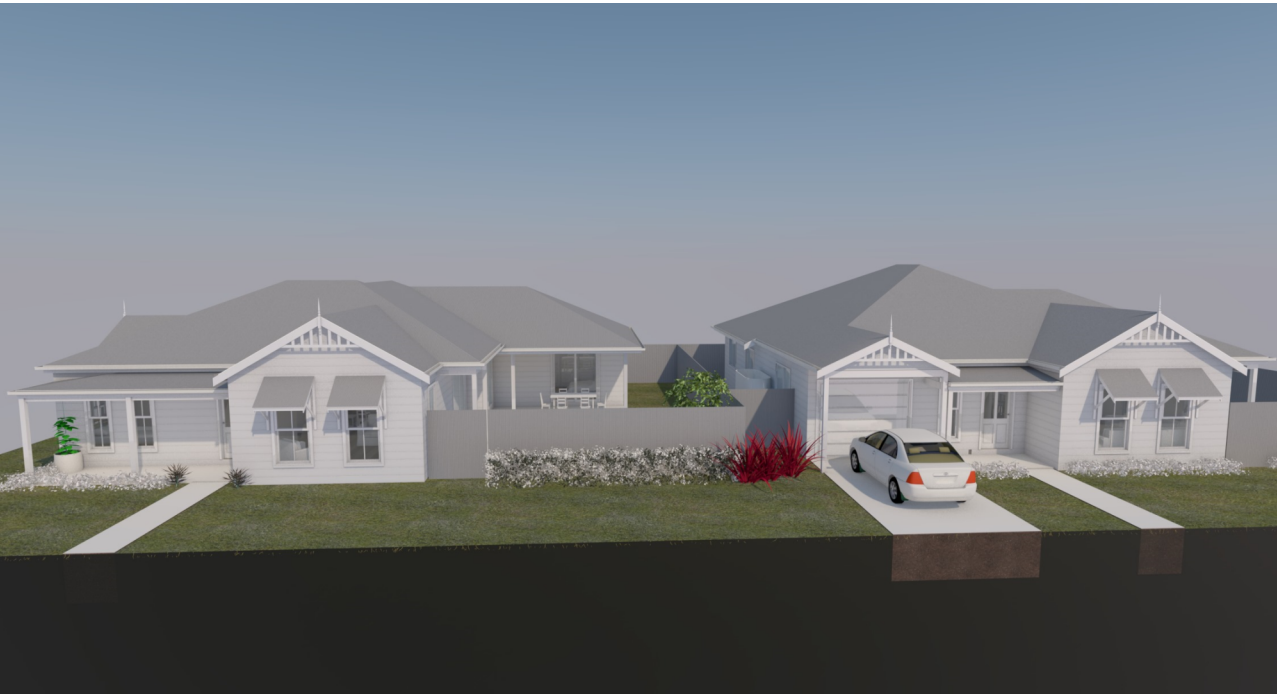


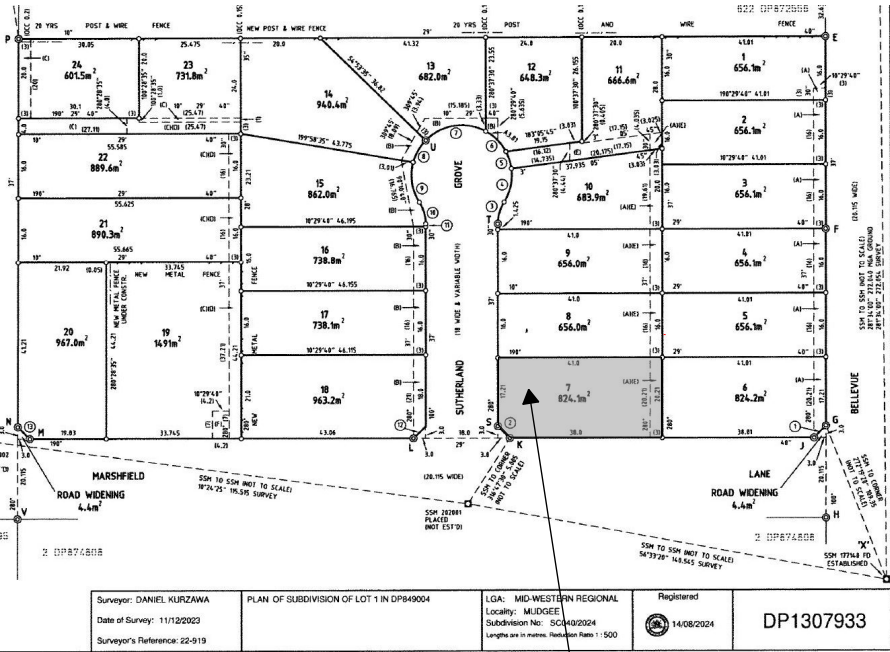
PROJECT:
FOR:
SITE:

PROPOSED DUAL OCCUPANCY
MELISSA CRAZE
8 MARSHFIELD LANE MUDGEEE 2850
LOT 7 DP1307933

DRG No:	SHEET DESCRIPTION
01	COVER SHEET / LOCATION PLAN
02	SITE PLAN
03	PRELIM SUBDIVISION PLAN
04	DWELLING 1 - FLOOR PLAN
05	DWELLING 1 - ELEVATIONS
06	DWELLING 1 - ELEVATIONS
07	DWELLING 1 - SECTION , ROOF PLAN
08	DWELLING 1 - BASIX COMMITMENTS
09	DWELLING 2 - FLOOR PLAN
10	DWELLING 2 - ELEVATIONS
11	DWELLING 2 - ELEVATIONS
12	DWELLING 2 - SECTION, ROOF PLAN
13	DWELLING 2 - BASIX COMMITMENTS
14	WINDOW LIST
15	DOOR LIST
16	GENERAL CONSTRUCTION NOTES
17	SAFETY NOTES



PERSPECTIVE VIEW



LOCALITY PLAN



8 MARSHFIELD LANE MUDGEEE
LOT 7 DP 1307933

- GENERAL NOTES:**
- ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS INCLUDING BUT NOT LIMITED TO:
BUILDING CODE OF AUSTRALIA NATIONAL CONSTRUCTION CODE - BCA NCC
PLUMBING CODE OF AUSTRALIA - BCA NCC
AUSTRALIAN STANDARDS & OTHER REGULATORY BODIES
 - WORKMANSHIP & MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A. CODES
INCLUDING ALL AMENDMENTS, THE BUILDING CODE OF AUSTRALIA - BCA NCC - VOLUME 2 - 2022
AND POLICY REQUIREMENTS OF MID-WESTERN REGIONAL COUNCIL
 - RELEVANT STATUTORY AUTHORITIES TO BE NOTIFIED IN ADVANCE AND APPROVALS AND/ OR SERVICES OBTAINED
 - ALL LEVELS, DIMENSIONS, SITE CONDITIONS & SERVICES TO BE CHECKED & CONFIRMED ON SITE INCLUDING RELEVANT
SERVICE AUTHORITIES PRIOR TO WORK COMMENCEMENT OR CONSTRUCTION
 - THIS DRAWING TO BE READ IN CONJUNCTION WITH SPECIFICATIONS / STRUCTURAL ENGINEER DRAWINGS / SURVEYOR AND
OTHER CONSULTANT DOCUMENTATION WHERE APPLICABLE TO THIS PROJECT
 - WHERE APPLICABLE ALL BOUNDARIES ARE SUBJECT TO FINAL SURVEY. REFER TO CONTOUR AND DETAIL SURVEY WHERE PROVIDED
 - ALL WORKS TO BE UNDERTAKEN BY LICENSED BUILDER AND LICENSED SUBCONTRACTORS
 - BUILDER TO CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK
 - ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE STATED. WRITTEN DIMENSIONS TO BE USED. DO NOT SCALE DRAWINGS

- CONSTRUCTION NOTES - GENERAL:**
- ALL WET AREAS OF THE BUILDING TO BE PROTECTED BY INSTALLATION OF A WATERPROOF SYSTEM COMPLYING WITH AS 3740
- WATERPROOFING OF WET AREAS
 - THE BUILDING INCLUDING STRUCTURAL MEMBERS SHALL BE PROTECTED AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS 3660.1
A DURABLE NOTICE MUST BE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT POSITION
SHOWING METHOD OF PROTECTION , DATE OF INSTALLATION & SYSTEM, INSTALLER DETAILS, MANUFACTURERS RECOMMENDATIONS FOR THE SCOPE
& FREQUENCY OF FUTURE INSPECTIONS AND TERMITE ACTIVITY
WHERE CHEMICAL BARRIER USED, NOTICE TO INCLUDE ITS LIFE EXPECTANCY AS LISTED ON THE NATIONAL REGISTRATION AUTHORITY LABEL,
INCLUDING THE NEED TO MAINTAIN AND INSPECT THE SYSTEM ON A REGULAR BASIS.
 - ALL PLUMBING WORKS TO BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA (PCA), THE NEW SOUTH WALES
CODE OF PRACTICE FOR PLUMBING & DRAINAGE 2006 (NSW PLUMBING CODE) & AS/NZS 3500
 - WATER TEMPERATURE TO ALL OUTLETS (EXCLUDING LAUNDRY & KITCHEN) NOT TO EXCEED 50° C
 - ROOF WATER TO BE COLLECTED BY EAVES GUTTER AND DISCHARGED TO DOWNPIPES TO RAIN WATER TANK/S, AND TO LOCAL COUNCIL STORMWATER
SYSTEM
 - ALL INTERNAL WALLS (U.N.O.) TO BE 90mm TIMBER STUD FRAMED LINED WITH 10mm GYPROCK PLASTERBOARD CD INTERNALLY
(OR SELECTED LINING) AND 10mm GYPROCK AQUACHECK PLASTERBOARD TO WET AREAS

NOTE:
The Builder shall check all dimensions and levels on the site
prior to construction and notify any errors, discrepancies
or omissions to the Building Designer.
Refer to written dimensions only. Do not scale drawings.
Drawings shall not be used for construction purposes
until issued for construction
Contractors to confirm all measurements on site and
location of any services prior to work commencement.
All documents are subject to Australian Copyright Law.



**Preferred Design
& Drafting**

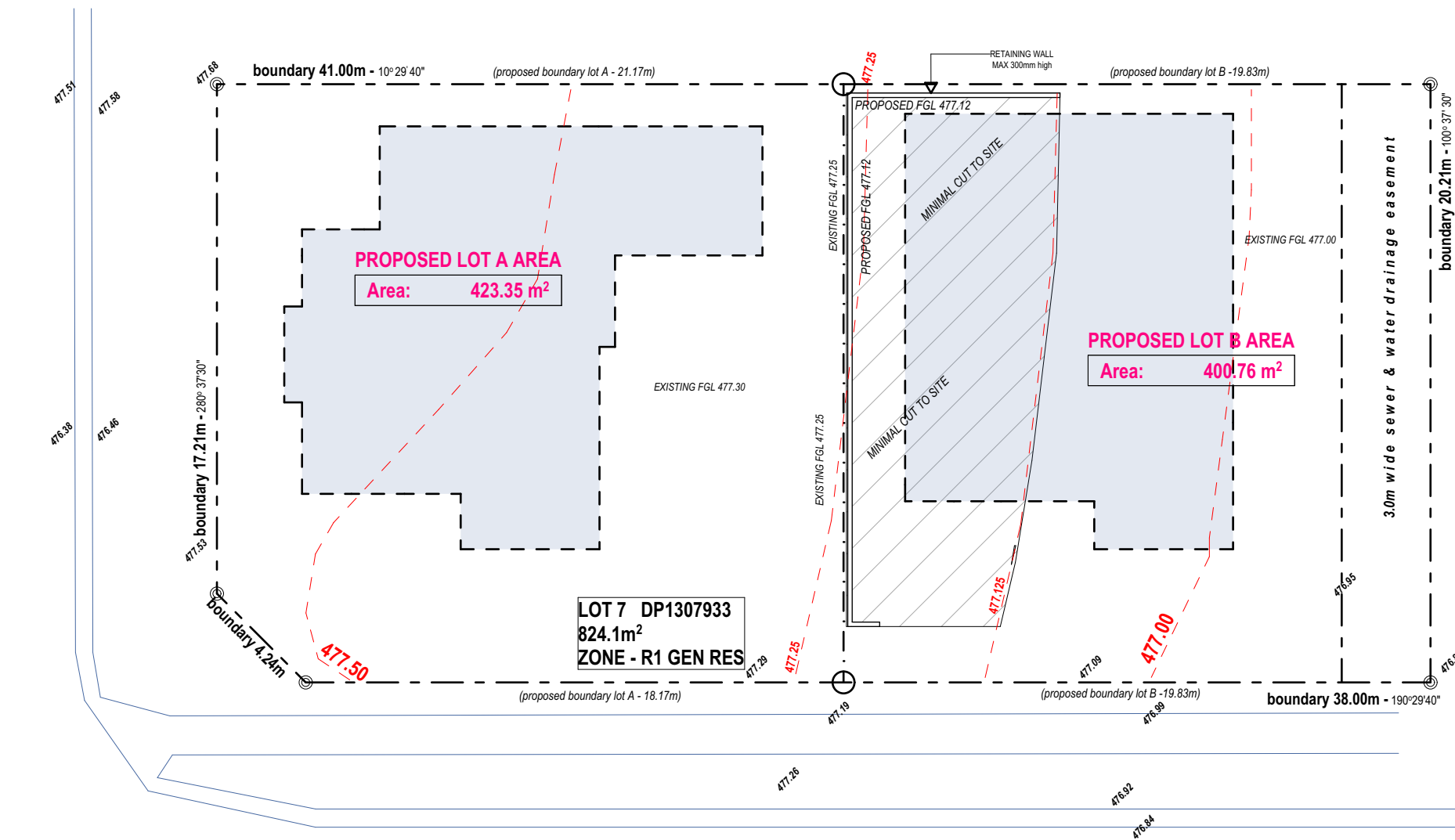
30 Lewis Street
Mudgee NSW 2850
ph: 0263724397 Mob: 0429600160
email: marian@preferred-design.com.au



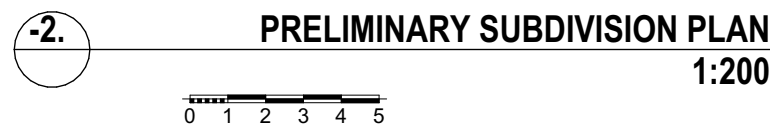
ACCREDITED CHARTERED MEMBER OF BUILDING DESIGNERS AUSTRALIA
- ACCREDITATION No: 6077

DRAWING No:
01

PROJECT No:
112.24



MARSHFIELD LANE



- NOTES:**
1. Site works are not to start until the erosion and sediment control measures are installed and functional.
 2. Entry and departure of vehicles is to be confined to the stabilised site access.
 3. Topsoil is to be stripped and stockpiled for later use in landscaping the site. Topsoil is to be re-spread and all disturbed areas rehabilitated (turfed) within 20 working days of completion.
 4. The footpath, other than the stabilised site access is not to be disturbed, including stockpiling of materials. Where essential works (eg. drainage) are required, the footpath is to be rehabilitated (turfed) as soon as possible.
 5. Bins are to be provided for building waste and arrangements are to be made for regular collection and disposal.
 6. Roof guttering is to be connected to the stormwater system as soon as practicable.
 7. All erosion controls are to be checked daily (at a minimum weekly) and after all rain events to ensure they are maintained in fully functional condition.

- EROSION CONTROL NOTES:**
1. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION
 2. ALL TREES ARE TO BE RETAINED (IF APPLICABLE) UNLESS INDICATED OTHERWISE. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS, PAVEMENTS, ETC.
 3. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADDED WATER, TO COUNCIL STANDARDS
 4. NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATER ACT.
 5. TOPSOIL SHALL BE STRIPPED ON STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE RE-VEGETATED.
 6. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES. ALL SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT.
- THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE UNTIL ALL DISTURBED AREAS ARE RE-VEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL

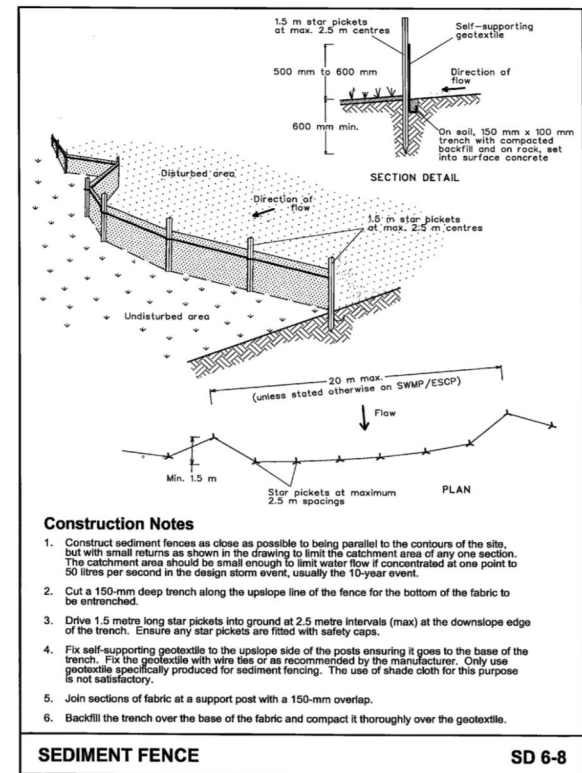
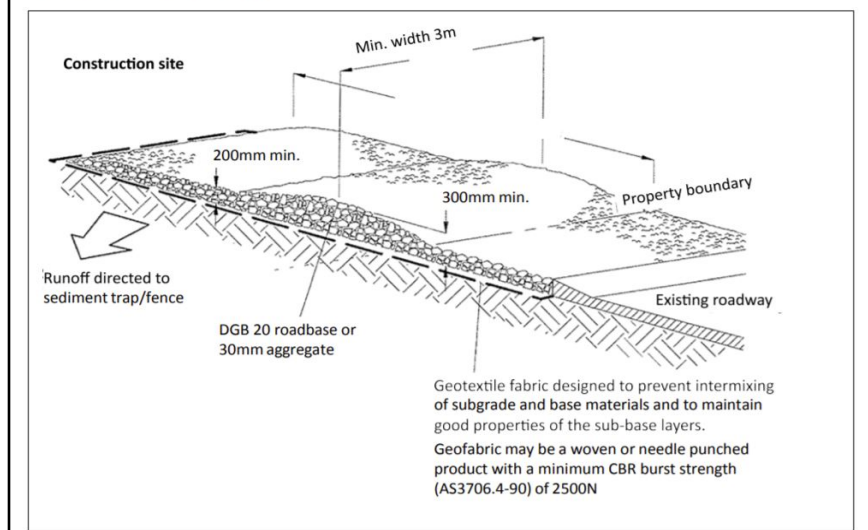


Figure 1: Stabilised Access Point



DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

NOTE:
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All boundaries and contours are subject to survey. All levels to AHD. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site
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C	24.2.25	DEV APP SUBMISSION
B	14.12.24	PRE DA SUBMISSION
A	1.10.24	PRELIMINARY
ISSUE	DATE	DESCRIPTION

BUILDING CLASSIFICATION: 1a



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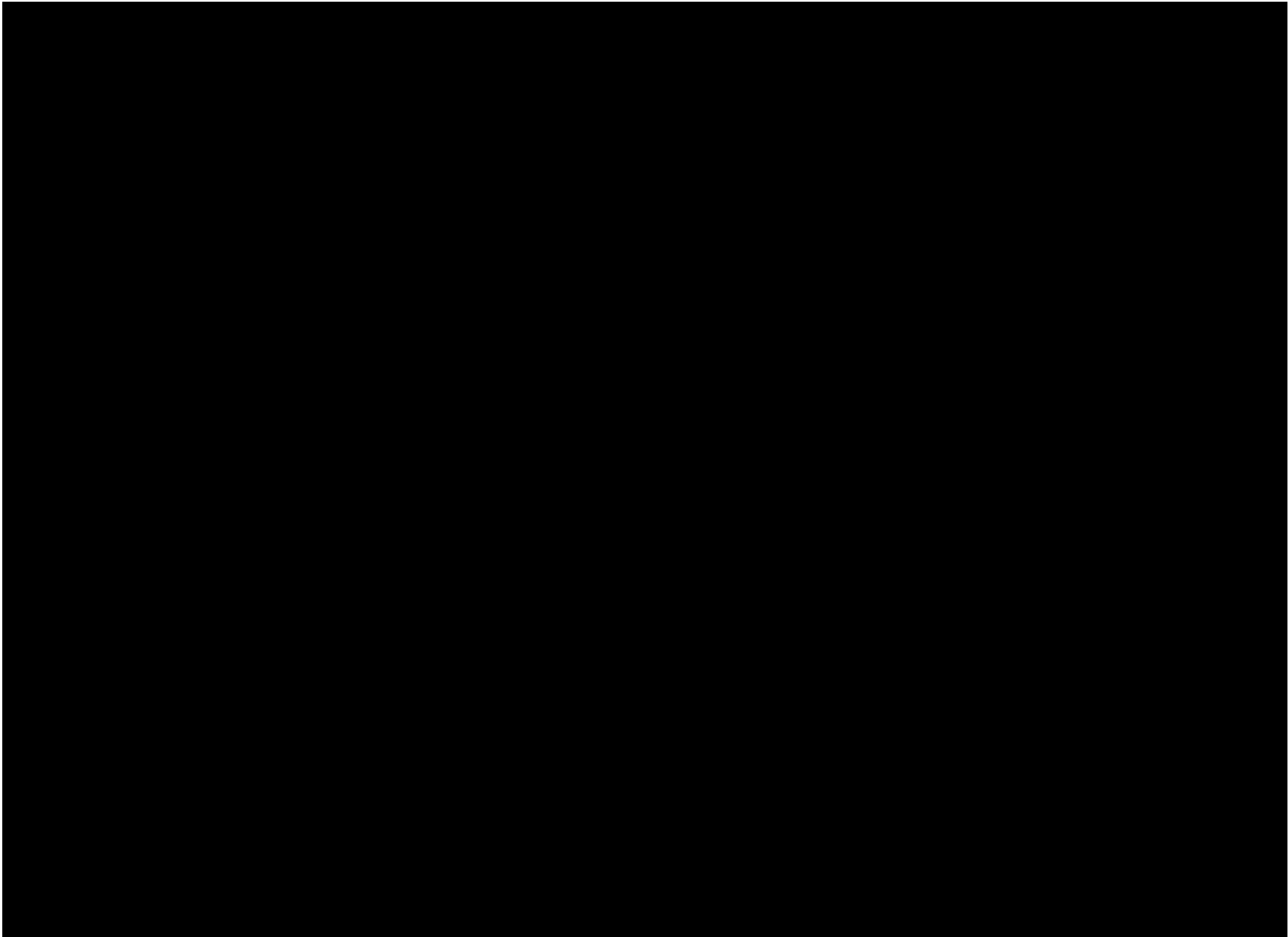
D.P. NUMBER: 1307933
SITE AREA: 824.1 m2
DATE: 24.2.25
DRAWN: M Palmer
SCALE: 1:100, 1:200, UNO

CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY

SITE ADDRESS:
No 8 - (LOT 7) MARSHFIELD LANE MUDGEE 2850

SHEET DESCRIPTION:
PRELIMINARY SUBDIVISION PLAN, E.C. PLAN

DRAWING No:
03
PROJECT No:
112.24



0.

DWELLING 1 - FLOOR PLAN
1:100



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A	1.10.24	PRELIMINARY
ISSUE	DATE	DESCRIPTION

BUILDING CLASSIFICATION: 1a



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SCALE: 1:100, 1:200, UNO

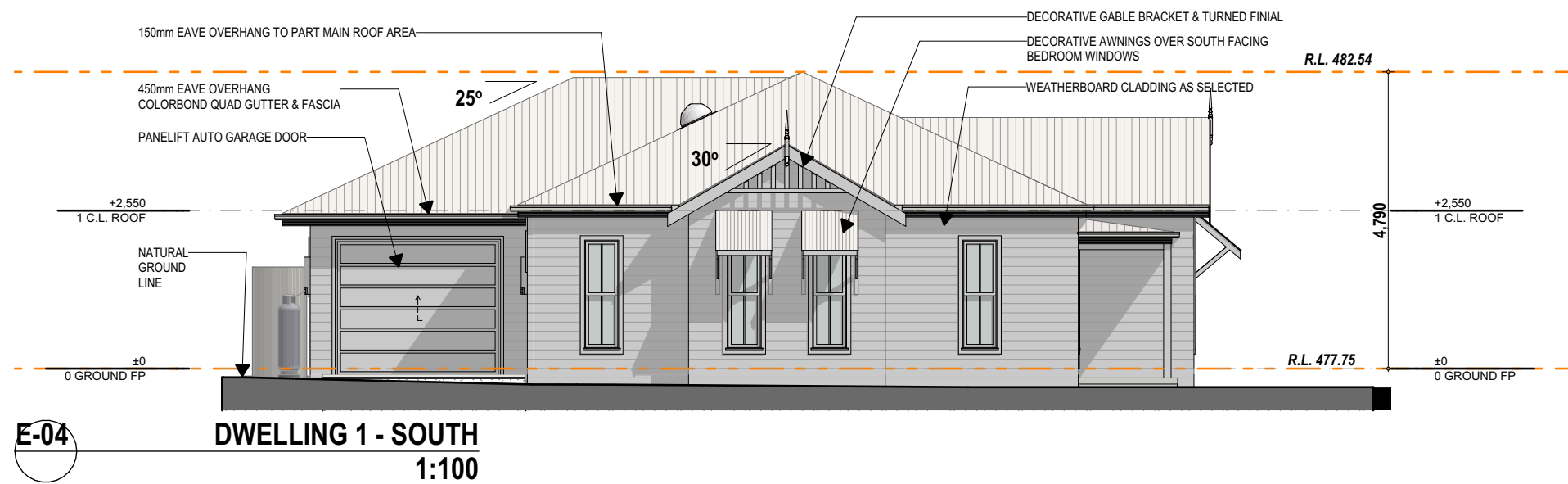
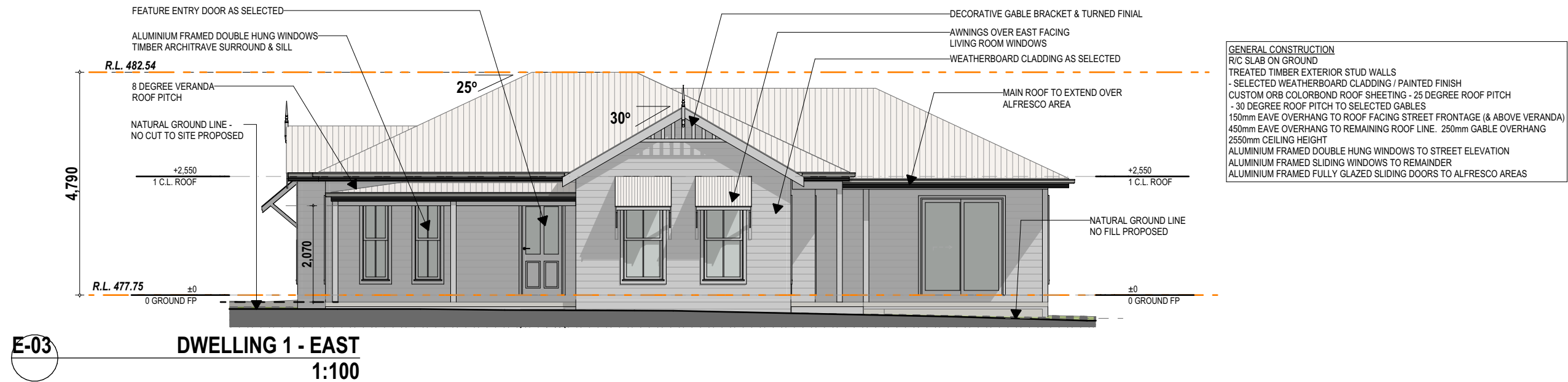
CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY

SITE ADDRESS:
No 8 - (LOT 7) MARSHFIELD LANE MUDGEE 2850

SHEET DESCRIPTION:
DWELLING 1 - FLOOR PLAN

DRAWING No:
04

-
PROJECT No:
112.24



DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

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ISSUE	DATE	DESCRIPTION
C	24.2.25	DEV APP SUBMISSION
B	14.12.24	PRE DA SUBMISSION
A	1.10.24	PRELIMINARY

BUILDING CLASSIFICATION: 1a



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AUSTRALIA

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DRAWN: M Palmer
SCALE: 1:100, 1:200, UNO

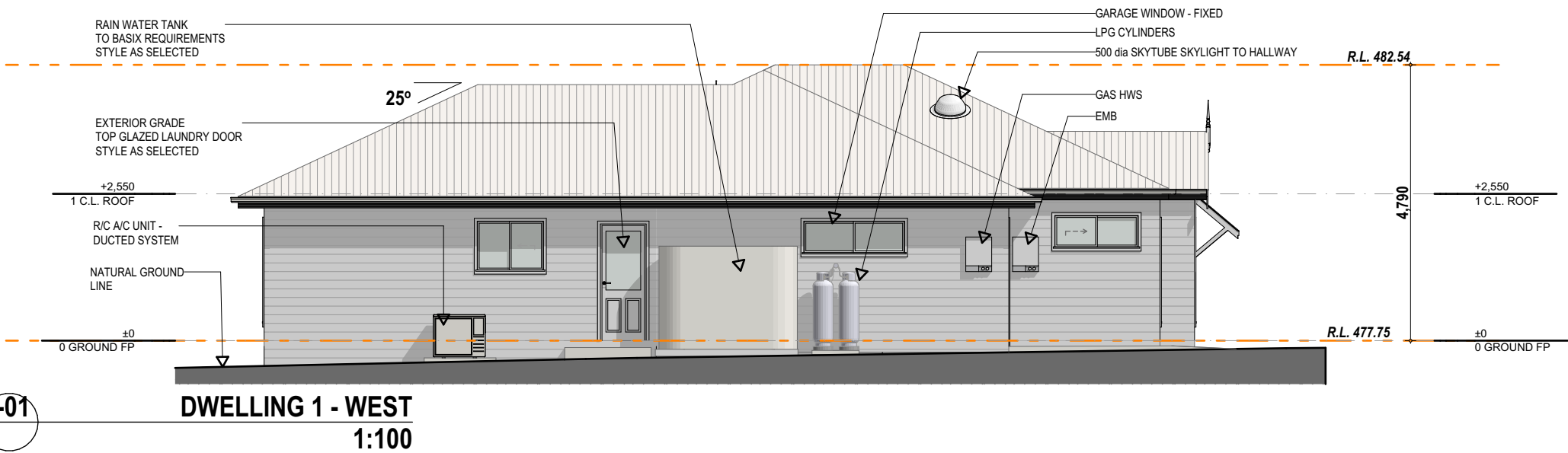
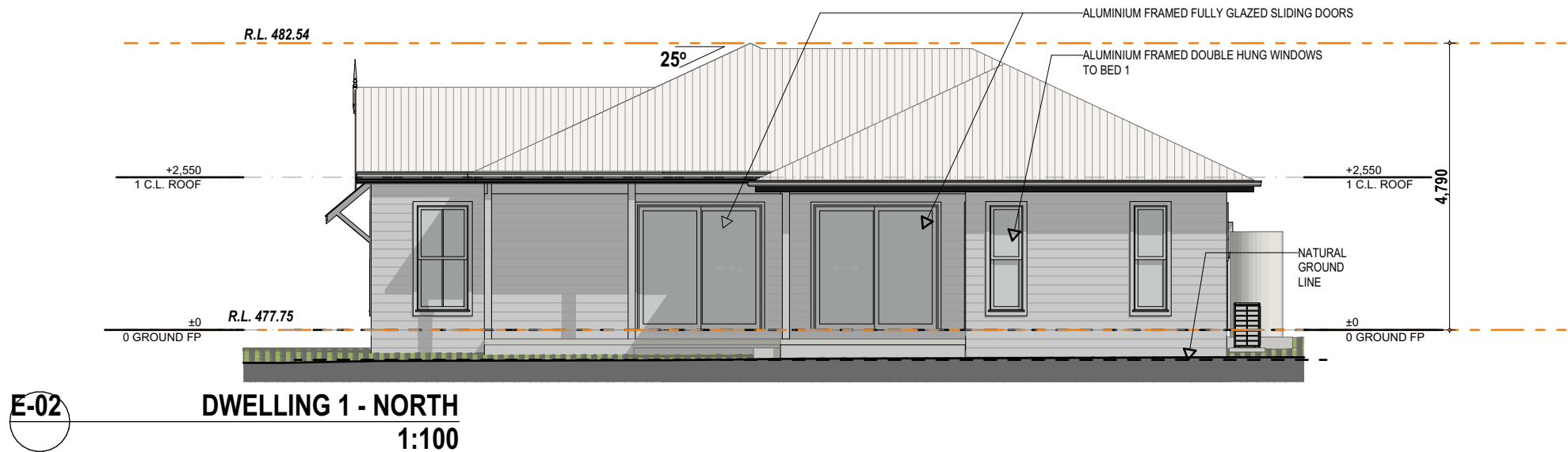
CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY

SITE ADDRESS:
No 8 - (LOT 7) MARSHFIELD LANE MUDGEE 2850

SHEET DESCRIPTION:
DWELLING 1 - ELEVATIONS

DRAWING No:
05

PROJECT No:
112.24



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ISSUE	DATE	DESCRIPTION
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B	14.12.24	PRE DA SUBMISSION
A	1.10.24	PRELIMINARY

BUILDING CLASSIFICATION: 1a



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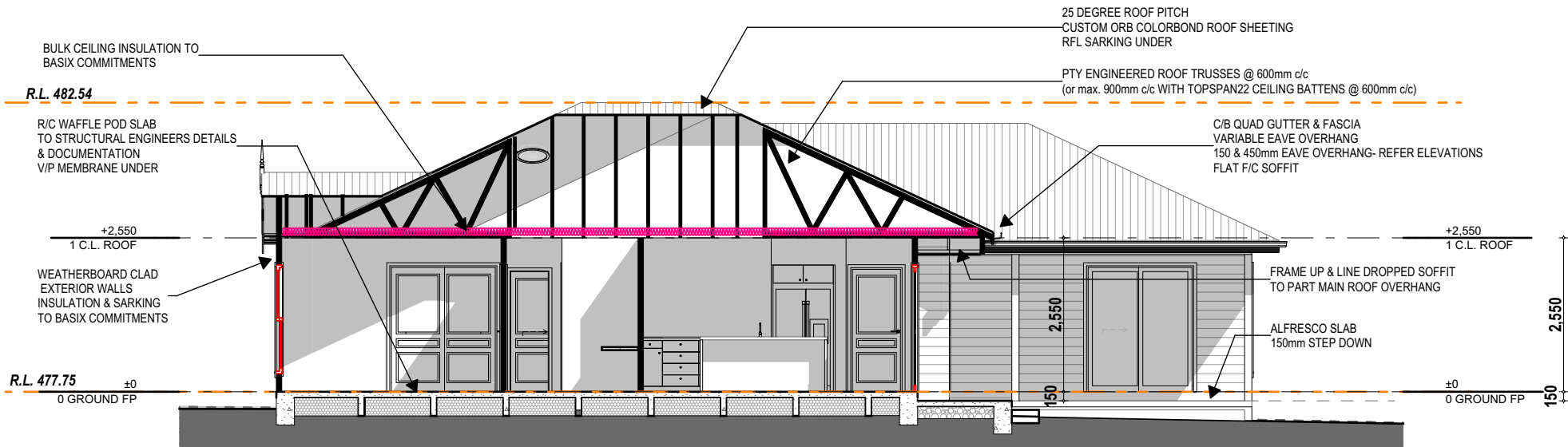
D.P. NUMBER: 1307933
SITE AREA: 824.1 m2
DATE: 24.2.25
DRAWN: M Palmer
SCALE: 1:100, 1:200, UNO

CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY

SITE ADDRESS:
No 8 - (LOT 7) MARSHFIELD LANE MUDGEE 2850

SHEET DESCRIPTION:
DWELLING 1 - ELEVATIONS

DRAWING No:
06
PROJECT No:
112.24

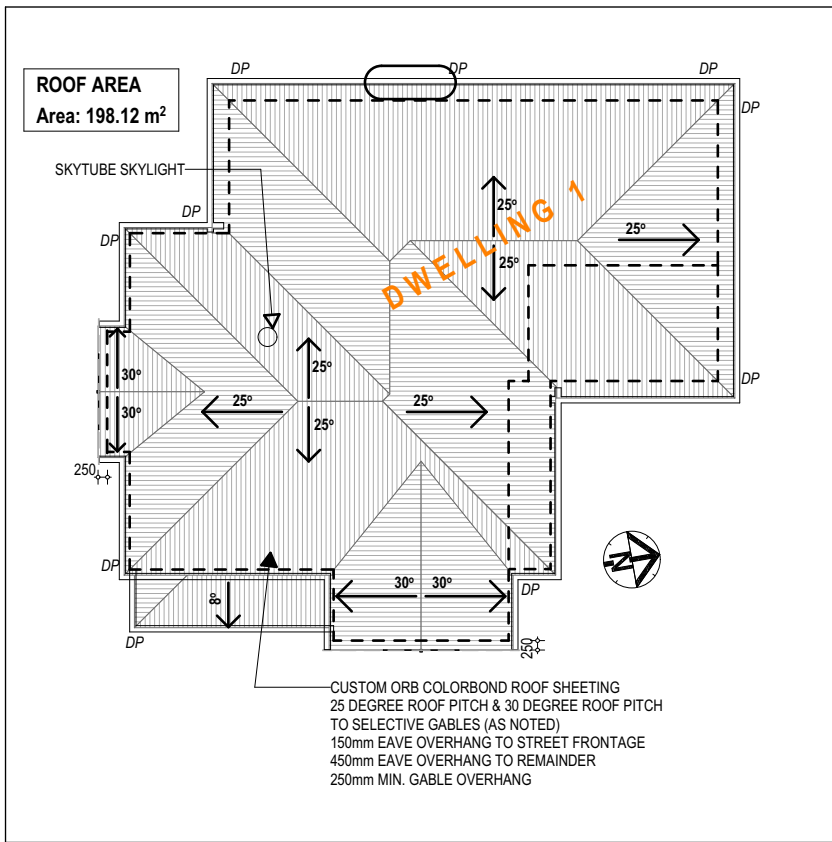


GENERAL NOTES & CONSTRUCTION NOTES:

1. ALL SITE LEVELS AND CONDITIONS, AND SERVICES TO SITE TO BE CHECKED AND CONFIRMED WITH RELEVANT AUTHORITIES. ALL NOTIFICATIONS TO BE PROVIDED IN ADVANCE AND ALL REQUIRED APPROVALS OBTAINED.
2. ALL WALL FRAMING & TRUSS CONSTRUCTION TO BE H2 TREATED AND TO **AS 1684** & NOMINATED TRUSS & FRAME MANUFACTURERS ENGINEERED SPECIFICATIONS INCLUDING ALL BRACING & TIE DOWN REQUIREMENTS,
3. ALL INTERIOR WALLS TO BE 90mm H2 TREATED TIMBER STUDWORK LINED WITH 10mm GYPROCK CONTROLLED DENSITY PLASTERBOARD AND GYPROCK AQUACHECK PLASTERBOARD TO ALL WET AREAS
4. ALL WET AREAS TO BE PROTECTED BY REQUIRED WATERPROOFING SYSTEM TO **AS3740** - WETSEAL OR EQUIVALENT
5. WHOLE OF BUILDING TO BE PROTECTED AGAINST TERMITES TO **AS 3660.1**. A PERMANENTLY FIXED DURABLE NOTICE TO BE INSTALLED IN A PROMINENT POSITION NOTING THE METHOD OF RISK MANAGEMENT, THE DATE OF INSTALLATION & MANUFACTURERS RECOMMENDATIONS.
6. ALL ROOF WATER TO BE COLLECTED BY EAVE GUTTERS AND DISCHARGED VIA DOWNPIPES TO RAINWATER TANK/S. ALL OVERFLOW TO BE CONNECTED TO STREET KERB & LOCAL LOCAL AUTHORITY STORMWATER INFRASTRUCTURE.
7. R/C SLAB TO STRUCTURAL ENGINEERS DETAILS & **AS 2870 - 2011**

S-01

DWELLING 1 - SECTION A
1:100



1.

DWELLING 1 - ROOF PLAN
1:200

DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

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ISSUE	DATE	DESCRIPTION
C	24.2.25	DEV APP SUBMISSION
B	14.12.24	PRE DA SUBMISSION
A	1.10.24	PRELIMINARY

BUILDING CLASSIFICATION: 1a



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- ACCREDITATION No: 6077

D.P. NUMBER: 1307933
SITE AREA: 824.1 m2
DATE: 24.2.25
DRAWN: M Palmer
SCALE: 1:100, 1:200, UNO

CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY

SITE ADDRESS:
No 8 - (LOT 7) MARSHFIELD LANE MUDGEE 2850

SHEET DESCRIPTION:
DWELLING 1 - SECTION, ROOF PLAN

DRAWING No:
07

PROJECT No:
112.24

Single Dwelling

Certificate number: 1783312S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 12 February 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project address	
Project name	112.24 A
Street address	8 MARSHFIELD Lane MUDGEE 2850
Local Government Area	Mid-Western Regional Council
Plan type and plan number	Deposited Plan DP1307933
Lot no.	7
Section no.	-
Project type	
Project type	dwelling house (detached)
No. of bedrooms	3
Site details	
Site area (m²)	423
Roof area (m²)	198
Conditioned floor area (m²)	99.94
Unconditioned floor area (m²)	12.62
Total area of garden and lawn (m²)	200
Roof area of the existing dwelling (m²)	0

Project summary		
Project name	112.24 A	
Street address	8 MARSHFIELD Lane MUDGEE 2850	
Local Government Area	Mid-Western Regional Council	
Plan type and plan number	Deposited Plan DP1307933	
Lot no.	7	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	3	
Project score		
Water	✔ 35	Target 30
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 64	Target 61
Materials	✔ -18	Target n/a

Assessor details and thermal loads		
Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/ m²·year)	n/a	
Area adjusted heating load (MJ/ m²·year)	n/a	
Project score		
Water	✔ 35	Target 30
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 64	Target 61
Materials	✔ -18	Target n/a

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, waffle pod slab.	129	nil;not specified	nil	
garage floor - concrete slab on ground.	23	none	nil	
external wall: framed (solid or reconstituted timber weatherboard); frame: timber - H2 treated softwood.	all external walls	3.00 (or 3.50 including construction);fibreglass batts or roll + reflective foil in the cavity	nil	wall colour: Light (solar absorptance < 0.48)
internal wall shared with garage: plasterboard; frame: timber - H2 treated softwood.	24.36	1.08 (or 1.50 including construction);fibreglass batts or roll	nil	
internal wall: plasterboard; frame: timber - H2 treated softwood.	87.22	none	nil	
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood.	198	ceiling: 5 (up), roof: foil/ sarking ;ceiling: fibreglass batts or roll; roof: foil/sarking.	nil	roof space ventilation: unventilated; roof colour: medium (solar absorptance 0.6-0.7); ceiling area fully insulated

Energy Commitments
Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.
Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4 star (cold zone)
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4 star (cold zone)
Heating system
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4 star (cold zone)
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4 star (cold zone)
Ventilation
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a
Artificial lighting
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Natural lighting
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.
Other
The applicant must install a fixed outdoor clothes drying line as part of the development.

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					
W01	1800.00	900.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	eave 250 mm, 385 mm above head of window or glazed door	not overshadowed
W02	2100.00	2100.00	aluminium, double glazed (U-value: <=3.0, SHGC: >0.6)	solid overhang 1330 mm, 200 mm above head of window or glazed door	not overshadowed
W03	2100.00	2100.00	aluminium, double glazed (U-value: <=3.0, SHGC: >0.6)	solid overhang 5530 mm, 175 mm above head of window or glazed door	not overshadowed
W04	1800.00	600.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	eave 550 mm, 230 mm above head of window or glazed door	not overshadowed
W05	1800.00	600.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	eave 550 mm, 230 mm above head of window or glazed door	not overshadowed
East facing					
W06	2100.00	1800.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	solid overhang 3640 mm, 175 mm above head of window or glazed door	not overshadowed
W07	1800.00	900.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	awning (fixed) 750 mm, 1400 mm above base of window or glazed door	not overshadowed
W08	1800.00	900.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	awning (fixed) 750 mm, 1400 mm above base of window or glazed door	not overshadowed
W09	2100.00	920.00	timber, single glazed (U-value: <=4.0, SHGC: >0.4)	verandah 1650 mm, 1920 mm above base of window or glazed door	not overshadowed
W10	1800.00	600.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	verandah 1650 mm, 1620 mm above base of window or glazed door	not overshadowed
W11	1800.00	600.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	verandah 1650 mm, 1620 mm above base of window or glazed door	not overshadowed
South facing					
W12	1800.00	600.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	eave 250 mm, 385 mm above head of window or glazed door	not overshadowed
W13	1800.00	600.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	awning (fixed) 750 mm, 1500 mm above base of window or glazed door	not overshadowed
W14	1800.00	600.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	awning (fixed) 750 mm, 1500 mm above base of window or glazed door	not overshadowed
W15	1800.00	600.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	eave 250 mm, 385 mm above head of window or glazed door	not overshadowed
West facing					
W16	2040.00	820.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	eave 250 mm, 385 mm above head of window or glazed door	not overshadowed
W17	900.00	1200.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	eave 250 mm, 385 mm above head of window or glazed door	not overshadowed

DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

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BUILDING CLASSIFICATION: 1a

C	24.2.25	DEV APP SUBMISSION
B	14.12.24	PRE DA SUBMISSION
A	1.10.24	PRELIMINARY
	ISSUE DATE	DESCRIPTION



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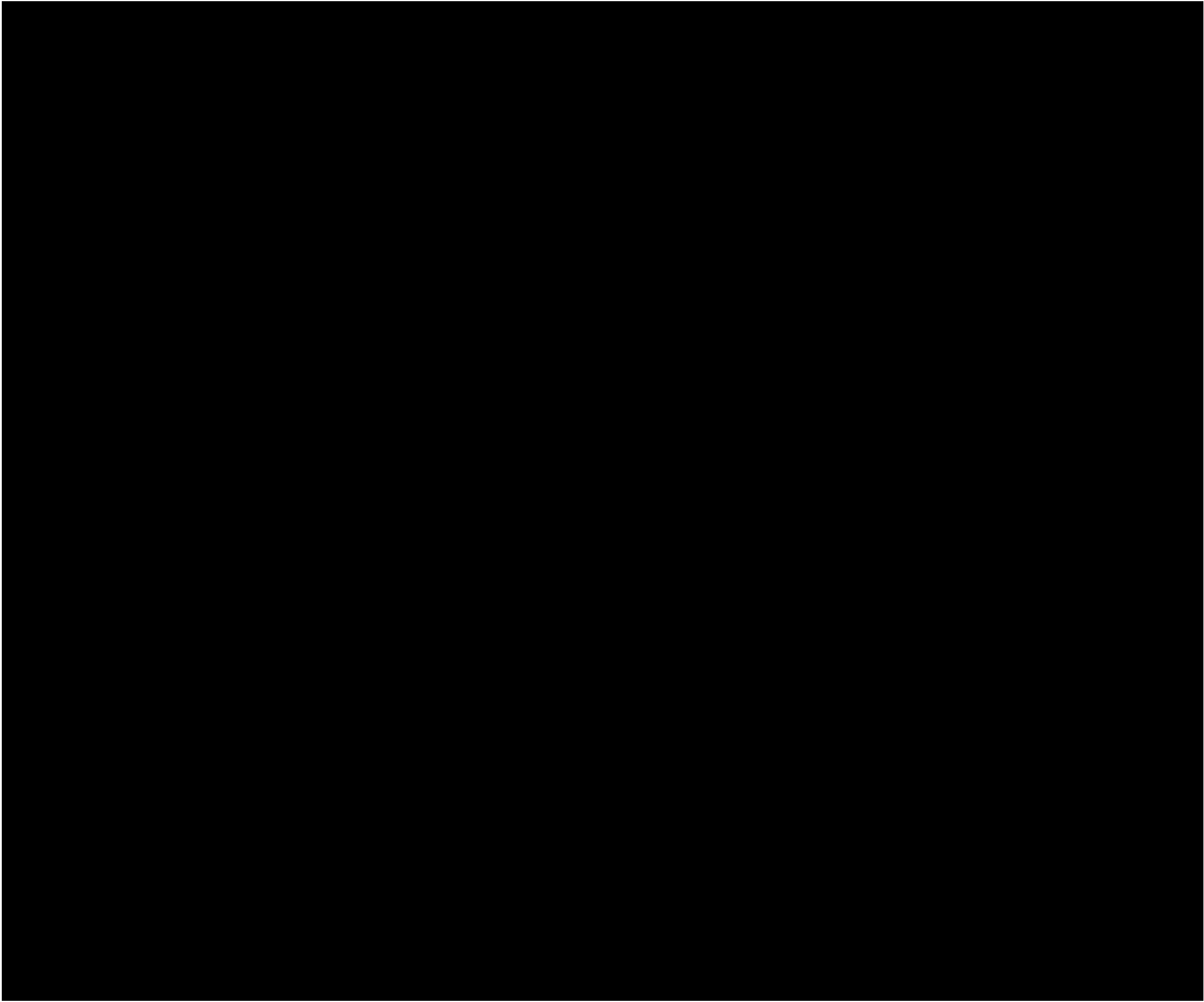


ACCREDITED CHARTERED MEMBER OF
BUILDING DESIGNERS AUSTRALIA
-ACCREDITATION No: 6077



D.P. NUMBER: 1307933
SITE AREA: 824.1 m²
DATE: 24.2.25
DRAWN: M Palmer
SCALE: 1:100, 1:200, UNO
DRAWING No: 08
PROJECT No: 112.24

CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY
SITE ADDRESS:
No 8 - (LOT 7) MARSHFIELD LANE MUDGEE 2850
SHEET DESCRIPTION:
DWELLING 1 - BASIX COMMITMENTS



0.

DWELLING 2 - FLOOR PLAN

1:100



DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

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C	24.2.25	DEV APP SUBMISSION
B	14.12.24	PRE DA SUBMISSION
A	1.10.24	PRELIMINARY
ISSUE	DATE	DESCRIPTION

BUILDING CLASSIFICATION: 1a



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- ACCREDITATION No: 6077

D.P. NUMBER: 1307933
SITE AREA: 824.1 m2
DATE: 24.2.25
DRAWN: M Palmer
SCALE: 1:100, 1:200, UNO

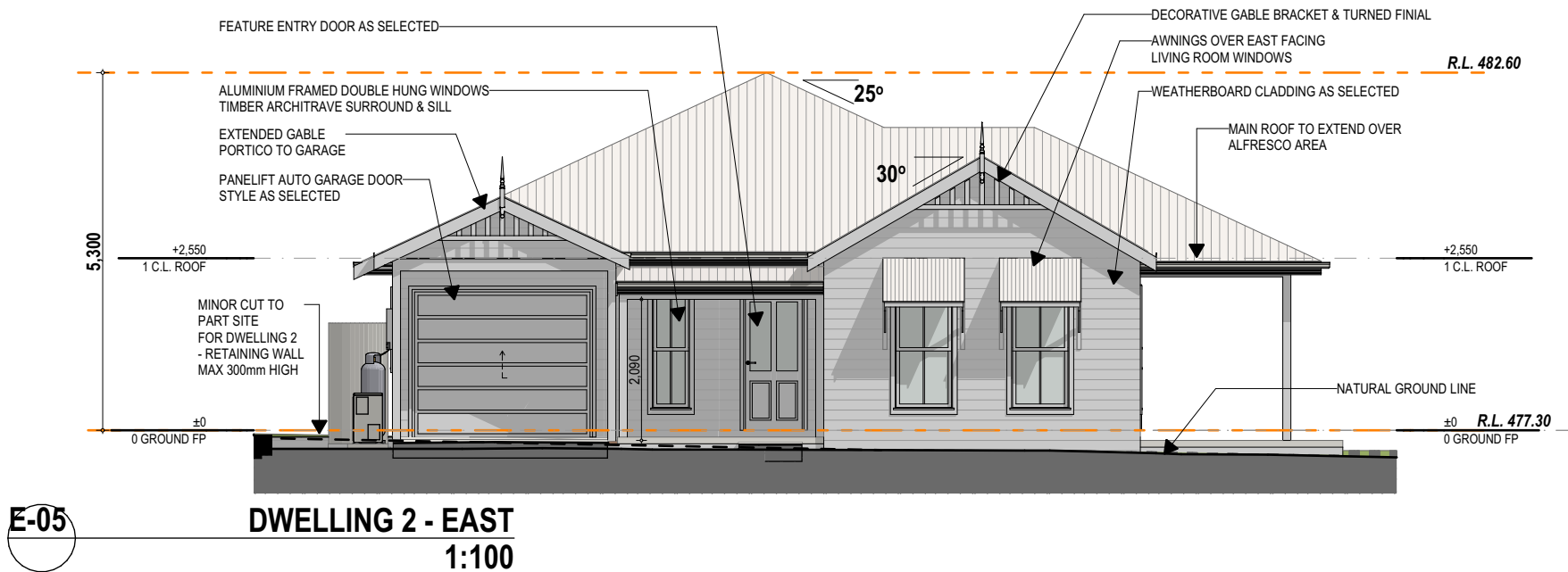
CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY

SITE ADDRESS:
No 8 - (LOT 7) MARSHFIELD LANE MUDGEE 2850

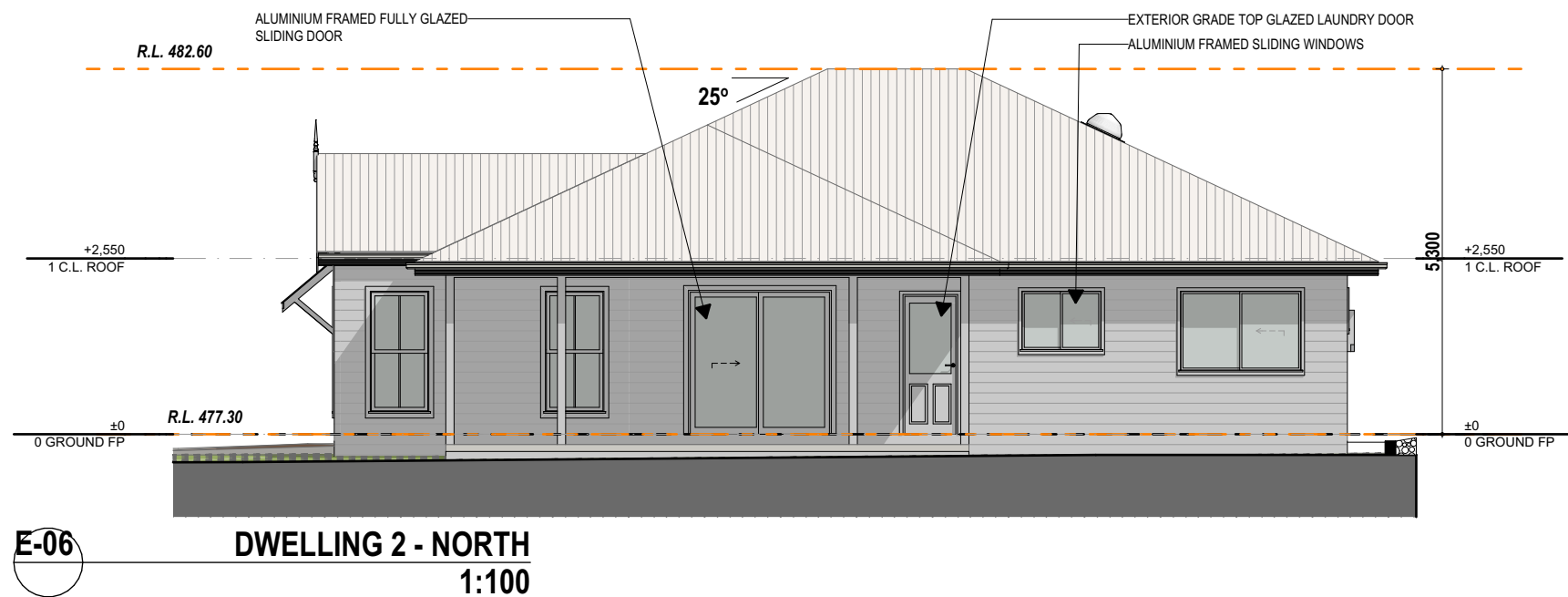
SHEET DESCRIPTION:
DWELLING 2 - FLOOR PLAN

DRAWING No:
09

-
PROJECT No:
112.24



GENERAL CONSTRUCTION
R/C SLAB ON GROUND
TREATED TIMBER EXTERIOR STUD WALLS
- SELECTED WEATHERBOARD CLADDING / PAINTED FINISH
CUSTOM ORB COLORBOND ROOF SHEETING - 25 DEGREE ROOF PITCH
- 30 DEGREE ROOF PITCH TO SELECTED GABLES
150mm EAVE OVERHANG TO ROOF FACING STREET FRONTAGE (& ABOVE VERANDA)
450mm EAVE OVERHANG TO REMAINING ROOF LINE. 250mm GABLE OVERHANG
2550mm CEILING HEIGHT
ALUMINIUM FRAMED DOUBLE HUNG WINDOWS TO STREET ELEVATION
ALUMINIUM FRAMED SLIDING WINDOWS TO REMAINDER
ALUMINIUM FRAMED FULLY GLAZED SLIDING DOORS TO ALFRESCO AREAS



DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

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ISSUE	DATE	DESCRIPTION
C	24.2.25	DEV APP SUBMISSION
B	14.12.24	PRE DA SUBMISSION
A	1.10.24	PRELIMINARY

BUILDING CLASSIFICATION: 1a



bda BUILDING DESIGNERS AUSTRALIA

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email: marian@preferred-design.com.au



ACCREDITED CHARTERED MEMBER OF BUILDING DESIGNERS AUSTRALIA
- ACCREDITATION No: 6077

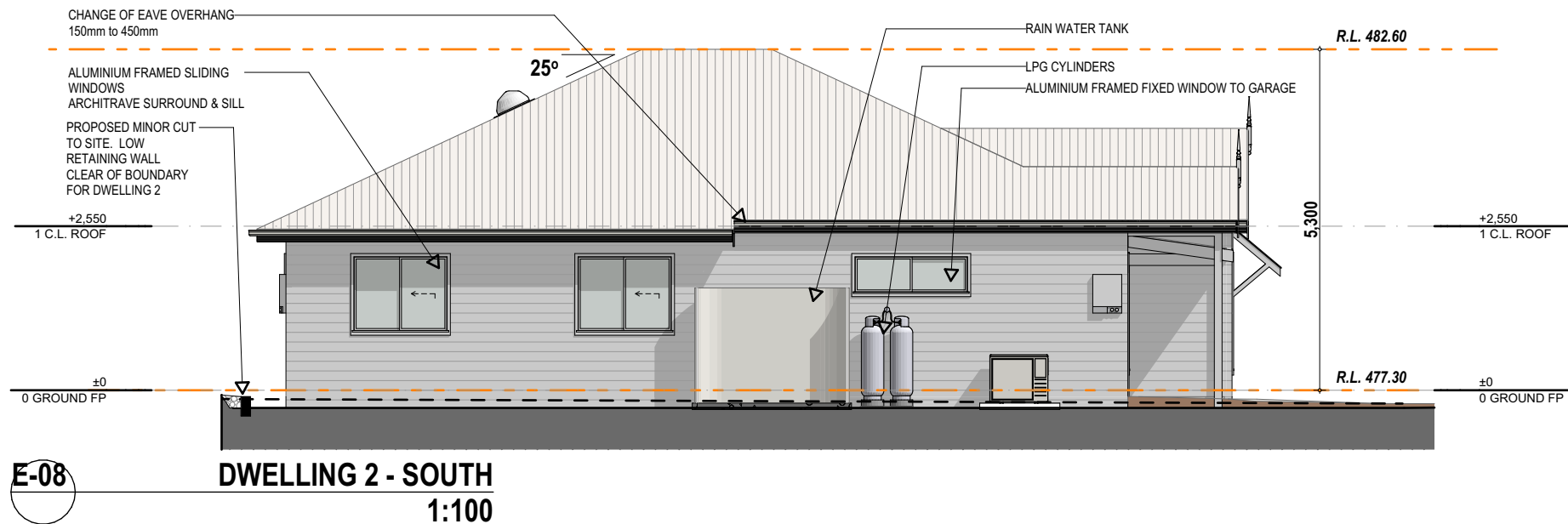
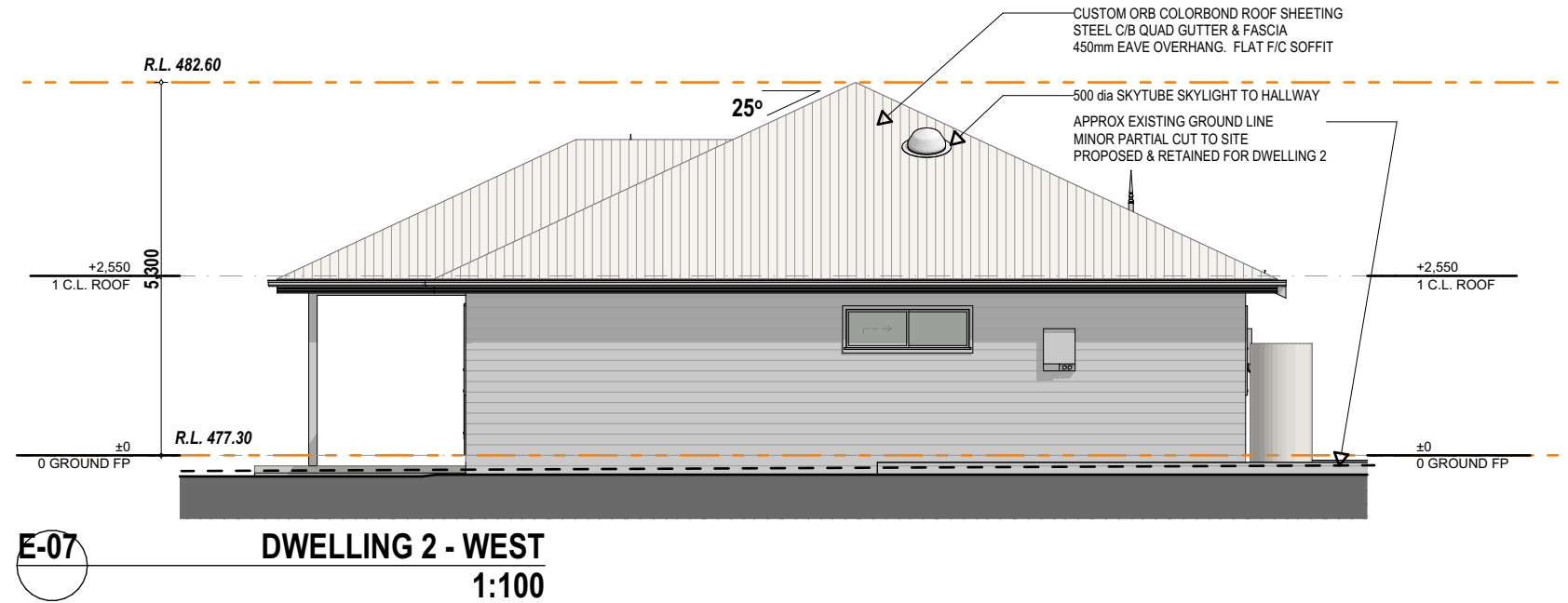
D.P. NUMBER: 1307933
SITE AREA: 824.1 m2
DATE: 24.2.25
DRAWN: M Palmer
SCALE: 1:100, 1:200, UNO

CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY

SITE ADDRESS:
No 8 - (LOT 7) MARSHFIELD LANE MUDGEЕ 2850

SHEET DESCRIPTION:
DWELLING 2 - ELEVATIONS

DRAWING No:
10
PROJECT No:
112.24



DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

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ISSUE	DATE	DESCRIPTION
C	24.2.25	DEV APP SUBMISSION
B	14.12.24	PRE DA SUBMISSION
A	1.10.24	PRELIMINARY

BUILDING CLASSIFICATION: 1a



bda BUILDING DESIGNERS AUSTRALIA

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ACCREDITED CHARTERED MEMBER OF BUILDING DESIGNERS AUSTRALIA
- ACCREDITATION No: 6077

D.P. NUMBER: 1307933
SITE AREA: 824.1 m2
DATE: 24.2.25
DRAWN: M Palmer
SCALE: 1:100, 1:200, UNO

CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY

SITE ADDRESS:
No 8 - (LOT 7) MARSHFIELD LANE MUDGEE 2850

SHEET DESCRIPTION:
DWELLING 2 - ELEVATIONS

DRAWING No:
11

PROJECT No:
112.24

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 13 February 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project address	
Project name	112.24B (Copy 01)
Street address	8 MARSHFIELD Lane MUDGEES 2850
Local Government Area	Mid-Western Regional Council
Plan type and plan number	Deposited Plan DP1307933
Lot no.	7
Section no.	-
Project type	
Project type	dwelling house (detached)
No. of bedrooms	3
Site details	
Site area (m²)	401
Roof area (m²)	200
Conditioned floor area (m²)	99.87
Unconditioned floor area (m²)	12.11
Total area of garden and lawn (m²)	205
Roof area of the existing dwelling (m²)	0

Project summary		
Project name	112.24B (Copy 01)	
Street address	8 MARSHFIELD Lane MUDGEES 2850	
Local Government Area	Mid-Western Regional Council	
Plan type and plan number	Deposited Plan DP1307933	
Lot no.	7	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	3	
Project score		
Water	✔ 34	Target 30
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 64	Target 61
Materials	✔ -16	Target n/a

Assessor details and thermal loads		
NatHERS assessor number	n/a	
NatHERS certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/ m²·year)	n/a	
Area adjusted heating load (MJ/ m²·year)	n/a	
Project score		
Water	✔ 34	Target 30
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 64	Target 61
Materials	✔ -16	Target n/a

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, waffle pod slab.	129.08	nil;not specified	nil	
garage floor - concrete slab on ground.	23.37	not specified	nil	
external wall: framed (solid or reconstituted timber weatherboard); frame: timber - H2 treated softwood.	all external walls	3.00 (or 3.50 including construction);fibreglass batts or roll + reflective foil in the cavity	nil	wall colour: Medium (solar absorptance 0.48-0.7)
internal wall shared with garage: plasterboard; frame: timber - H2 treated softwood.	27.33	1.08 (or 1.50 including construction);fibreglass batts or roll	nil	
internal wall: plasterboard; frame: timber - H2 treated softwood.	73.6	none	nil	
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood.	200	ceiling: 5 (up), roof: foil/ sarking ;ceiling: fibreglass batts or roll; roof: foil/sarking.	nil	roof space ventilation: unventilated; roof colour: medium (solar absorptance 0.6-0.7); ceiling area fully insulated

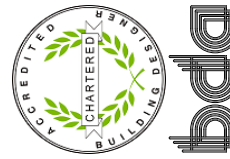
Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					
W01	1800.00	900.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	eave 250 mm, 350 mm above head of window or glazed door	not overshadowed
W02	1800.00	900.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	solid overhang 2330 mm, 215 mm above head of window or glazed door	not overshadowed
W03	2100.00	2100.00	aluminium, double glazed (U-value: <=3.0, SHGC: >0.6)	solid overhang 2330 mm, 215 mm above head of window or glazed door	not overshadowed
W04	2100.00	820.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	solid overhang 2330 mm, 215 mm above head of window or glazed door	not overshadowed
W05	900.00	1200.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	eave 550 mm, 250 mm above head of window or glazed door	not overshadowed
W06	1200.00	1800.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	eave 550 mm, 250 mm above head of window or glazed door	not overshadowed
East facing					
W07	1800.00	900.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	awning (fixed) 750 mm, 1500 mm above base of window or glazed door	not overshadowed
W08	1800.00	900.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	awning (fixed) 750 mm, 1500 mm above base of window or glazed door	not overshadowed
W09	2040.00	920.00	timber, single glazed (U-value: <=4.0, SHGC: >0.4)	verandah 1600 mm, 1900 mm above base of window or glazed door	not overshadowed
South facing					
W11	1200.00	1500.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	eave 550 mm, 215 mm above head of window or glazed door	not overshadowed
W12	1200.00	1500.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	eave 550 mm, 215 mm above head of window or glazed door	not overshadowed
West facing					
W13	600.00	1800.00	aluminium, single glazed (U-value: <=3.5, SHGC: >0.74)	eave 550 mm, 215 mm above head of window or glazed door	not overshadowed

Energy Commitments	
Hot water	
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	
Cooling system	
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4 star (cold zone)	
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4 star (cold zone)	
Heating system	
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4 star (cold zone)	
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4 star (cold zone)	
Ventilation	
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a	
Artificial lighting	
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Natural lighting	
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	
Other	
The applicant must install a fixed outdoor clothes drying line as part of the development.	

DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

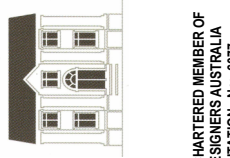
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BUILDING CLASSIFICATION: 1a		ISSUE DATE		DESCRIPTION	
C	24.2.25	DEV APP SUBMISSION	B	14.12.24	PRE DA SUBMISSION
A	1.10.24	PRELIMINARY			



Preferred Design & Drafting
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email: mardan@preferred-design.com.au

BUILDING DESIGNERS AUSTRALIA
ACCREDITED CHARTERED MEMBER OF
- ACCREDITATION No: 6077



D.P. NUMBER: 1307933
SITE AREA: 824.1 m²
DATE: 24.2.25
DRAWN: M Palmer
SCALE: 1:100, 1:200, UNO
DRAWING No: 13
PROJECT No: 112.24

CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY
SITE ADDRESS: No 8 - (LOT 7) MARSHFIELD LANE MUDGEES 2850
SHEET DESCRIPTION: DWELLING 2 - BASIX COMMITMENTS

WINDOW LIST						WINDOW LIST						WINDOW LIST					
ID	Unit Dimensions		ELEVATION	GENERAL NOTES	SQ M AREA	ID	Unit Dimensions		ELEVATION	GENERAL NOTES	SQ M AREA	ID	Unit Dimensions		ELEVATION	GENERAL NOTES	SQ M AREA
	Height	Width					Height	Width					Height	Width			
W-1-01	1,800	600		DWELLING 1 - ALUM FRAMED DOUBLE HUNG	1.08	W-1-10	600	1,500		DWELLING 1 - ALUM FRAMED SLIDING - OBSCURE GLAZING	0.90	W-2-05	1,800	900		DWELLING 2 - ALUM FRAMED DOUBLE HUNG	1.62
W-1-02	1,800	600		DWELLING 1 - ALUM FRAMED DOUBLE HUNG	1.08	W-1-11	1,800	600		DWELLING 1 - ALUM FRAMED DOUBLE HUNG - OBSCURE GLAZING	1.08	W-2-06	900	1,200		DWELLING 2 - ALUM FRAMED SLIDING - OBSCURE GLAZING	1.08
W-1-03	1,800	900		DWELLING 1 - ALUM FRAMED DOUBLE HUNG	1.62	W-1-12	1,800	600		DWELLING 1 - ALUM FRAMED DOUBLE HUNG	1.08	W-2-07	1,200	1,800		DWELLING 2 - ALUM FRAMED SLIDING	2.16
W-1-04	1,800	900		DWELLING 1 - ALUM FRAMED DOUBLE HUNG	1.62	W-1-13	1,800	600		DWELLING 1 - ALUM FRAMED DOUBLE HUNG	1.08	W-2-08	600	1,800		DWELLING 2 - ALUM FRAMED SLIDING - OBSCURE GLAZING	1.08
W-1-05	1,800	900		DWELLING 1 - ALUM FRAMED DOUBLE HUNG	1.62	W-1-14	1,800	600		DWELLING 1 - ALUM FRAMED DOUBLE HUNG	1.08	W-2-09	1,200	1,500		DWELLING 2 - ALUM FRAMED SLIDING	1.80
W-1-06	1,800	600		DWELLING 2 - ALUM FRAMED DOUBLE HUNG	1.08	W-2-01	1,800	600		DWELLING 2 - ALUM FRAMED DOUBLE HUNG	1.08	W-2-10	1,200	1,500		DWELLING 2 - ALUM FRAMED SLIDING	1.80
W-1-07	1,800	600		DWELLING 2 - ALUM FRAMED DOUBLE HUNG	1.08	W-2-02	1,800	900		DWELLING 2 - ALUM FRAMED DOUBLE HUNG	1.62	W-2-11	600	1,800		DWELLING 2 - ALUM FRAMED FIXED	1.08
W-1-08	900	1,200		DWELLING 1 - ALUM FRAMED SLIDING - OBSCURE GLAZING	1.08	W-2-03	1,800	900		DWELLING 2 - ALUM FRAMED DOUBLE HUNG	1.62						
W-1-09	600	1,800		DWELLING 1 - ALUM FRAMED FIXED	1.08	W-2-04	1,800	900		DWELLING 2 - ALUM FRAMED DOUBLE HUNG	1.62						



WINDOW LIST - DWELLING 1 & 2

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C	24.2.25	DEV APP SUBMISSION
B	14.12.24	PRE DA SUBMISSION
A	1.10.24	PRELIMINARY
ISSUE	DATE	DESCRIPTION

BUILDING CLASSIFICATION: 1a



Preferred Design & Drafting

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ACCREDITED CHARTERED MEMBER OF BUILDING DESIGNERS AUSTRALIA
- ACCREDITATION No: 6077

D.P. NUMBER: 1307933
SITE AREA: 824.1 m2
DATE: 24.2.25
DRAWN: M Palmer
SCALE: 1:100, 1:200, UNO

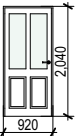
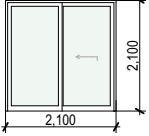
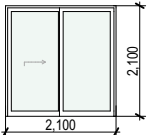
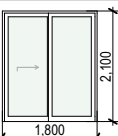
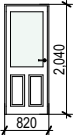
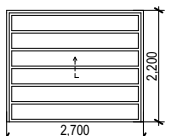
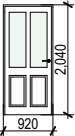
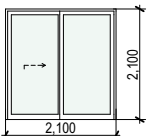
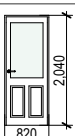
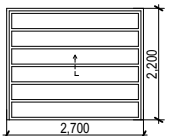
CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY

SITE ADDRESS:
No 8 - (LOT 7) MARSHFIELD LANE MUDGEE 2850

SHEET DESCRIPTION:
DWELLING 1 & 2 - WINDOW LIST

DRAWING No:
14

PROJECT No:
112.24

DOOR LIST					
ID	Unit Dimensions		ELEVATION	GENERAL NOTES	SQ M AREA
	Height	Width			
D-1-01	2,040	920		DWELLING 1 - FEATURE ENTRY DOOR - STYLE AS SELECTED	1.88
D-1-02	2,100	2,100		DWELLING 1 - ALUM FRAMED FULLY GLAZED SLIDING DOOR	4.41
D-1-03	2,100	2,100		DWELLING 1 - ALUM FRAMED FULLY GLAZED SLIDING DOOR	4.41
D-1-04	2,100	1,800		DWELLING 1 - ALUM FRAMED FULLY GLAZED SLIDING DOOR	3.78
D-1-05	2,040	820		DWELLING 1 - EXT GRADE TOP GLAZED LAUNDRY DOOR	1.67
D-1-06	2,200	2,700		DWELLING 1 - GARAGE PANELIFT DOOR - AUTO OPENING - STYLE AS SELECTED	5.94
D-2-01	2,040	920		DWELLING 2 - FEATURE ENTRY DOOR - STYLE AS SELECTED	1.88
D-2-02	2,100	2,100		DWELLING 2 - ALUM FRAMED FULLY GLAZED SLIDING DOOR	4.41
D-2-03	2,040	820		DWELLING 2 EXT GRADE TOP GLAZED LAUNDRY DOOR	1.67
D-2-04	2,200	2,700		DWELLING 2 - GARAGE PANELIFT DOOR- AUTO OPENING - STYLE AS SELECTED	5.94

EXTERIOR DOOR LIST - DWELLING 1 & 2

DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

NOTE:
Builder to check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing to be used only for the site lot as noted.
All boundaries and contours are subject to survey. All levels to AHD. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site
All documents are subject to Australian Copyright Law.

C	24.2.25	DEV APP SUBMISSION
B	14.12.24	PRE DA SUBMISSION
A	1.10.24	PRELIMINARY
ISSUE	DATE	DESCRIPTION

BUILDING CLASSIFICATION: 1a



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ACCREDITED CHARTERED MEMBER OF BUILDING DESIGNERS AUSTRALIA
- ACCREDITATION No: 6077

D.P. NUMBER: 1307933
SITE AREA: 824.1 m2
DATE: 24.2.25
DRAWN: M Palmer
SCALE: 1:100, 1:200, UNO

CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY

SITE ADDRESS:
No 8 - (LOT 7) MARSHFIELD LANE MUDGEE 2850

SHEET DESCRIPTION:
DWELLING 1 & 2 - DOOR LIST

DRAWING No:
15
PROJECT No:
112.24

General Notes

ALL WORKS shall be carried out in accordance with the NCC Building Code of Australia, Australian Standards, Local Council requirements, guidelines and all other relevant by laws and authorities. In particular refer Australian standards:

- AS 1288 - GLASS IN BUILDINGS - SELECTION & INSTALLATION
- AS 1562 - DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING
- AS 1684 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION
- AS 2047 - INSTALLATION & SELECTION OF WINDOWS
- AS 2870 - RESIDENTIAL SLABS & FOOTINGS
- AS 2904 - DAMP PROOF COURSES AND FLASHINGS
- AS 3500 - PLUMBING & DRAINAGE
- AS 3600 - CONCRETE STRUCTURES
- AS 3660 - TERMITE MANAGEMENT
- AS 3740 - WATERPROOFING OF DOMESTIC WET AREAS
- AS 3786 - SMOKE ALARMS
- AS 4055 - WIND LOADING FOR HOUSING
- AS 4678 - EARTH RETAINING STRUCTURES
- AS 5146 - REINFORCED AUTOCLAVED AERATED CONCRETE

CONSULTANTS: Drawings shall be read in conjunction with engineers drawings and computations. All structure to Engineers design. All drawings to be co-ordinated with consultant documentation prior to construction.

DIMENSIONS: Do not scale off drawings - use figured dimensions only. Contractor shall verify all dimensions on site prior to construction. Any discrepancies or errors shall be referred to the builder and client prior to installation or manufacture of any works. Confirm levels and RL's on site prior to commencement of work.

SETOUT: Contractor to confirm exact siting and orientation prior to construction setout. All building setout and confirmation of setbacks and height to be carried out by a Licensed Surveyor. No footing, or wall to encroach the title boundary.

TERMITE PROTECTION: Termite protection to be in accordance with A.S. 3660.1 and installed in strict accordance with current manufacturers specifications.

STRUCTURAL STEEL: Unless noted otherwise all exposed structural steel, anchor bolts and other attachments shall be hot dip

galvanised. A cold gal painted finish shall be applied to any field welding to existing or new steelwork. All steel work cast in concrete footings or slab shall have a bitumen finish applied to full extent of cast in concrete steel. Check all dimensions on site prior to fabrication of steelwork.

RETAINING WALLS: All retaining walls to ply engineered manufacturers specifications or to structural engineers details. Provide rubble backfill and agg drainage to all retaining walls. Builder to provide tanking if or where required.

SLAB & FOOTINGS: All footings to structural engineers details. A moisture barrier shall be installed under any habitable concrete slab to BCA, Australian Standards and manufacturer's requirements.

ARTICULATION JOINTS: Provide articulation joints to comply with CSR Hebel Design & Installation Specifications

EROSION CONTROLS: All building works to comply with local authorities Erosion and Sediment control standards.

WATERPROOFING: All wet areas and walls to be waterproofed in accordance with the NCC BCA Part 3.8.1 & AS 3740. Wall finishes shall be impervious to a minimum height of 1800mm above floor level to shower enclosures and minimum 150mm above baths, basins & sinks. Builder to provide certificate of installation and compliance.

CONCEALMENT OF SERVICES: All services shall be concealed in walls or ducts. Where services are exposed they must be confirmed and approved on site prior to installation unless noted otherwise.

LICENSED TRADESPERSONS: All services to be installed by licensed tradespersons in accordance with local authority and with current manufacturers specifications.

ALL PRODUCTS: To be installed to manufacturers requirements and to be in accordance with manufacturers requirements for suitable exposure levels.

PROPRIETARY ITEMS: Identification of a proprietary item does not necessarily imply exclusive preference for the item so identified, but indicates the necessary properties of the item. If alternatives are proposed, confirm selections with owner including available technical information, reasons for proposed substitutions and cost.

TILES: Expansion joints, walls: 5mm. Floors: 8mm. Fill both with silicone rubber. Grout for wall: Epoxy based mildew resistant. Grout for floors: prepared grout to be acid resistant, all wall tiles to have fc substrate.

GLAZING: Glazing shall be installed to a size,type & thickness to comply with NCC BCA Part 3.6 for Class 1 & 10 buildings within a design wind speed of not more than N3. Safety glass to be used in the following cases: i) All rooms - within 500mm vertical of the floor ii) Bathrooms - within 2000mm of the floor iii) Laundry - within 1200mm vertical from floor and / or within 300mm horizontal from all doors iv) Doonway - within 300mm horizontal from doors Shower Screens shall be Grade A Safety Glass

INTERNAL PAINTING: Unless noted otherwise paint system to be Dulux approved 3 coat system - low sheen finish. Colours to be supplied by owner during contract and applied as per Dulux's recommendations and guidelines.

JOINERY ITEMS SHALL INCLUDE: Manufactured casework items, including: cabinets and cupboards.

APPLIANCES & EQUIPMENT: Builder to co-ordinate all appliance and equipment locations on site and with joiner. Installation and final connection by the contractor.

DOCUMENTATION: The contractor shall carry out works in accordance with the signed drawings and specifications and anything reasonable inferred and with the Conditions of Contract. The drawings and specifications/schedules shall be considered complementary, and any work and/or materials absent from one but present or implied in the other shall be furnished as if they were present in both.

GENERAL NOTES CONTINUED

FIXINGS, TIE DOWN AND BRACING: The contractor must ensure that all fixings, brackets and the like are compatible materials prior to procurement / installation. All bracing and tie down connections are in accordance with AS1684 and any other relevant codes and legislation, and to nominated truss & frame manufacturers engineered documentation and specifications. Refer to AS1684 for the required fixing type as nominated (nominal or specific). All linings and claddings that are used for bracing purposes need to be fixed according to the manufacturer's requirements to achieve the nominated bracing requirements.

EXISTING SITE CONDITIONS: All existing elements have been shown indicatively. The Contractor shall inspect the site to fully understand the scope of works. Contractors are to inform themselves of existing site conditions and services. The Contractors Tender amount shall be deemed to include the cost of dealing with existing conditions and services. The existence of which was ascertainable from the appropriate authority, or from visual inspection on or adjacent to the site; or which are shown on the Drawings or described in the Specification.

PRESERVATIVES AND TREATMENT: All Structural timbers to be treated with suitable preservatives and to an appropriate hazard level for their intended environment which will meet the required design life expectancy of 50 years.

FINAL CERTIFICATE: At completion of work, Builder to obtain and supply an Occupation Certificate from Principal Certifying Authority.

Excavation Notes

FOOTING EXCAVATION: Ensure building is correctly set-out prior to excavation. All earthworks in accordance with NCC BCA Part 3.1.1

EXTENT: Excavation and cut & fill as noted on the Architectural Drawings for Proposed Dwelling. Site cut & levels indicated are preliminary only and to be checked on site before work commencement. Retaining walls required.

SITE SURFACE: Excavate over the site to give correct levels and profiles as the basis for construction, paving, filling, landscaping and the like. Make allowance for compaction and settlement.

LANDSCAPING: Grade to minimum falls of 1:20 away from buildings within 1200 of building perimeter and 1:100 elsewhere unless noted otherwise. Negate surface water discharging on to neighbouring properties.

REQUIREMENT OF DETAILED EXCAVATION: Excavate to the Contract depths and extent necessary to accomodate all foundation elements and any formwork, blinding concrete, working spaces and waterproofing processes.

LANDSCAPING: Landscaping scope of works and finishes to be confirmed by client prior to final quotation

TRIM: Trim bottom of all excavations as necessary to attain the required levels, grades and profiles of the finished work.

BATTERS: In accordance with NCC BCA Part 3.1.

Hydraulic Notes

ALL WORKS shall be carried out in accordance with the following requirements:

- The Plumbing and Drainage Act 2002
- AS 3500 - 2003
- The Local Authority
- Any other authority have jurisdiction over any part of the works.
- All subterranean services to be located prior to construction.

EXISTING SITE CONDITIONS: The Contractor shall attend to existing services. Contractors are to inform themselves of existing site conditions and plumbing services before work commencement.

DESIGN LEVELS: Design Levels shall be confirmed on site, prior to commencing installation of any pipework. Levels shown on drawings are recommended only. It shall be the Contractors responsibility to ensure that correct grades are attained at site.

RAINWATER DRAINAGE: Allow to connect all new rainwater drainage downpipes etc., to the existing stormwater drainage system.

RAINWATER GOODS: Refer to documentation for specification and finish. Unless otherwise noted: new roofing sheeting, ridge cappings and valley flashings shall be metal with a colorbond finish. downpipes to be metal colorbond (min 0.5mm guage). Unless otherwise noted: new gutters, gutter spikes, barge rolls; new metal wall cladding; associated flashings and cappings shall be metal with any "colorbond" finish nominated by the Designer.

MATERIALS: Water services shall be in accordance with Australian Standards.

COVER PLATES: Provide Cover Plates at all wall & floor penetrations.

SANITARY PLUMBING: Sanitary plumbing shall be UPVC Class HD with solvent weld joints and shall be laid at a minimum grade of 1:60 unless noted otherwise. Connect sanitary plumbing to council sewer in accordance with authority requirements.

INSULATION: All hot water lines shall be fully insulated.

DIAL BEFORE YOU DIG: It is the contractors responsibility to contact "Dial Before You Dig" Phone 1100 for the location of existing public utilities prior to excavation.

ENCASING OF UNDERGROUND SERVICES: All underground water and fire services shall be encased in 100mm of sand.

Hydraulic Notes

AUTHORITIES FEES AND CHARGES: The Contractor shall allow to pay all authorities fees & charges associated with new connections.

CONTRACTOR: To provide necessary flashings to windows and openings. Plumbing to be carried by a licenced plumber and in accordance with the requirement of local authorities. The contractor shall be responsible for all permits and approvals. All hot water lines shall be fully insulated. Sanitary Plumbing shall be connected to existing system with materials approved by the local authority. Builder and Sub-contractor to ensure all stormwater drains and sewer pipes are located at sufficient distance from any building footings and/or slab edge beams to prevent moisture penetration, dampness, weakening or undermining to the structure .

HOT WATER SUPPLY: All domestic hot water to basins, showers and baths to have maximum temperature of 50°C. Allow to supply and install tempering valves where required, as nominated in the NCC BCA and relevant standards

Electrical Notes

SUPPLY: Electrical contractor to provide phased supply to main switchboard and assess maximum demand to AS3000.

DISTRIBUTION BOARD: Provide new distribution board if required. All electrical outlets shall be protected by overcurrent/earth leakage circuit breakers in accordance with Australian Standards.

WIRING: Electrical conductors and wiring used for electrical services shall be in accordance with NCC BCA and Australian standards. All wiring shall be concealed where possible. Where exposed wiring is unavoidable, wiring must be concealed within suitable conduit.

ARTIFICIAL LIGHTING: Provide a system of artificial lighting to comply with AS1680 to all rooms not naturally lit.

LIGHTING: All luminaires shall be ceiling mounted unless otherwise required by owner. If provided, refer to the schematic electrical plan for mounting heights of exterior wall mounted luminaires and layout of luminaires as indicated on reflected ceiling drawing. All fluorescent lamps shall be cool white unless requested otherwise

FINAL LOCATIONS: If provided, refer to drawings for specific locations of accessories.

ELECTRICAL INSTALLATION: includes:

- installation of distribution switchboard (if required)
- light and power installation
- light fittings, sub circuit wiring and lighting accessories
- socket outlets, special purpose power and subcircuit cabling
- installation of circuits for air conditioning
- installation of circuits and connection of all equipment (eg kitchen equipment)
- supply and installation of new outlet + wiring to roof mounted tv antenna.

ELECTRICAL ACCESSORIES: includes: switches and powerpoints. unless otherwise noted all controls, switches and powerpoints shall be "pure white ". light switches - 1200 above floor level unless noted otherwise and located as per electrical layouts

ROOFTOP ANTENNA: All new relevant outlets to be wired to antenna.

NETWORK & DATA: All phone networks and data points to be min cat6 cable connected to wall sockets. Cable runs to be concealed. If provided refer to electrical layouts for locations.

SWITCHES: Some light switches may require dimmers. Confirm with client prior to final quotation.

Joinery Notes

JOINERY ITEMS SHALL INCLUDE: Manufactured casework items, including: cabinets and cupboards.

APPLIANCES & EQUIPMENT: Builder to co-ordinate all appliance and equipment locations on site and with joiner. Installation and final connection by the contractor. Joiner to confirm all appliance and equipment tolerances and requirements in joinery prior to fabrication.

SITE MEASURE: All joinery to be site measured once linings are in place. Confirm any discrepancies prior to fabrication.

Fire Safety

GENERAL: Fire safety in accordance with part 3.7 of the NCC BCA

SMOKE ALARMS: In accordance with part 3.7.5 of the BCA & A.S 3786 to be hard wired to consumer supply.Smoke detectors to be of the type with alarms wired together and having a battery back-up

FIRE ALARM INSTALLATION: Install smoke detection, in the area affected by the works, to suit the requirements of AS1670 and the BCA. Provide any additional detection to areas to allow for compliance with AS1670 and the NCC BCA.

BUILDER: To provide electricians installation certificate.

Energy Efficiency

WORKS: In accordance with BCA Environmental guidelines.

LUMINAIRES: All lamps to luminaires shall be energy efficient lamps to suit specific luminaire

EXTERNAL WALL: In accordance with BCA Environmental guidelines. Installed as per manufacturers instructions. All external walls to have vapour permeable sarking. Weatherproof seals to all external doors.

NEW ROOF: In accordance with NCC BCA Environmental guidelines. Installed as per manufacturers instructions.

TIMBER FLOORS: (Where applicable) In accordance with NCC BCA Environmental guidelines. Installed as per manufacturers instructions.

All exposed timber floors to have required insulation to underside as per Basix Certificate .

LIGHT & VENTILATION: In accordance with parts 3.8.4 and 3.8.5 of the NCC BCA plus relevant A.S

SOUND: Insulation in accordance with part 3.8.6 of the NCC BCA

NOTES

- Measurements are in millimeters unless otherwise stated
- Do not scale from drawings
- All measurements to be checked on site by the Builder before commencing construction
- All construction is to be approved & built in accordance with Engineers & local council Approval & specification.
- Ground levels to be Taken on site by the builder
- All plumbing shall comply with the requirements of the relevant supply authority and carried out by a licence plumber
- All Construction to comply with the latest NCC / Housing Provisions Standard and as Noted:

Part H1 - Structure	
H1D1	Deemed-to-Satisfy Provisions
H1D2	Structural Provisions to comply with H1D3 to H1D12 of the NCC 2022
H1D3	Site Preparation - Earthworks, Retaining & Termite Risk Management Earth works to comply with Part 3.2 of the ABCB Housing Provision Standard 2022 Termite Risk Management to comply with Part 3.4 of the ABCB Housing Provision Standard 2022 Earth retaining structures to comply with AS4678
NSW H1D4	Footings & Slabs to comply with AS 2870 except clause 5.3.3.1
H1D5	Masonry to comply with AS 3700 with the exceptions listed in (4) and (5)
H1D6	Framing to comply with AS 1684 Design of timber structures to comply with AS 1720.1. Design of nailplated timber roof trusses to comply with AS 1720.5. Residential timber-framed construction – non-cyclonic areas to comply with AS 1684.2 or AS 1684.4. Residential timber-framed construction – cyclonic areas to comply with AS 1684.3. Installation of particleboard flooring to comply with AS 1860.2 Structural software must comply with the ABCB Protocol for
H1D7	Roof and Wall Cladding Metal Roofing to comply with AS 1562.1 Roof Tiles to comply with AS 2050 Wall cladding, to comply with Part 7.5 of the ABCB Housing Provision Standard 2022 Metal Wall Cladding to comply with AS 1562.1.
H1D8	Glazing Designed and constructed in accordance with AS 2047 Windows and external glazed door to comply with Part 8.2 of the ABCB Housing Provision Standard 2022 All glass to comply with Part 8.3 of the ABCB Housing Provision Standard 2022 Glazing Human Impact to comply with Part 8.4 of the ABCB Housing Provision Standard 2022 In buildings that are within the geometric limits set out in clause 1.2 of AS 4055 Located in an area with a wind class of not more than N3
H1D9	Earthquake Areas - constructed in accordance with Section 2 of the ABCB Housing Provisions
H1D10	Flood Hazard Areas - constructed in accordance with the ABCB standard for construction of buildings in flood hazard areas
H1D11	Attachment of framed decks & buildings using a waling plate
Part H2 - Damp & Weatherproofing	
To comply with H2D2 to H2D8	
H2D2	Drainage to comply with AS/NZS 3500.3
H2D4	Masonry to comply with AS 3700
H2D5	Subfloor ventilation to comply with Part 6.2 of the ABCB Housing Provision Standard 2022
H2D6	Gutters and downpipes to comply with AS/NZS 3500.3
H2D8	External waterproofing
Part 3 - Fire Safety	
To comply with H3D2 TO H3D6	
H3D6	Smoke alarms and evacuation lighting In Compliance with NSW Part 9.5.1 of the ABCB Housing Provisions & in accordance with 9.5.2 and 9.5.4
Part H4 - Health & Amenities	
To comply withH4D2 to H4D9	
H4D2	Wet areas to comply with AS 3740. Wet areas to be protected in accordance with the appropriate requirements of 10.2.1 to 10.2.6 & 10.2.12 of the ABCB Housing Provisions
H4D3	Materials and installation of wet area components and systems Building elements in wet areas are water resistant or waterproof in accordance with clauses 10.2.1 to 10.2.6 of the ABCB Housing Provisions and AS 3740 and Clause 10.2.12 Housing Provisions
H4D6	Light - To compliance with Part 10.5 of the ABCB Housing Provisions
H4D7	Ventilation - To comply with AS 1668.2 and Part 10.6 of the ABCB Housing Provisions
H4D8	Sound Insulation - To Comply with Part 10.7 of the ABCB Housing Provisions
H4D9	Condensation management - To Comply with Part 10.8 of the ABCB Housing Provisions
Part H5 - Safe Movement & Access	
H5D2	Stairway and ramp construction
H5D3	Barriers and handrails - H5D3
PART H6 - Energy & Efficiency	
NSW H6D1	To comply with Part 13.2 building fabric, Part 13.4 Building sealing & Part 13.7 Services
NSW H6D2	In accordance with clauses 13.2, 4 & 7 of the ABCB Housing Provisions
PART H7 - Ancillary provisions and additional construction requirements	
H7D5	Heating appliances, fireplaces, chimneys and flues / AS/NZS 2918
PART H8 - Livable housing design	
H8D2	n/a

DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

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	C	24.2.25	DEV APP SUBMISSION
	B	14.12.24	PRE DA SUBMISSION
	A	1.10.24	PRELIMINARY
	ISSUE	DATE	DESCRIPTION

BUILDING CLASSIFICATION: 1a



BUILDING DESIGNERS AUSTRALIA

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ACCREDITED CHARTERED MEMBER OF BUILDING DESIGNERS AUSTRALIA
- ACCREDITATION No: 6077



D.P. NUMBER: 1307933
SITE AREA: 824.1 m2
DATE: 24.2.25
DRAWN: M Palmer
SCALE: 1:100, 1:200, UNO

CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY

SITE ADDRESS:
No 8 - (LOT 7) MARSHFIELD LANE MUDGEE 2850

SHEET DESCRIPTION:
GENERAL NOTES

DRAWING No:
16
-
PROJECT No:
112.24

SAFE DESIGN OF STRUCTURE NOTES

THE FOLLOWING SAFETY NOTES AND GUIDELINES ARE SET OUT IN ACCORDANCE WITH THE WORK HEALTH & SAFETY ACT 2011 WORK HEALTH & SAFETY REGULATION 2011 & THE SAFE DESIGN OF STRUCTURES CODE OF PRACTICE 2012
THE GUIDELINES CONTAIN WORK HEALTH & SAFETY INFORMATION AND MAY INCLUDE OBLICATIONS UNDER VARIOUS LEGISLATIONS THAT WORKCOVER NSW ADMINISTERS. TO ENSURE COMPLIANCE REFERENCE TO APPROPRIATE LEGISLATION REQUIRED.

1. FALLS, SLIPS, TRIPS
a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

ANCHORAGE POINTS (Non-residential only)

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES
FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below. 1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility. Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where onsite loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - it therefore may contain asbestos

1986 - it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING
RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified:

This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

For non-residential buildings where the end-use is known:

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10.OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.
All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies. All construction work should be carried out in accordance with Code of Practice: Managing Risks in Construction Work.

ADDITIONAL INFORMATION

- All paths of travel both during and after construction are to remain free of obstructions.
- all access to the site during construction is to remain limited to authorised personel. who are to be made aware of this report.
- Future demolished to adhere to The Code of Practice for demolition work.
- Adequate ventilation is to be allowed for both during and after construction to prevent injury due to heat and/or air born contaminants.
- All components of the construction are comply with NCCA and all relevant Australian Standards and any additional future work is to be designed and carried out with reference to these.
- Positioning of noisy plant equipment both during and after construction must be carried out to prevent nuisance and/or injury to neighbouring properties.
- The Project Manager, Construction Manager, Builder and anyone in charge of the site/building both during and after construction must implement all safety requirements in compliance with this report, the NCCA and all relevant standards unless otherwise negotiated with the designer in writing. Any actions not in compliance become the responsibility of the person/persons who carried them out.
- All products selected by the owner and not approved in writing by the designer are the responsibility of the owner.

DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

NOTE: Builder to check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the Designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing to be used only for the site lot as noted. All boundaries and contours are subject to survey. All levels to AHD. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site All documents are subject to Australian Copyright Law.			
	C	24.2.25	DEV APP SUBMISSION
	B	14.12.24	PRE DA SUBMISSION
	A	1.10.24	PRELIMINARY
	ISSUE	DATE	DESCRIPTION

BUILDING CLASSIFICATION: 1a



BUILDING
DESIGNERS
AUSTRALIA

Preferred Design
& Drafting

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email: marian@preferred-design.com.au



ACCREDITED CHARTERED MEMBER OF BUILDING DESIGNERS AUSTRALIA
- ACCREDITATION No: 6077

D.P. NUMBER: 1307933
SITE AREA: 824.1 m2
DATE: 24.2.25
DRAWN: M Palmer
SCALE: 1:100, 1:200, UNO

CLIENT: MELISSA CRAZE
PROJECT: PROPOSED DUAL OCCUPANCY

SITE ADDRESS:
No 8 - (LOT 7) MARSHFIELD LANE MUDGEE 2850

SHEET DESCRIPTION:
SAFETY NOTES

DRAWING No:
17
-
PROJECT No:
112.24