

PROPOSED RESIDENCE  
FOR  
JOSH & CARLY LANG  
51 TINJA LANE  
ERUNDEREE NSW 2850



GENERAL NOTES:

Builder to confirm all dimensions before commencing any works.

If discrepancies occur on plans, designer is to be contacted.

All dimensions are in millimeters unless otherwise stated.

Use figured dimensions only. Do not scale from plans.

Site information is based on information supplied by the owner and must be verified by the supplier on acceptance of this plan.

All works shall comply with the National Construction Code (NCC 2022) current Australian Standards, building regulations and statutory approvals. Notify this office of any discrepancies.

These plans should be read in conjunction with project specification and all consultant drawings including but not limited to Structural Engineer and Surveyor.

Soil Classification - refer to Engineers report and soil tests.

SPECIFICATIONS:

WIND CLASSIFICATION - BY ENGINEER

PLUMBING

All plumbing to AS3500.3 and must carried out by a licensed plumber in accordance with the Plumbing Code of Australia (PCA) to comply with the requirements of the Local Authority.

ELECTRICAL

All electrical work shall be undertaken by a licensed electrician and in accordance with AS/NZS 3000

CONDENSATION MANAGEMENT

Install a pliable building membrane to comply with AS4200.1 & AS4200.2 with a vapour permeance of not less than 1.14ug/N.s in this climate. (Climate 6). Except for single skin masonry or concrete, where a pliable building membrane is not installed in an external wall, the primary water control layer must be separated from water sensitive materials by a drained cavity. To NCC 2022 Vol 2 Clause H4D9 and HP 10.8.

WATER PROOFING OF WET AREAS

Shall comply with NCC 2022 Vol 2 Clause H4D2, AS 3740-2021 and HP Part 10.2

PRE-FABRICATED WALL FRAMES AND ROOF TRUSSES

Shall comply with NCC 2022 Vol 2 Clause H2D6 (4) and AS1720.1-2010, AS1720.5-2015, AS1684.2-2021, AS1684.4-2010 AND AS1860.2-2006

SPECIFICATIONS:

TERMITE PROTECTION

All buildings shall be protected against termite attack in accordance with AS3660.1 and NCC 2022 Vol 2 Clause H1D3 and HP Part 3.4. Provide a durable notice in the meter box indicating type of barrier and required inspections.

SMOKE DETECTORS

Smoke detectors shall be installed as noted on the plans and in accordance with AS 3786-2014 and NCC 2022 Vol 2 Clause H3D6 and HP Part 9.5.2 and 9.5.4. They must be hard wired to the electrical supply.

WINDOWS, GLAZING, SHOWER SCREENS

Provide glazing to AS1288-2021 AS 2047-2014, as relevant and NCC 2022 Vol 2 Clause H1D8 and HP Part 8.2 and 8.3.

LIFT OFF HINGES (LOH)

Provide lift of hinges to the doors on sanitary compartments as labeled on the plans in accordance with NCC 2022 Clause H4P3 and HP 10.4.2.

DRAUGHT SEALING

Provide a seal/draught excluder to the bottom edge of all external doors in accordance with NCC 2022 lause H6D2 and HP Part 13.4.4.

HEATING APPLIANCES / FIREPLACES

Shall comply with NCC 2022 Vol 2 Clause H7D5 and AS/NZS 2918 for domestic solid fuel burning appliance, or HP Part 12.4 for heating appliances

SPECIFICATIONS:

STAIRS

Timber steps to NCC 2022 Vol 2 H5D2 and HP Part 11.2.

	MIN	MAX
Riser	115mm	190mm
Going	240mm	355mm
Slope relationship (2R+G)	550mm	700mm

Ensure slip resistance of P4 to be achieved with intergrain ultra deck slip resistance timberoil

SPECIFICATIONS: RURAL LAND

FIRE FIGHTING EQUIPMENT

A 65mm Storz outlet with a metal Gate or Ball Valve to be provided on the water storage tank.

Above ground tanks to be manufactured of concrete or metal. Tanks on hazard side of building are to be provided with adequate shielding for the protection of the fire fighters

Above ground water pipes external to the building are to be metal including and up to any taps

Pumps are to be shielded

Ensure 20,000L min. reserved for fire fighting purposes

BASIX NOTES:

STORMWATER

All roof water must be collected in a 100,000L rainwater tank and plumbed to all fixtures in the development. And be installed in accordance with AS3500.

HEATING

3-phase airconditioning (EER 3.0-3.5) to be installed in at least one living area and at least one bedroom in both dwellings.

COOLING

3-phase airconditioning (EER 3.0-3.5) to be installed in at least one living area and at least one bedroom in both dwellings.

VENTILATION

Bathrooms - Install an exhaust fan in the ceiling, ducted to facade or roof and operate manually  
Kitchens - Install a rangehood over cooktop, duct to facade or roof and operate manually  
Laundries - natural ventilation in main dwelling. In secondary dwelling, install an exhaust fan in the ceiling, ducted to facade or roof and operate manually.

ALTERNATIVE ENERGY

Photovoltaic system with the capacity to generate at least 15 peak kilowatts to be installed.

LIGHTING

The primary type of artificial lighting is dedicated fluorescent or LED in all bedrooms, living room, dining room, kitchen, all bathrooms, all toilets, laundry and all hallways, in both dwellings. All fittings must only be capable of accepting flouorescent or LED lamps.

AAA RATING

All showerheads minimum rating of 4 star (>6 but <= 7.5L/min)  
Toilets to have a minimum rating of 5 Star  
Kitchen taps to have a minimum rating of 5 star  
and Basin taps to have a minimum rating of 5 stars

OTHER

Gas cooktop and electric oven to be installed in both kitchens. An indoor and outdoor clothes drying line must be installed in both dwellings.

LOW WATER VEGETATION

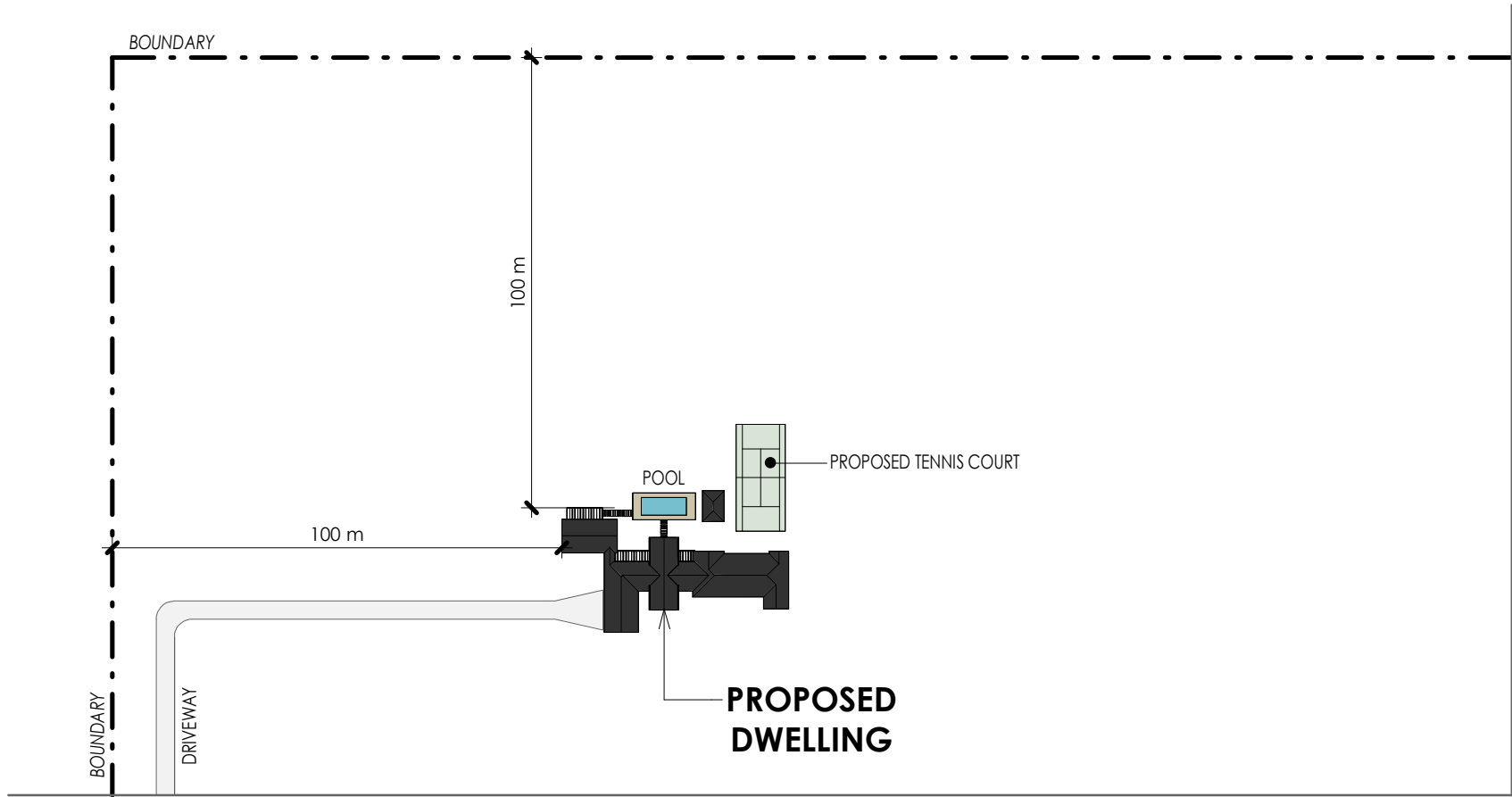
A minimum of 100 sqm of indigenous or low water species of vegetation must be planted on the site.

POOL

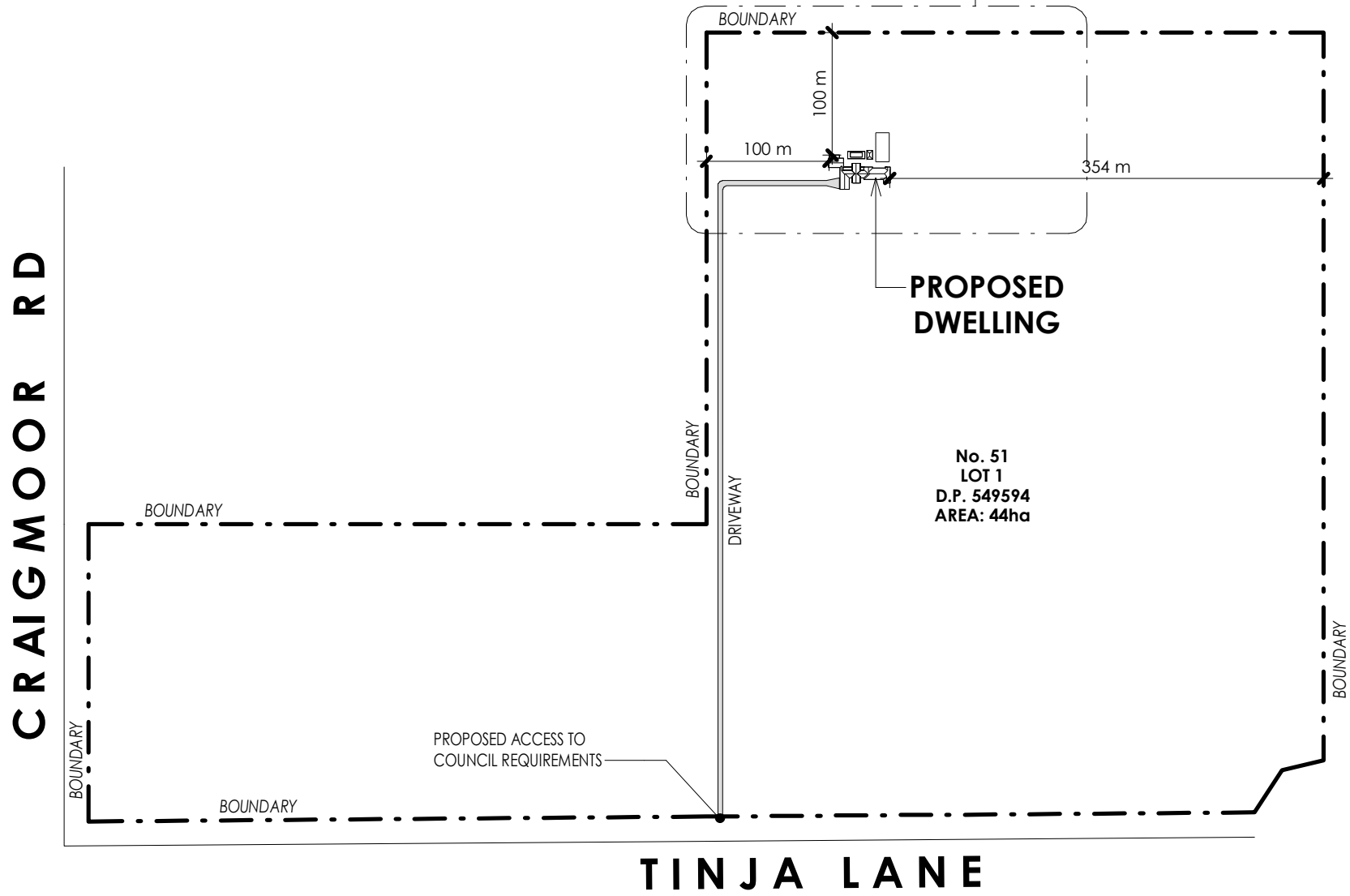
A pool of no greater than 60kls must be installed, heated by electric heat pump, with pump controlled by timer.

GENERALLY

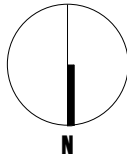
The information found in these notes are by no means the extent of information relating to compliance with BASIX comitments. These notes must be read in conjunction with the full set of plans and elevations and with the BASIX Certificate pertaining to this property.



2 SITE PLAN - CALLOUT  
SCALE 1 : 1500

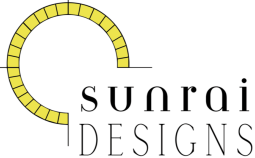


1 SITE PLAN  
SCALE 1 : 5000



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B	FOR CLIENT APPROVAL	13.12.24
A	PRELIMINARY	12.11.24
Issue	Description	Date



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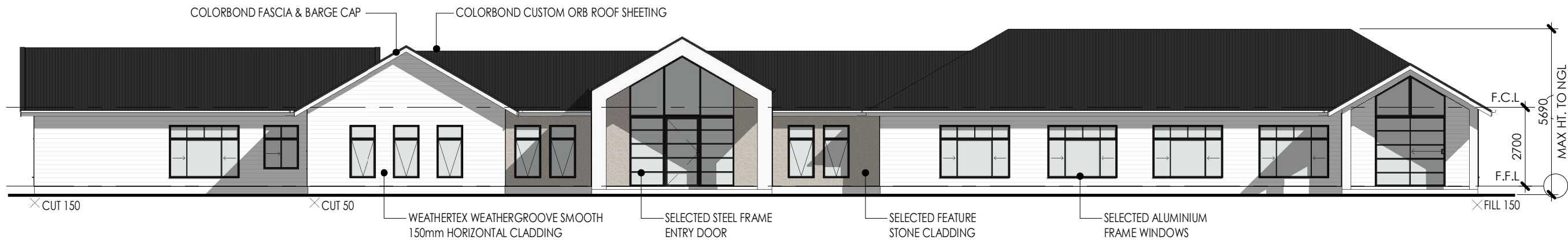
Client [REDACTED]

Project  
51 TINJA LANE  
ERUNDEREE NSW 2850

Title  
SITE PLAN

Scale at A3  
As indicated

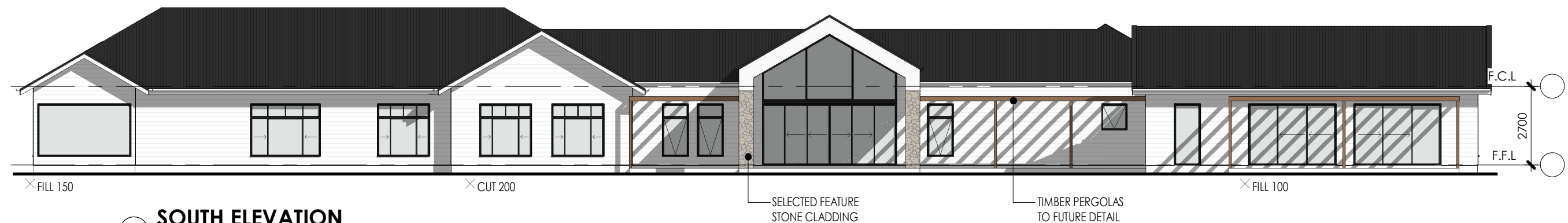
Date OCTOBER 2023	Drawn RG/DW
Drawing No. 701LAN-01	Issue B



1 **NORTH ELEVATION**  
SCALE 1 : 150



2 **EAST ELEVATION**  
SCALE 1 : 150



3 **SOUTH ELEVATION**  
SCALE 1 : 150

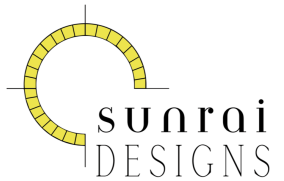


4 **WEST ELEVATION**  
SCALE 1 : 150

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C	CUT FILL DETAILS	19.02.25
B	FOR CLIENT APPROVAL	13.12.24
A	PRELIMINARY	12.11.24
Issue	Description	Date



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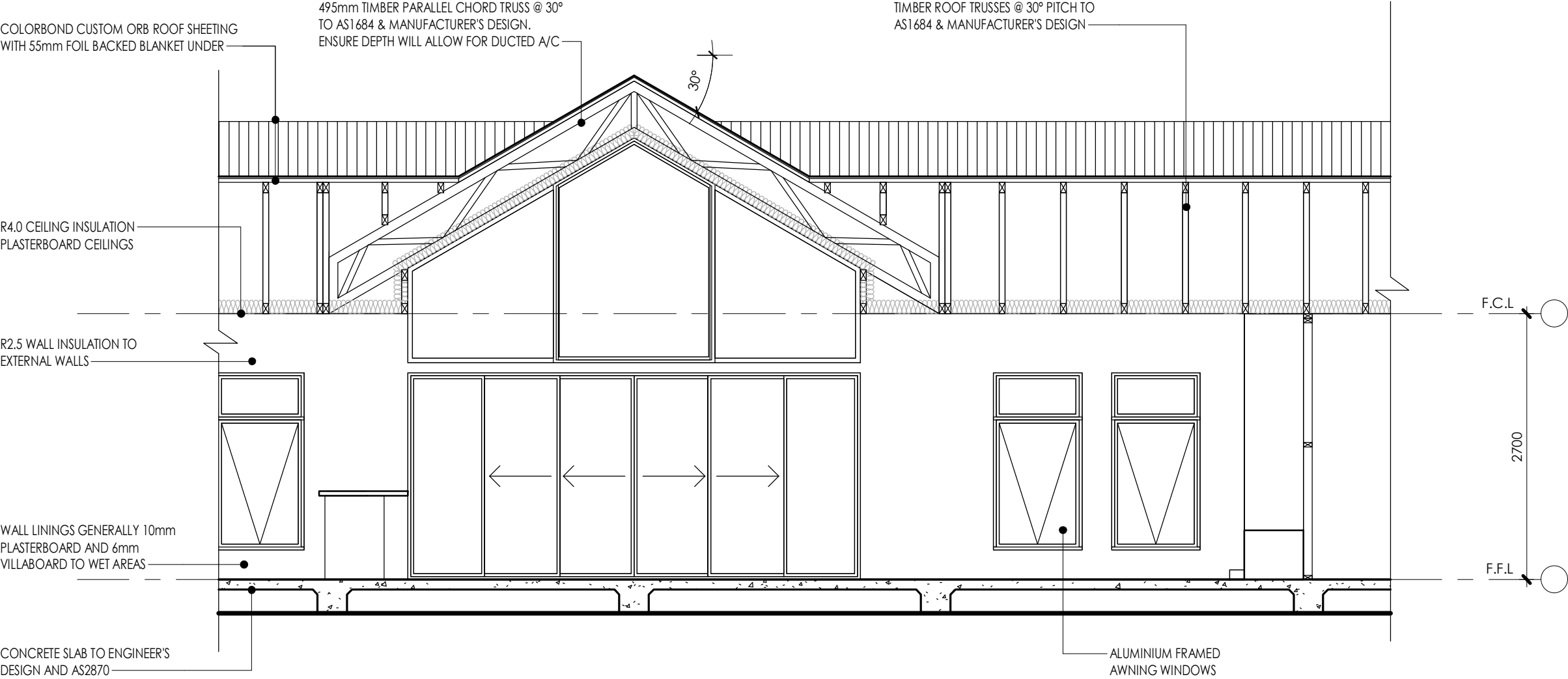
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ELEVATIONS

Scale at A3  
1 : 150

Date  
OCTOBER 2023

Drawing No.  
701LAN-03

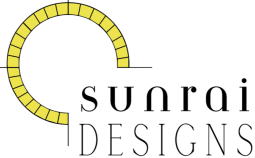
Issue  
C



1 SECTION  
SCALE 1 : 50

- Notes
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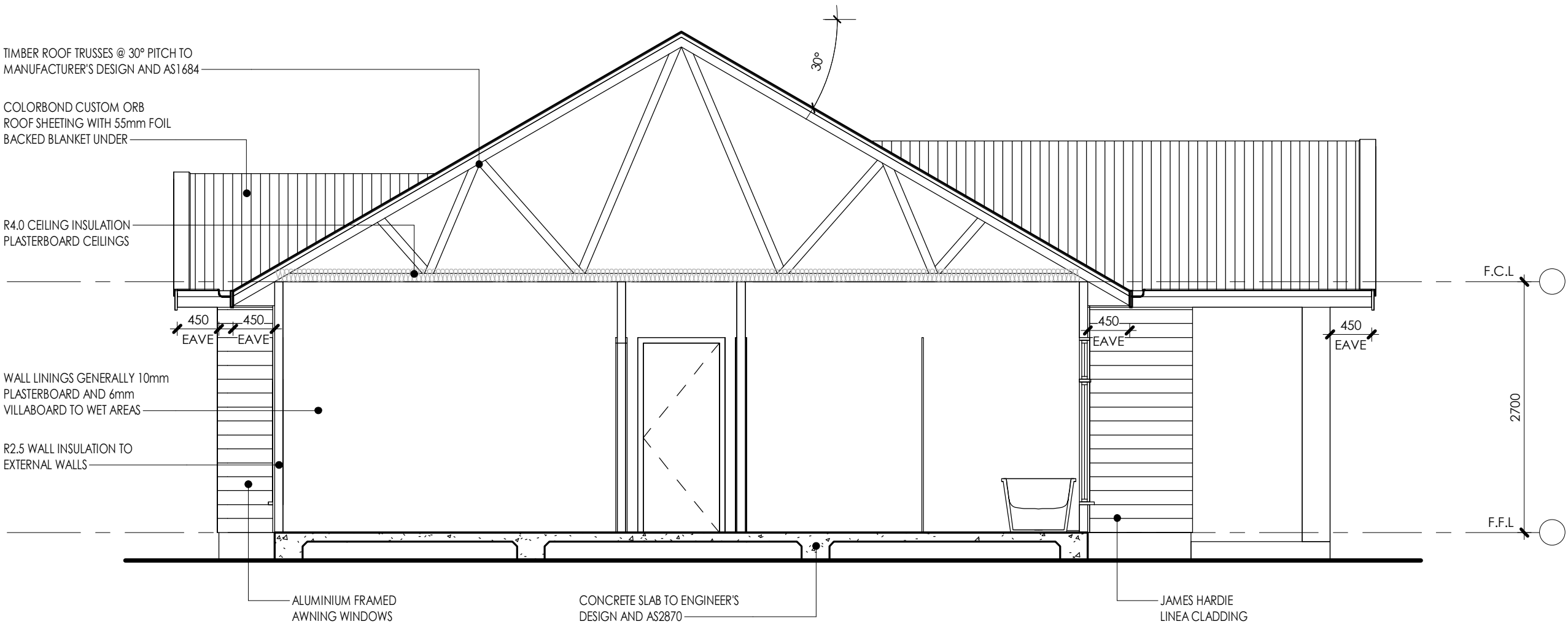
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Project  
51 TINJA LANE  
ERUNDEREE NSW 2850

Title  
SECTION A

Scale at A3  
1 : 50

Date OCTOBER 2023	Drawn RG/DW
Drawing No. 701LAN-04	Issue B

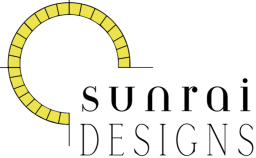


1 SECTION  
SCALE 1 : 50

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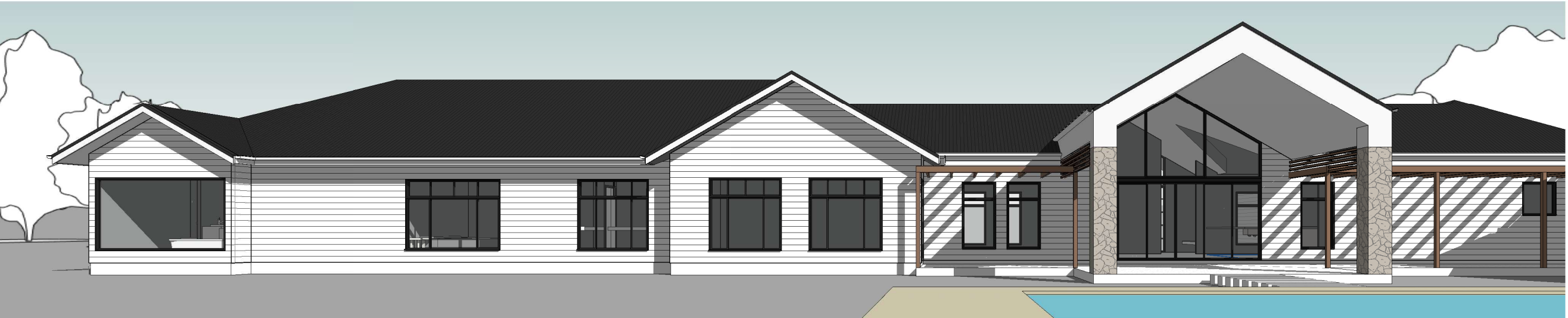
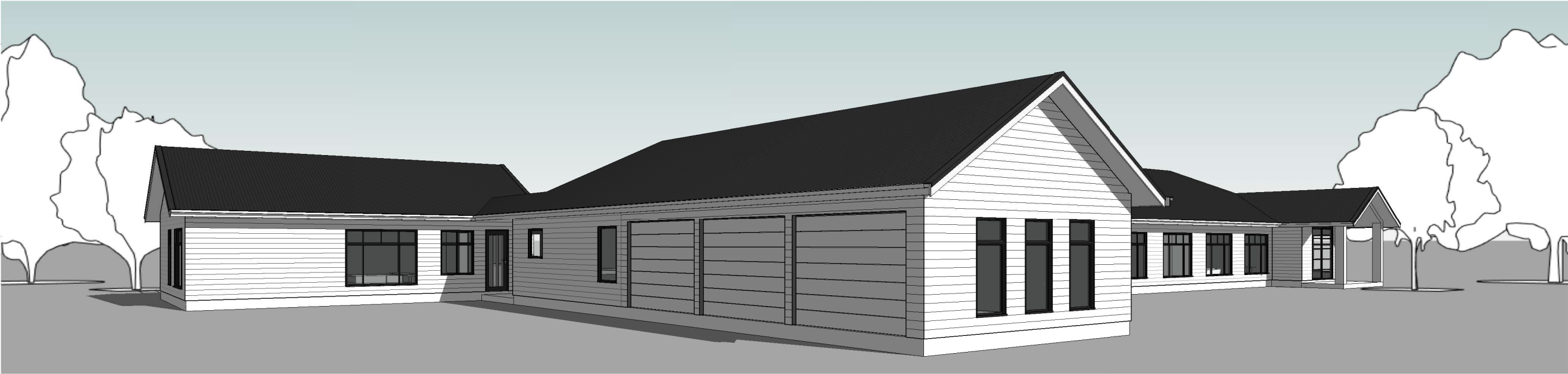
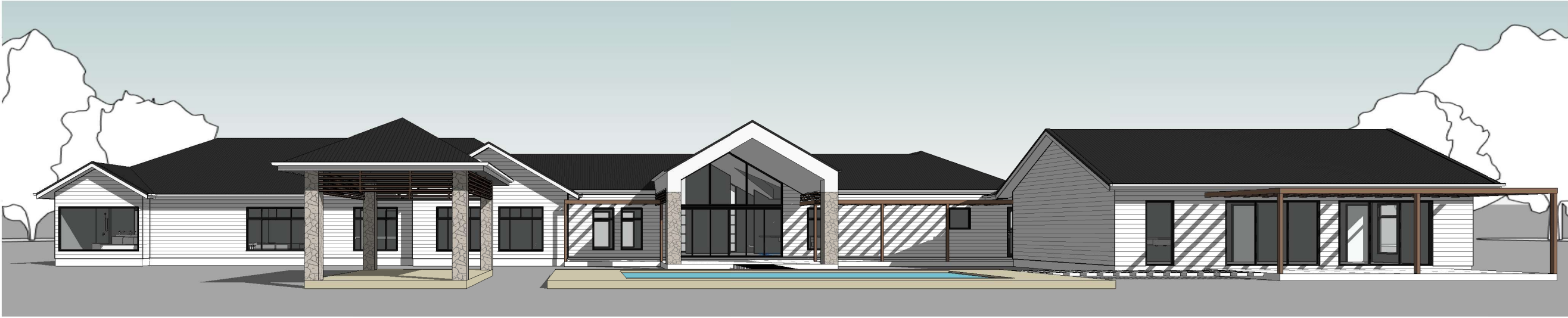
Project  
51 TINJA LANE  
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Title  
SECTION B

Scale at A3  
1 : 50

Date OCTOBER 2023	Drawn RG/DW
Drawing No. 701LAN-05	Issue B

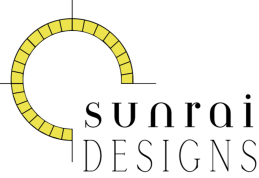




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Title  
PERSPECTIVES

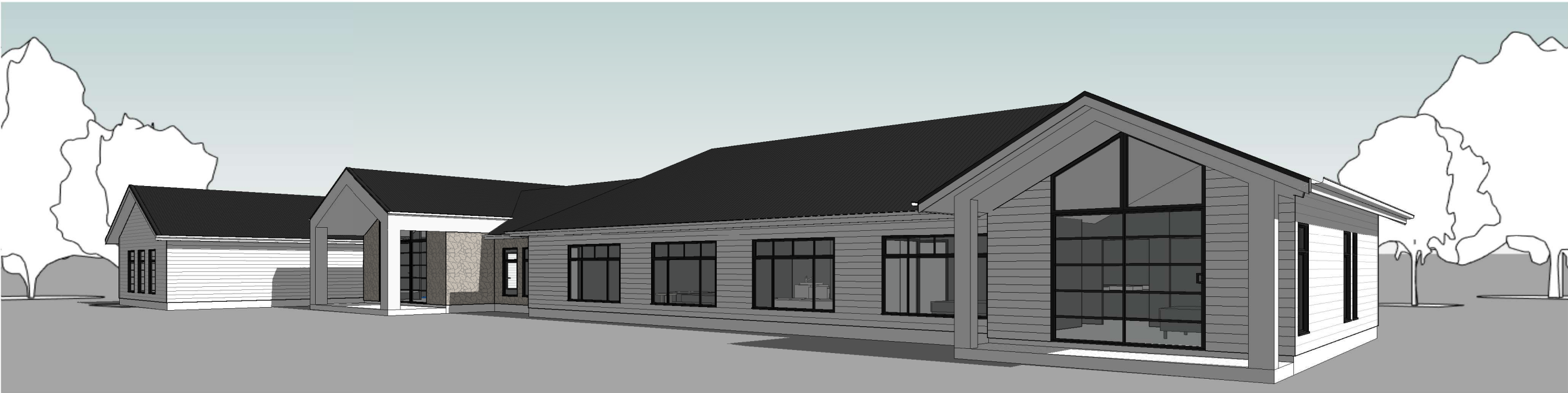
Scale at A3  
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Date  
OCTOBER 2023

Drawn  
RG/DW

Drawing No.  
701LAN-06

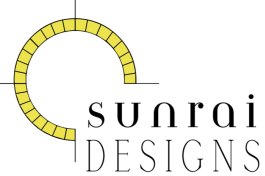
Issue  
B



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A	PRELIMINARY	12.11.24
Issue	Description	Date

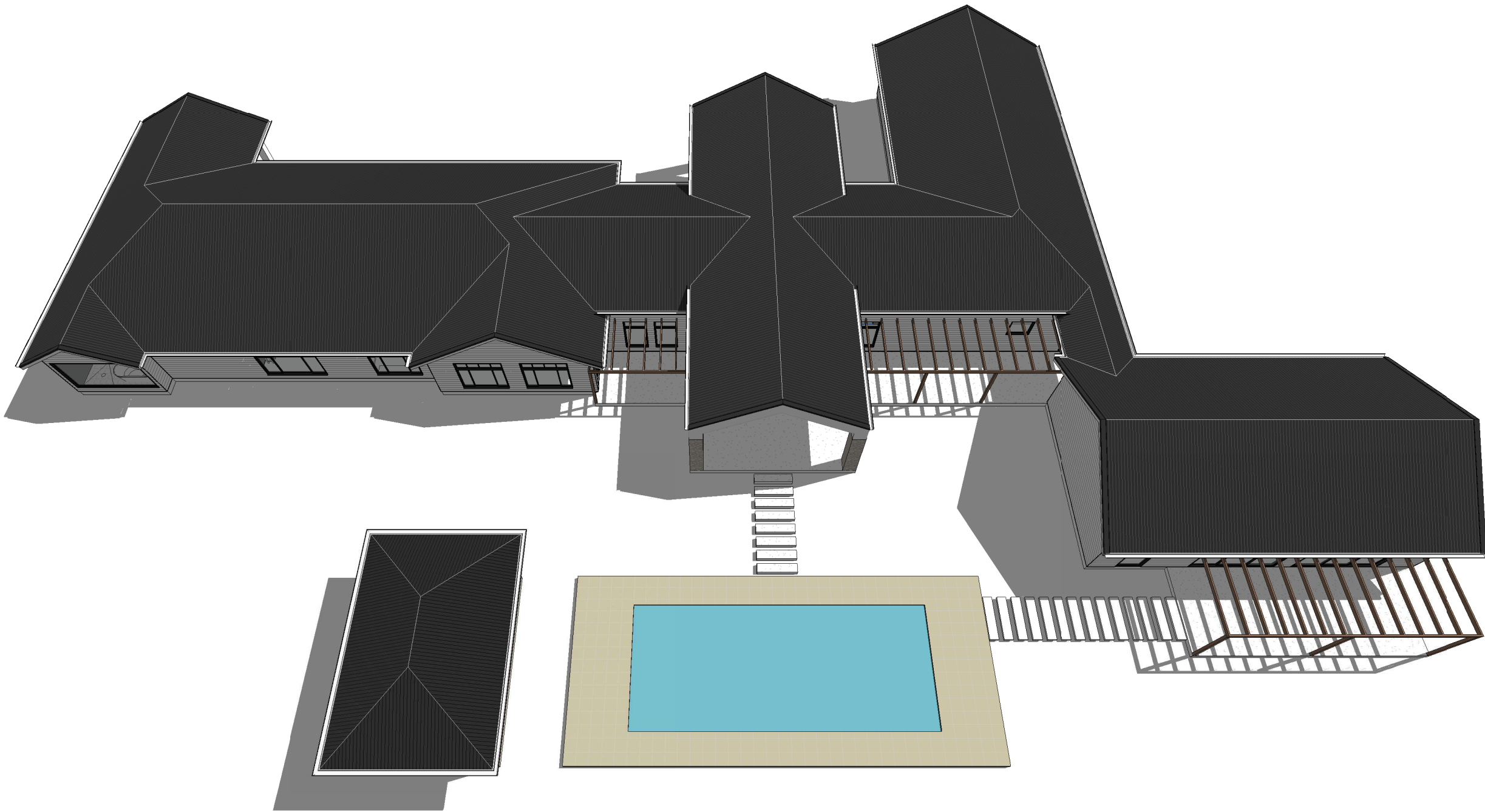


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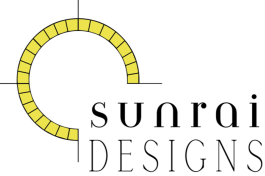
Client	
Project	
51 TINJA LANE ERUNDEREE NSW 2850	
Title	
PERSPECTIVES	
Scale at A3	
NA	
Date	OCTOBER 2023
Drawing No.	701LAN-07
Drawn	RG/DW
Issue	B





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B	FOR CLIENT APPROVAL	13.12.24
A	PRELIMINARY	12.11.24
Issue	Description	Date

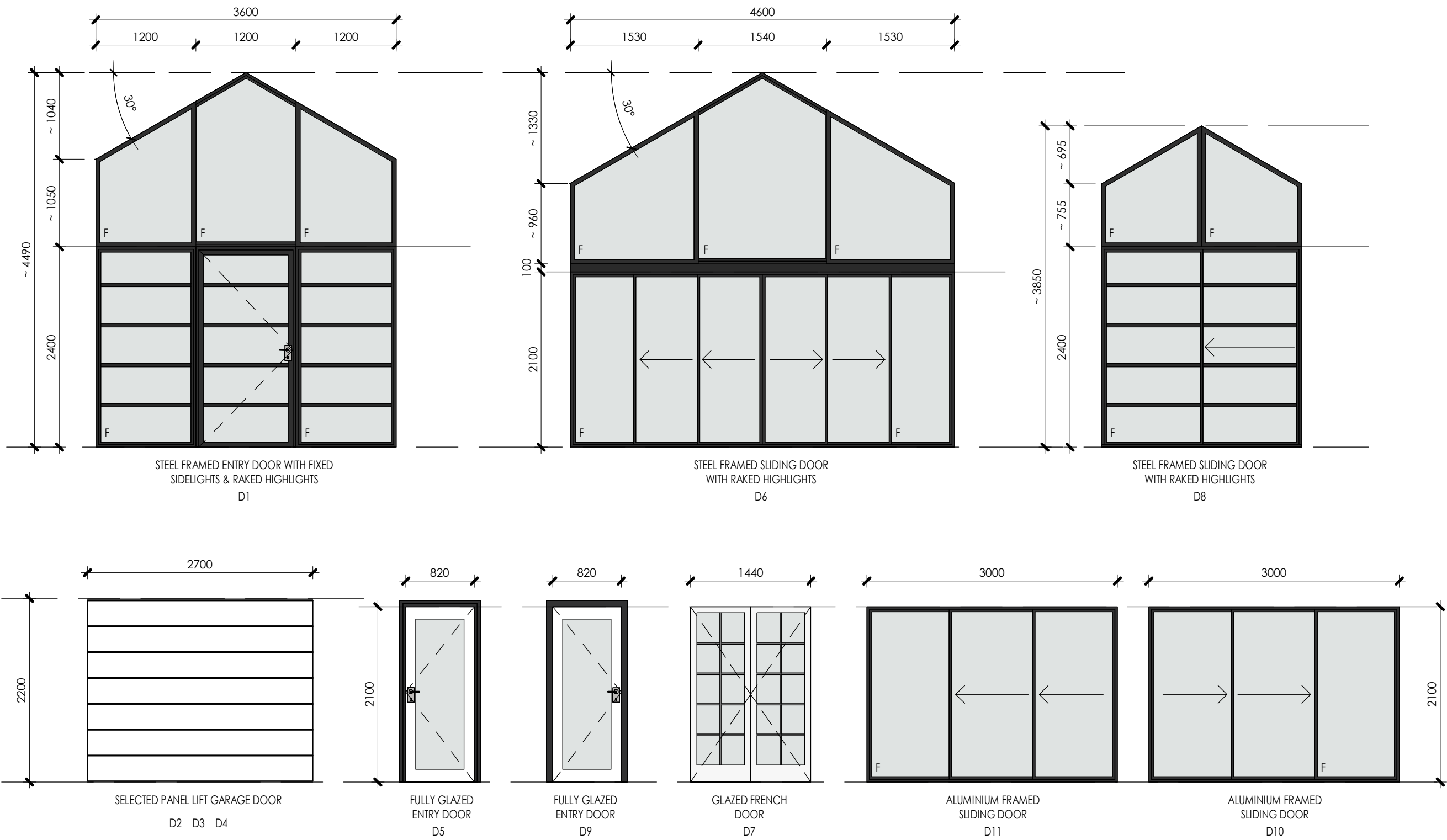


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51 TINJA LANE ERUNDEREE NSW 2850		
Title		
PERSPECTIVE		
Scale at A3		
NA		
Date	OCTOBER 2023	Drawn RG/DW
Drawing No.	701LAN-08	Issue B

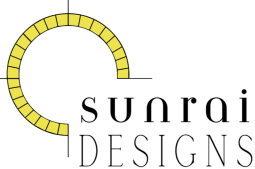




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NOTE: WINDOWS & DOORS ARE DRAWN AS VIEWED FROM THE EXTERNAL SIDE

B	FOR CLIENT APPROVAL	13.12.24
A	PRELIMINARY	12.11.24
Issue	Description	Date



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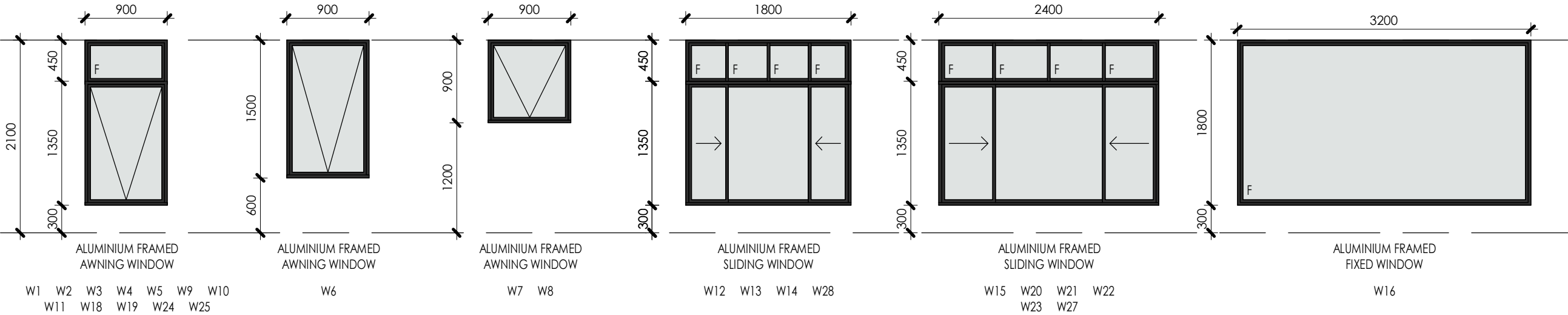
Client [REDACTED]

Project  
51 TINJA LANE  
ERUNDEREE NSW 2850

Title  
DOOR SCHEDULE

Scale at A3  
1 : 50

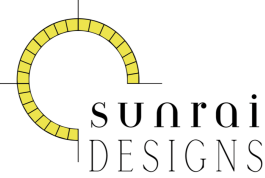
Date OCTOBER 2023	Drawn RG/DW
Drawing No. 701LAN-09	Issue B



- Notes**
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**NOTE: WINDOWS & DOORS ARE DRAWN AS VIEWED FROM THE EXTERNAL SIDE**

B	FOR CLIENT APPROVAL	13.12.24
A	PRELIMINARY	12.11.24
Issue	Description	Date



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Client	
Project	
Title	
Scale at A3	
Date	Drawn
Drawing No.	Issue

51 TINJA LANE  
ERUNDEREE NSW 2850

WINDOW SCHEDULE

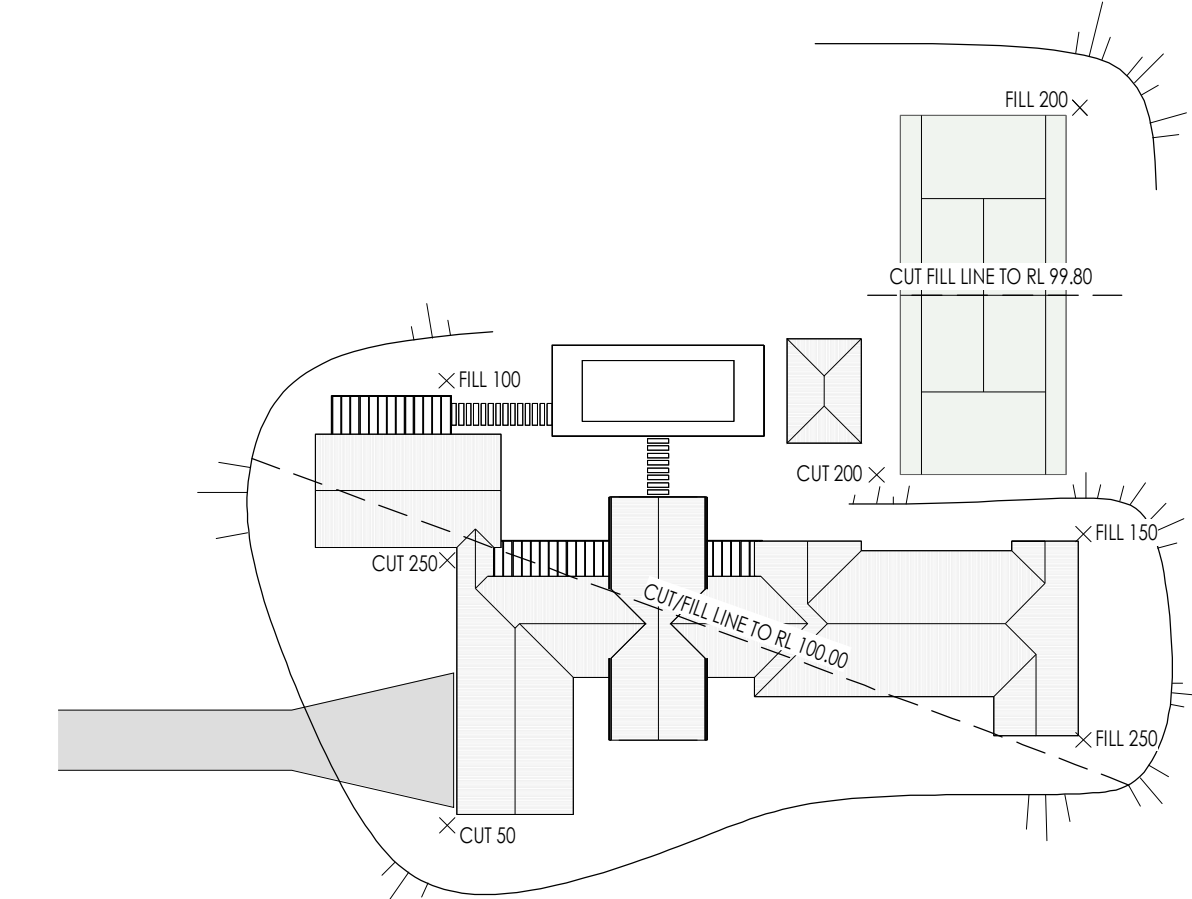
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OCTOBER 2023

701LAN-10

RG/DW

B



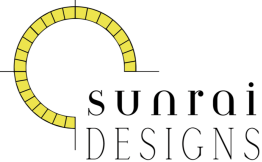
PROPOSED FLOOR  
LEVEL RL 100.31

PROPOSED  
EARTHWORKS LEVEL  
RL 100.00

1 **CUT & FILL PLAN**  
SCALE 1 : 500

- Notes**
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A	CUT FILL DETAILS	19.02.25
Issue	Description	Date



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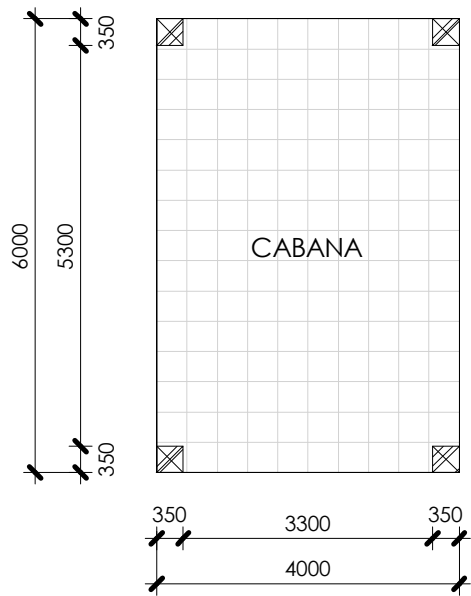
Client [REDACTED]

Project  
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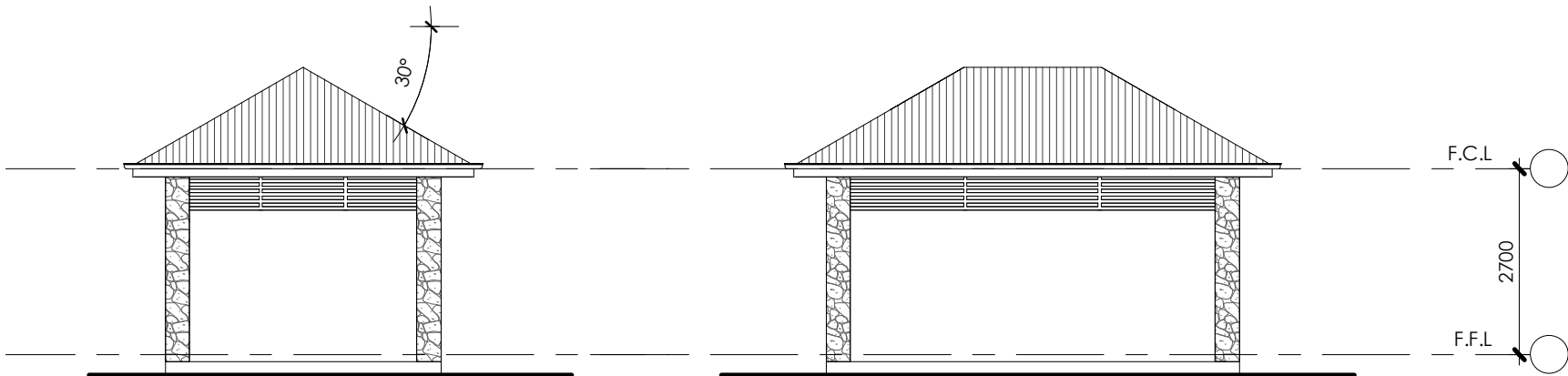
Title  
CUT & FILL PLAN

Scale at A3  
1 : 500

Date OCTOBER 2023	Drawn RG/DW
Drawing No. 701LAN-11	Issue A

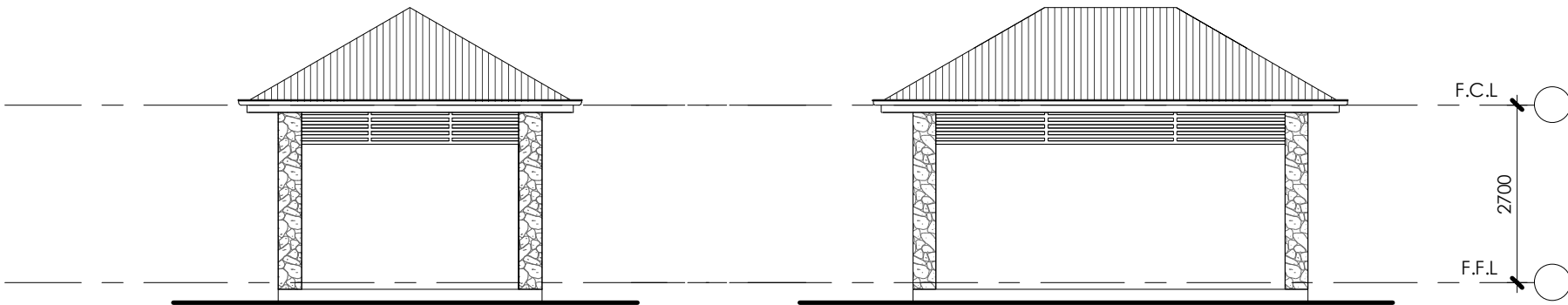


1 CABANA FLOOR PLAN  
SCALE 1 : 100



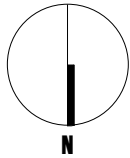
2 CABANA NORTH ELEVATION  
SCALE 1 : 100

3 EAST ELEVATION  
SCALE 1 : 100



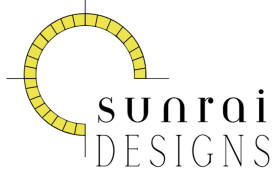
4 CABANA SOUTH ELEVATION  
SCALE 1 : 100

5 CABANA WEST ELEVATION  
SCALE 1 : 100



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A	CABANA DETAILS	19.02.25
Issue	Description	Date



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51 TINJA LANE  
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Title  
CABANA

Scale at A3  
1 : 100

Date OCTOBER 2023	Drawn RG/DW
Drawing No. 701LAN-12	Issue A