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PROPOSED ALTERATIONS AND ADDITIONS 82 DOURO STREET, MUDGEE 2850 2/-/DP1096219

> Liv Johnson Design livjdesign@gmail.com M:0416142301 46 Lawson St, Mudgee 2850

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NOTES

'GYPROCK - AQUACHEK PLASTERBOARD' TO WET AREAS.
WET AREAS OF THE BUILDING IE. NEW BATHROOMS ARE T
"WATERPROOFING OF WET AREAS".
WALL FRAME BRACING, ROOF BRACING, & ALL 'TIE DOWN
ROOF WATER TO BE COLLECTED BY EAVES GUTTER & DIS
OVERFLOW TO BE DETERMINED ON SITE.
THE BUILDING IS TO BE PROTECTED AGAINST SUBTERRAM
FIXED TO THE BUILDING IN A PROMINENT
POSITION SHOWING METHOD OF RISK MANAGEMENT, DAT
& FREQUENCY OF FUTURE INSPECTIONS FOR TERMITE AC
ALL PLUMBING WORKS ARE TO BE IN ACCORDANCE WITH
THE NEW CONTLINENT OF CODE OF DRACTICE FOR DUIND



PRECEDENT IMAGERY

ALL INTERNAL WALLS U.N.O TO BE 90mm TIMBER STUD FRAMED LINED WITH 10mm 'GYPROCK ' INTERNALLY & 10mm

ARE TO BE PROTECTED BY THE INSTALLATION OF A WATER PROOFING SYSTEM COMPLYING WITH AS374

OWN' FIXING DETAILS TO BE AS SPECIFIED & DETAILED BY TRUSS/FRAME MANUFACTURER. & DISCHARGED TO DOWNPIPES THRU SUBSOIL PVC PIPES TO TANKS POSITIONED BY CLIENT,

RRANEAN TERMITES, IN ACCORDANCE WITH 'AS. 3660'. A DURABLE NOTICE MUST BE PERMANENTLY

, DATE OF INSTALLATION & INSTALLERS OR MANUFACTURER'S RECOMMENDATIONS FOR THE SCOPE

E ACTIVITY. WITH THE PLUMBING CODE OF AUSTRALIA (PCA),

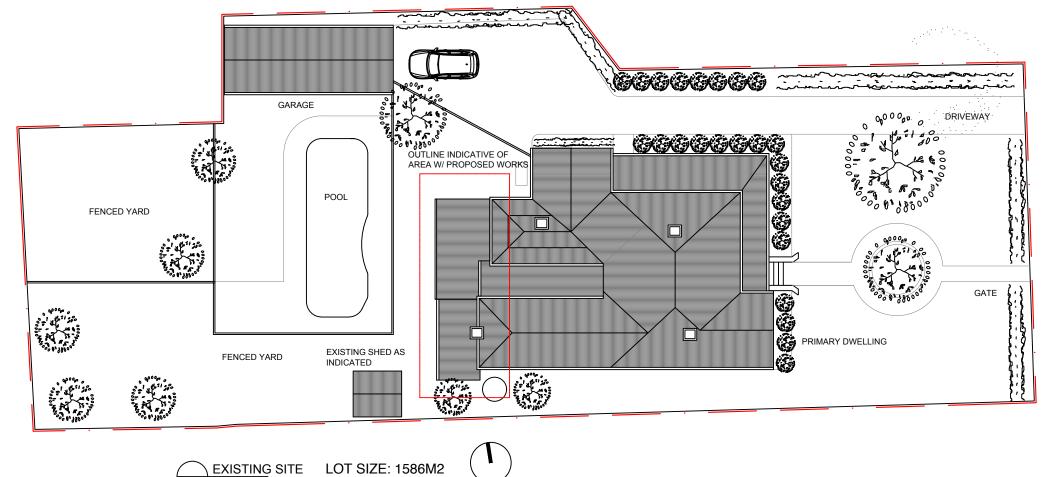
THE NEW SOUTH WALES CODE OF PRACTICE FOR PLUMBING & DRAINAGE 2006 (NSW PLUMBING CODE) & AS/NZS3500.

SCALE: CC1A- FOR APPROVAL

Issue:A



WESTERN ELEVATION CURRENT



1:250



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PROJECT: DOURO STREET CLIENT NAME: LEAH AND BRAD SMITH PROJECT ADDRESS: 82 DOURO STREET, MUDGEE 2850

DOURO STREET



DATE:

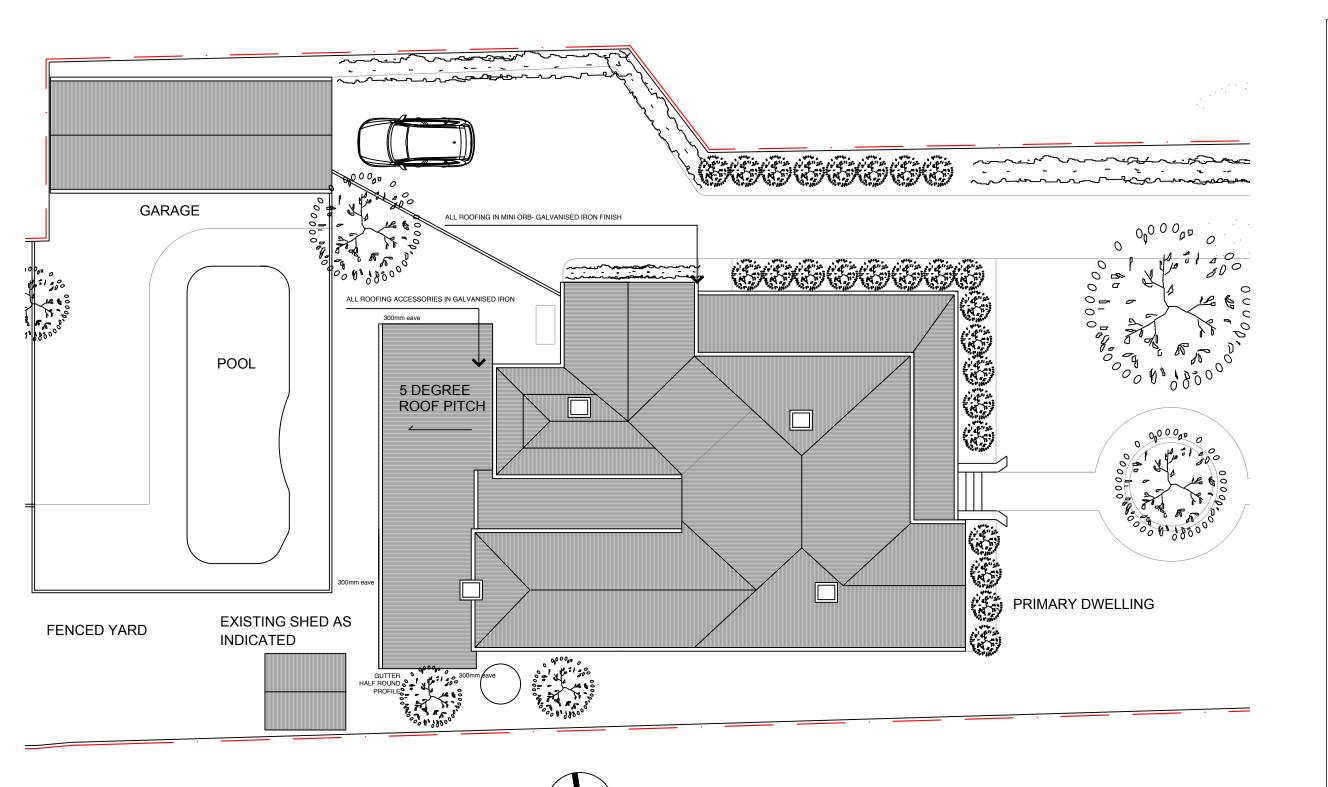


# SITE PLAN DERIVED BY SIX MAPS (NOT TO SCALE)



# EASTERN ELEVATION CURRENT (FRONT FACADE)

DECEMBER 2022 SCALE: 2:150 @ A3 Issue:A Re issued: CC1A 100- FOR APPROVAL



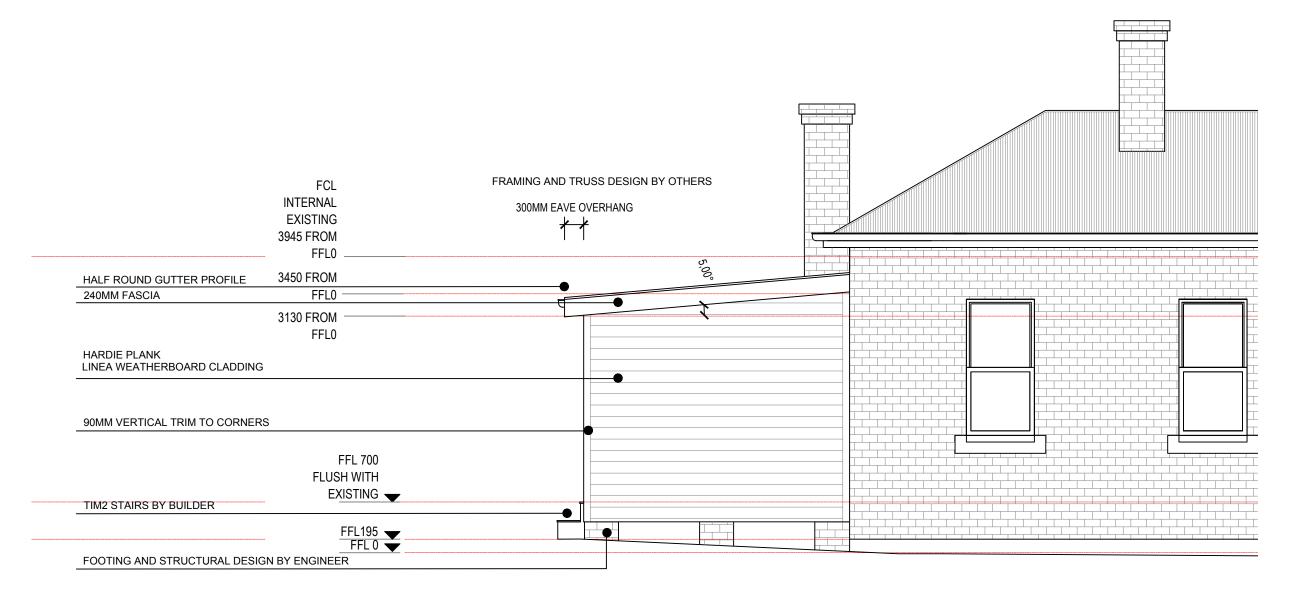




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DATE: DECEMBER 2022 Re issued: SCALE: 1:50 @ A3 Issue:A CC1A 104- FOR APPROVAL

KEY	
FTL1 FLOOR TILE LIMESTONE	
PNT1 INTERNAL PAINT FINISH	
POL1 POLYURETHANE JOINERY FINISH	
POL2 POLYURETHANE JOINERY FINISH SCY1 SCYON LINEA CLADDING	
STN1 NATURAL STONE BENCH TOPS	
TIM1 EXISTING TIMBER FLORING	
TIM2 TIMBER DECKING	
VG1 V GROOVE LINING BOARD	
FIXTURES	
BIN INTEGRATED BIN	
BSN1 BASIN	
BTP1 WC BOTTLE TRAP	
DW1 DISHWASHER	
DL1 DOWN LIGHT	
FAN1 EXTERIOR CEILING FAN	
FRDG FRIDGE	
FW1 FLOOR WASTE	
GPO POWER POINT	
GPO1 SPECIALTY POWER POINT	
HND1 JOINERY HANDLE	
MIR1 MIRROR	
OVN1 GAS FREE STANDING COOK TOP & OVE	N
PEN1 KITCHEN PENDANT LIGHT	
PEN2 DINING PENDANT LIGHT	
RNG1 RANGEHOOD	
SNK1 UNDERMOUNT KITCHEN SINK	
SNK2 UNDERMOUNT LAUNDRY SINK	
TAP1 KITCHEN & LAUNDRY TAP TAP2 BASIN MIXER	
TWL1 HEATED TOWEL RAILS	
TWL1 HAND TOWEL HOOK TPH1 TOILET PAPER DISPENSER	
WC1 TOILET SUITE	
WLT1 BATHROOM WALL SCONCE	
WLT2 EXTERIOR WALL SCONCE	
REFER TO INTERIOR	
ELEVATIONS FOR GPO HEIGHTS	
TIMBER FRAME, ROOF TRUSSES & BRACING	
THROUGHOUT TO MANUFACTURERS SPECS	
REINFORCED SLAB & FOOTINGS TO	
ENGINEERS SPECIFICATIONS	
ENGINEERS SPECIFICATIONS 10mm GYPROCK WALL & CEILING	
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### PROJECT: DOURO STREET CLIENT NAME: LEAH AND BRAD SMITH PROJECT ADDRESS: 82 DOURO STREET, MUDGEE 2850

DATE: Re issued:

PNT1 POL1 POL2 SCY1 STN1 TIM1 TIM2	FLOOR TILE LIMESTONE INTERNAL PAINT FINISH POLYURETHANE JOINERY FINISH SOYON LINEA CLADDING NATURAL STOME BENCH TOPS EXISTING TIMBER FLORING TIMBER DECKING V GROOVE LINING BOARD
BSN11 BTP1 DW1 FAN1 FRDG GP0 GP0 GP01 HND1 MIR1 OVN1 PEN2 RNG1 SNK1 SNK2 SNK1 SNK2 TAP1 TAP2 TWL1 TAP1 TAP1 WC1 WL1	RES INTEGRATED BIN BASIN WC BOTTLE TRAP DISHWASHER DOWN LIGHT EXTERIOR CEILING FAN FRIDGE FLOOR WASTE POWER POINT SPECIALTY POWER POINT JOINERY HANDLE MIRROR GAS FREE STANDING COCK TOP & OVEN KITCHEN PENDANT LIGHT DINING PENDANT LIGHT DINING PENDANT LIGHT DINDERMOUNT KITCHEN SINK UNDERMOUNT LAUNDRY SINK KITCHEN & LAUNDRY TAP BASIN MIXER HEATED TOWEL RAILS HAND TOWEL HOOK TOLLET PAPER DISPENSER TOLLET SUITE BATHROOM WALL SCONCE EXTERIOR WALL SCONCE
ELEVA TIMBE	R TO INTERIOR TIONS FOR GPO HEIGHTS R FRAME, ROOF TRUSSES & BRACING
THROU	JGHOUT TO MANUFACTURERS SPECS

10mm GYPROCK WALL & CEILING CLADDING THROUGHOUT CEILING: R1.45 (UP), ROOF: FOIL BACKED BLANKET (75MM)

**REINFORCED SLAB & FOOTINGS TO** 

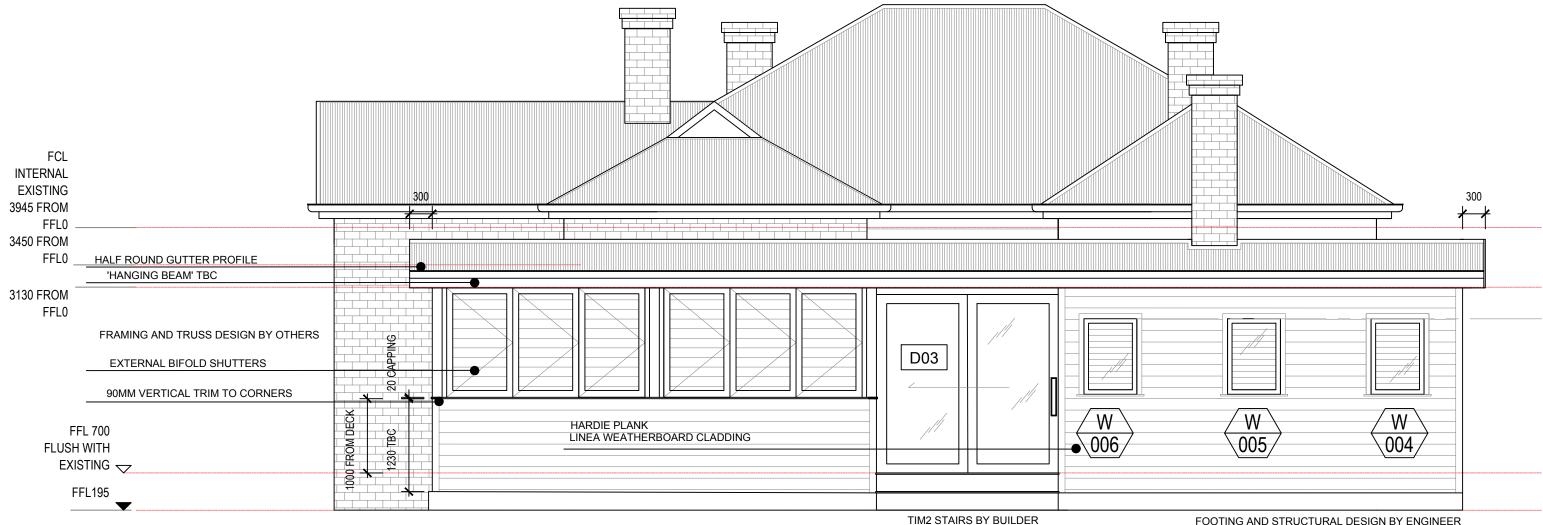
ENGINEERS SPECIFICATIONS

## NOTE: ALL APPLIANCES TO BE INSTALLED IN ACCORDANCE TO SUPPLIERS SPECIFICATIONS

EXISTING AREA: 286M2

TO BE DEMOLISHED REFER TO BASIX REPORT FOR MORE





DECKING TO RETURN DOWN TO CONCEAL FOOTINGS

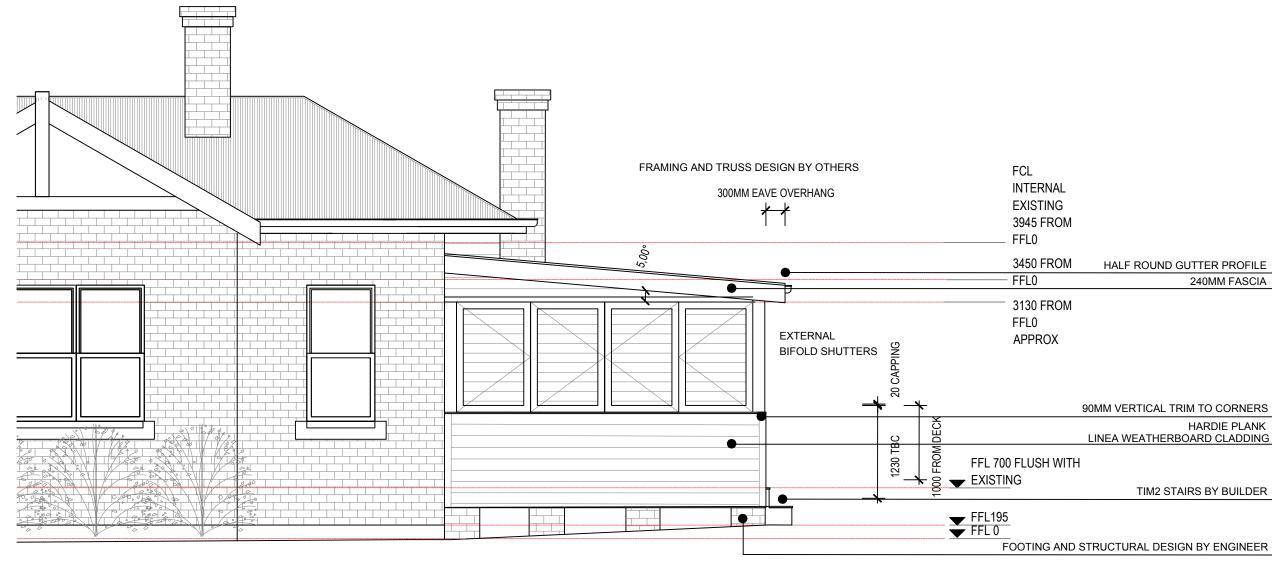




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PROJECT: DOURO STREET CLIENT NAME: LEAH AND BRAD SMITH PROJECT ADDRESS: 82 DOURO STREET, MUDGEE 2850 DATE: DECEMBER 2022 Re issued: SCALE: 1:50 @ A3 Issue:A CC1A 106- FOR APPROVAL Re issued:

FOOTING AND STRUCTURAL DESIGN BY ENGINEER







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DATE: DECEMBER 2022 Re issued:

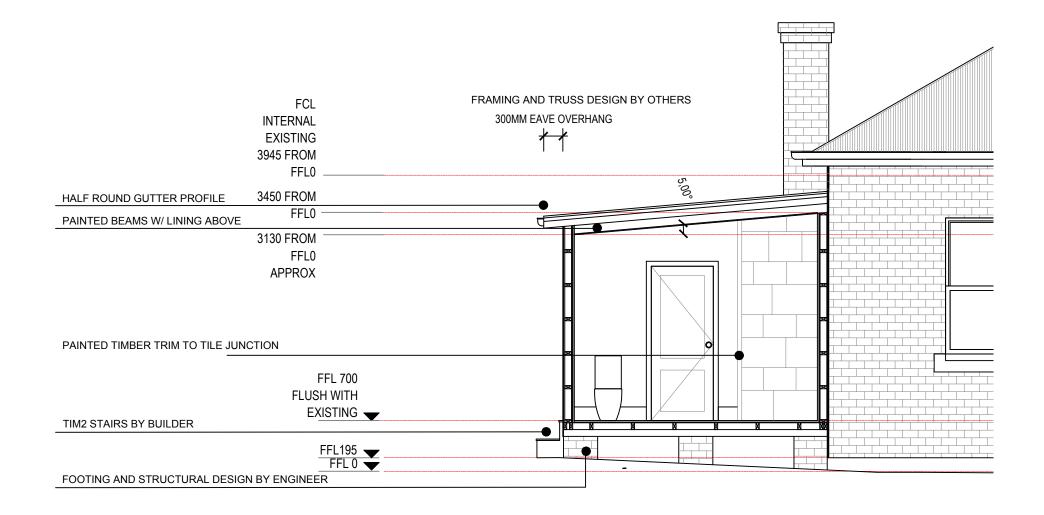
#### HALF ROUND GUTTER PROFILE 240MM FASCIA

### 90MM VERTICAL TRIM TO CORNERS HARDIE PLANK LINEA WEATHERBOARD CLADDING

TIM2 STAIRS BY BUILDER

PNT1	
FTL1 PNT1	
	FLOOR TILE LIMESTONE
	INTERNAL PAINT FINISH
FUL'I	POLYURETHANE JOINERY FINISH
	POLYURETHANE JOINERY FINISH
	SCYON LINEA CLADDING
TIM1	NATURAL STONE BENCH TOPS EXISTING TIMBER FLORING
TIM2	
VG1	V GROOVE LINING BOARD
FIXTU	
	INTEGRATED BIN
BSN1 BTP1	
	DISHWASHER
DL1	DOWN LIGHT
FAN1	
FRDG	FRIDGE
	FLOOR WASTE
	POWER POINT
	SPECIALTY POWER POINT
MIR1	JOINERY HANDLE MIRROR
	GAS FREE STANDING COOK TOP & OVEN
	KITCHEN PENDANT LIGHT
PEN2	DINING PENDANT LIGHT
	RANGEHOOD
	UNDERMOUNT KITCHEN SINK
	UNDERMOUNT LAUNDRY SINK KITCHEN & LAUNDRY TAP
	BASIN MIXER
	HEATED TOWEL RAILS
TWI 1	HAND TOWEL HOOK
TPH1	TOILET PAPER DISPENSER
WC1	TOILET SUITE
	BATHROOM WALL SCONCE EXTERIOR WALL SCONCE
1212	
	R TO INTERIOR ATIONS FOR GPO HEIGHTS
	R FRAME, ROOF TRUSSES & BRACING
тнко	UGHOUT TO MANUFACTURERS SPECS
	ORCED SLAB & FOOTINGS TO IEERS SPECIFICATIONS
ENGIN	EERS SPECIFICATIONS
	GYPROCK WALL & CEILING DING THROUGHOUT
	NG: R1.45 (UP), ROOF: FOIL BACKED BLANKET
(75MM	y
NOTE	
	APPLIANCES E INSTALLED IN ACCORDANCE TO
	PLIERS SPECIFICATIONS
SUP	STING AREA: 286M2
	STING AREA: 280M2
	TO BE DEMOLISHED
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SCALE: 1:50 @ A3 Issue:A CC1A 107- FOR APPROVAL



SECTION 01 CC1108 1:50



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PROJECT: DOURO STREET CLIENT NAME: LEAH AND BRAD SMITH PROJECT ADDRESS: 82 DOURO STREET, MUDGEE 2850

DATE: DECEMBER 2022 Re issued:

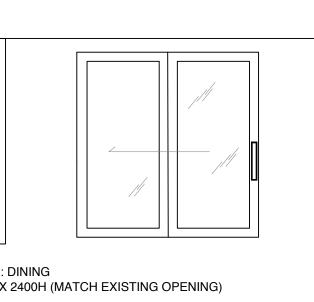
FIXTURES BIN INTEGRATED BIN BIN INTEGRATED BIN BIN INTEGRATED BIN BSN1 BASIN BTP1 WC BOTTLE TRAP DW1 DISHWASHER DL1 DOWN LIGHT FAN1 EXTERIOR CELLING FAN FRDG FROGE FW1 FLOOR WASTE GPO POWER POINT GPO SPECIALTY POWER POINT HND1 JOINERY HANDLE MIR1 MIRROR OVNI GAS FREE STANDING COOK TOP & OVEN PEN KITCHEN PENDANT LIGHT RNG1 RANGEHOOD SNK1 UNDERMOUNT KITCHEN SINK SNK2 UNDERMOUNT LAUNDRY SINK TAP1 KITCHEN PENDANT LIGHT RNG1 RANGEHOOD SNK1 UNDERMOUNT KITCHEN SINK SNK2 UNDERMOUNT KAUNDRY SINK TAP1 KITCHEN & LAUNDRY TAP TAP2 BASIN MIXER TW1 HATD TOWEL POOK TPH TOILET PAPER DISPENSER WC1 TOILET SUITE WL11 BATHROOM WALL SCONCE WL12 EXTERIOR WALL SCONCE REFER TO INTERIOR ELEVATIONS FOR GPO HEIGHTS TIMBER FRAME, ROOT TRUSSES & BRACING THROUGHOUT TO MANUFACTURERS SPECS REINFORCED SLAB & FOTINGS TO ENGINEERS SPECIFICATIONS 10mm GYPROCK WALL & CELLING CLADDING THROUGHOUT CELLING: R1.45 (UP), ROOF: FOIL BACKED BLANKET (75MM)	POL1 POL2 SCY1 STN1	INTERNAL PAINT FINISH POLYURETHANE JOINERY FINISH POLYURETHANE JOINERY FINISH SCYON LINEA CLADDING NATURAL STONE BENCH TOPS EXISTING TIMBER FLORING	
REFER TO INTERIOR ELEVATIONS FOR GPO HEIGHTS TIMBER FRAME, ROOF TRUSSES & BRACING THROUGHOUT TO MANUFACTURERS SPECS REINFORCED SLAB & FOOTINGS TO ENGINEERS SPECIFICATIONS IOMM GYPROCK WALL & CEILING CLADDING THROUGHOUT CEILING: R1.45 (UP), ROOF: FOIL BACKED BLANKET (SMM) NOTE: ALL APPLIANCES TO EM INTALLED IN ACCORDANCE TO SUPPLIERS SPECIFICATIONS EXISTING AREA: 286M2 TO BE DEMOLISHED	BIN BSN1 BTP1 DW1 DU1 FAN1 FRDG GP01 HND1 HND1 HND1 MIR1 OVN1 PEN1 PEN2 RNG1 SNK1 SNK2 TAP1 TAP2 TAP1 TWL1 TVL1 TVL1 VC1 WC1 WC1	INTEGRATED BIN BASIN WC BOTTLE TRAP DISHWASHER DOWN LIGHT EXTERIOR CEILING FAN FRIDGE FLOOR WASTE POWER POINT SPECIALTY POWER POINT JOINERY HANDLE MIRROR GAS FREE STANDING COOK TOP & OVER KITCHEN PENDANT LIGHT DINING PENDANT LIGHT DINING PENDANT LIGHT DINING PENDANT LIGHT DINING PENDANT LIGHT UNDERMOUNT KITCHEN SINK UNDERMOUNT KITCHEN SINK UNDERMOUNT KITCHEN SINK UNDERMOUNT KITCHEN SINK UNDERMOUNT KAUNDRY SINK KITCHEN & LAUNDRY TAP BASIN MIXER HEATED TOWEL RAILS HAND TOWEL HOOK TOILET PAPER DISPENSER TOILET SUITE BATHROOM WALL SCONCE	N
ALL APPLIANCES TO BE INSTALLED IN ACCORDANCE TO SUPPLIERS SPECIFICATIONS EXISTING AREA: 286M2 TO BE DEMOLISHED	ELEV/ TIMBE THRO REINF ENGIN 10mm CLAD CEILIN	ATIONS FOR GPO HEIGHTS ER FRAME, ROOF TRUSSES & BRACING IUGHOUT TO MANUFACTURERS SPECS FORCED SLAB & FOOTINGS TO VEERS SPECIFICATIONS IN GYPROCK WALL & CEILING DING THROUGHOUT NG: R1.45 (UP), ROOF: FOIL BACKED BLA	NKET
	ALL TO E SUPI EXIS	APPLIANCES EINSTALLED IN ACCORDANCE TO PLIERS SPECIFICATIONS STING AREA: 286M2 TO BE DEMOLISHED	

SCALE: 1:50 @ A3 Issue:A CC1A 108- FOR APPROVAL

WIN	WINDOW & DOOR SCHEDULE					
W01	LOCATION: OFFICE NOTE: TO MATCH 900W X 1885H EXISTING PROFILES DOUBLE HUNG AND SIZES DOUBLE HUNG BUILDER TO MEASURE TIMBER WINDOW BUILDER TO MEASURE AND ORDER TRADCO CLASSIC SASH LIFTS & CLASSIC SASH FASTENER AGED BRASS BLACK FRAMED GAUZE ORIENTATION: NORTH	W05	LOCATION: LAUNDRY 700W X 1000H LOUVRE TIMBER WINDOW PRIMED BUILDER TO PROVIDE FITTING OPTIONS BLACK FRAMED GAUZE ORIENTATION: WEST	D03		
W02	LOCATION: KITCHEN 900W X 1700H DOUBLE HUNG TIMBER WINDOW PRIMED TRADCO CLASSIC SASH LIFTS & CLASSIC SASH FASTENER AGED BRASS BLACK FRAMED GAUZE ORIENTATION: SOUTH	W06	LOCATION: LAUNDRY 700W X 1000H LOUVRE TIMBER WINDOW PRIMED BUILDER TO PROVIDE FITTING OPTIONS BLACK FRAMED GAUZE ORIENTATION: WEST	LOCATION: E 2X 1210W X 2 SLIDER TIMBER WIN PRIMED BUILDER TO FITTING OPT ORIENTATIO		
W03	LOCATION: KITCHEN 900W X 1700H DOUBLE HUNG TIMBER WINDOW PRIMED TRADCO CLASSIC SASH LIFTS & CLASSIC SASH FASTENER AGED BRASS BLACK FRAMED GAUZE ORIENTATION: SOUTH	D01	LOCATION: PASSAGE KITCHEN/LAUNDRY 820X2040 1 LIGHT TIMBER DOOR PRIMED W/ SHAKER PANEL BELOW TRADCO MENTON LEVER PASSAGE SET W/ MATCHING HINGES, CABIN LATCH, MORTICE LOCKS AND DOOR STOPS AGED BRASS ORIENTATION: NA			
W04	LOCATION: BATHROOM 700W X 1000H LOUVRE TIMBER WINDOW PRIMED BUILDER TO PROVIDE FITTING OPTIONS BLACK FRAMED GAUZE ORIENTATION: WEST	D02	LOCATION: PASSAGE KITCHEN/LAUNDRY 820X2040 1 LIGHT TIMBER DOOR PRIMED W/ SHAKER PANEL BELOW TRADCO MENTON LEVER EURO LOCK W/ MATCHING HINGES, CABIN LATCH, MORTICE LOCKS AND DOOR STOPS AGED BRASS ORIENTATION: NORTH			



NOTES: All drawings to be read in conjunction with specifications prepared by Liv Johnson. Builders verify all dimensions on site prior to commencement of any work. Measurements in mm unless noted otherwise. Do not scale off drawings. All work to be carried out in accordance with the BCA, Australian standards and conditions of Council. Builder to contact designer if any design, dimensions or specifications do not comply with regulations or are not buildable as drawn. Copy right remains the property of Liv Johnson. PROJECT: DOURO STREET CLIENT NAME: LEAH AND BRAD SMITH PROJECT ADDRESS: 82 DOURO STREET, MUDGEE 2850



INDOW

O PROVIDE PTIONS W/ LOCK ION: WEST

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