

Proposed: Detached Steel Framed Shed

Client: Damien Hudson

Address: 10 Coomber Street, Rylstone, NSW 2849

MID-WESTERN REGIONAL COUNCIL

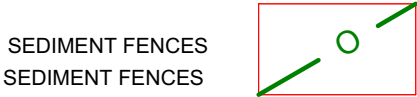
General Specification:

- Drawings prepared via information supplied by the owner and/or builder
- All Measurements & Dimensions are in millimetres unless otherwise stated
- All Dimensions, Levels & Heights to be verified on site prior to construction
- Builder to be responsible to verify all documentation as to their accuracy & suitability
- Surveyed Levels to be taken in preference to Datum Heights
- Plans are to be read in conjunction with Engineers details & other provided documentation/drawings
- All Construction to be in accordance with National Construction Code/NCC - Volume 2 - Building Code of Australia Class 1 & Class 10 Buildings Statutory Requirements
- All work to be carried out in accordance with RFS Bushfire Guidelines - Planning for Bush Fire Protection 2019 (NSW), taking preference over Basix commitments or approval conditions
- Builder to comply with requirements of all legally constituted authorities having jurisdiction over the building works & the provisions of the Home Building Act
- Prior to commencement of work, builder to provide temporary toilet facilities for the use of subcontractors where the local authority requires the temporary toilet. On completion, builder to remove.
- All Earthworks shall be in accordance with Engineers details & NCC H1D3
- All Earthworks retaining structures (ie retaining walls) to NCC H1D3, AS 4678 and Engineers details (if applicable)
- Stormwater & Drainage to be carried out in accordance with NCC H2D2
- All Plumbing, Electrical, Gas & other construction work to be completed by licensed tradespersons
- Where Natural Ventilation isn't provided in a WC, mechanical ventilation to be installed in accordance with NCC 10.6
- All accessibility provisions to AS1428.1 (if applicable)
- Do not scale from plans

Legend:

DP: Downpipe
NGL: Natural Ground Line
FGL: Finished Ground Line
FFL: Finished Floor Level
FSL: Finished Surface Level
RL: Reduced Level
WC: Water Closet
Van: Vanity
FW: Floor Waste
TOW: Top of Wall
BOW: Bottom of Wall
RWT: Rainwater Tank

SEDIMENT TRAPPING DEVICES.



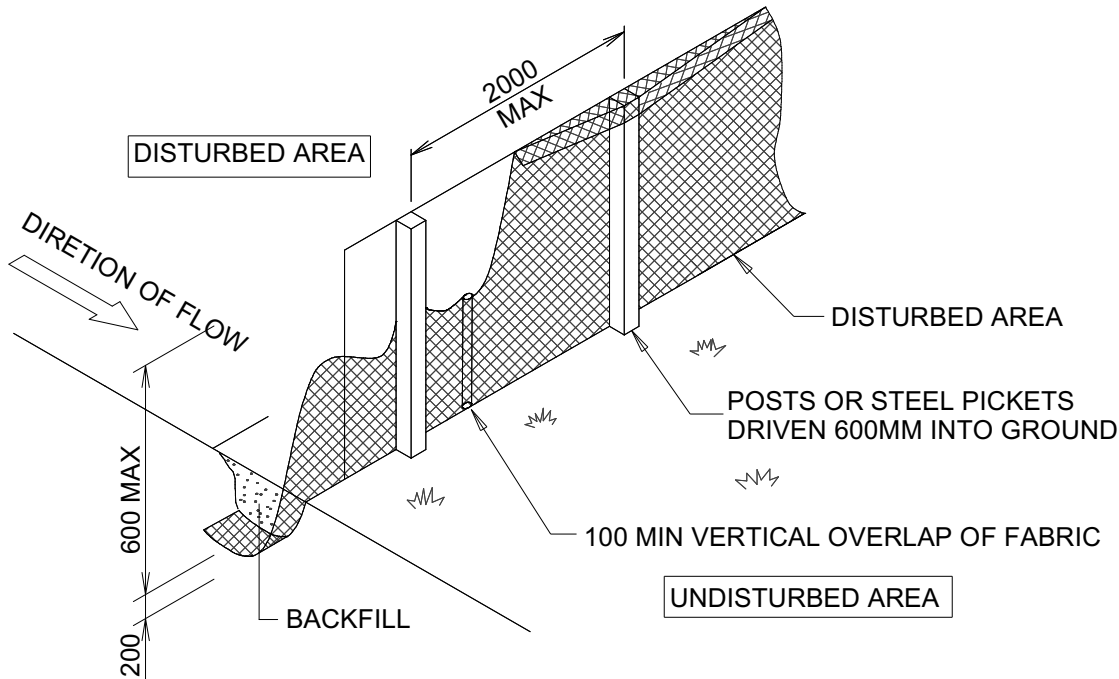
DESCRIPTION
A sediment fence (also known as a silt fence) is a temporary barrier of geotextile filter or fabric, usually supported by steel mesh and steel posts.

DESIGN LIMITATIONS
Sediment Fences have the following design limits:
- The area draining to the fence is 0.6ha or less.
- The maximum slope length behind the fence is 60m.

PURPOSE
Sediment fences filter runoff, trapping the sediment and allowing filtered water to pass through.

INSTALLATION
Sediment fences should have a stable outlet or overflow point, in-case the flow rates exceed their capacity to filter the water.

MAINTENANCE
After each rain event check for undercutting, sagging and overtopping, and repair immediately. Sediment collected should be removed from site.



SEDIMENT TRAPPING DEVICES.
NOT TO SCALE

ISSUED FOR DEVELOPMENT /
CONSTRUCTION CERTIFICATE PURPOSES

Supplied By:



Subject Site:



Revision Schedule:

Rev:	Changes Made:	Date:	By:
V1	Preliminary Plans	15/01/25	WR
V2	Final Plans Issued	16/01/25	WR
V3	Plan amended as per site measure.	30/01/25	WR

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Lot 5/ Sec.11 /DP758891

Council: MID-WESTERN REGIONAL COUNCIL

Plan:

Title Page

Drawn: WR - 25-01

Date: January 2025

Scale: N/A

Job No: 250115

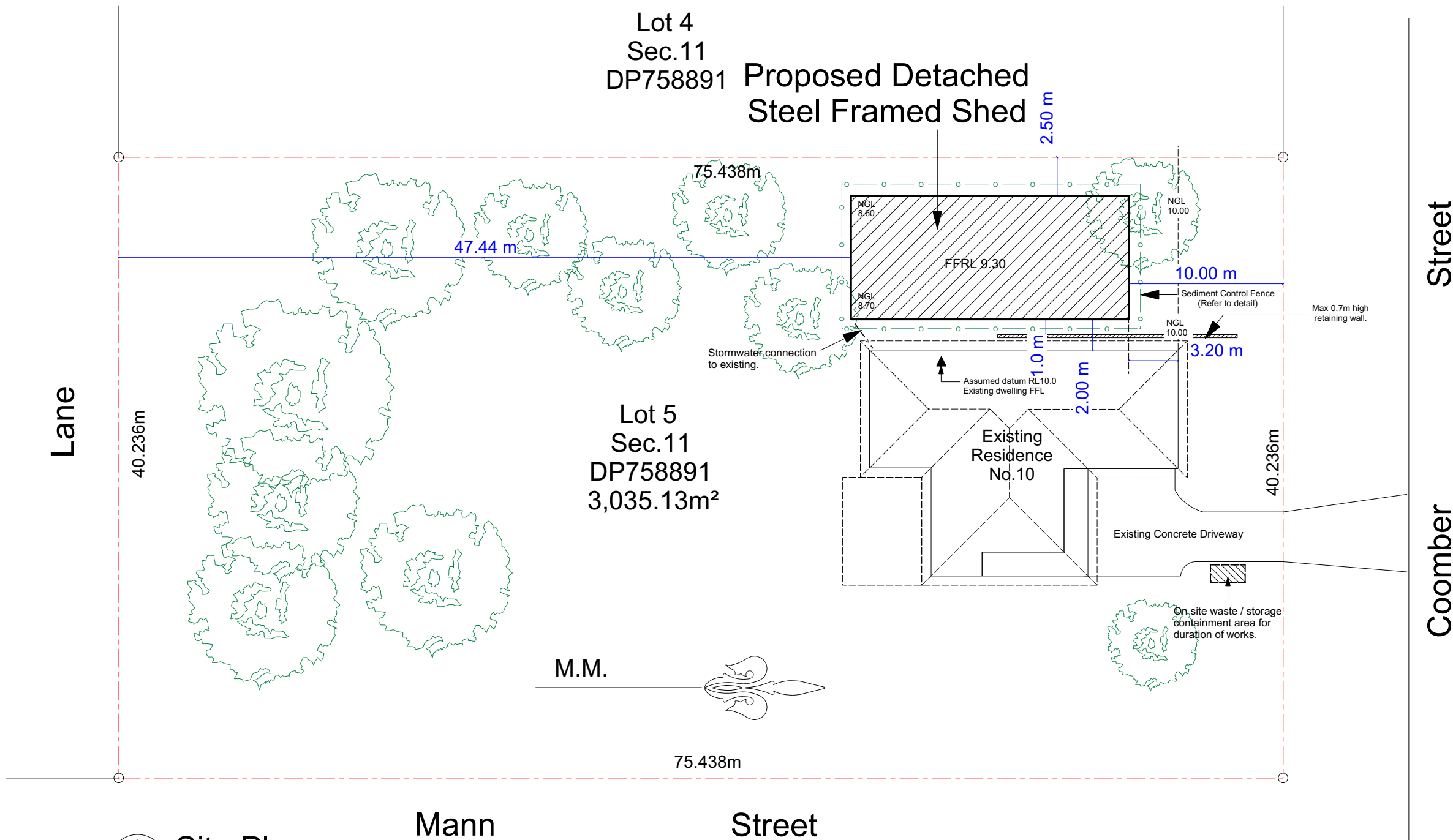
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Note: Plans to be printed on A3 to be to scale. Do not scale off plans. All dimensions and natural ground heights to be checked and verified on site.



1 Site Plan
02 1:300

- Reduced Levels (RLs) shown are of Datum Heights with an Assumed
Bench Mark RL of 10.00

Site Calculations

Area Summary	m ²
Existing Dwelling (Including verandahs)	= 260.00
Proposed Shed	= 144.00
Total Site Coverage	= 404.00
Site Area	= 3,035.13
% Total Site Coverage	= 13.31%
Landscaped Area	= 2,631.13
% Landscaped Area	= 86.69%

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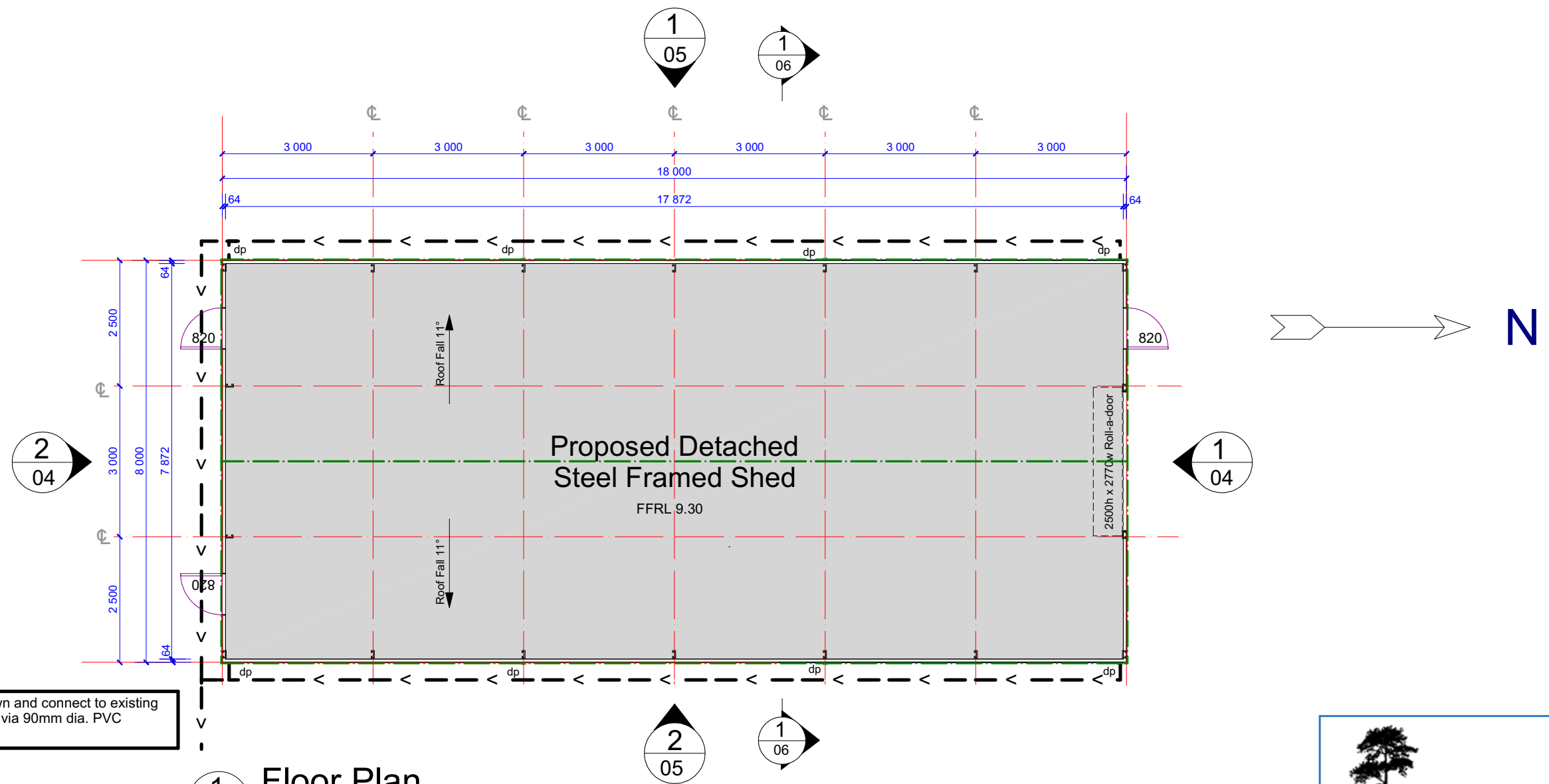
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Plan: Site Plan

Drawn: WR - 25-01
Date: January 2025
Scale: 1:300 @ A3
Job No: 250115

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Provide down pipes as shown and connect to existing dwelling stormwater system via 90mm dia. PVC drainage pipes.

1 Floor Plan

1:100

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Plan: Floor Plan

Drawn: WR - 25-01

Date: January 2025

Scale: 1:100 @ A3

Job No: 250115

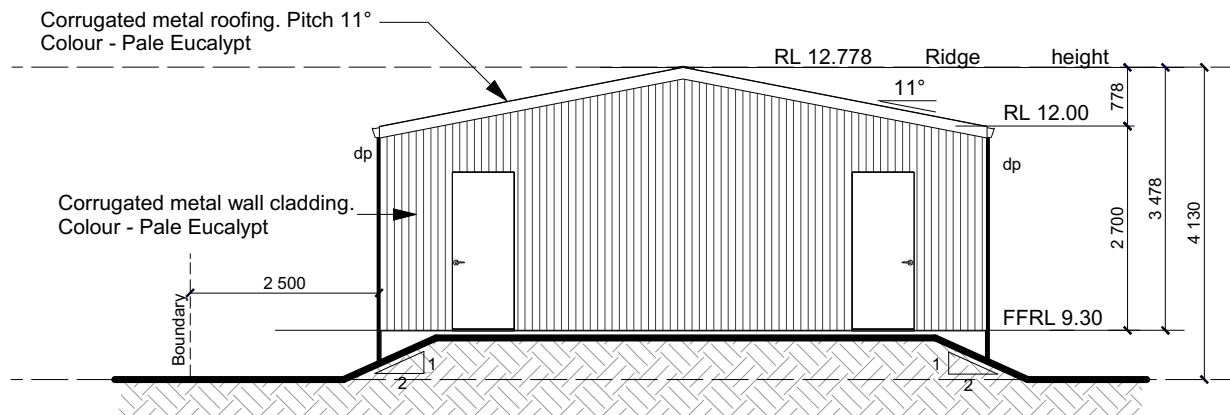
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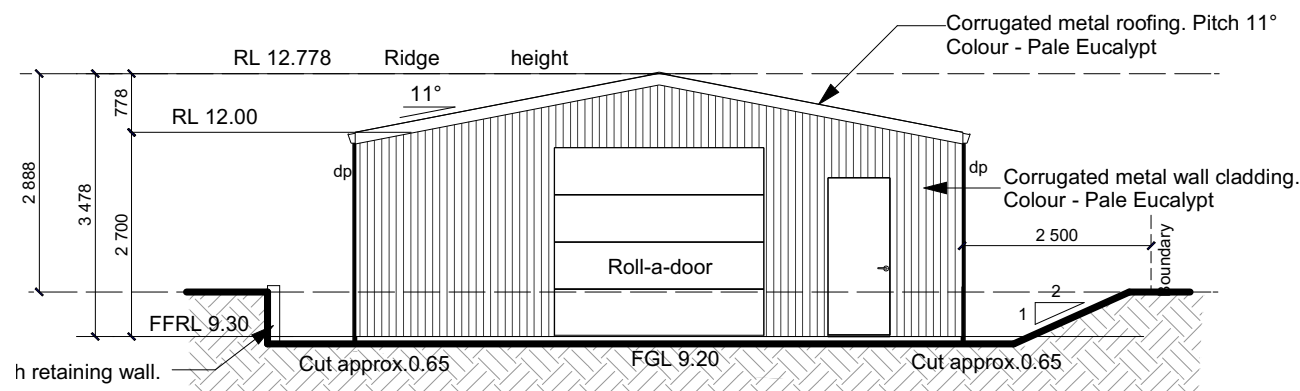
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2 South Elevation
04 1:100



1 North Elevation
04 1:100

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Plan:

Elevations

Drawn: WR - 25-01

Date: January 2025

Scale: 1:100 @ A3

Job No: 250115

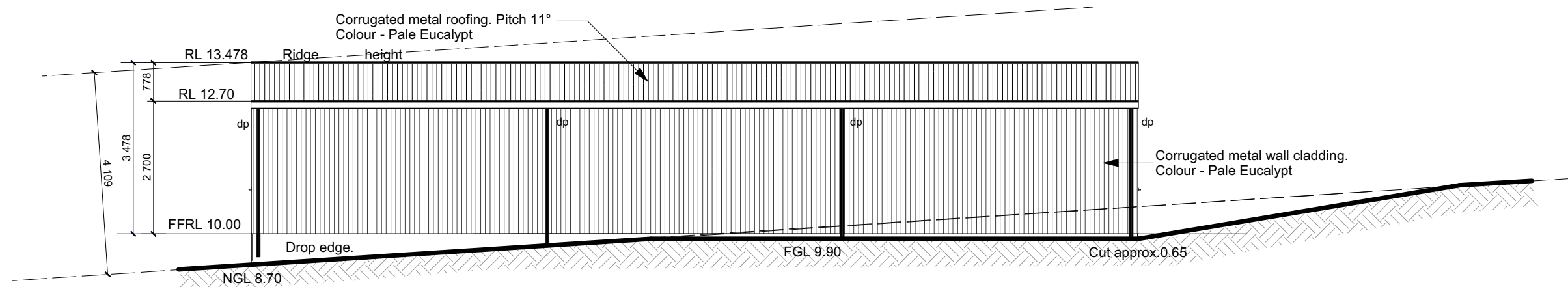
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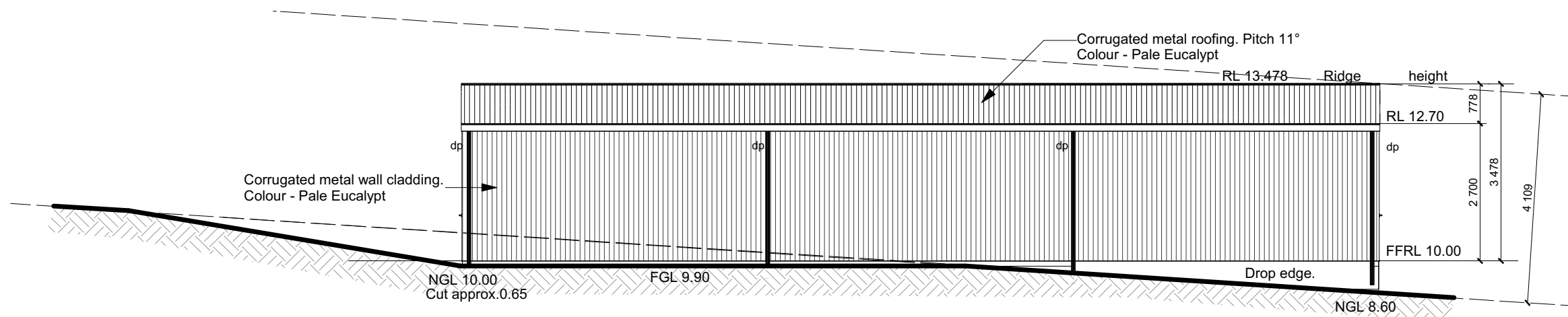
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2 East Elevation
05 1:100



1 West Elevation
05 1:100

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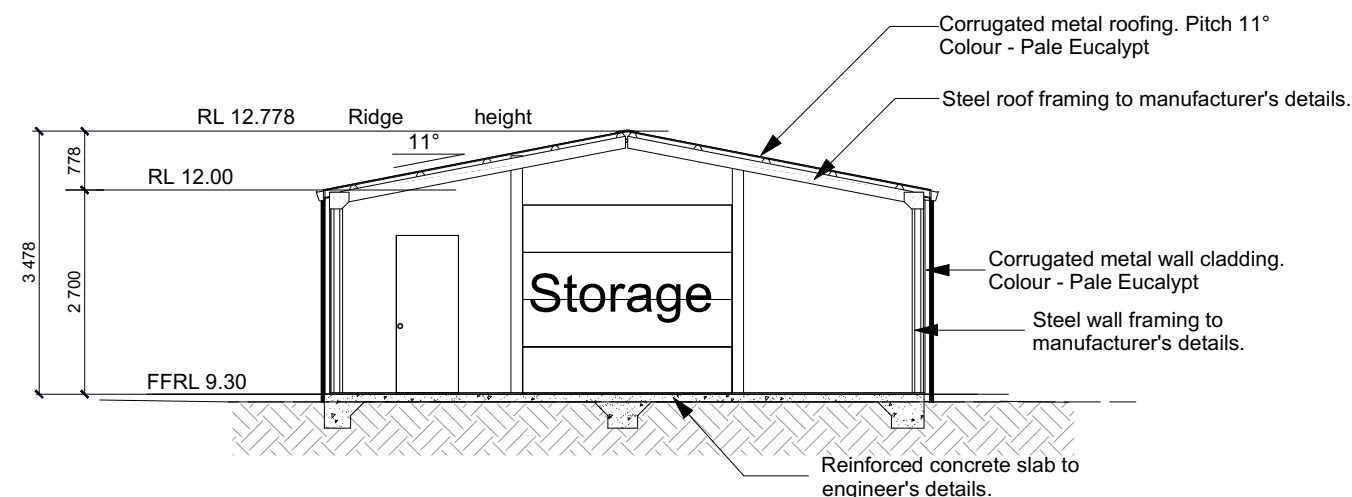
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Plan: Elevations

Drawn: WR - 25-01
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of: 06

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1 Section
06 1:100

- Reduced Levels (RLs) shown are of Datum Heights with an Assumed Bench Mark RL of 10.00

All works to be completed in accordance with the performance requirements of the National Construction Code (NCC) 2022 Volume 2

Detached Portal Frame Sheds

Part H1 Structure (dealt with in Engineering)

- H1P1 Structural reliability and resistance
- H1P2 Buildings in flood areas
- H1D2 Structural provisions
- H1D3 Site preparation
- H1D4 Footings and slabs
- H1D6 Framing
- H1D7 Roof and wall cladding
- H1D8 Glazing
- H1D9 Earthquake areas
- H1D10 Flood hazard areas
- H1D11 Attachment of framed decks and balconies to external walls of buildings using a waling plate
- H1D12 Piled footings

Part H2 Damp and weatherproofing (dealt with in Engineering)

- H2P1 Rainwater management
- H2P2 Weatherproofing
- H2P4 Drainage from swimming pools
- H2D2 Drainage

Part H3 Fire safety (dealt with in Engineering)

- H3D1 Deemed-to-Satisfy Provisions
- H3D2 Fire hazard properties and non-combustible building elements
- H3D3 Fire separation of external walls

Part H4 Health and amenity

- H4P1 Wet areas
- H4P2 Room heights

Part H5 Safe movement and access

- H5P1 Movement to and within a building

Part H7 Ancillary provisions and additional construction requirements (dealt with in Engineering)

- H7P1 Swimming pool access
- H7P2 Swimming pool reticulation systems
- H7P5 Buildings in bushfire prone areas

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*If any uncontained fill is required on site, Class 'P' is applicable.



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Plan: Section

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