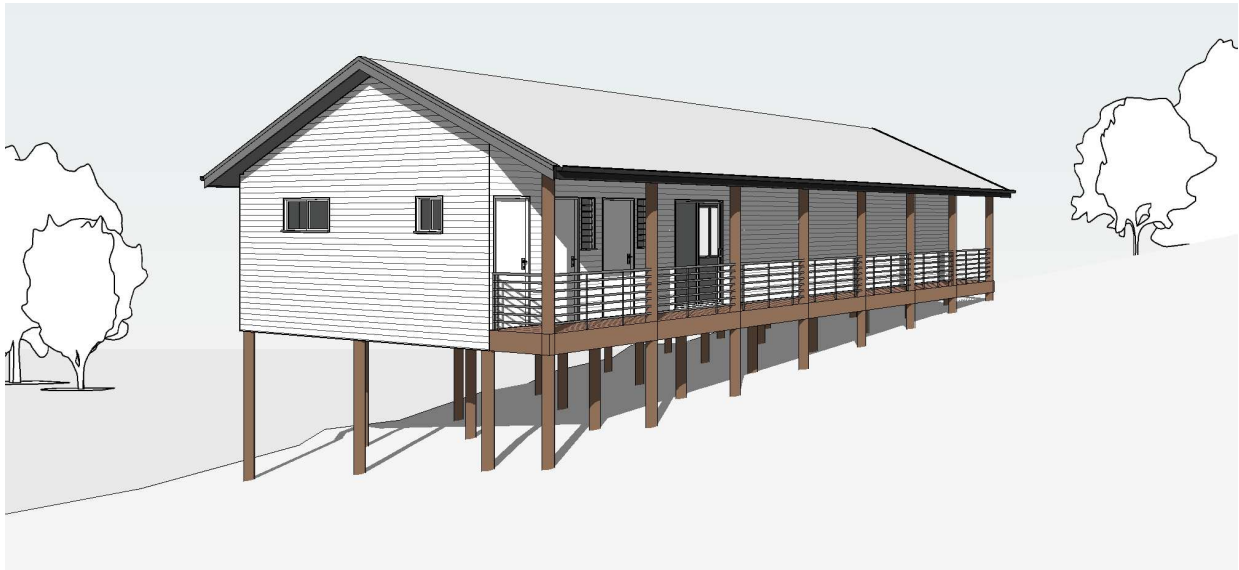


PROPOSED SHORT-TERM ACCOMMODATION AND FACILITIES
FOR
WILLIAM CHOW
346 BERAGOO ROAD GRATTAI NSW 2850



GENERAL NOTES:

Builder to confirm all dimensions before commencing any works.

If discrepancies occur on plans, designer is to be contacted.

All dimensions are in millimeters unless otherwise stated.

Use figured dimensions only. Do not scale from plans.

Site information is based on information supplied by the owner and must be verified by the supplier on acceptance of this plan.

All works shall comply with the National Construction Code (NCC 2022) current Australian Standards, building regulations and statutory approvals. Notify this office of any discrepancies.

These plans should be read in conjunction with project specification and all consultant drawings including but not limited to Structural Engineer and Surveyor.

Soil Classification - refer to Engineers report and soil tests.

SPECIFICATIONS:

WIND CLASSIFICATION - BY ENGINEER

PLUMBING

All plumbing to AS3500.3 and must be carried out by a licensed plumber in accordance with the Plumbing Code of Australia (PCA) to comply with the requirements of the Local Authority.

ELECTRICAL

All electrical work shall be undertaken by a licensed electrician and in accordance with AS/NZS 3000

CONDENSATION MANAGEMENT

Install a pliable building membrane to comply with AS4200.1 & AS4200.2 with a vapour permeance of not less than 1.14ug/N.s in this climate. (Climate 6). Except for single skin masonry or concrete, where a pliable building membrane is not installed in an external wall, the primary water control layer must be separated from water sensitive materials by a drained cavity. To NCC 2022 Vol 2 Clause H4D9 and HP 10.8.

WATER PROOFING OF WET AREAS

Shall comply with NCC 2022 Vol 2 Clause H4D2, AS 3740-2021 and HP Part 10.2

PRE-FABRICATED WALL FRAMES AND ROOF TRUSSES

Shall comply with NCC 2022 Vol 2 Clause H2D6 (4) and AS1720.1-2010, AS1720.5-2015, AS1684.2-2021, AS1684.4-2010 AND AS1860.2-2006

SPECIFICATIONS:

TERMITE PROTECTION

All buildings shall be protected against termite attack in accordance with AS3660.1 and NCC 2022 Vol 2 Clause H1D3 and HP Part 3.4. Provide a durable notice in the meter box indicating type of barrier and required inspections.

SMOKE DETECTORS

Smoke detectors shall be installed as noted on the plans and in accordance with AS 3786-2014 and NCC 2022 Vol 2 Clause H3D6 and HP Part 9.5.2 and 9.5.4. They must be hard wired to the electrical supply.

WINDOWS / GLAZING / SHOWER SCREENS

Provide glazing to AS1288-2021 AS 2047-2014, as relevant and NCC 2022 Vol 2 Clause H1D8 and HP Part 8.2 and 8.3.

LIFT OFF HINGES (LOH)

Provide lift of hinges to the doors on sanitary compartments as labeled on the plans in accordance with NCC 2022 Clause H4P3 and HP 10.4.2.

DRAUGHT SEALING

Provide a seal/draught excluder to the bottom edge of all external doors in accordance with NCC 2022 clause H6D2 and HP Part 13.4.4.

HEATING APPLIANCES / FIREPLACES

Shall comply with NCC 2022 Vol 2 Clause H7D5 and AS/NZS 2918 for domestic solid fuel burning appliance, or HP Part 12.4 for heating appliances

SPECIFICATIONS:

STAIRS

Timber steps to NCC 2022 Vol 2 H5D2 and HP Part 11.2.

	MIN	MAX
Riser	115mm	190mm
Going	240mm	355mm
Slope relationship (2R+G)	550mm	700mm

Ensure slip resistance of P4 to be achieved with intergrain ultra deck slip resistance timberoil

SPECIFICATIONS: RURAL LAND

FIRE FIGHTING EQUIPMENT

A 65mm Storz outlet with a metal Gate or Ball Valve to be provided on the water storage tank.

Above ground tanks to be manufactured of concrete or metal. Tanks on hazard side of building are to be provided with adequate shielding for the protection of the fire fighters

Above ground water pipes external to the building are to be metal including and up to any taps

Pumps are to be shielded

Ensure 20,000L min. reserved for fire fighting purposes

BASIX NOTES:

STORMWATER

Min of 258m2 of roof water must be collected in a 100,000L common rainwater tank, plumbed to irrigation of 100 sq m of common landscaped area and be installed in accordance with AS3500.

HEATING / COOLING

1-phase airconditioning to be installed in the living/bed room of each accommodation unit

VENTILATION

Bathroom - Install an exhaust fan in the ceiling, duct through roof or facade and operate manually

Kitchen - Install a rangehood over cooktop, duct through roof or facade and operate manually

Laundry - Install an exhaust fan, duct through facade and operate manually

HOT WATER

Gas Instantaneous with a minimum of 4.5 stars to be installed

AAA RATING - Multi-Dwelling Units

All showerheads minimum rating of 4 star (>6 but <= 7.5L/min)
Toilets to have a minimum rating of 5 Star
Kitchen taps to have a minimum rating of 5 star
and Basin taps to have a minimum rating of 5 stars

AAA RATING - Common Facilities

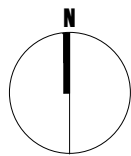
All showerheads minimum rating of 4 star (>6 but <= 7.5L/min)
Toilets to have a minimum rating of 5 Star
Taps to have a minimum rating of 5 star
Clothes Washers to have a minimum rating of 4 stars

OTHER

Gas cooktop and electric oven to be installed in Kitchen.
An outdoor or unsheltered clothes drying line must be installed.

GENERALLY

The information found in these notes are by no means the extent of information relating to compliance with BASIX commitments. These notes must be read in conjunction with the full set of plans and elevations outlined on sheet no's 663CHO-00 to 663CHO-13, Issue C (14 sheets) and with the BASIX Certificate and NatHERS Certification pertaining to this property.



BERAGOO
ROAD

FOR BUSHFIRE REQUIREMENTS REFER
TO BUSHFIRE REPORT BR-634123-A

ACCESSIBLE CAR SPACE AND RAMP

EXISTING TANK

PROPOSED RETAINING
WALLS MAX 1m HIGH

PROPOSED
ACCOMMODATION
UNITS



EXISTING
RESIDENCE

EXISTING
DECK

PROPOSED YOGA STUDIO

EXISTING DECK STRUCTURE WITH ROOF

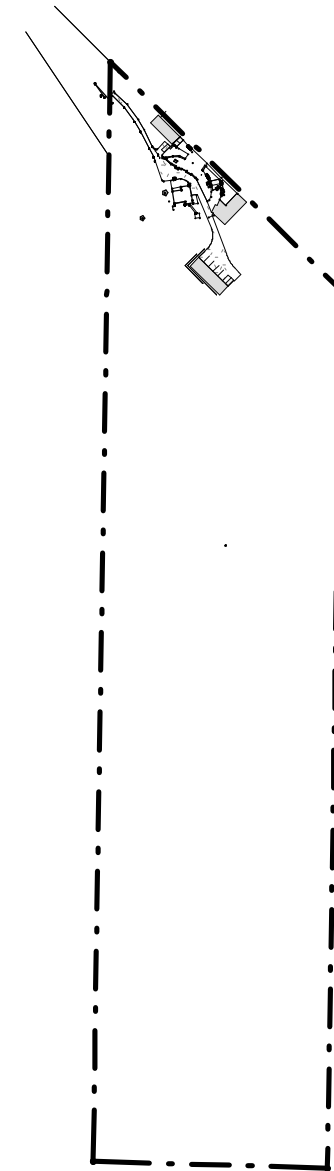
PROPOSED GYM

50 m
BUILDING SETBACK

No. 346
LOT 27
D.P. 255363
AREA: 10.13 Ha

ENSURE ACCOMMODATION BUILDING, INCLUDING
EAVES, IS CLEAR OF BUILDING SETBACK

1 SITE PLAN
SCALE 1 : 600

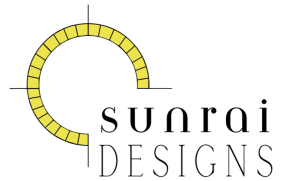


2 OVERALL SITE PLAN
SCALE 1 : 5000

Notes

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B	DA ISSUE	08.12.24
A	PRELIMINARY	17.09.24
Issue	Description	Date



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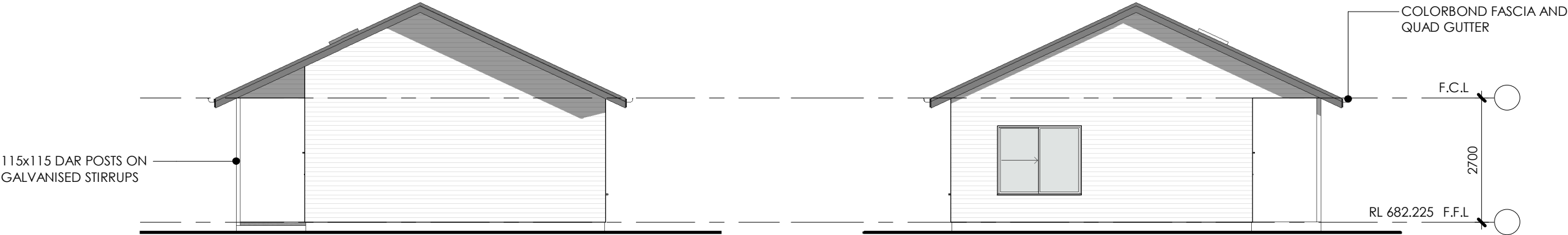
Title SITE PLAN

Scale at A3
1 : 600 ; 1 : 5000

Date MARCH 2023	Drawn RG/CD
Drawing No. 663CHO-01	Issue B



1 **NE ELEVATION**
SCALE 1 : 100



2 **NW ELEVATION**
SCALE 1 : 100

3 **SE ELEVATION**
SCALE 1 : 100

**FOR BUSHFIRE REQUIREMENTS REFER
TO BUSHFIRE REPORT BR-634123-A**



4 **SW ELEVATION**
SCALE 1 : 100

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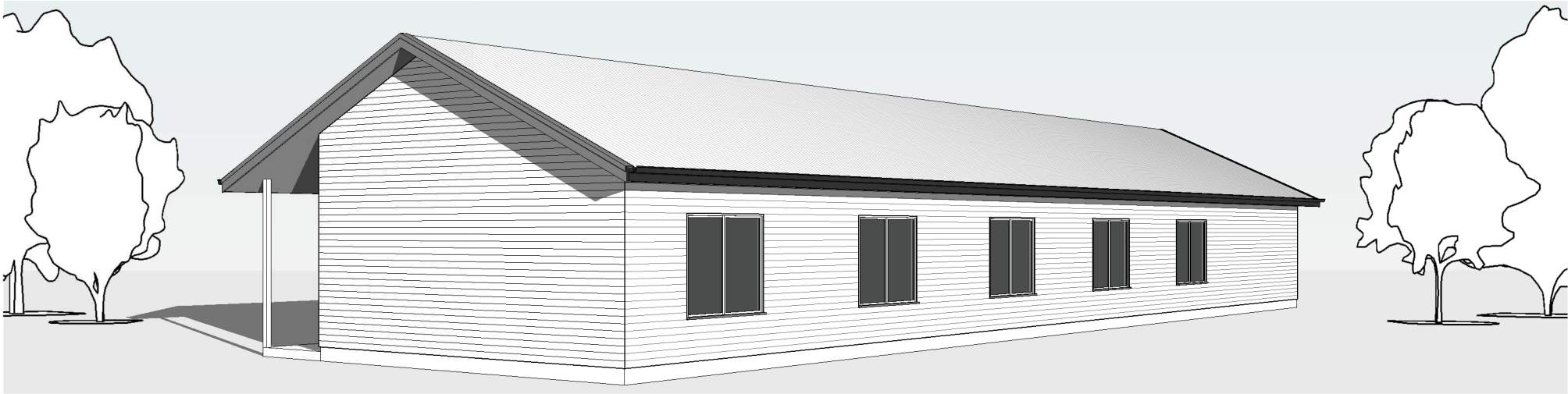
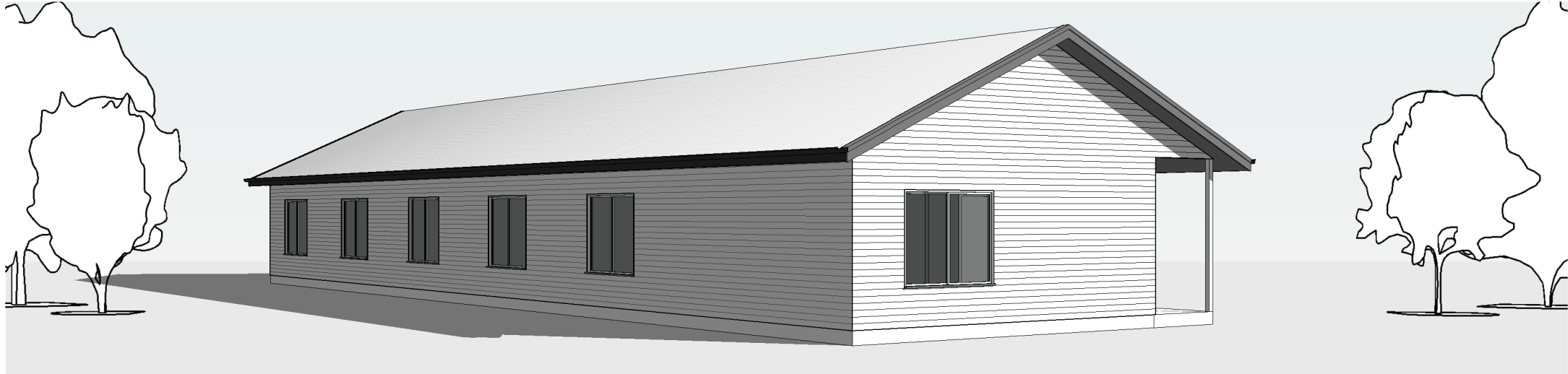
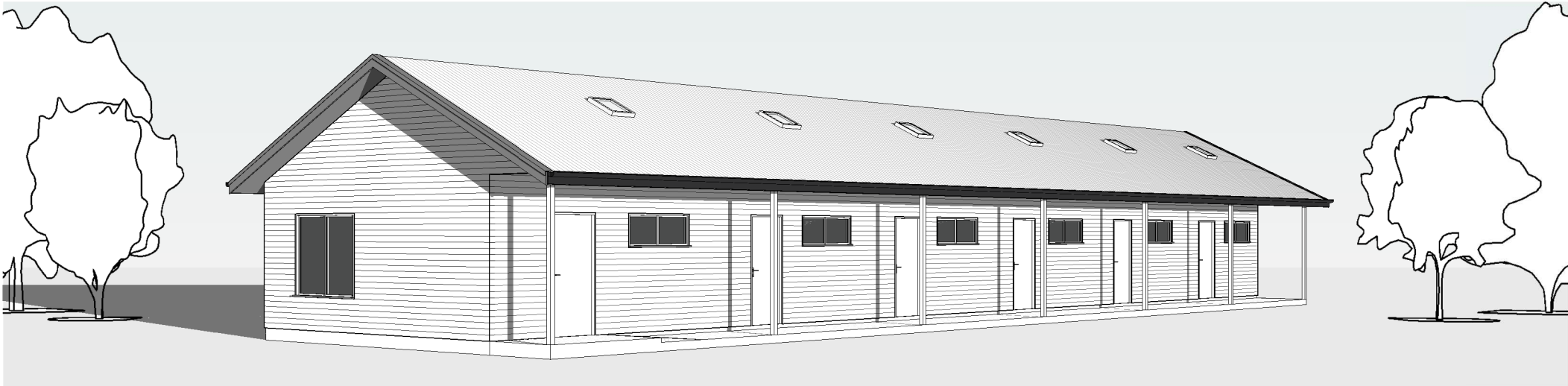
Client William Chow

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Grattai NSW 2850

Title ELEVATIONS - APARTMENTS

Scale at A3 1 : 100

Date MARCH 2023	Drawn RG/CD
Drawing No. 663CHO-03	Issue B

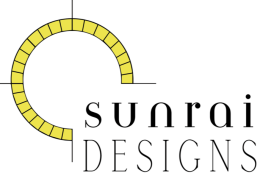


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Project
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Grattai NSW 2850

Title PERSPECTIVES - APARTMENTS

Scale at A3
NA

Date MARCH 2023

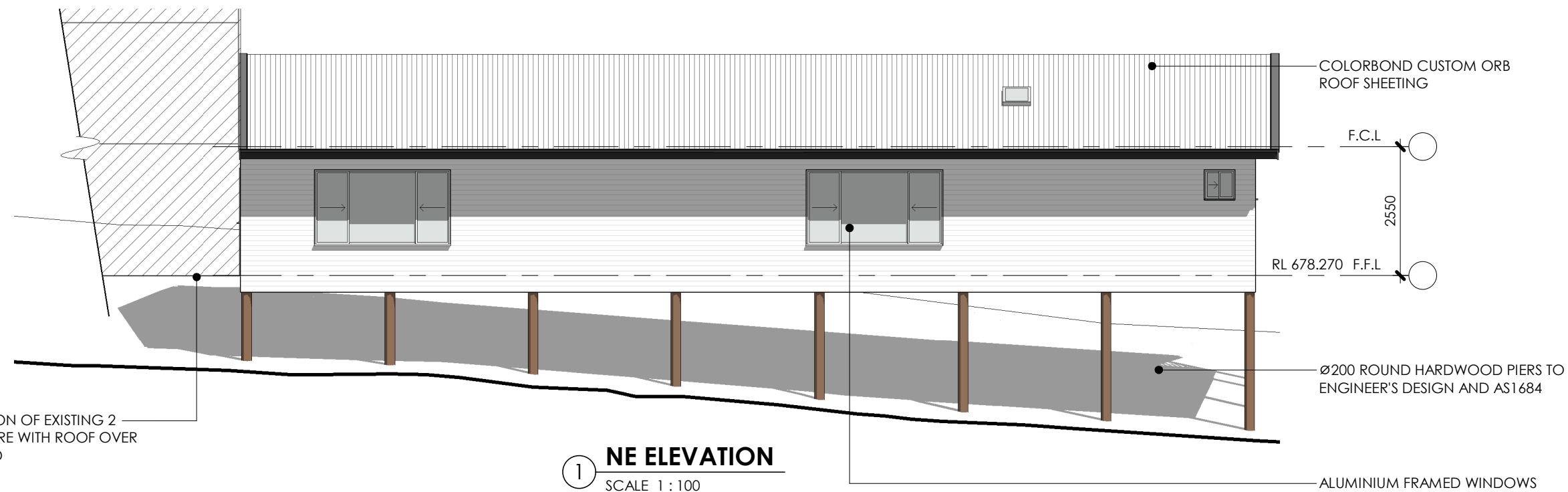
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663CHO-05

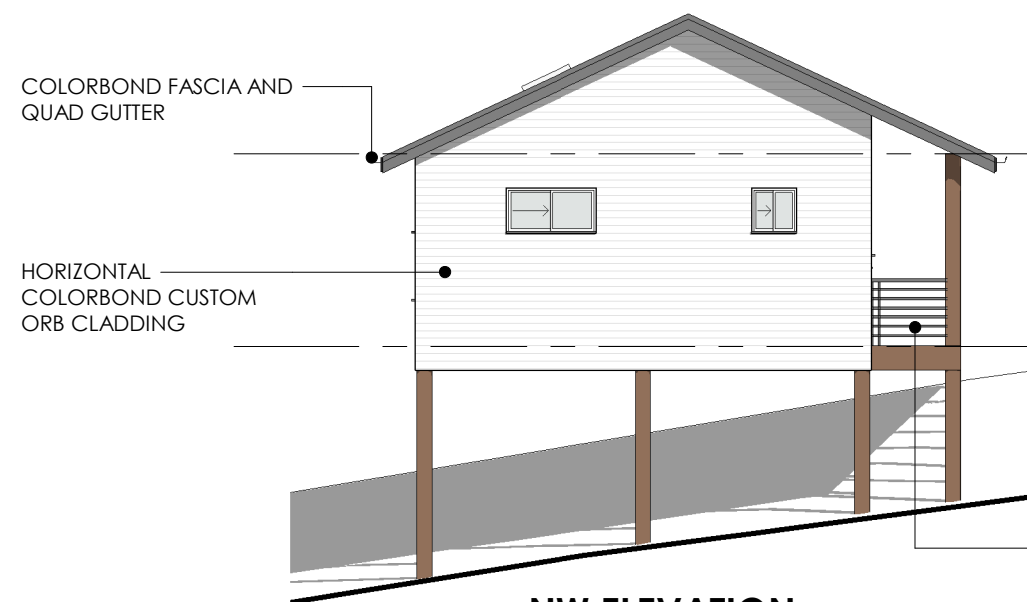
Drawn RG/CD

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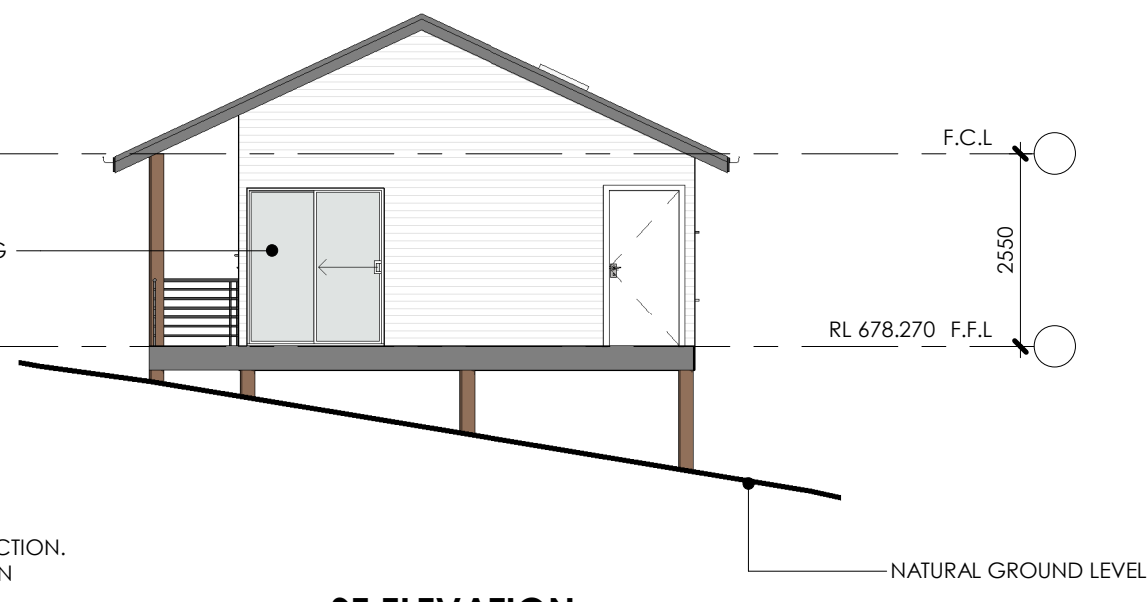
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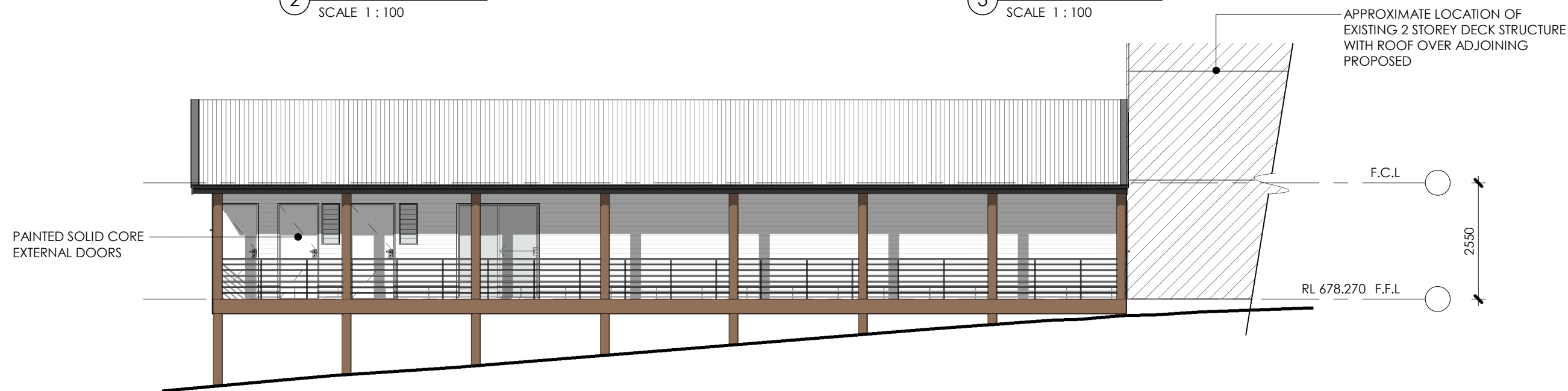
1 **NE ELEVATION**
SCALE 1 : 100



2 **NW ELEVATION**
SCALE 1 : 100



3 **SE ELEVATION**
SCALE 1 : 100



4 **SW ELEVATION**
SCALE 1 : 100

NO CUT OR FILL

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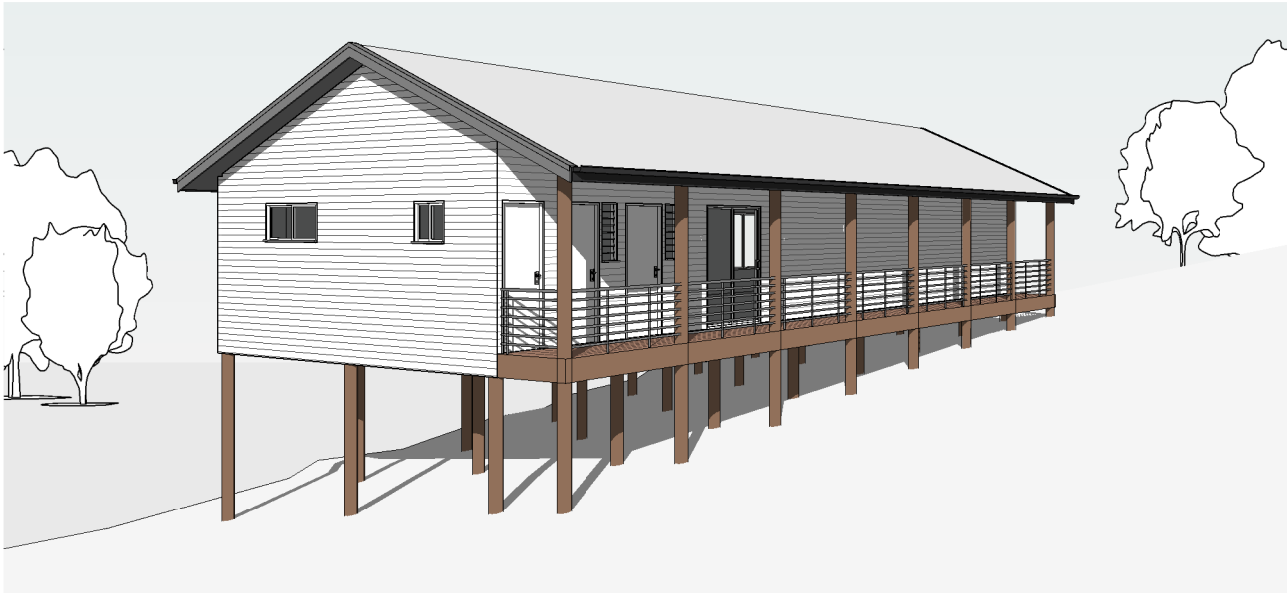
Project 346 Beragoo Road
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Title ELEVATIONS - YOGA STUDIO

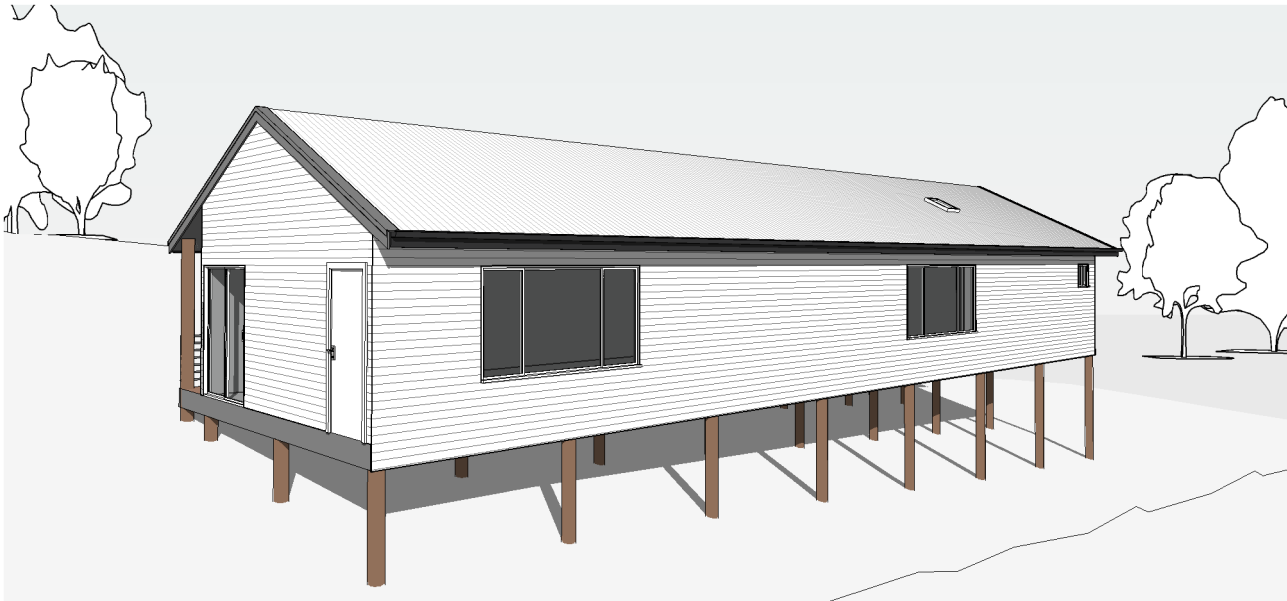
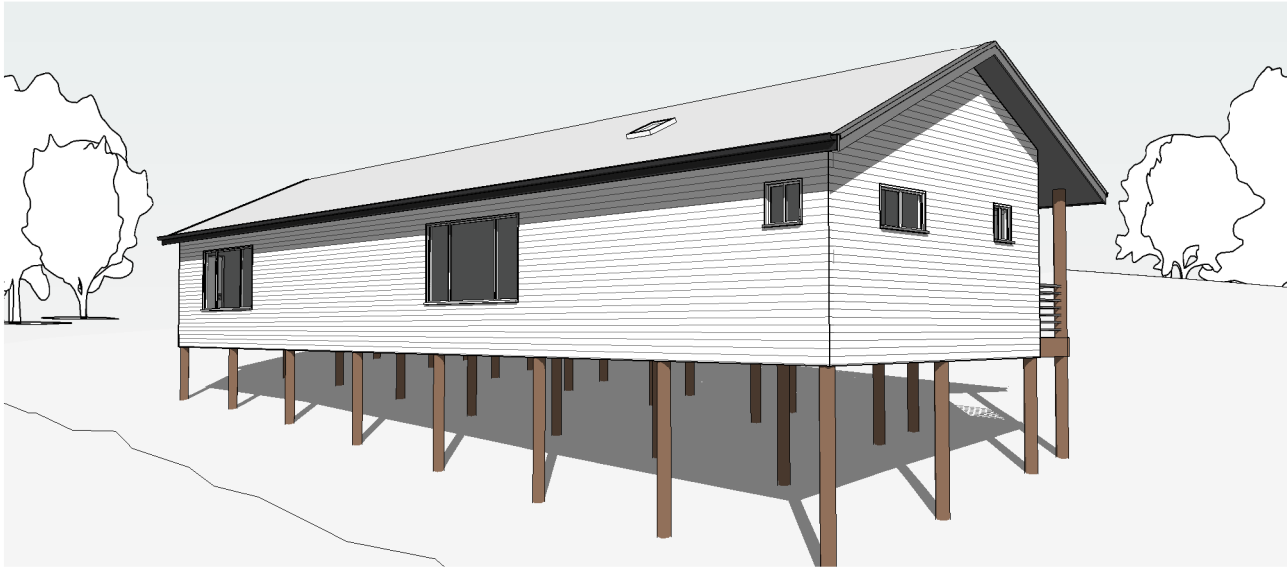
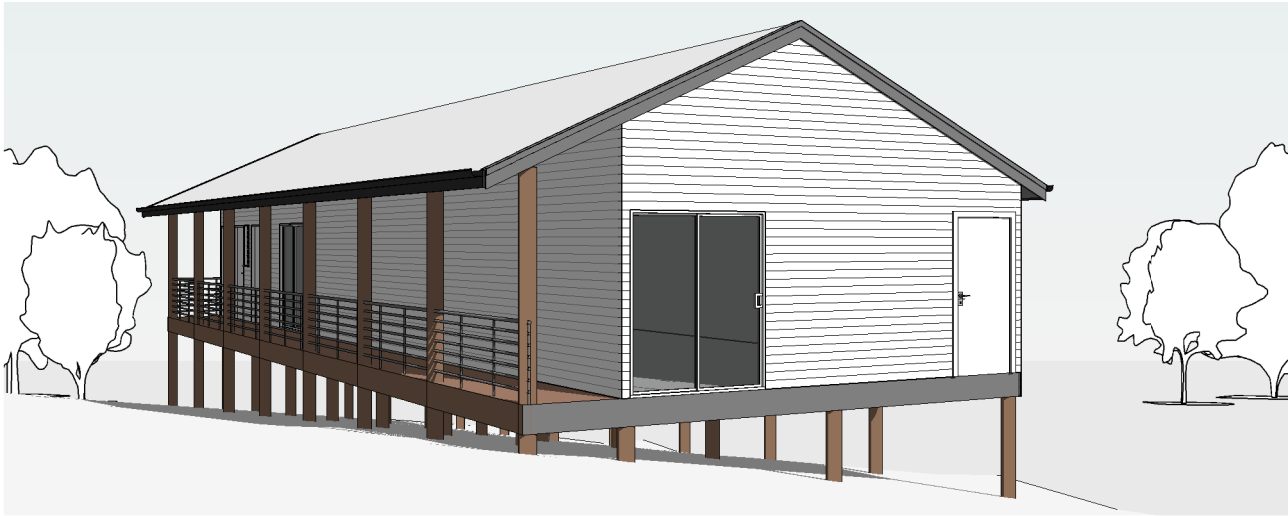
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Date MARCH 2023 Drawn RG/CD

Drawing No. 663CHO-07 Issue B

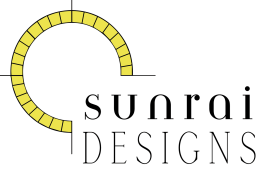


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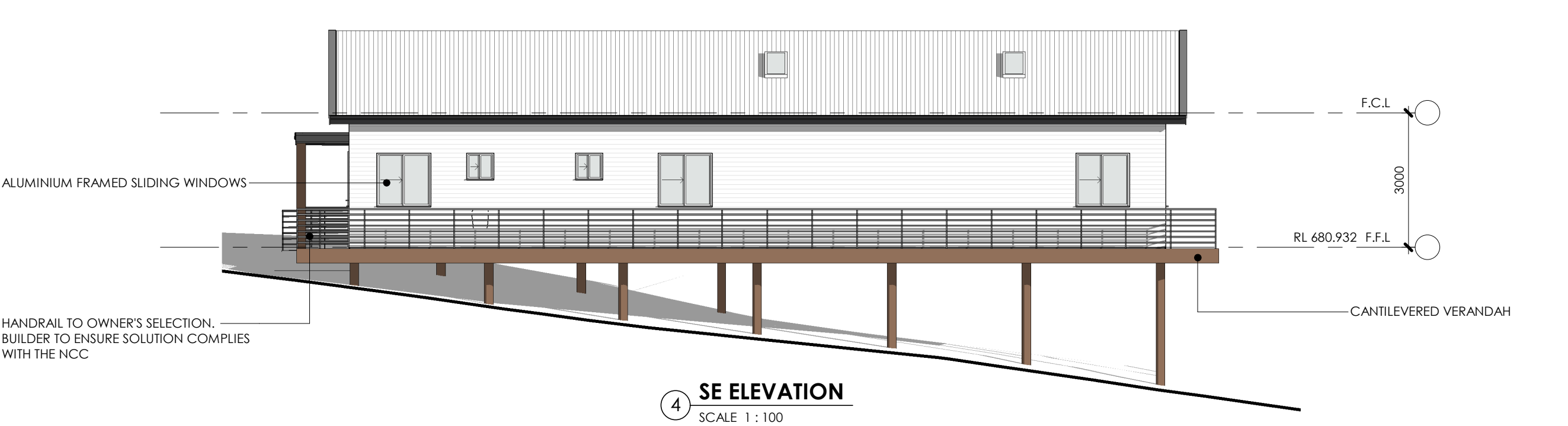
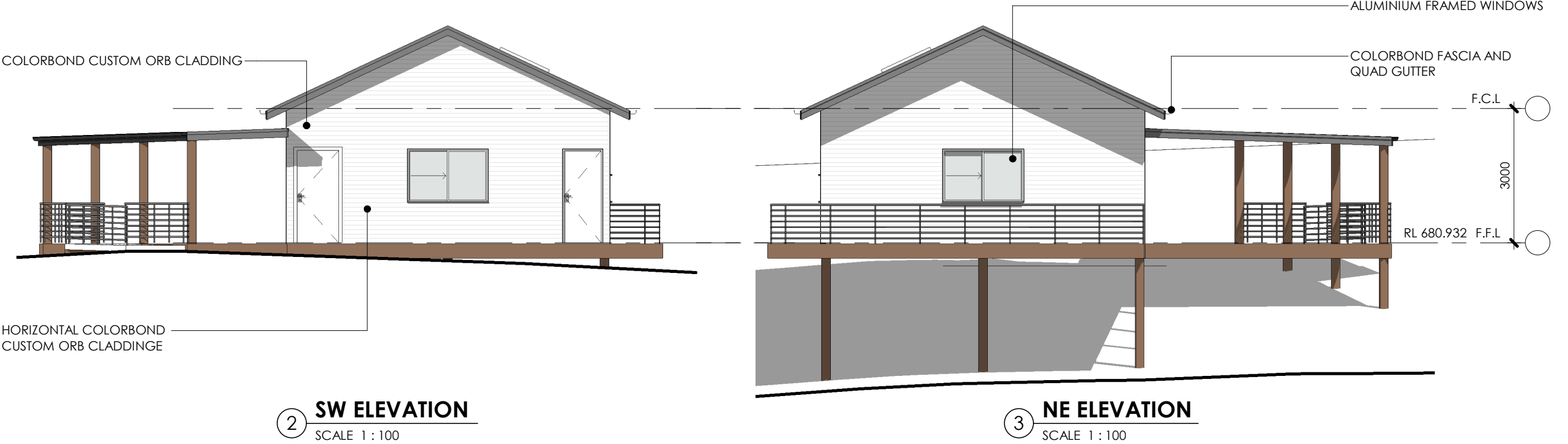
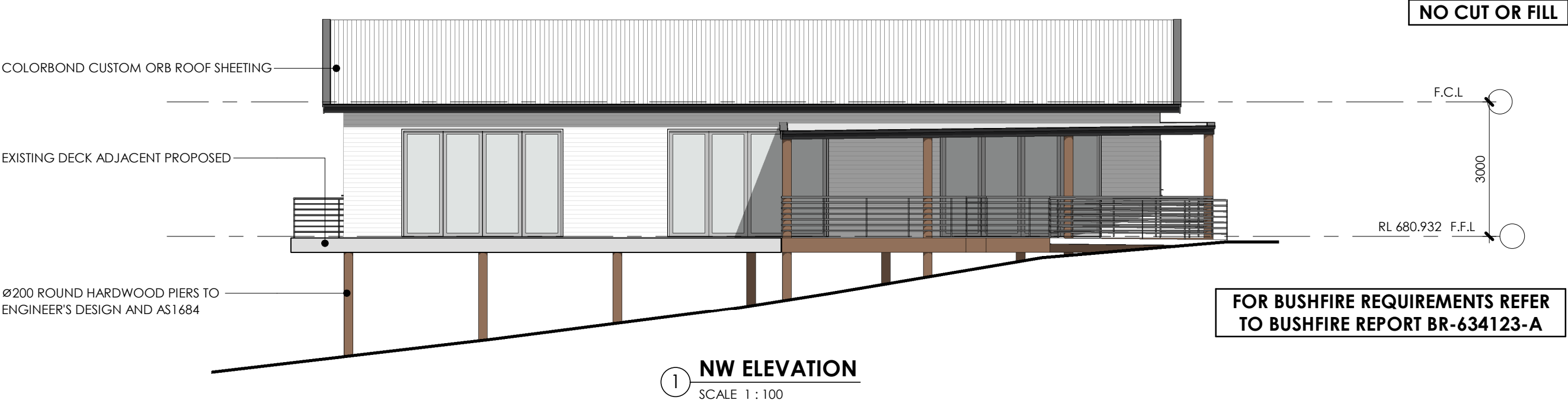
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Title PERSPECTIVES - YOGA STUDIO		
Scale at A3 NA		
Date MARCH 2023	Drawn RG/CD	
Drawing No. 663CHO-09	Issue B	



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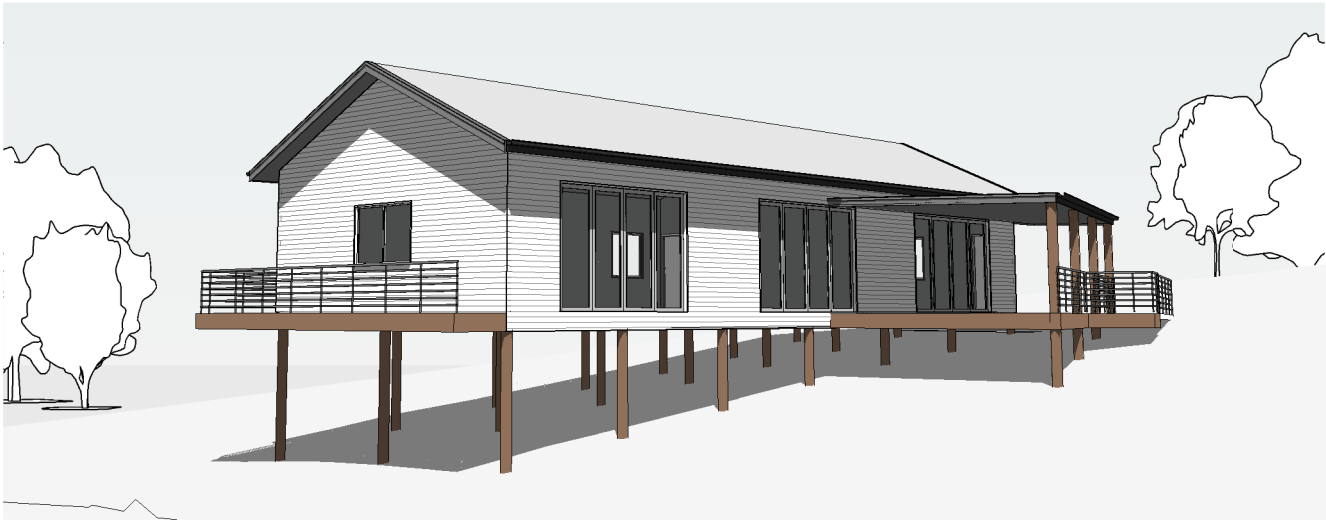
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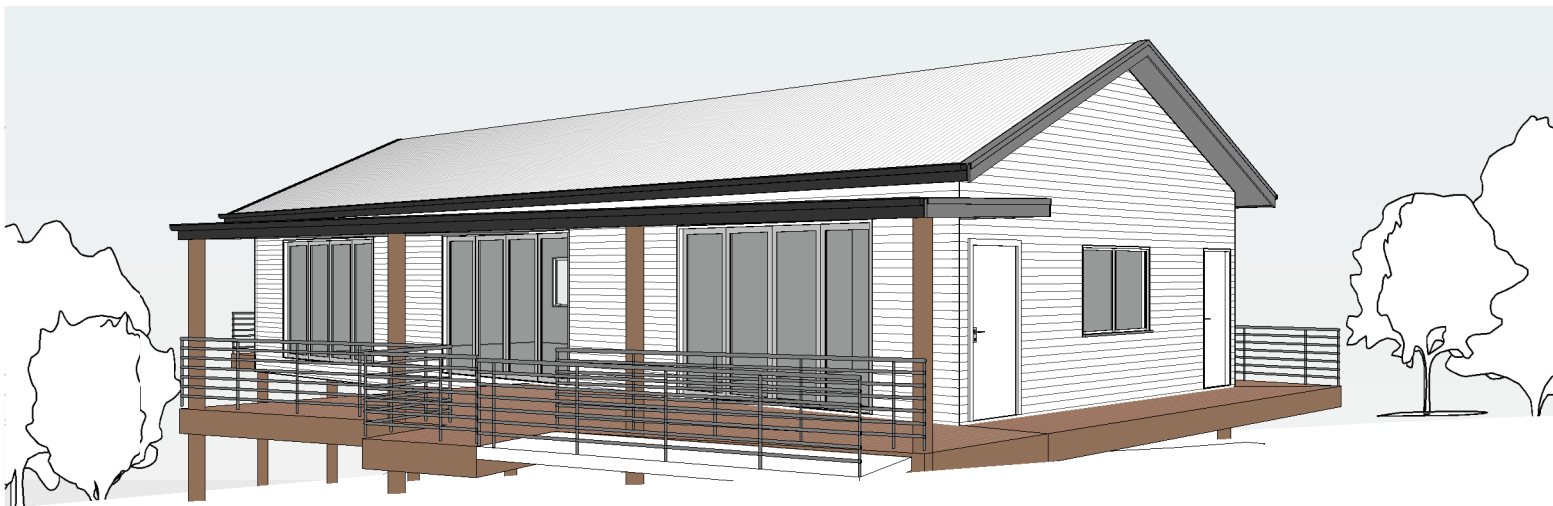
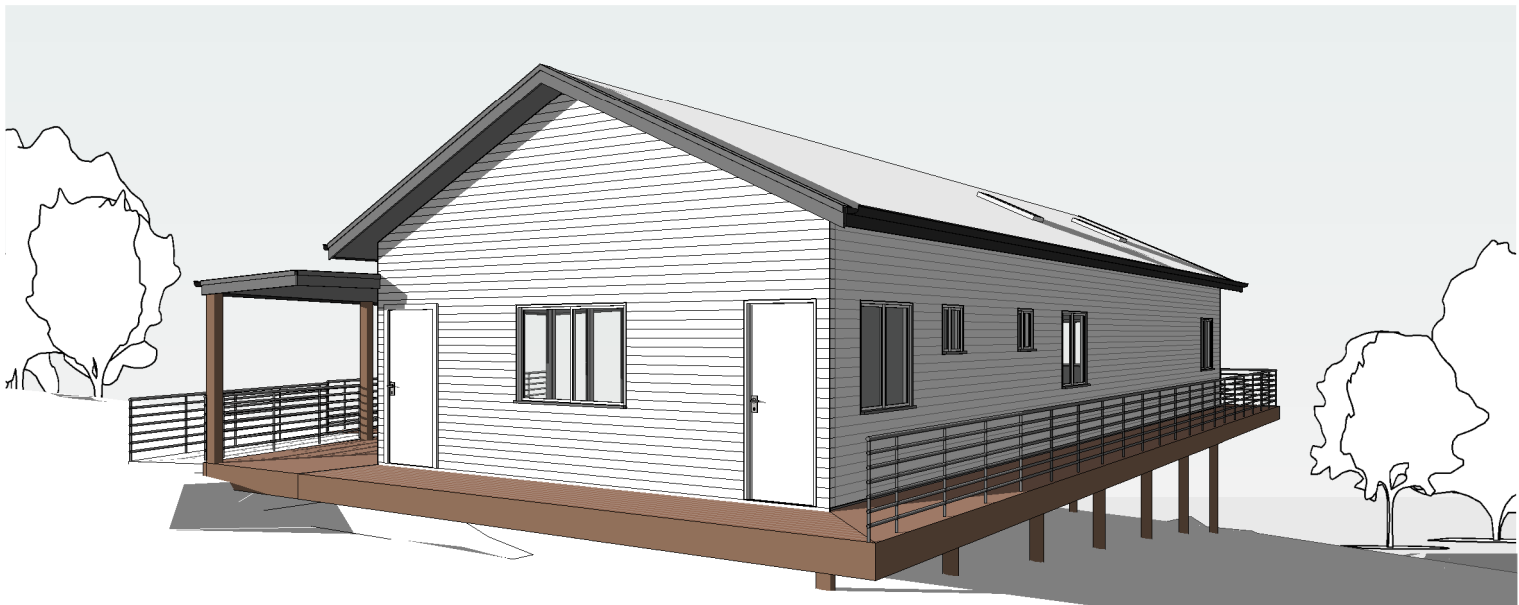
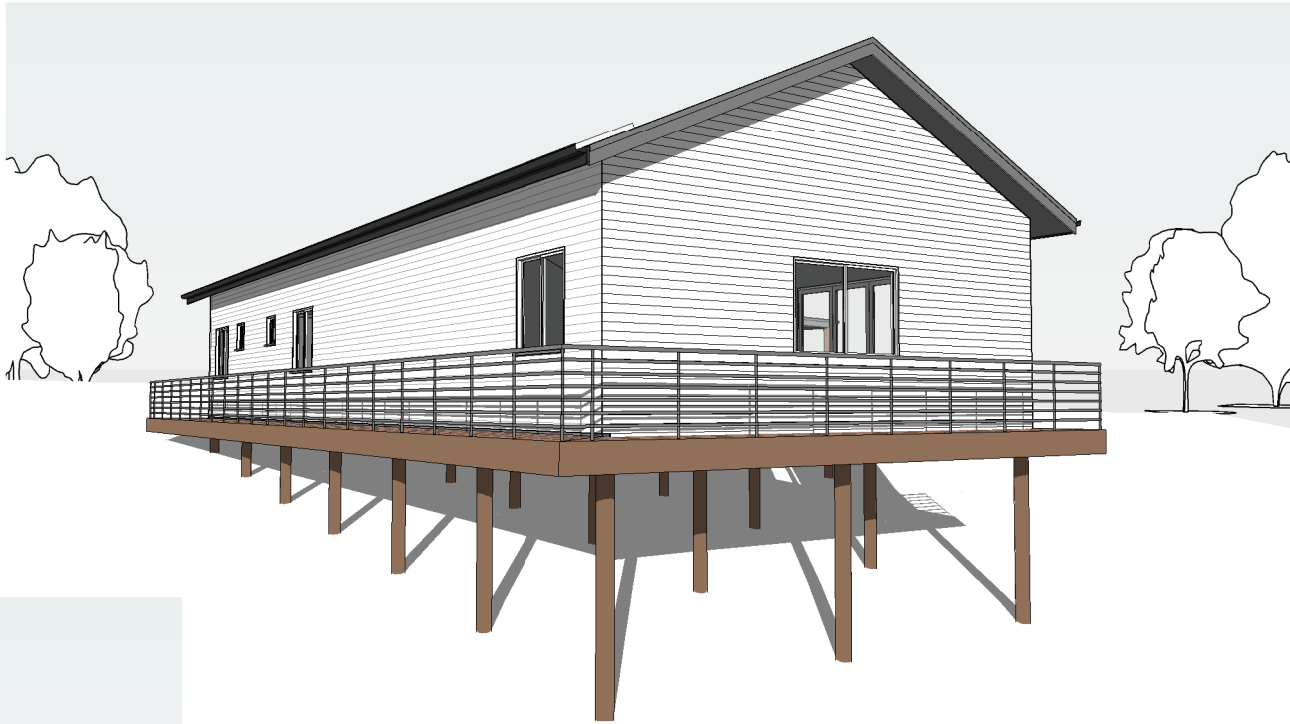
Title ELEVATIONS - GYMNASIUM

Scale at A3 1 : 100

Date MARCH 2023	Drawn RG/CD
Drawing No. 663CHO-11	Issue B

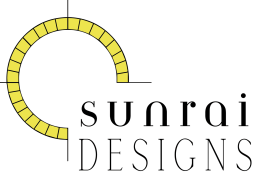


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Title PERSPECTIVES - GYMNASIUM		
Scale at A3 NA		
Date MARCH 2023	Drawn RG/CD	
Drawing No. 663CHO-13	Issue	B