

PROPOSED RESIDENCE
FOR
JOSH & CARLY LANG
51 TINJA LANE
ERUNDEREE NSW 2850



GENERAL NOTES:

Builder to confirm all dimensions before commencing any works.

If discrepancies occur on plans, designer is to be contacted.

All dimensions are in millimeters unless otherwise stated.

Use figured dimensions only. Do not scale from plans.

Site information is based on information supplied by the owner and must be verified by the supplier on acceptance of this plan.

All works shall comply with the National Construction Code (NCC 2022) current Australian Standards, building regulations and statutory approvals. Notify this office of any discrepancies.

These plans should be read in conjunction with project specification and all consultant drawings including but not limited to Structural Engineer and Surveyor.

Soil Classification - refer to Engineers report and soil tests.

SPECIFICATIONS:

WIND CLASSIFICATION - BY ENGINEER

PLUMBING

All plumbing to AS3500.3 and must carried out by a licensed plumber in accordance with the Plumbing Code of Australia (PCA) to comply with the requirements of the Local Authority.

ELECTRICAL

All electrical work shall be undertaken by a licensed electrician and in accordance with AS/NZS 3000

CONDENSATION MANAGEMENT

Install a pliable building membrane to comply with AS4200.1 & AS4200.2 with a vapour permeance of not less than 1.14ug/N.s in this climate. (Climate 6). Except for single skin masonry or concrete, where a pliable building membrane is not installed in an external wall, the primary water control layer must be separated from water sensitive materials by a drained cavity. To NCC 2022 Vol 2 Clause H4D9 and HP 10.8.

WATER PROOFING OF WET AREAS

Shall comply with NCC 2022 Vol 2 Clause H4D2, AS 3740-2021 and HP Part 10.2

PRE-FABRICATED WALL FRAMES AND ROOF TRUSSES

Shall comply with NCC 2022 Vol 2 Clause H2D6 (4) and AS1720.1-2010, AS1720.5-2015, AS1684.2-2021, AS1684.4-2010 AND AS1860.2-2006

SPECIFICATIONS:

TERMITE PROTECTION

All buildings shall be protected against termite attack in accordance with AS3660.1 and NCC 2022 Vol 2 Clause H1D3 and HP Part 3.4. Provide a durable notice in the meter box indicating type of barrier and required inspections.

SMOKE DETECTORS

Smoke detectors shall be installed as noted on the plans and in accordance with AS 3786-2014 and NCC 2022 Vol 2 Clause H3D6 and HP Part 9.5.2 and 9.5.4. They must be hard wired to the electrical supply.

WINDOWS / GLAZING / SHOWER SCREENS

Provide glazing to AS1288-2021 AS 2047-2014, as relevant and NCC 2022 Vol 2 Clause H1D8 and HP Part 8.2 and 8.3.

LIFT OFF HINGES (LOH)

Provide lift of hinges to the doors on sanitary compartments as labeled on the plans in accordance with NCC 2022 Clause H4P3 and HP 10.4.2.

DRAUGHT SEALING

Provide a seal/draught excluder to the bottom edge of all external doors in accordance with NCC 2022 lause H6D2 and HP Part 13.4.4.

HEATING APPLIANCES / FIREPLACES

Shall comply with NCC 2022 Vol 2 Clause H7D5 and AS/NZS 2918 for domestic solid fuel burning appliance, or HP Part 12.4 for heating appliances

SPECIFICATIONS:

STAIRS

Timber steps to NCC 2022 Vol 2 H5D2 and HP Part 11.2.

	MIN	MAX
Riser	115mm	190mm
Going	240mm	355mm
Slope relationship (2R+G)	550mm	700mm

Ensure slip resistance of P4 to be achieved with intergrain ultra deck slip resistance timberoil

SPECIFICATIONS: RURAL LAND

FIRE FIGHTING EQUIPMENT

A 65mm Storz outlet with a metal Gate or Ball Valve to be provided on the water storage tank.

Above ground tanks to be manufactured of concrete or metal. Tanks on hazard side of building are to be provided with adequate shielding for the protection of the fire fighters

Above ground water pipes external to the building are to be metal including and up to any taps

Pumps are to be shielded

Ensure 20,000L min. reserved for fire fighting purposes

BASIX NOTES:

STORMWATER

All roof water must be collected in a 100,000L rainwater tank and plumbed to all fixtures in the development.
And be installed in accordance with AS3500.

HEATING

3-phase airconditioning (EER 3.0-3.5) to be installed in at least one living area and at least one bedroom in both dwellings.

COOLING

3-phase airconditioning (EER 3.0-3.5) to be installed in at least one living area and at least one bedroom in both dwellings.

VENTILATION

Bathrooms - Install an exhaust fan in the ceiling, ducted to facade or roof and operate manually
Kitchens - Install a rangehood over cooktop, duct to facade or roof and operate manually
Laundries - natural ventilation in main dwelling. In secondary dwelling, install an exhaust fan in the ceiling, ducted to facade or roof and operate manually.

ALTERNATIVE ENERGY

Photovoltaic system with the capacity to generate at least 15 peak kilowatts to be installed.

LIGHTING

The primary type of artificial lighting is dedicated fluorescent or LED in all bedrooms, living room, dining room, kitchen, all bathrooms, all toilets, laundry and all hallways, in both dwellings.
All fittings must only be capable of accepting flouorescent or LED lamps.

AAA RATING

All showerheads minimum rating of 4 star (>6 but <= 7.5L/min)
Toilets to have a minimum rating of 5 Star
Kitchen taps to have a minimum rating of 5 star
and Basin taps to have a minimum rating of 5 stars

OTHER

Gas cooktop and electric oven to be installed in both kitchens.
An indoor and outdoor clothes drying line must be installed in both dwellings.

LOW WATER VEGETATION

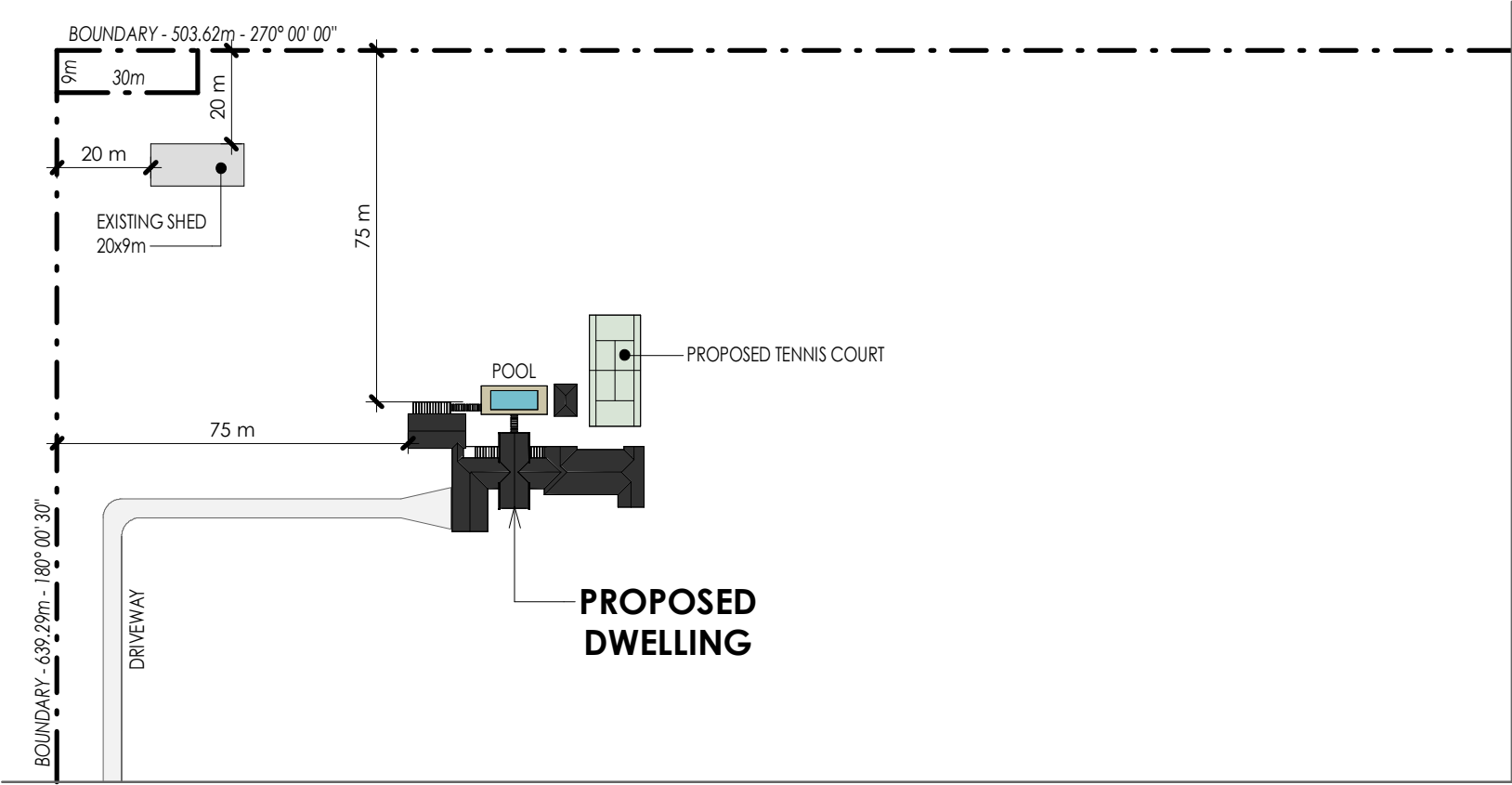
A minimum of 100 sqm of indigenous or low water species of vegetation must be planted on the site.

POOL

A pool of no greater than 60kLs must be installed, heated by electric heat pump, with pump controlled by timer.

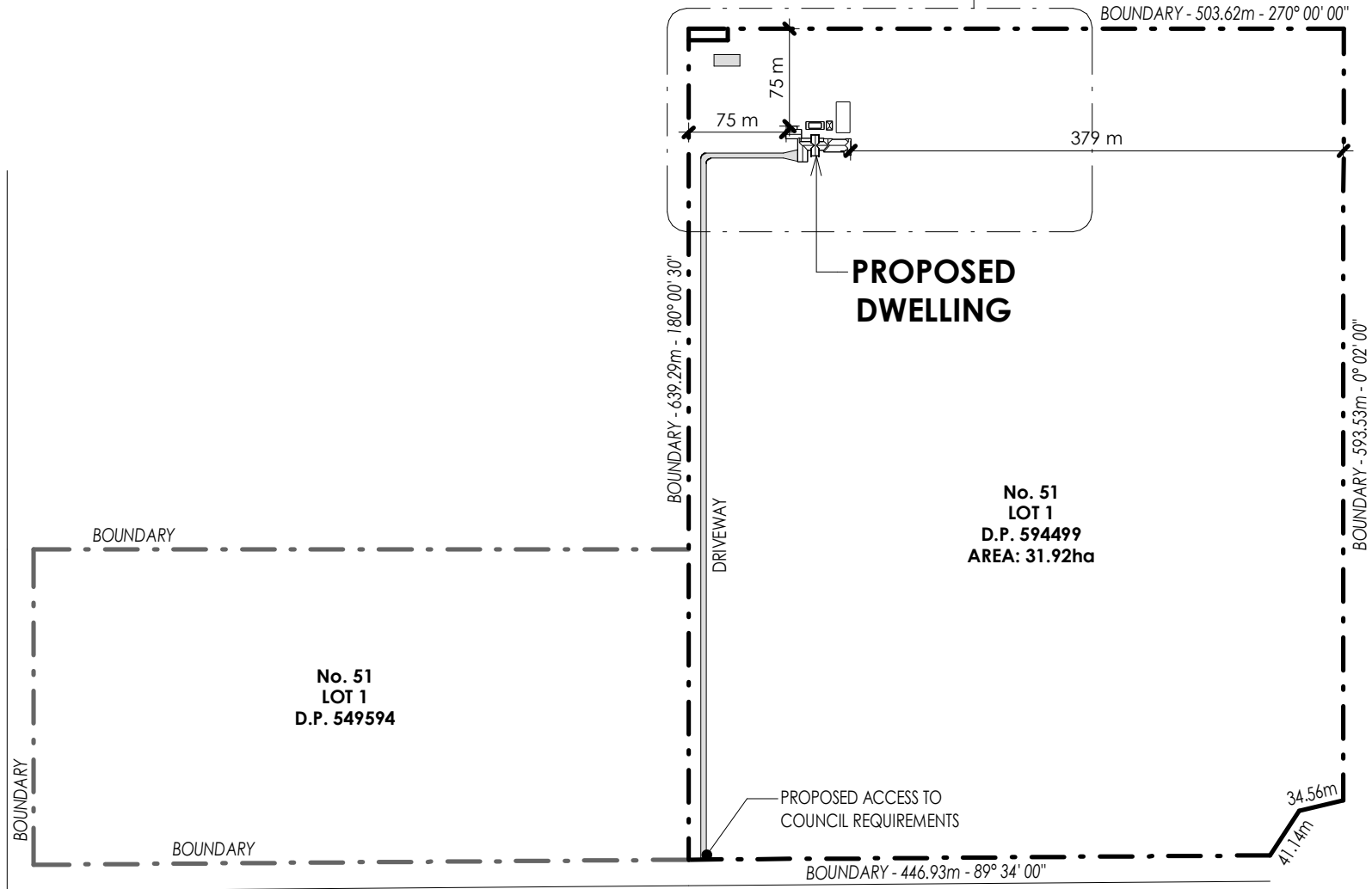
GENERALLY

The information found in these notes are by no means the extent of information relating to compliance with BASIX comitments. These notes must be read in conjunction with the full set of plans and elevations and with the BASIX Certificate pertaining to this property.

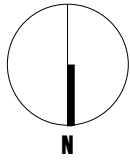


2 SITE PLAN - CALLOUT
SCALE 1 : 1500

CRAIGMOOR RD



1 SITE PLAN
SCALE 1 : 5000



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C	ADD SHED	07.04.25
B	FOR CLIENT APPROVAL	13.12.24
A	PRELIMINARY	12.11.24
Issue	Description	Date


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Client
Josh & Carly Lang

Project
51 TINJA LANE
ERUNDEREE NSW 2850

Title
SITE PLAN

Scale at A3
As indicated

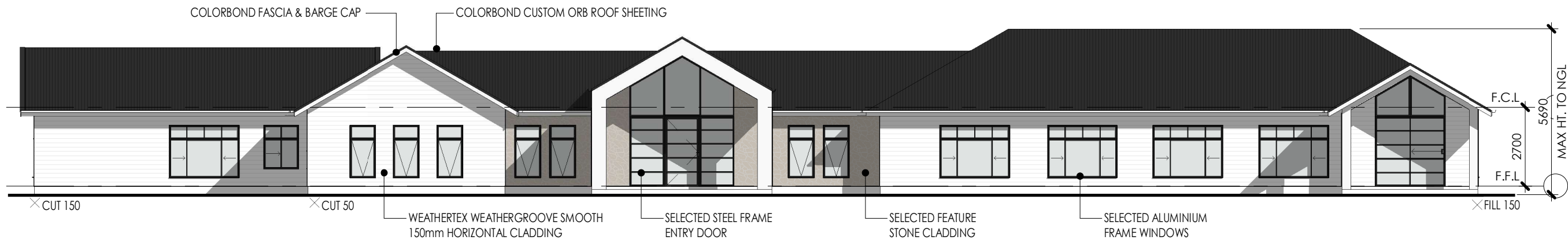
Date
OCTOBER 2023

Drawing No.
701LAN-01

Issue
C

Drawn
RG/DW

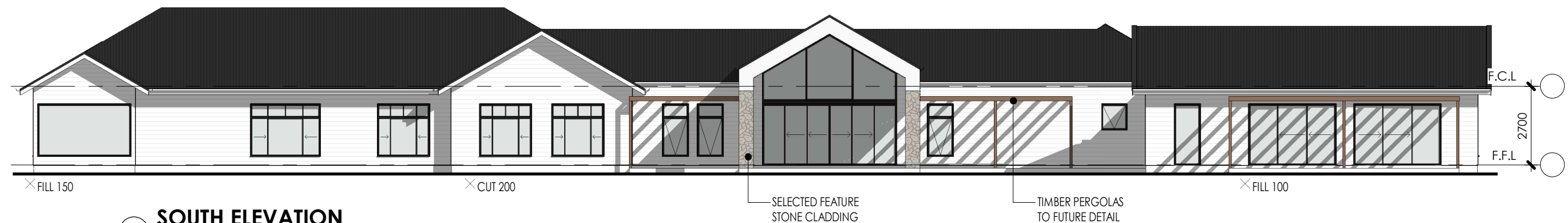
Issue



1 **NORTH ELEVATION**
SCALE 1 : 150



2 **EAST ELEVATION**
SCALE 1 : 150



3 **SOUTH ELEVATION**
SCALE 1 : 150

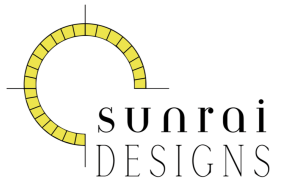


4 **WEST ELEVATION**
SCALE 1 : 150

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Issue	Description	Date
D	DELETE PERGOLA	07.04.25
C	CUT FILL DETAILS	19.02.25
B	FOR CLIENT APPROVAL	13.12.24
A	PRELIMINARY	12.11.24



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ERUNDEREE NSW 2850

Title
ELEVATIONS

Scale at A3
1 : 150

Date
OCTOBER 2023

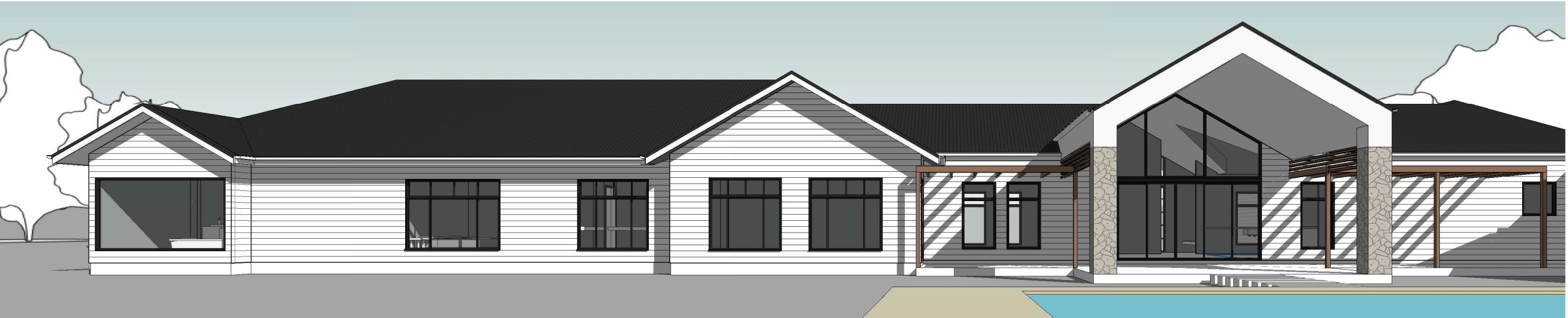
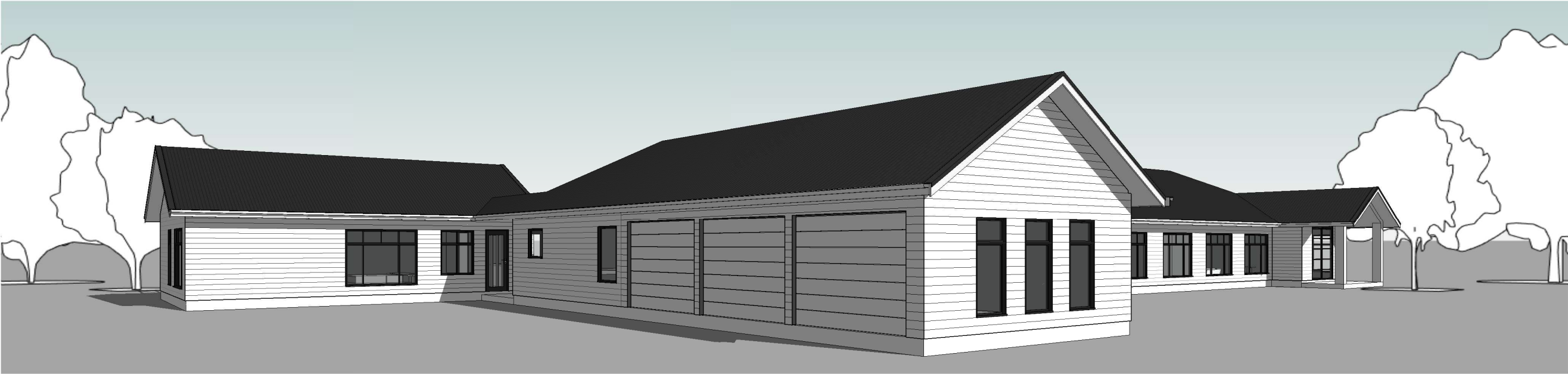
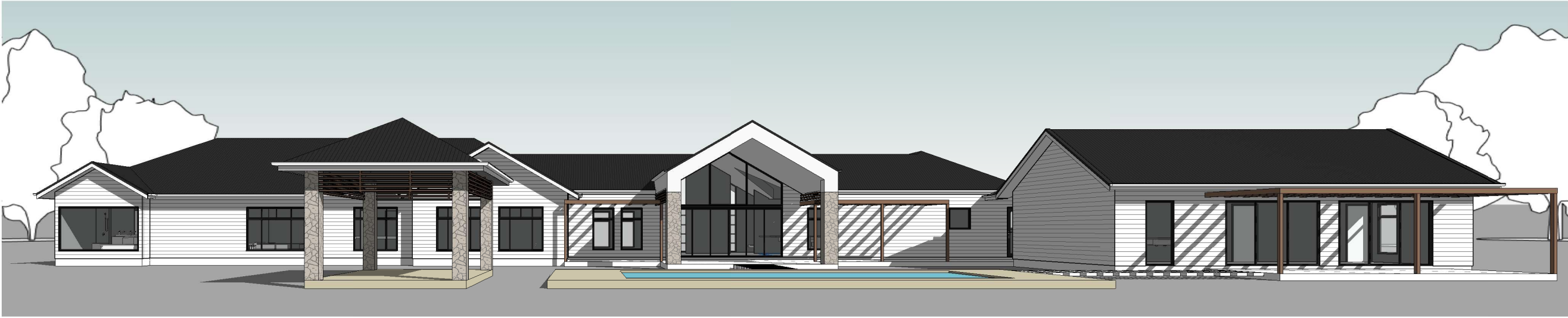
Drawing No.

701LAN-03

Drawn
RG/DW

Issue

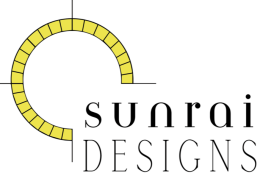
D



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C	DELETE PERGOLA	07.04.25
B	FOR CLIENT APPROVAL	13.12.24
A	PRELIMINARY	12.11.24
Issue	Description	Date



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Project 51 TINJA LANE
ERUNDEREE NSW 2850

Title PERSPECTIVES

Scale at A3
NA

Date OCTOBER 2023

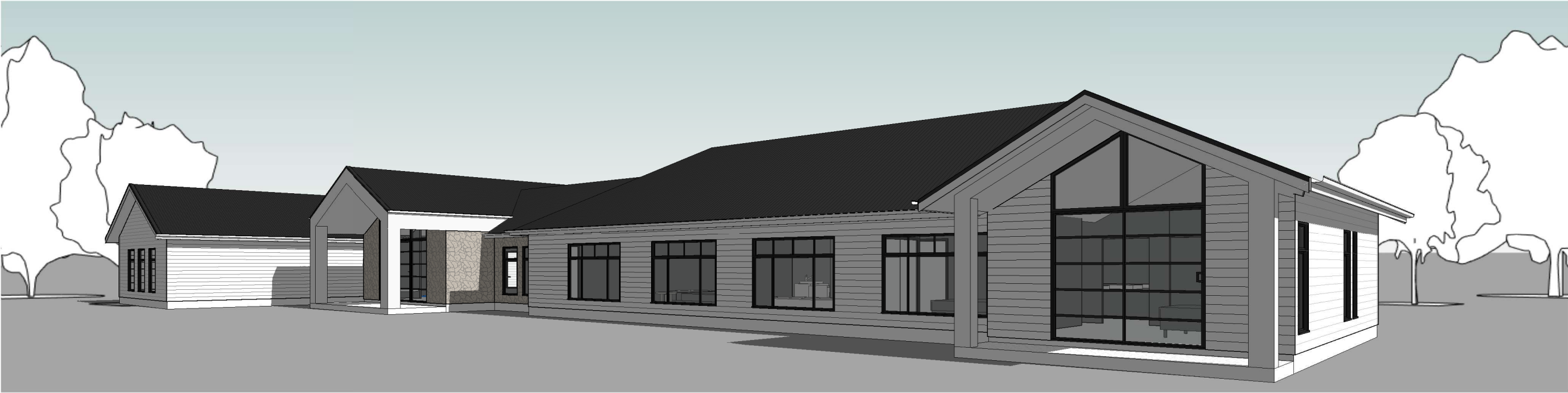
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Drawing No.

701LAN-06

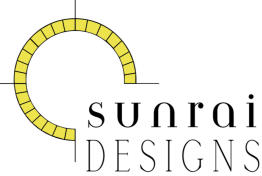
Issue

C



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C	DELETE PERGOLA	07.04.25
B	FOR CLIENT APPROVAL	13.12.24
A	PRELIMINARY	12.11.24
Issue	Description	Date



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Title PERSPECTIVES

Scale at A3
NA

Date OCTOBER 2023

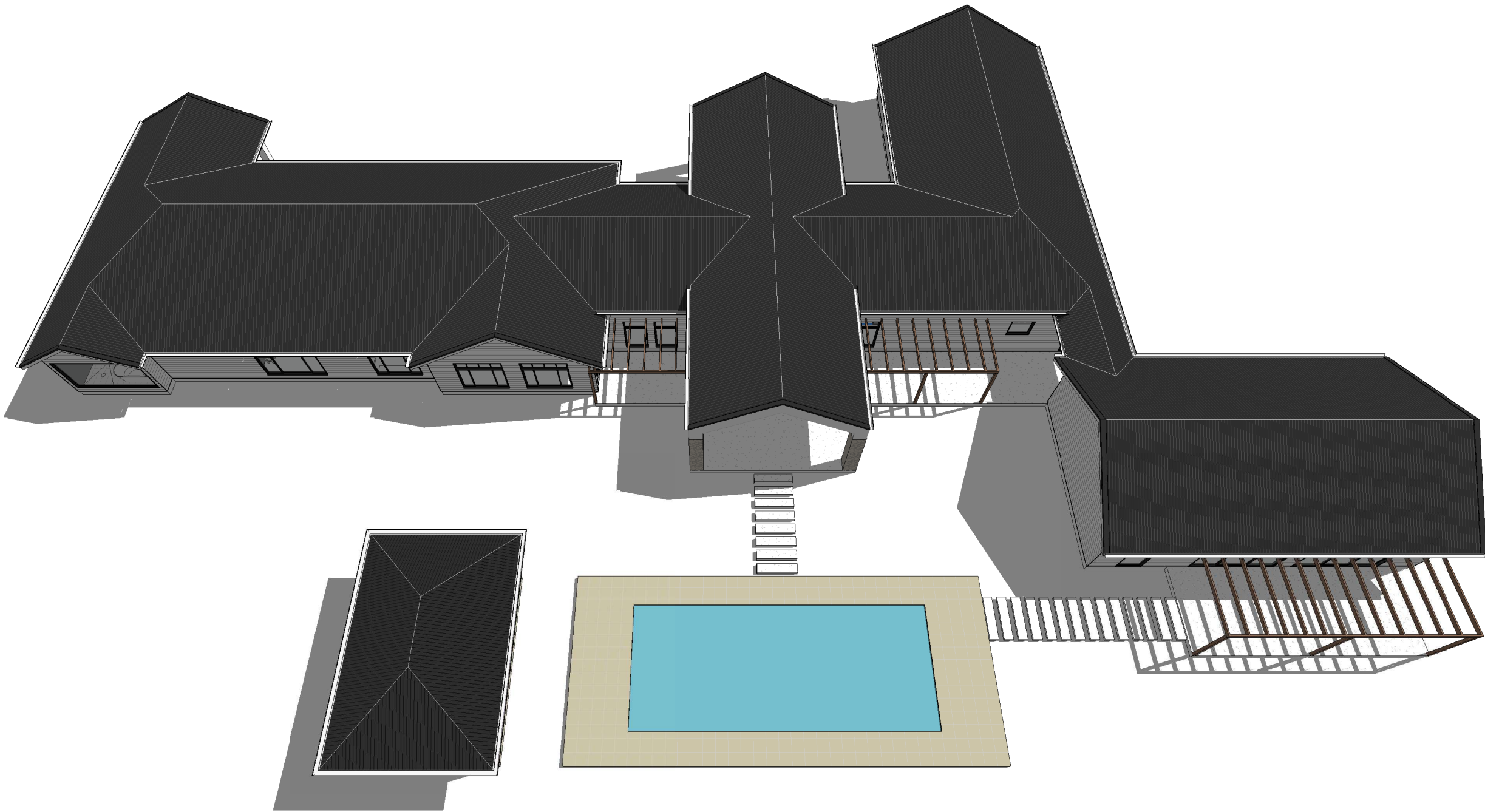
Drawn RG/DW

Drawing No.

701LAN-07

Issue

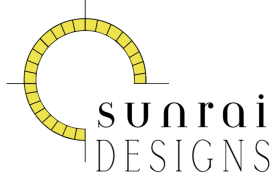
C



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C	DELETE PERGOLA	07.04.25
B	FOR CLIENT APPROVAL	13.12.24
A	PRELIMINARY	12.11.24
Issue	Description	Date



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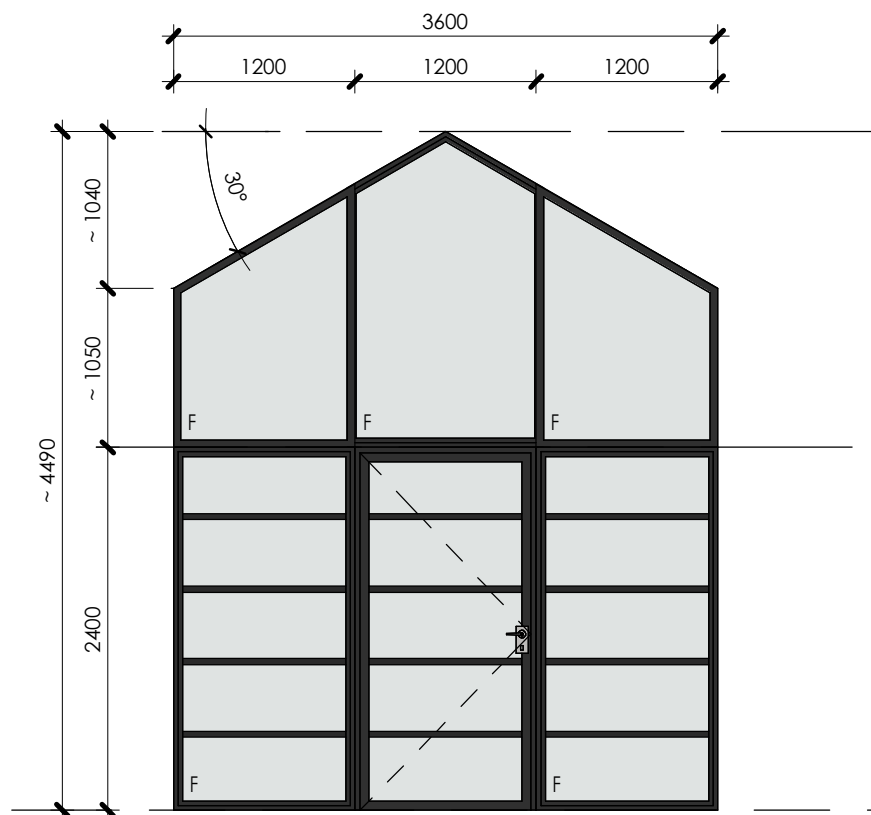
Project
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ERUNDEREE NSW 2850

Title
PERSPECTIVE

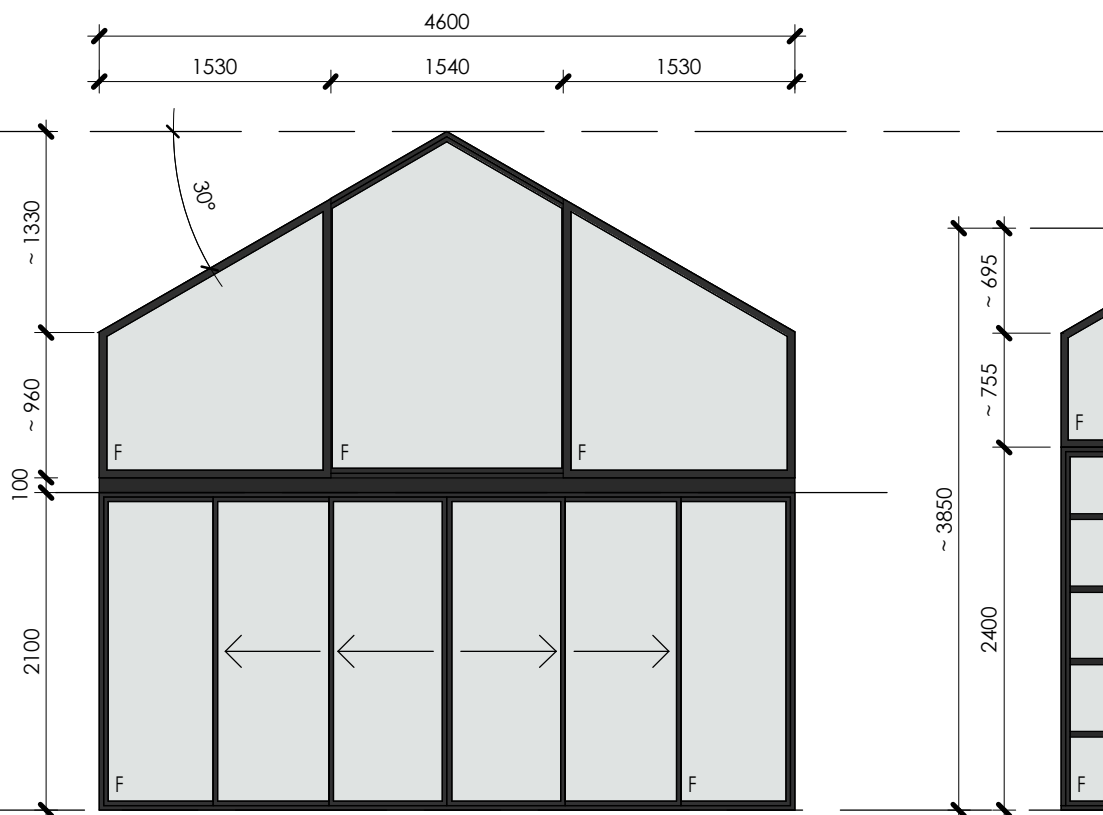
Scale at A3
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Date	OCTOBER 2023	Drawn RG/DW
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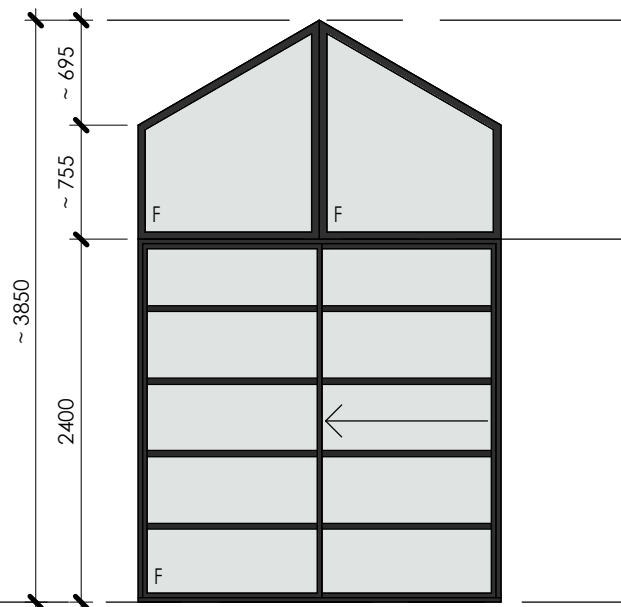
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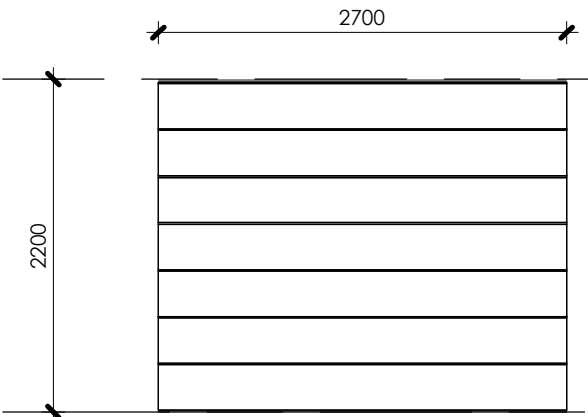
STEEL FRAMED ENTRY DOOR WITH FIXED
SIDELIGHTS & RAKED HIGHLIGHTS
D1



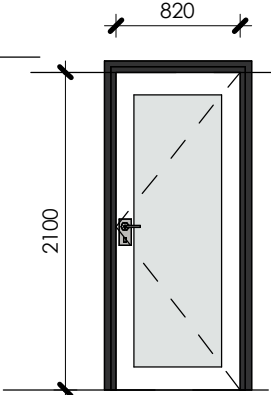
STEEL FRAMED SLIDING DOOR
WITH RAKED HIGHLIGHTS
D6



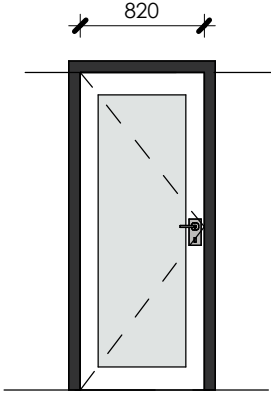
STEEL FRAMED SLIDING DOOR
WITH RAKED HIGHLIGHTS
D8



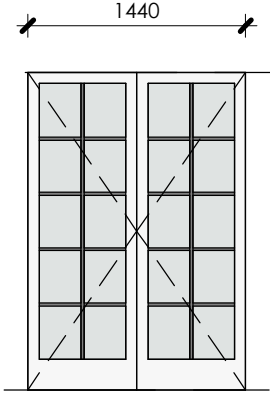
SELECTED PANEL LIFT GARAGE DOOR
D2 D3 D4



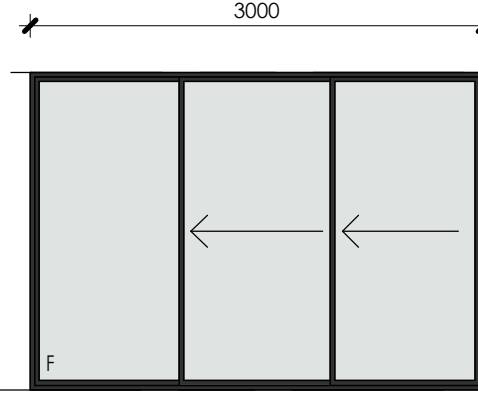
FULLY GLAZED
ENTRY DOOR
D5



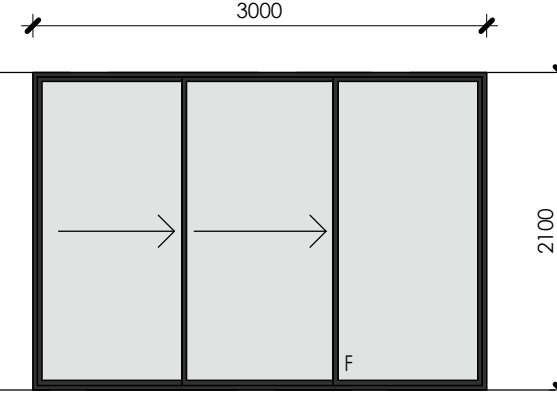
FULLY GLAZED
ENTRY DOOR
D9



GLAZED FRENCH
DOOR
D7



ALUMINIUM FRAMED
SLIDING DOOR
D11



ALUMINIUM FRAMED
SLIDING DOOR
D10

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NOTE: WINDOWS & DOORS
ARE DRAWN AS VIEWED FROM
THE EXTERNAL SIDE

B	FOR CLIENT APPROVAL	13.12.24
A	PRELIMINARY	12.11.24
Issue	Description	Date


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Client
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Project
51 TINJA LANE
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Title
DOOR SCHEDULE

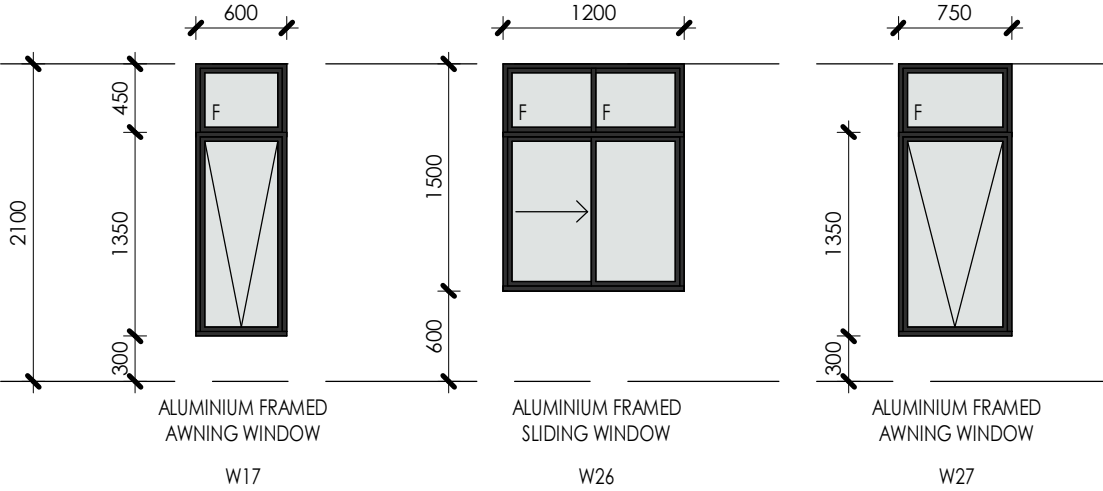
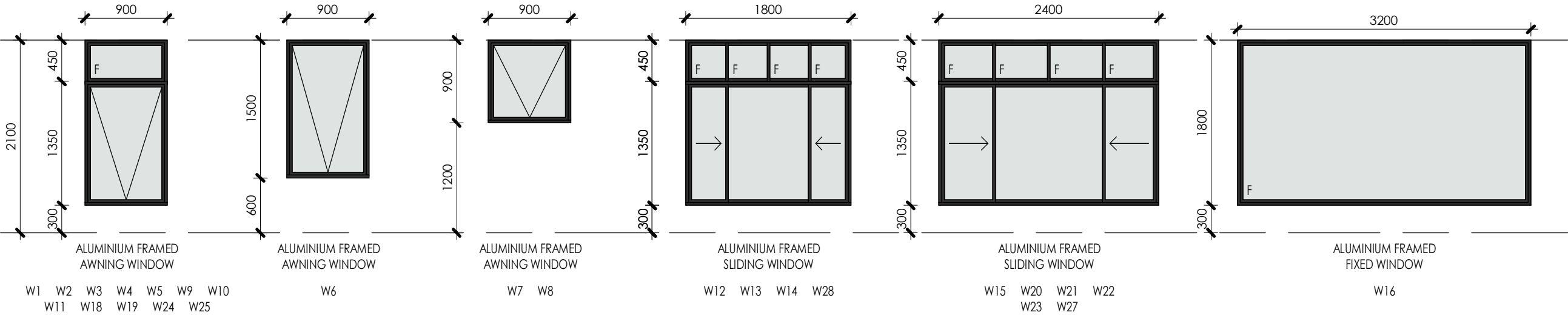
Scale at A3
1 : 50

Date
OCTOBER 2023

Drawing No.
701LAN-09

Drawn
RG/DW

Issue
B



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B	FOR CLIENT APPROVAL	13.12.24
A	PRELIMINARY	12.11.24
Issue	Description	Date



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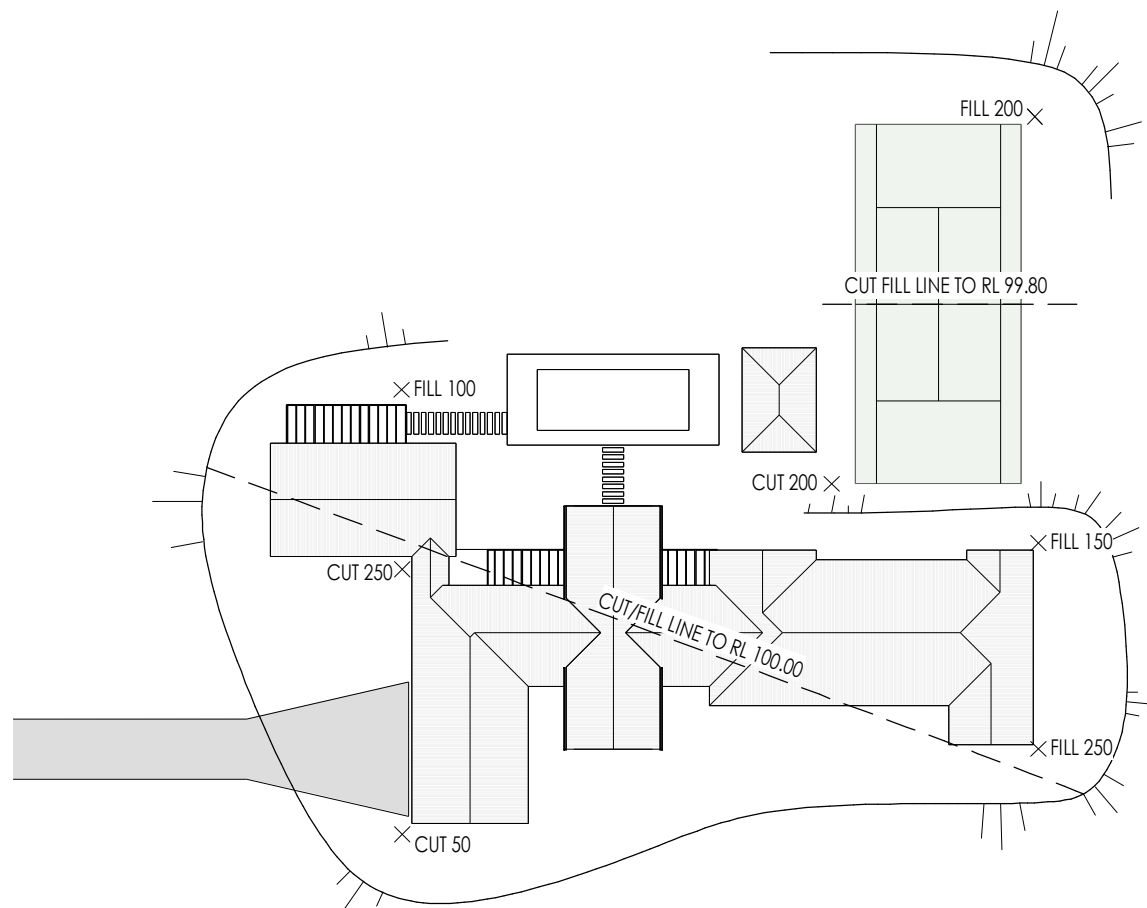
Client
Josh & Carly Lang

Project
51 TINJA LANE
ERUNDEREE NSW 2850

Title
WINDOW SCHEDULE

Scale at A3
1 : 50

Date OCTOBER 2023	Drawn RG/DW
Drawing No. 701LAN-10	Issue B



PROPOSED FLOOR
LEVEL RL 100.31

PROPOSED
EARTHWORKS LEVEL
RL 100.00

1 **CUT & FILL PLAN**
SCALE 1 : 500

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A	CUT FILL DETAILS	19.02.25
Issue	Description	Date



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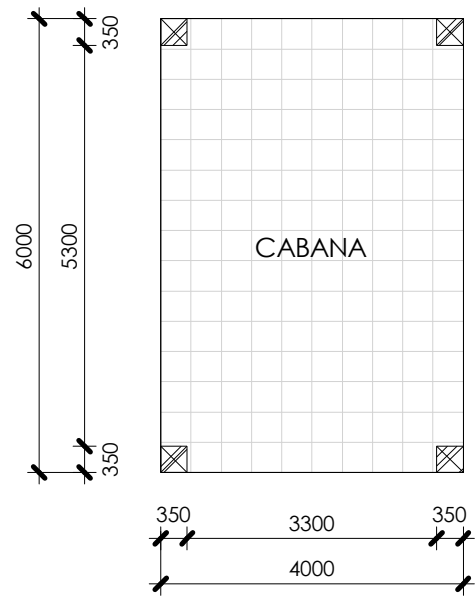
Client
Josh & Carly Lang

Project
51 TINJA LANE
ERUNDEREE NSW 2850

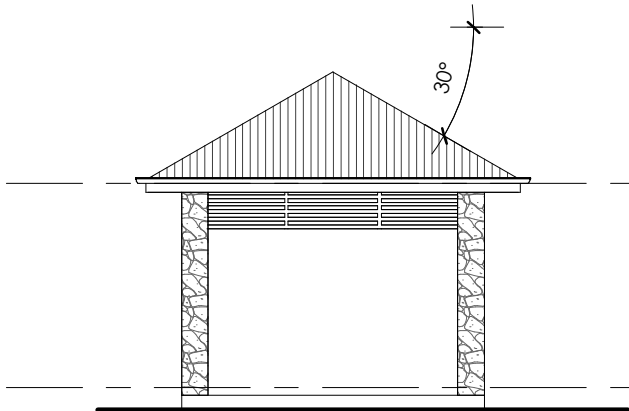
Title
CUT & FILL PLAN

Scale at A3
1 : 500

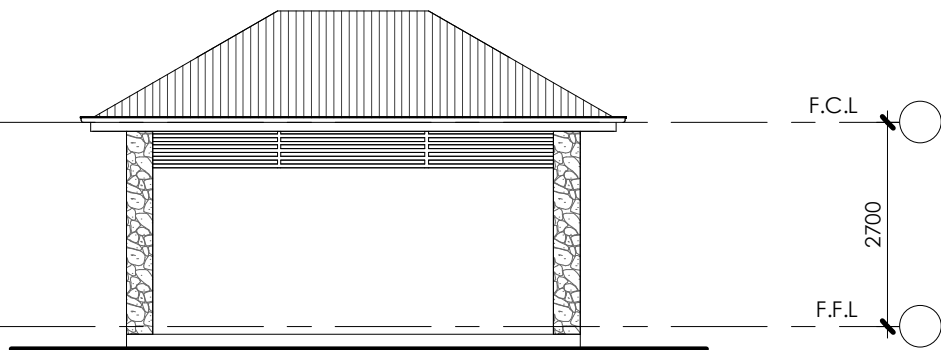
Date OCTOBER 2023	Drawn RG/DW
Drawing No. 701LAN-11	Issue A



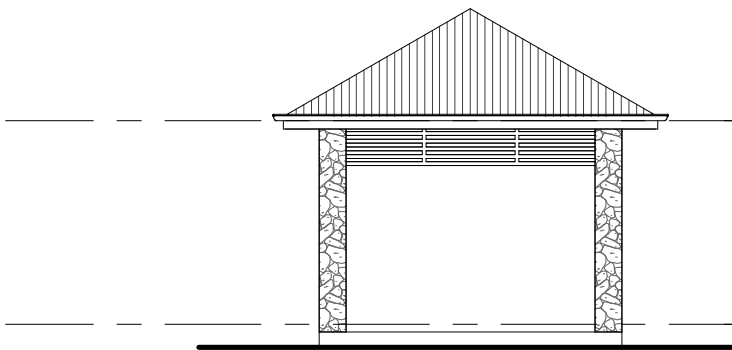
1 **CABANA FLOOR PLAN**
SCALE 1 : 100



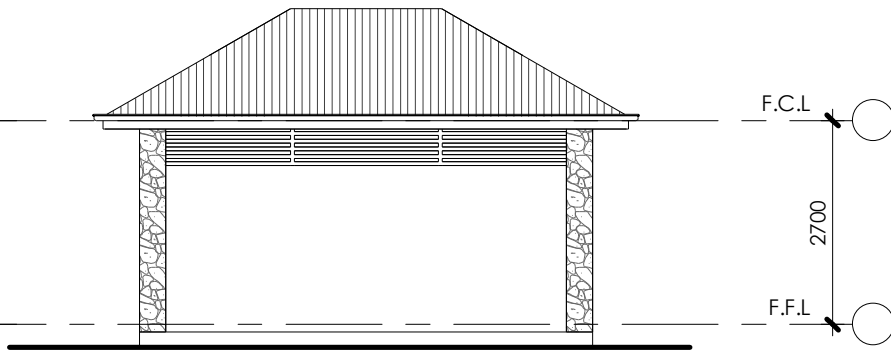
2 **CABANA NORTH ELEVATION**
SCALE 1 : 100



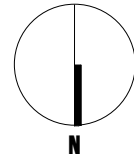
3 **EAST ELEVATION**
SCALE 1 : 100



4 **CABANA SOUTH ELEVATION**
SCALE 1 : 100



5 **CABANA WEST ELEVATION**
SCALE 1 : 100



Notes

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A	CABANA DETAILS	19.02.25
Issue	Description	Date



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Project
51 TINJA LANE
ERUNDEREE NSW 2850

Title
CABANA

Scale at A3
1 : 100

Date OCTOBER 2023	Drawn RG/DW
Drawing No. 701LAN-12	Issue A