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PROPOSED
ALTERATIONS AND
ADDITIONS
82 DOURO STREET,
MUDGEES 2850
2/-/DP1096219



Liv Johnson Design
livjdesign@gmail.com M:0416142301
46 Lawson St, Mudgee 2850

NOTES:
All drawings to be read in conjunction with specifications prepared by Liv Johnson.
Builders verify all dimensions on site prior to commencement of any work.
Measurements in mm unless noted otherwise. Do not scale off drawings.
All work to be carried out in accordance with the BCA, Australian standards and conditions of Council.Builder to contact designer if any design, dimensions or specifications do not comply with regulations or are not buildable as drawn. Copy right remains the property of Liv Johnson.

PROJECT: DOURO STREET
CLIENT NAME: LEAH AND BRAD SMITH
PROJECT ADDRESS: 82 DOURO STREET,
MUDGEES 2850

DATE:
DECEMBER 2022
Re issued: SCALE: Issue:A
CC1A- FOR APPROVAL

NOTES

ALL INTERNAL WALLS U.N.O TO BE 90mm TIMBER STUD FRAMED LINED WITH 10mm 'GYPROCK ' INTERNALLY & 10mm 'GYPROCK - AQUACHEK PLASTERBOARD' TO WET AREAS.
WET AREAS OF THE BUILDING IE. NEW BATHROOMS ARE TO BE PROTECTED BY THE INSTALLATION OF A WATER PROOFING SYSTEM COMPLYING WITH AS377 "WATERPROOFING OF WET AREAS".
WALL FRAME BRACING, ROOF BRACING, & ALL 'TIE DOWN' FIXING DETAILS TO BE AS SPECIFIED & DETAILED BY TRUSS/FRAME MANUFACTURER.
ROOF WATER TO BE COLLECTED BY EAVES GUTTER & DISCHARGED TO DOWNPIPES THRU SUBSOIL PVC PIPES TO TANKS POSITIONED BY CLIENT, OVERFLOW TO BE DETERMINED ON SITE.
THE BUILDING IS TO BE PROTECTED AGAINST SUBTERRANEAN TERMITES, IN ACCORDANCE WITH 'AS. 3660'. A DURABLE NOTICE MUST BE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT POSITION SHOWING METHOD OF RISK MANAGEMENT, DATE OF INSTALLATION & INSTALLERS OR MANUFACTURER'S RECOMMENDATIONS FOR THE SCOPE & FREQUENCY OF FUTURE INSPECTIONS FOR TERMITE ACTIVITY.
ALL PLUMBING WORKS ARE TO BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA (PCA), THE NEW SOUTH WALES CODE OF PRACTICE FOR PLUMBING & DRAINAGE 2006 (NSW PLUMBING CODE) & AS/NZS3500.



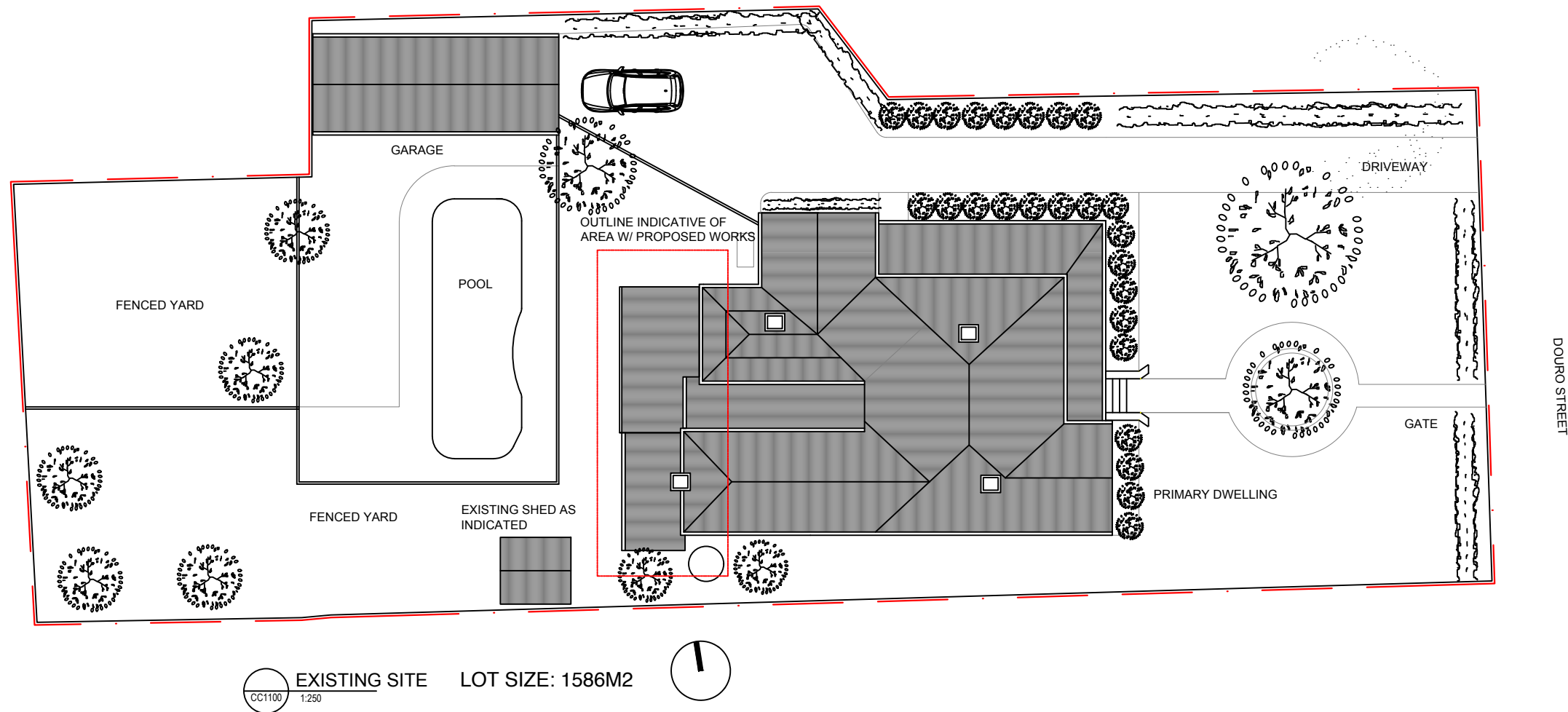
PRECEDENT IMAGERY



WESTERN ELEVATION
CURRENT



SITE PLAN DERIVED
BY SIX MAPS (NOT TO
SCALE)



EASTERN ELEVATION
CURRENT
(FRONT FACADE)

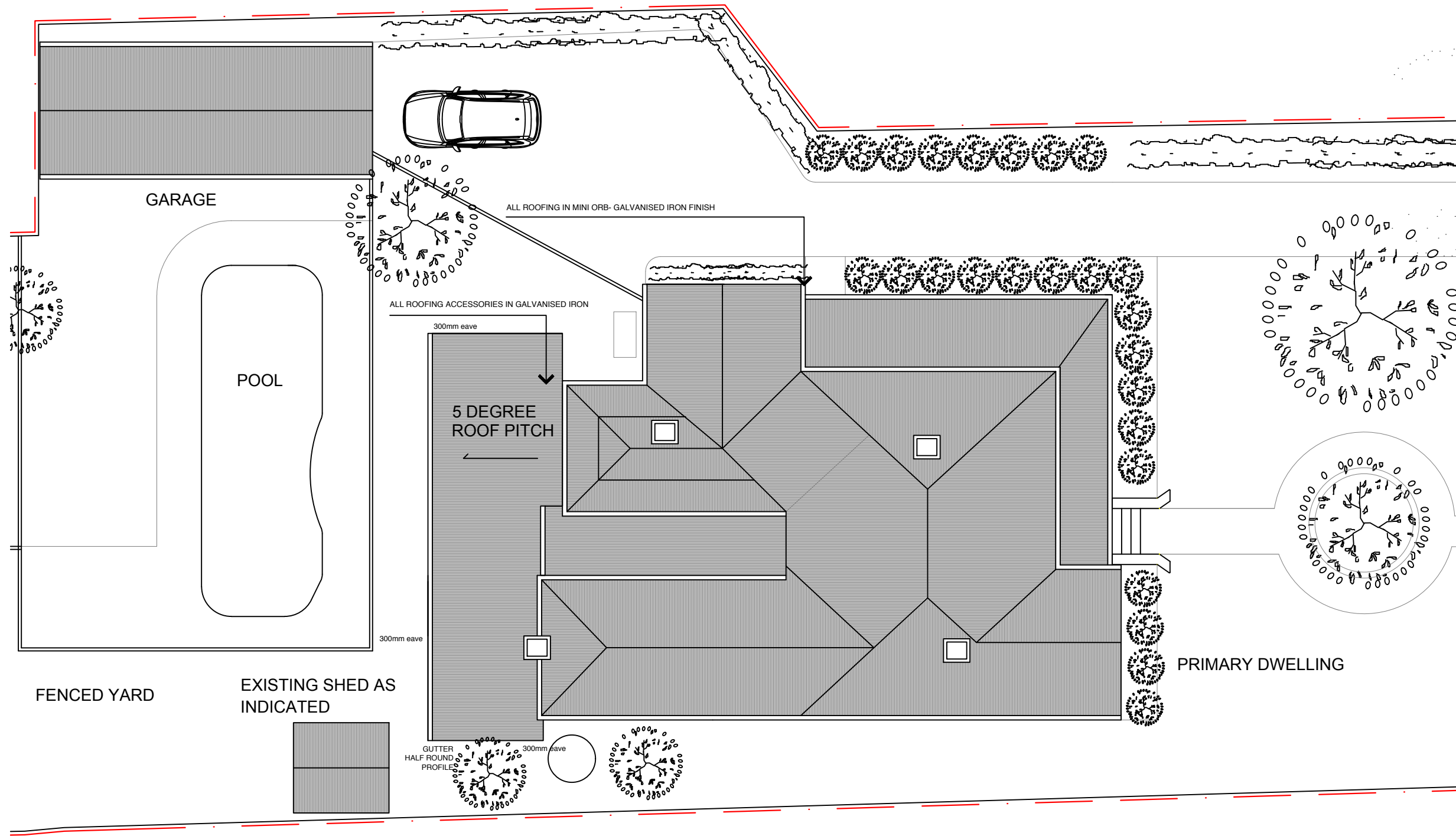


Liv Johnson Design
livjdesign@gmail.com M:0416142301
96 Lawson St, Mudgee 2850

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PROJECT: DOURO STREET
CLIENT NAME: LEAH AND BRAD SMITH
PROJECT ADDRESS: 82 DOURO STREET,
MUDGEE
2850

DATE:
DECEMBER 2022
Re issued: SCALE: 2:150 @ A3 Issue: A
CC1A 100- FOR APPROVAL



CC1104

PROPOSED ROOF PLAN

1:150

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| KEY | |
|------|-----------------------------|
| FTL1 | FLOOR TILE LIMESTONE |
| PNT1 | INTERNAL PAINT FINISH |
| POL1 | POLYURETHANE JOINERY FINISH |
| POL2 | POLYURETHANE JOINERY FINISH |
| SCY1 | SCYON LINEA CLADDING |
| STN1 | NATURAL STONE BENCH TOPS |
| TIM1 | EXISTING TIMBER FLOORING |
| TIM2 | TIMBER DECKING |
| VG1 | V GROOVE LINING BOARD |

| FIXTURES | |
|----------|-----------------------------------|
| BIN | INTEGRATED BIN |
| BSN1 | BASIN |
| BTP1 | WC BOTTLE TRAP |
| DW1 | DISHWASHER |
| DL1 | DOWN LIGHT |
| FAN1 | EXTERIOR CEILING FAN |
| FRDG | FRIDGE |
| FW1 | FLOOR WASTE |
| GPO | POWER POINT |
| GPO1 | SPECIALTY POWER POINT |
| HND1 | JOINERY HANDLE |
| MIR1 | MIRROR |
| OVN1 | GAS FREE STANDING COOK TOP & OVEN |
| PEN1 | KITCHEN PENDANT LIGHT |
| PEN2 | DINING PENDANT LIGHT |
| RNG1 | RANGEHOOD |
| SNK1 | UNDERMOUNT KITCHEN SINK |
| SNK2 | UNDERMOUNT LAUNDRY SINK |
| TAP1 | KITCHEN & LAUNDRY TAP |
| TAP2 | BASIN MIXER |
| TWL1 | HEATED TOWEL RAILS |
| TWL1 | HAND TOWEL HOOK |
| TPH1 | TOILET PAPER DISPENSER |
| WC1 | TOILET SUITE |
| WLT1 | BATHROOM WALL SCONCE |
| WLT2 | EXTERIOR WALL SCONCE |

REFER TO INTERIOR
ELEVATIONS FOR GPO HEIGHTS

TIMBER FRAME, ROOF TRUSSES & BRACING
THROUGHOUT TO MANUFACTURERS SPECS

REINFORCED SLAB & FOOTINGS TO
ENGINEERS SPECIFICATIONS

10mm GYPROCK WALL & CEILING
CLADDING THROUGHOUT

CEILING: R1.45 (UP), ROOF: FOIL BACKED BLANKET
(75MM)

NOTE:
ALL APPLIANCES
TO BE INSTALLED IN ACCORDANCE TO
SUPPLIERS SPECIFICATIONS

EXISTING AREA: 286M2

TO BE DEMOLISHED
REFER TO BASIX REPORT FOR MORE
INFO



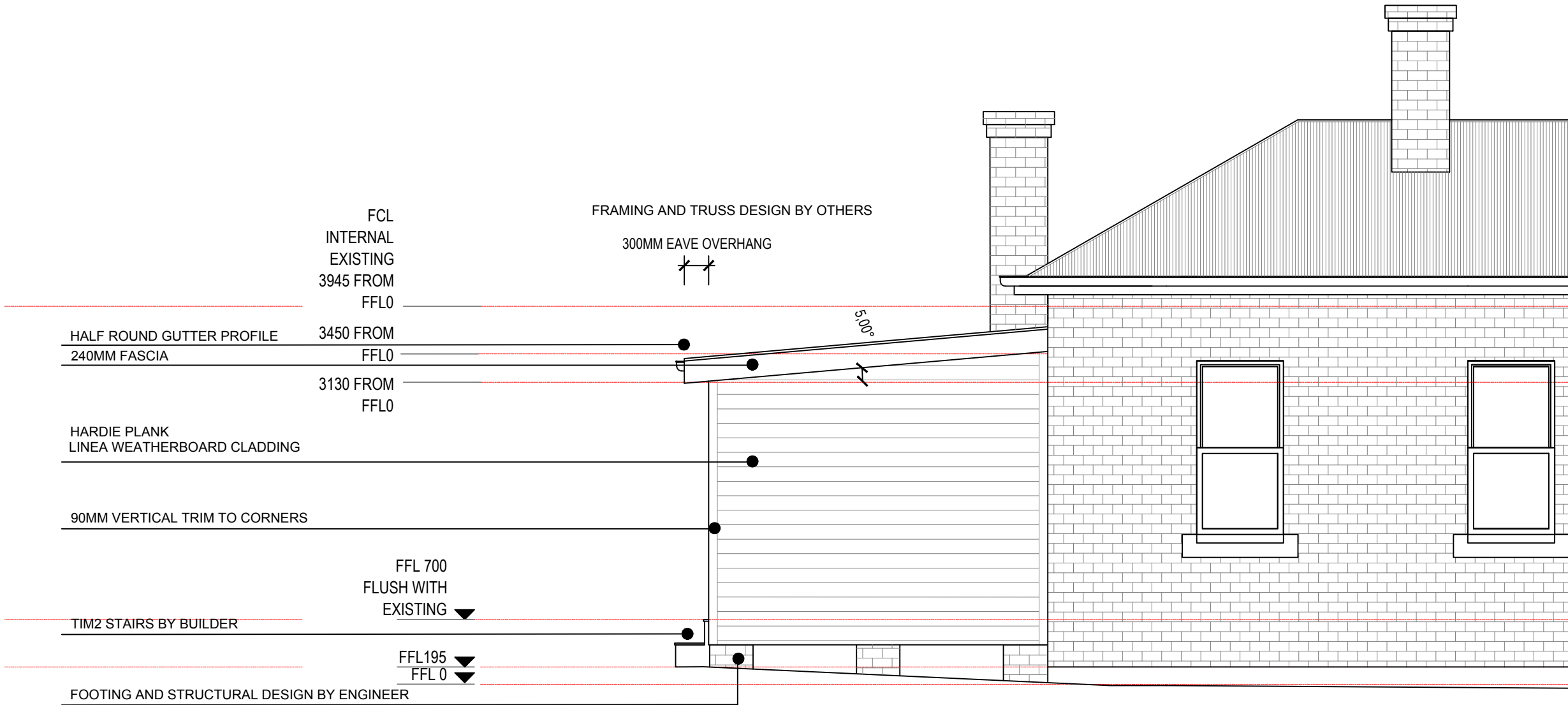
Liv Johnson Design
livjdesign@gmail.com M:0416142301
96 Lawson St, Mudgee 2850

PROJECT: DOURO STREET
CLIENT NAME: LEAH AND BRAD SMITH
PROJECT ADDRESS: 82 DOURO STREET,
MUDGEE
2850

DATE:
DECEMBER 2022
Re issued:

SCALE: 1:50 @ A3
CC1A 104- FOR APPROVAL

Issue: A



01
CC1105
ELEVATION (SOUTH)
1:50

- KEY**
- FTL1 FLOOR TILE LIMESTONE
 - PNT1 INTERNAL PAINT FINISH
 - POL1 POLYURETHANE JOINERY FINISH
 - POL2 POLYURETHANE JOINERY FINISH
 - SCY1 SCYON LINEA CLADDING
 - STN1 NATURAL STONE BENCH TOPS
 - TIM1 EXISTING TIMBER FLORING
 - TIM2 TIMBER DECKING
 - VG1 V GROOVE LINING BOARD

- FIXTURES**
- BIN INTEGRATED BIN
 - BSN1 BASIN
 - BTP1 WC BOTTLE TRAP
 - DW1 DISHWASHER
 - DL1 DOWN LIGHT
 - FAN1 EXTERIOR CEILING FAN
 - FRDG FRIDGE
 - FW1 FLOOR WASTE
 - GPO POWER POINT
 - GPO1 SPECIALTY POWER POINT
 - HND1 JOINERY HANDLE
 - MIR1 MIRROR
 - OVN1 GAS FREE STANDING COOK TOP & OVEN
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 - WLT2 EXTERIOR WALL SCONCE

REFER TO INTERIOR
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10mm GYPROCK WALL & CEILING
CLADDING THROUGHOUT

CEILING: R1.45 (UP), ROOF: FOIL BACKED BLANKET
(75MM)

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EXISTING AREA: 286M2

TO BE DEMOLISHED
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INFO



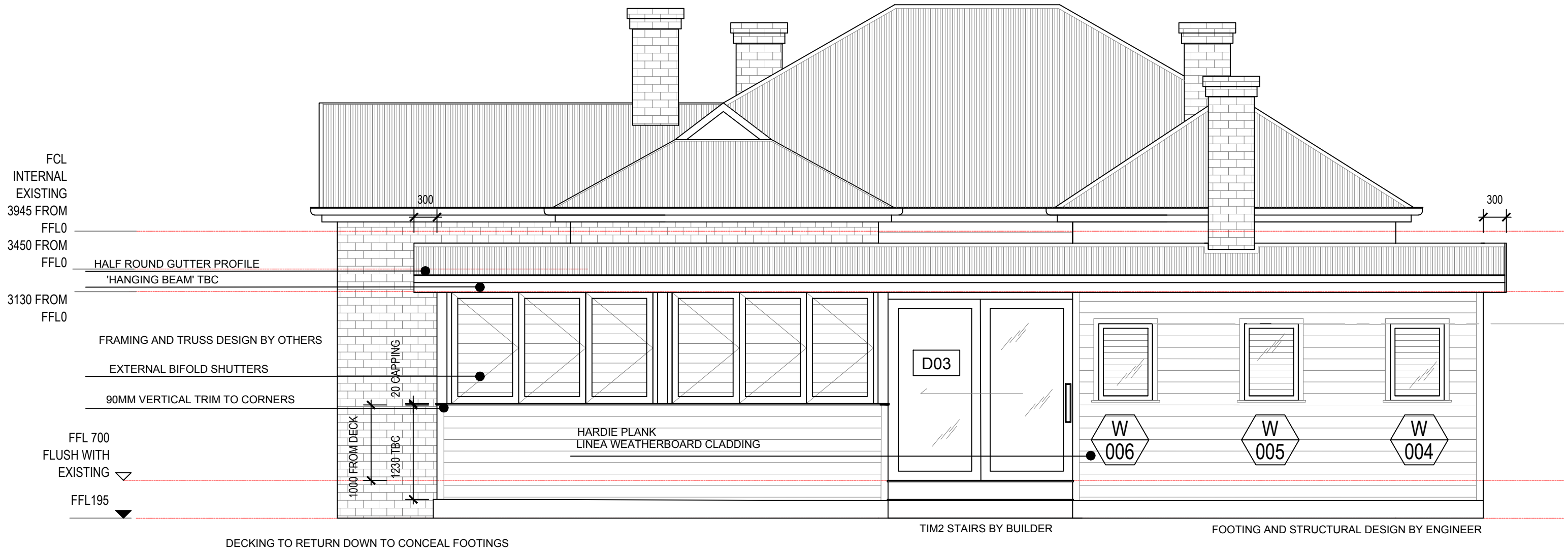
Liv Johnson Design
livjdesign@gmail.com M:0416142301
96 Lawson St, Mudgee 2850

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CLIENT NAME: LEAH AND BRAD SMITH
PROJECT ADDRESS: 82 DOURO STREET,
MUDGEE
2850

DATE:
DECEMBER 2022
Re issued: SCALE: 1:50 @ A3 Issue:A

CC1A 105- FOR APPROVAL



02
CC1106
ELEVATION (WEST)
1:50

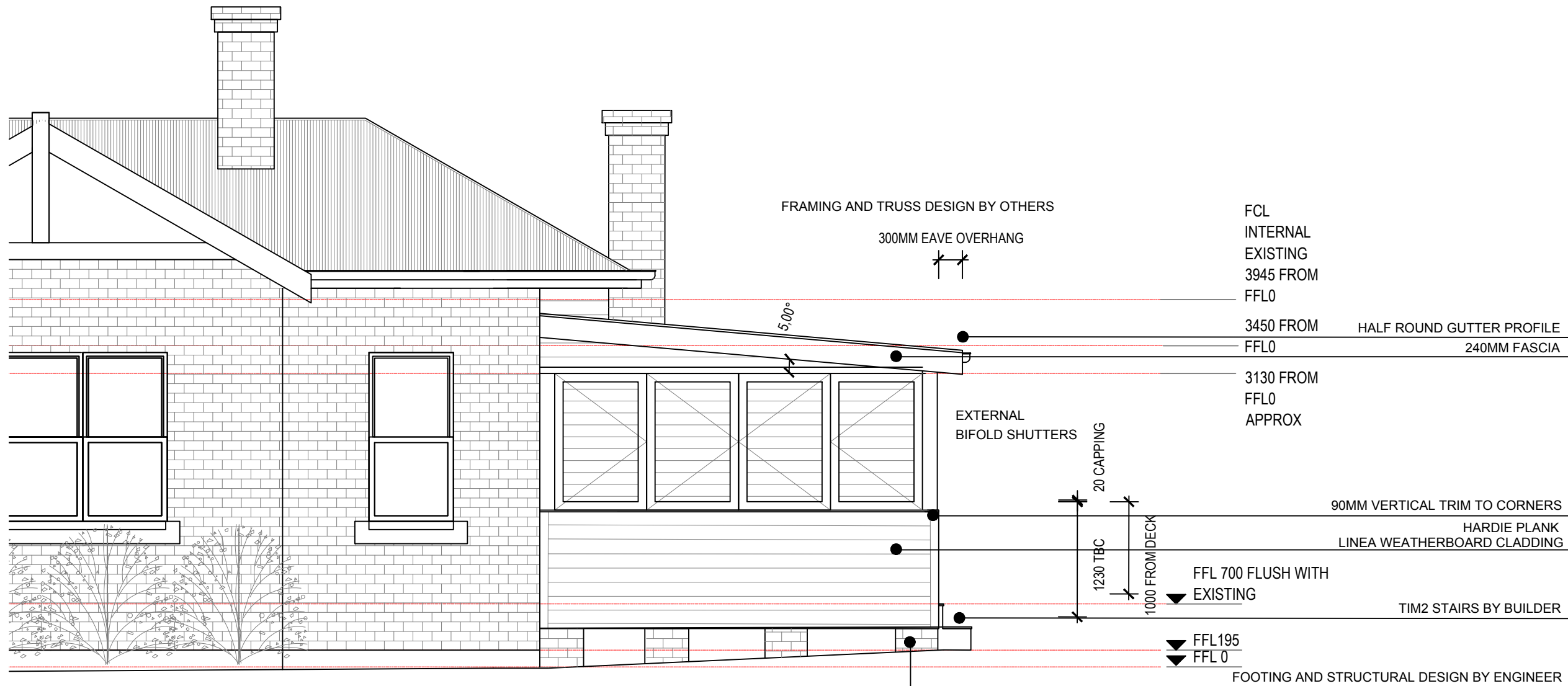


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96 Lawson St, Mudgee 2850

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MUDGEE
2850

DATE:
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Re issued: SCALE: 1:50 @ A3 Issue: A
CC1A 106- FOR APPROVAL



- KEY**
- FTL1 FLOOR TILE LIMESTONE
 - PNT1 INTERNAL PAINT FINISH
 - POL1 POLYURETHANE JOINERY FINISH
 - POL2 POLYURETHANE JOINERY FINISH
 - SCY1 SCYON LINEA CLADDING
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 - WC1 TOILET SUITE
 - WLT1 BATHROOM WALL SCONCE
 - WLT2 EXTERIOR WALL SCONCE

REFER TO INTERIOR ELEVATIONS FOR GPO HEIGHTS

TIMBER FRAME, ROOF TRUSSES & BRACING THROUGHOUT TO MANUFACTURERS SPECS

REINFORCED SLAB & FOOTINGS TO ENGINEERS SPECIFICATIONS

10mm GYPROCK WALL & CEILING CLADDING THROUGHOUT

CEILING: R1.45 (UP), ROOF: FOIL BACKED BLANKET (75MM)

NOTE:
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EXISTING AREA: 286M2

TO BE DEMOLISHED
REFER TO BASIX REPORT FOR MORE INFO

03 ELEVATION (SOUTH)
CC1107 1:50

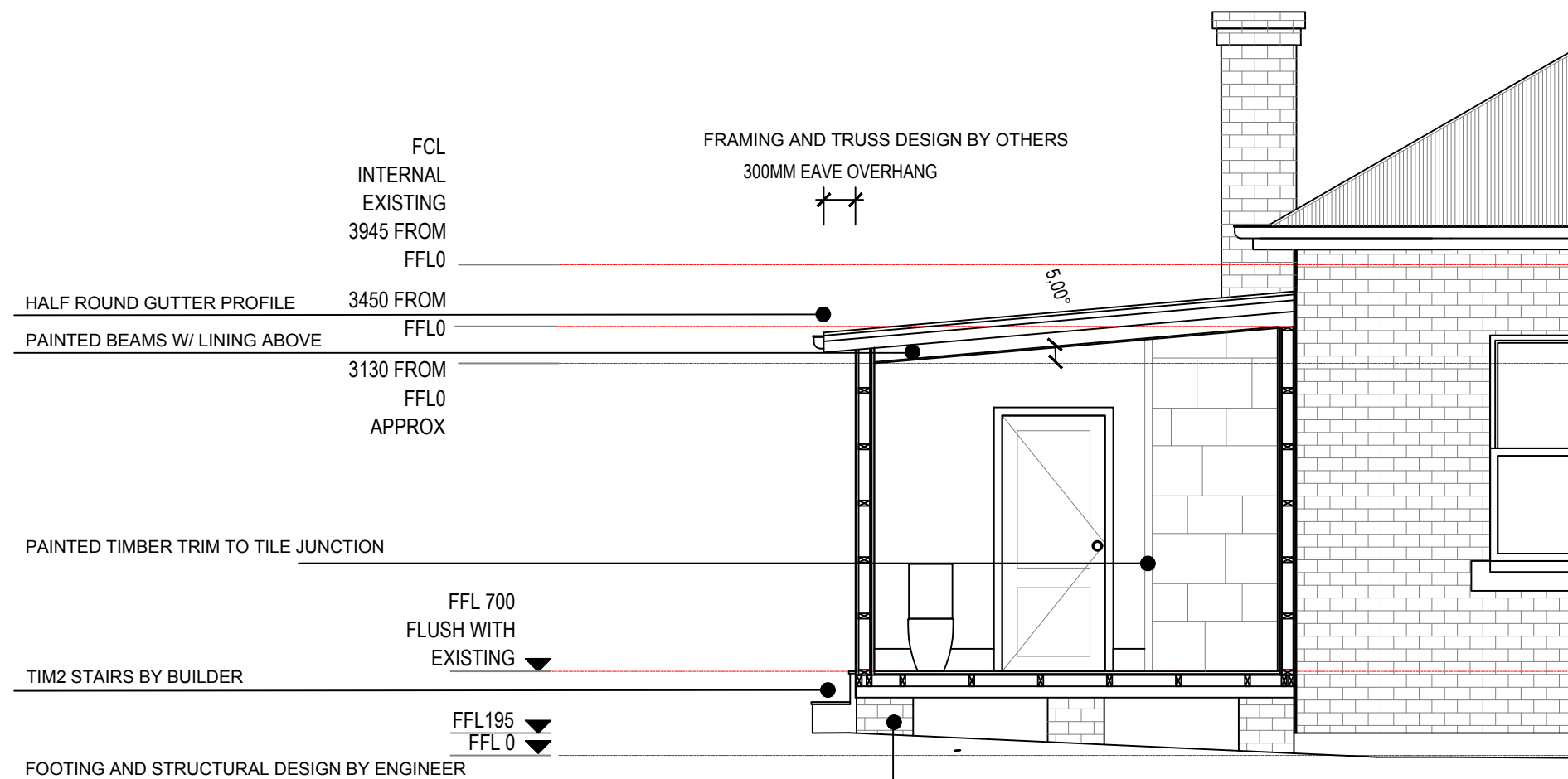


Liv Johnson Design
livjdesign@gmail.com M:0416142301
96 Lawson St, Mudgee 2850

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PROJECT: DOURO STREET
CLIENT NAME: LEAH AND BRAD SMITH
PROJECT ADDRESS: 82 DOURO STREET,
MUDGEE
2850

DATE:
DECEMBER 2022
Re issued: SCALE: 1:50 @ A3 Issue: A
CC1A 107- FOR APPROVAL



01 SECTION
CC1108 1:50

- KEY**
- FTL1 FLOOR TILE LIMESTONE
 - PNT1 INTERNAL PAINT FINISH
 - POL1 POLYURETHANE JOINERY FINISH
 - POL2 POLYURETHANE JOINERY FINISH
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 - STN1 NATURAL STONE BENCH TOPS
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 - VG1 V GROOVE LINING BOARD
- FIXTURES**
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 - BSN1 BASIN
 - BTP1 WC BOTTLE TRAP
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 - TWL1 HAND TOWEL HOOK
 - TPH1 TOILET PAPER DISPENSER
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 - WLT2 EXTERIOR WALL SCONCE

REFER TO INTERIOR
ELEVATIONS FOR GPO HEIGHTS

TIMBER FRAME, ROOF TRUSSES & BRACING
THROUGHOUT TO MANUFACTURERS SPECS

REINFORCED SLAB & FOOTINGS TO
ENGINEERS SPECIFICATIONS

10mm GYPROCK WALL & CEILING
CLADDING THROUGHOUT

CEILING: R1.45 (UP), ROOF: FOIL BACKED BLANKET
(75MM)

NOTE:
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TO BE INSTALLED IN ACCORDANCE TO
SUPPLIERS SPECIFICATIONS

EXISTING AREA: 286M2

TO BE DEMOLISHED
REFER TO BASIX REPORT FOR MORE
INFO



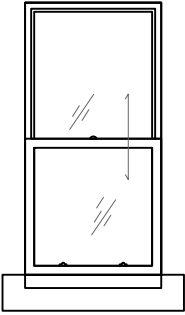

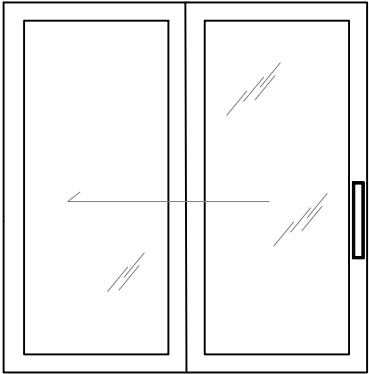
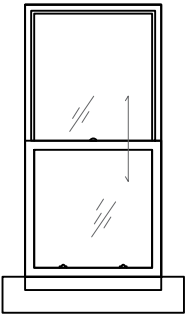
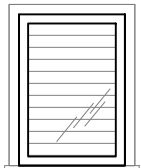
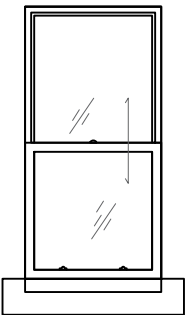
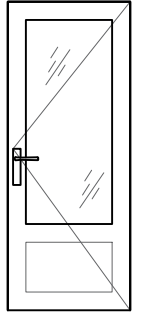
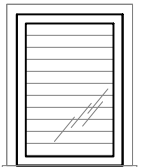
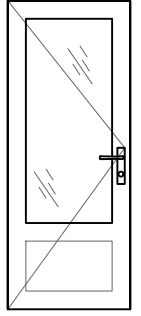
Liv Johnson Design
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CLIENT NAME: LEAH AND BRAD SMITH
PROJECT ADDRESS: 82 DOURO STREET,
MUDGEE
2850

DATE:
DECEMBER 2022
Re issued: SCALE: 1:50 @ A3 Issue:A
CC1A 108- FOR APPROVAL

WINDOW & DOOR SCHEDULE

| | | | | | |
|-----|--|-----|--|--|---|
| W01 |  <p>LOCATION: OFFICE 900W X 1885H DOUBLE HUNG TIMBER WINDOW PRIMED TRADCO CLASSIC SASH LIFTS & CLASSIC SASH FASTENER AGED BRASS BLACK FRAMED GAUZE ORIENTATION: NORTH</p> <p>NOTE: TO MATCH EXISTING PROFILES AND SIZES BUILDER TO MEASURE AND ORDER</p> | W05 |  <p>LOCATION: LAUNDRY 700W X 1000H LOUVRE TIMBER WINDOW PRIMED BUILDER TO PROVIDE FITTING OPTIONS BLACK FRAMED GAUZE ORIENTATION: WEST</p> | D03 |  |
| W02 |  <p>LOCATION: KITCHEN 900W X 1700H DOUBLE HUNG TIMBER WINDOW PRIMED TRADCO CLASSIC SASH LIFTS & CLASSIC SASH FASTENER AGED BRASS BLACK FRAMED GAUZE ORIENTATION: SOUTH</p> <p>NOTE: BUILDER TO SEE IF EXISTING WILL WORK AGAINST NEW BENCH HEIGHTS, TO RETAIN SAME HEAD HEIGHT AS EXISTING IF REPLACED</p> | W06 |  <p>LOCATION: LAUNDRY 700W X 1000H LOUVRE TIMBER WINDOW PRIMED BUILDER TO PROVIDE FITTING OPTIONS BLACK FRAMED GAUZE ORIENTATION: WEST</p> | <p>LOCATION: DINING 2X 1210W X 2400H (MATCH EXISTING OPENING) SLIDER TIMBER WINDOW PRIMED BUILDER TO PROVIDE FITTING OPTIONS W/ LOCK ORIENTATION: WEST</p> | |
| W03 |  <p>LOCATION: KITCHEN 900W X 1700H DOUBLE HUNG TIMBER WINDOW PRIMED TRADCO CLASSIC SASH LIFTS & CLASSIC SASH FASTENER AGED BRASS BLACK FRAMED GAUZE ORIENTATION: SOUTH</p> <p>NOTE: BUILDER TO SEE IF EXISTING WILL WORK AGAINST NEW BENCH HEIGHTS, TO RETAIN SAME HEAD HEIGHT AS EXISTING IF REPLACED</p> | D01 |  <p>LOCATION: PASSAGE KITCHEN/LAUNDRY 820X2040 1 LIGHT TIMBER DOOR PRIMED W/ SHAKER PANEL BELOW TRADCO MENTON LEVER PASSAGE SET W/ MATCHING HINGES, CABIN LATCH, MORTICE LOCKS AND DOOR STOPS AGED BRASS ORIENTATION: NA</p> | | |
| W04 |  <p>LOCATION: BATHROOM 700W X 1000H LOUVRE TIMBER WINDOW PRIMED BUILDER TO PROVIDE FITTING OPTIONS BLACK FRAMED GAUZE ORIENTATION: WEST</p> | D02 |  <p>LOCATION: PASSAGE KITCHEN/LAUNDRY 820X2040 1 LIGHT TIMBER DOOR PRIMED W/ SHAKER PANEL BELOW TRADCO MENTON LEVER EURO LOCK W/ MATCHING HINGES, CABIN LATCH, MORTICE LOCKS AND DOOR STOPS AGED BRASS ORIENTATION: NORTH</p> | | |



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CLIENT NAME: LEAH AND BRAD SMITH
PROJECT ADDRESS: 82 DOURO STREET,
MUDGEE
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DATE:
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Re issued:
CC1A 110- FOR APPROVAL
Issue: A