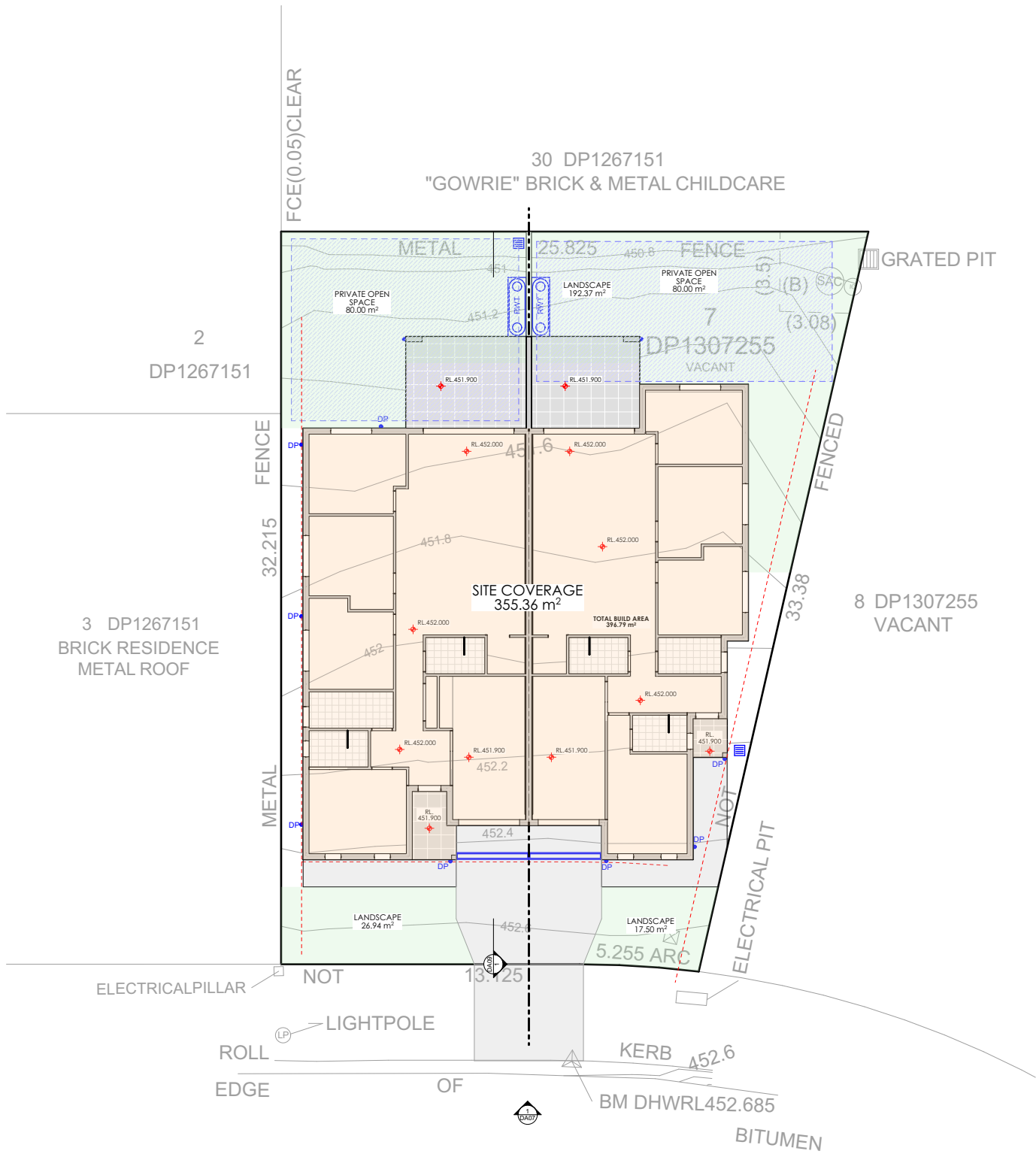


GLAZING DECAL
TO COMPLY WITH AUSTRALIAN STANDARDS

GLAZING DECAL

- NOTE
- ALL DOOR & WINDOW SCHEDULES TO BE READ IN CONJUNCTION WITH THE PLANS, SPECIFICATION & BCA SECTION J REPORT, CHECK SIZES ON SITE PRIOR TO MANUFACTURING
 - ALL EXTERNAL DOORS TO BE FITTED WITH WEATHER STRIPS
 - ALL BEDROOM WINDOWS TO COMPLY WITH THE REQUIREMENTS OF CLAUSE 11.3.7 OF THE HOUSING PROVISIONS 2022



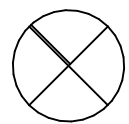


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NOTIFICATION PLAN
DA12
DRAWING NAME

Proposed Dual Occupancy
23 Marskeill Circuit, Mudgee NSW 2850
PROJECT