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Statement of Environmental Effects

Project: Subdivision (2 Lots into 3 Lots) and Demolition of Existing Shed

Client: Anne McLean

Site Address: 7 Henry Bayly Drive & 90 Cox Street, Mudgee

11 February 2025

Our Reference : 45202-PR01_B

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Client:	Anne McLean
Project Number:	45202
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1. INTRODUCTION

1.1. Background

Barnson Pty Ltd has been engaged by Anne McLean to prepare information in support of a Development Application (DA) for a Torrens Title Subdivision (2 Lots into 3 Lots) and demolition of an existing shed at 7 Henry Bayly Drive and 90 Cox Street, Mudgee.

The subject site is located on the eastern side of Henry Bayly Drive and western side of Cox Street in the township of Mudgee and has a combined property area of 2,923m². The site contains two existing dwellings and associated residential outbuildings.

The project will consist of the subdivision of the site (2 Lots into 3 Lots) and establishment of associated infrastructure. The existing shed on proposed Lot 1 shall be demolished.

The site is zoned R1 General Residential pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012*. The proposed development is defined as a 'subdivision', which is permissible with consent in the R1 zone pursuant to Clause 2.6 of the LEP.

This application consists of:

- A completed development application form; and
- PDF copy of this written statement, including plans and supporting documents.

1.2. Proponent

The proponent for the DA is Anne McLean.

1.3. Consultant

Barnson Pty Ltd

Jack Massey

Unit 4, 108 – 110 Market Street

Mudgee NSW 2850

2. EXISTING ENVIRONMENT

2.1. Location and Title

The subject site of this application is Lots 1 and 2 DP 1215204, known as 7 Henry Bayly Drive and 90 Cox Street, Mudgee. The site is located on the eastern side of Henry Bayly Drive and western side of Cox Street as shown in Figure 1 below.



Source: (NSW Government Spatial Services, 2024)

Figure 1 – Site Location

The site has an overall combined property area of 2,923m² (refer to Deposited Plan Appendix A). Lot 1 has direct frontage to Henry Bayly Drive and Cox Street and Lot 2 has direct access to Cox street only. Each Lot is afforded with a residential dwelling and associated outbuildings.

Refer to Figure 2 and Plates 1 - 2 for images of the site and surrounds.



Source: (NSW Government Spatial Services, 2024)

Figure 2 – Site Aerial



Plate 1 – View of the subject site from Cox Street



Plate 2 – Internal view of the subject site

2.2. Land Use

The subject site is located in an established residential area in the township of Mudgee. There are existing residential developments surrounding the subject site. The site contains two (2) existing dwellings and associated outbuildings and has been used for residential purposes for an extended period of time.

2.3. Topography

The site is relatively flat throughout.

2.4. Flora and Fauna

The site contains some managed grasslands and scattered trees that have been planted by the owners of the site. The plants are typical of a residential garden setting.

2.5. Natural Hazards

2.5.1. Flooding

The site is not mapped within a Flood Planning Area under the *Mid-Western Regional Local Environmental Plan 2012*. However, the site is partially mapped under the *Mudgee Flood Study 2021* as shown in Figure 3 below and Appendix B of this report.



Source: Mudgee Flood Study 2021

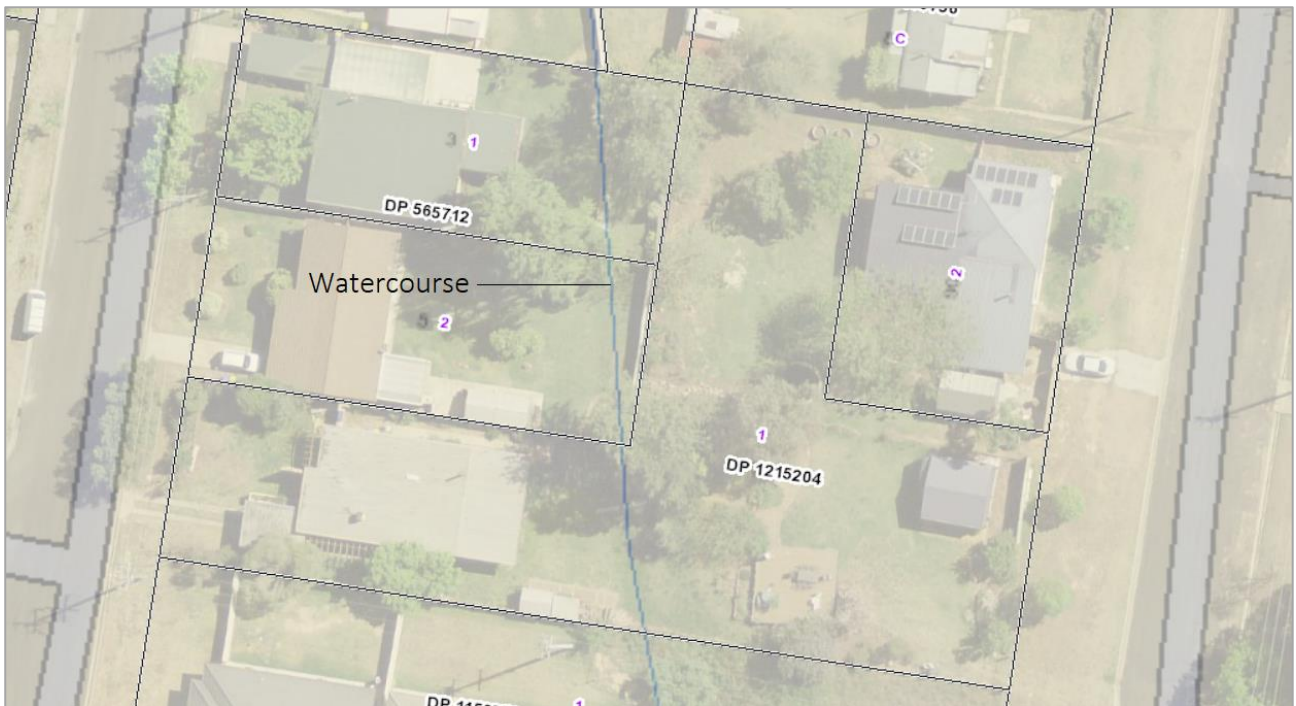
Figure 3 – Flood Prone Land Mapping

2.5.2. Bush Fire

The site is not mapped as bushfire prone under the RFS's Online Mapping Tool.

2.6. Watercourse

A watercourse traverse through the site, as shown in Figure 4 below.



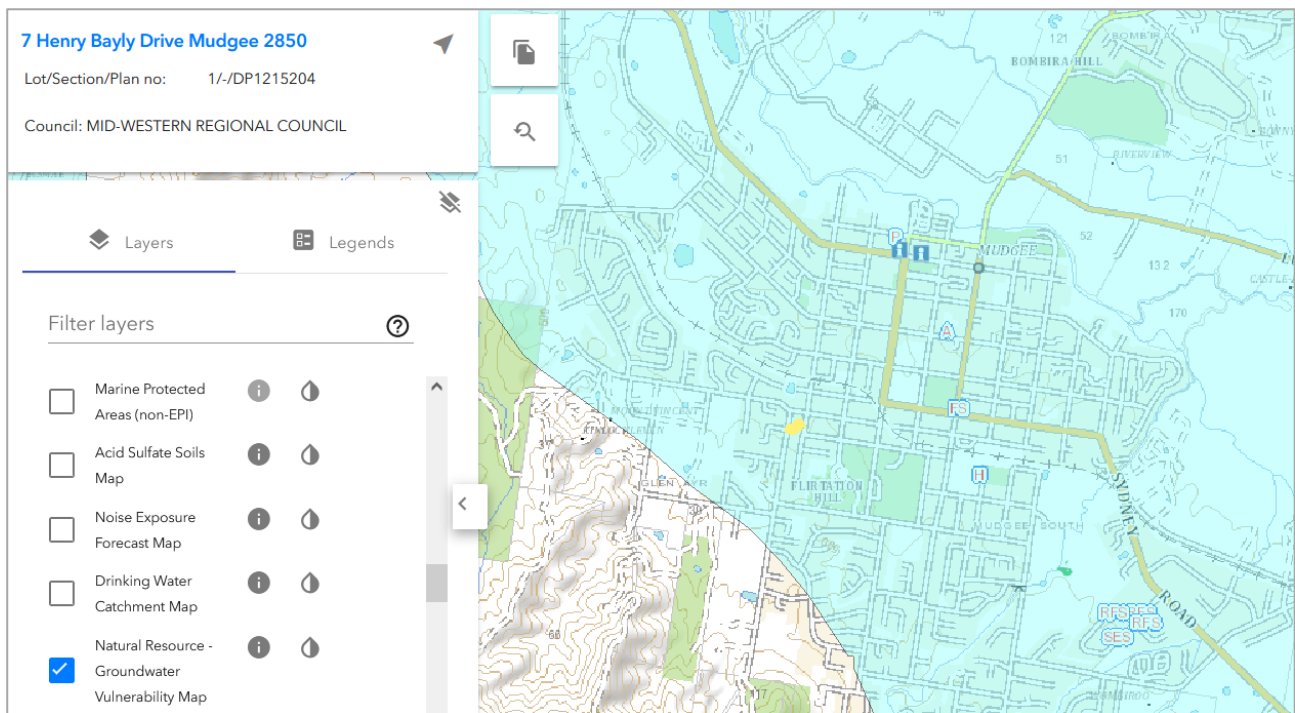
Source: (NSW Government Spatial Services, 2024)

Figure 4 – Watercourse Mapping

Note. Figure 4 above has been obtained from Six Maps. As such, the exact on ground location of the identified watercourse is not considered accurate.

2.7. Groundwater

The subject site, along with the majority of the township of Mudgee, is mapped as Groundwater Vulnerably under the *Mid-Western Regional Local Environmental Plan 2012*. The groundwater vulnerability mapping is shown in Figure 5 below.

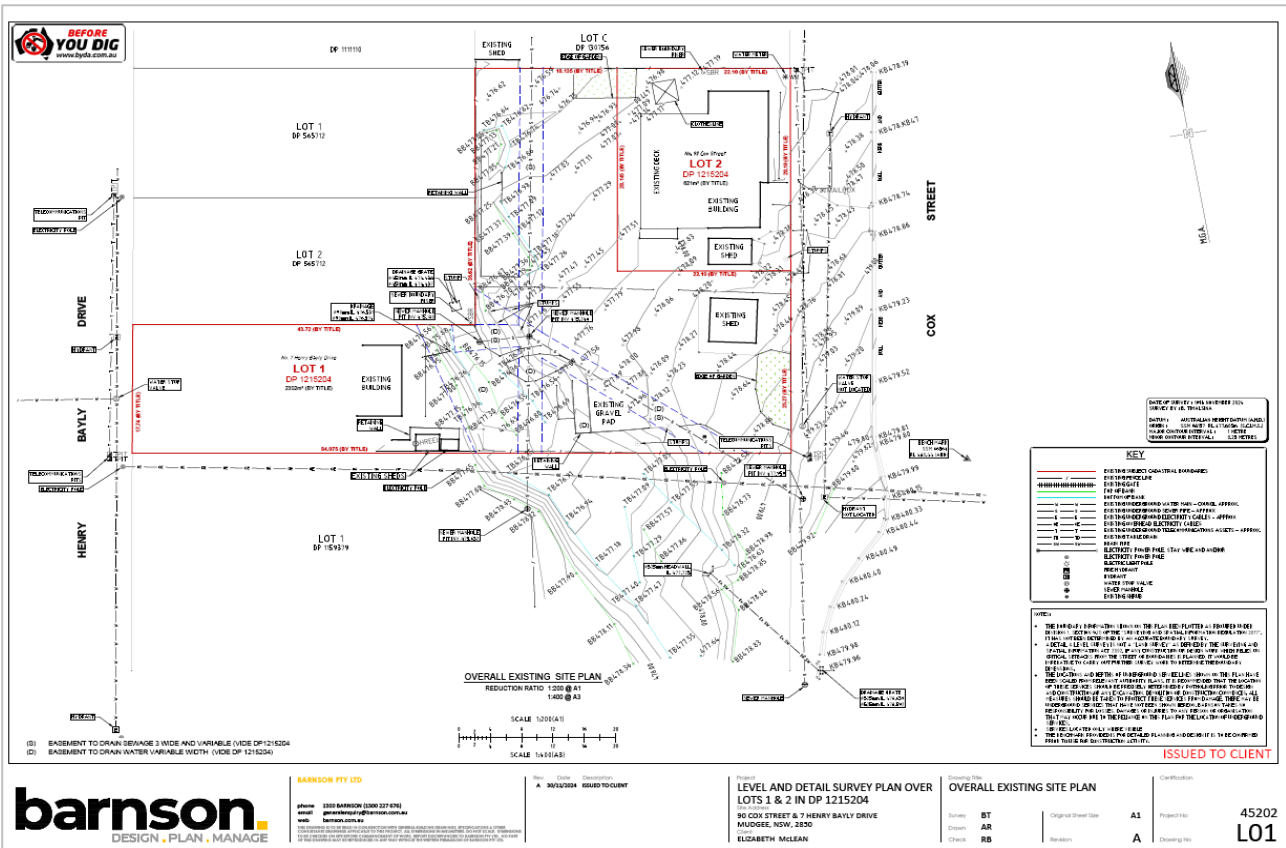


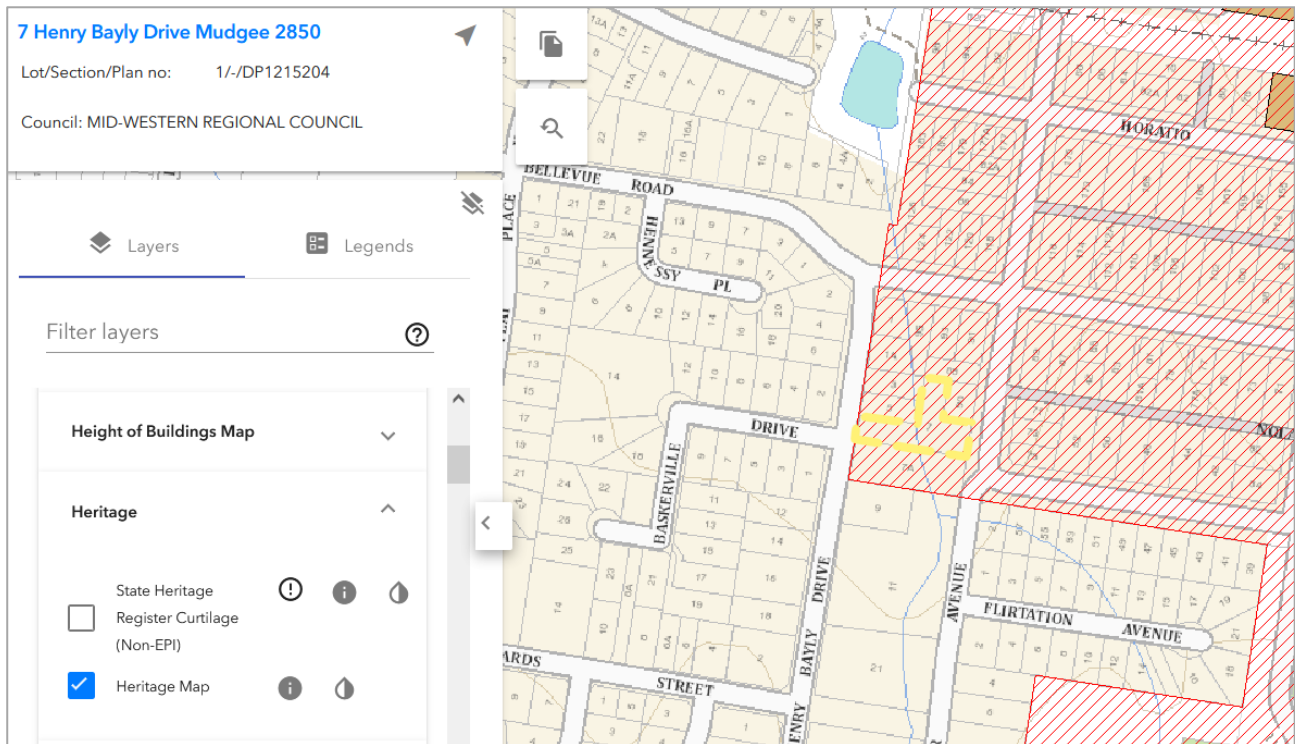
Source: NSW ePlanning Spatial Viewer

Figure 5 – Groundwater Vulnerability Mapping

2.8. Services

The subject site is connected to water and sewer services and there is a sewer main traversing through the middle of the site. Other services such as telecommunications, electricity, stormwater management and suitable road access are connected to the site. All visible and recorded services have been shown on the detail survey in Figure 6 below and Appendix C of this report.





Source: NSW ePlanning Spatial Viewer

Figure 7 – Heritage Mapping

A review of the Aboriginal Heritage Information Management System (AHIMS) has been undertaken. The relevant AHIMS Search is provided in Appendix D of this report, which shows that there are no items of Aboriginal heritage significance located on the site or within 200m of the site.

3. PROPOSED DEVELOPMENT

The proposed development is for the Torrens Title Subdivision of Lots 1 and 2 DP 1215204 into three (3) Lots. Proposed Lots 2 and 3 shall be improved with the existing residential dwellings and proposed Lot 1 shall be vacant ready for future residential development. The existing shed on proposed Lot 1 shall be demolished. A subdivision sketch has been prepared and is provided in Appendix E of this report.

The proposed Lots and their sizes are shown in Table 1 below.

Table 1 - Subdivision Details

Proposed Lot	Road Frontage	Area	Improvements
Lot 1	Cox Street	616m ²	Vacant
Lot 2	Cox Street	1252m ²	Dwelling & shed
Lot 3	Henry Bayly Drive	1055m ²	Dwelling & sheds

The subdivision has been strategically designed to ensure the existing dwellings are situated on their own Lots with existing established connections to essential services. The subdivision will also provide for a new Lot with direct frontage to Cox Street, ready for future residential development.

The future dwelling on proposed Lot 1 shall be positioned clear of the flood mapped land and associated easements in order to be clear of any potential flood impacts from the watercourse that traverses through the subject site. As shown in Figure 3 and Appendix B of this report, the closest 1% AEP Peak Flood Level for the site is 476.68 AHD. Therefore the Flood Planning Level is 477.18 AHD (500mm freeboard above the 1% AEP). The adopted Flood Planning Level shall be complied with and it is recommended that Council condition this requirement on the consent. Proposed Lots 2 and 3 are already afforded with residential dwellings, as consideration of the FPL is only for proposed Lot 1 (i.e. vacant Lot).

Existing utilities for proposed Lots 2 and 3 are considered suitable for the ongoing use of the existing dwellings on those proposed Lots. The following subdivision works are required for proposed Lot 1 as part of the subdivision:

- Reticulated water – New water connection at the north eastern corner of the site.
- Sewer – Decommissioning of the existing reticulated sewer line, which traverses diagonally on proposed Lot 1. The sewer shall be rerouted along the southern boundary and connect to the existing system within proposed Lot 3.

- Stormwater – All stormwater shall be directed into the nearby watercourse. It is anticipated that roof water for a future dwelling on proposed Lot 1 shall be directed into the kerb and gutter.
- Electrical & Telecommunications – There is existing electrical and telecommunications infrastructure within the Cox Street road reserve. Proposed Lot 1 shall be connected to these services, as required by those service providers.
- Access – A new concrete layback and access crossover shall be established from road edge to property boundary for proposed Lot 1 and subject to a separate Section 138 application.

In addition to the above, new boundary fencing shall be proposed delineating the proposed Lots. Fencing shall be constructed using colorbond material with a maximum height of 1.8m and in accordance with Council's requirements.

A Subdivision Sketch Plan is provided in Appendix E and preliminary Civil Engineering Designs in Appendix F of this report. All existing and proposed services have been shown on the plans, with the exception of new electrical and telecommunication lines, which shall be subject to detailed design and in accordance with those service providers.

Barnson believes that there is an anomaly on the existing Deposited Plan with regard to the drainage easement. The drainage easement was plotted over the existing sewer main easement, which traverses diagonally over proposed Lot 1 and the rear of proposed Lot 3. It is proposed to reconfigure the existing drainage easement so it matches the easement line immediately south of the site (DP1159579). This is represented in Figure 8 below and included in the Subdivision Sketch Plan is provided in Appendix E and preliminary Civil Engineers Designs in Appendix F of this report.

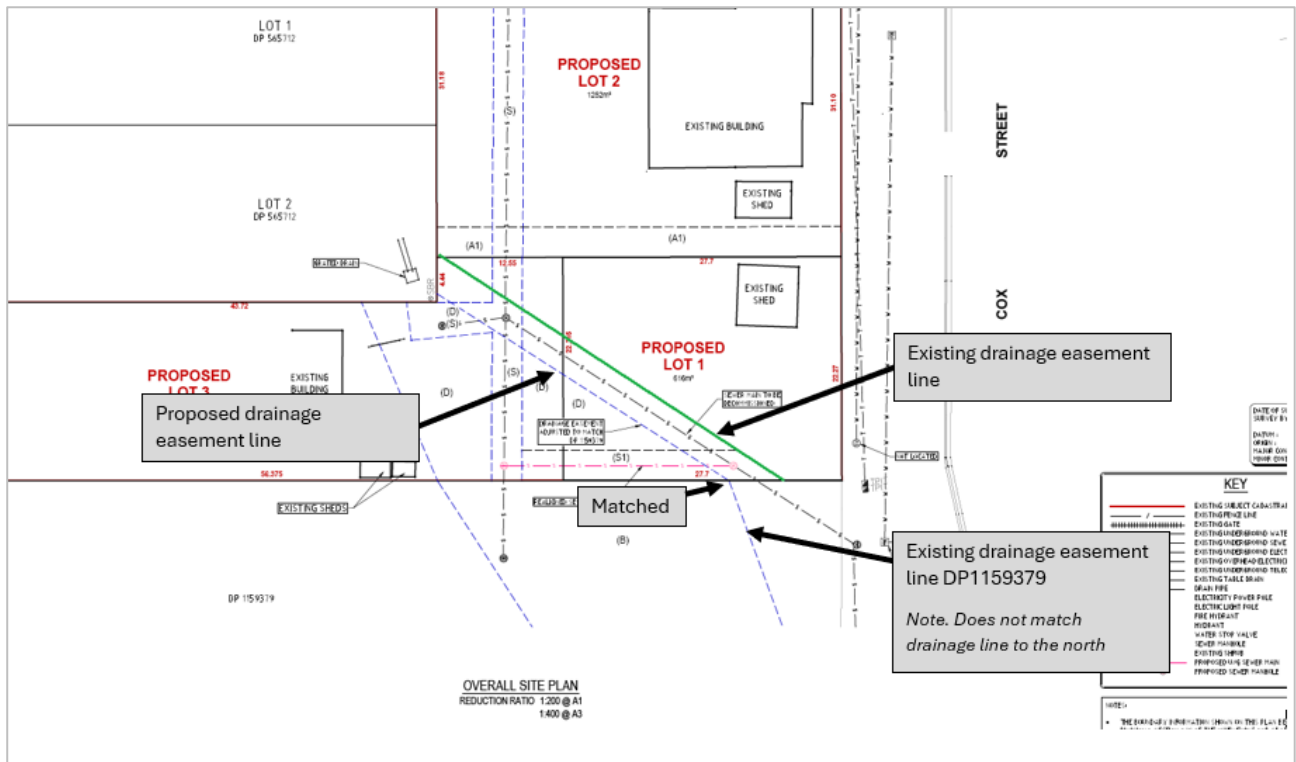


Figure 8 – Drainage Easement Relocation

4. LAND USE ZONING

The subject site is zoned R1 General Residential pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012* (LEP). The proposed development is for a subdivision, which is permissible with consent pursuant to Clause 2.6 of the LEP.

The permissibility of the proposed development is assessed in terms of the heads of consideration in Section 4.15 of the *Environmental Planning & Assessment Act 1979*, which incorporates consideration of the LEP and the objectives and permissible uses outlined in the R1 zone, as outlined in Section 5 of this report.

5. PLANNING CONSIDERATIONS

5.1. Biodiversity Conservation Act 2016

5.1.1. Is the development likely to significantly affect threatened species?

Clause 7.2 of the *Biodiversity Conservation Act 2016* (BC Act) identifies the following circumstances where a development is likely to significantly affect threatened species:

- (a) *it is likely to significantly affect threatened species or ecological communities, or their habitats, according to the test in section 7.3, or*
- (b) *the development exceeds the biodiversity offsets scheme threshold if the biodiversity offsets scheme applies to the impacts of the development on biodiversity values, or*
- (c) *it is carried out in a declared area of outstanding biodiversity value.*

Each of these is addressed below.

Section 7.3 Test

To determine whether a development is likely to significantly affect threatened species or ecological communities, or their habitats, the following is to be taken into account in accordance with Section 7.3 of the BC Act:

- (a) *in the case of a threatened species, whether the proposed development or activity is likely to have an adverse effect on the life cycle of the species such that a viable local population of the species is likely to be placed at risk of extinction,*
- (b) *in the case of an endangered ecological community or critically endangered ecological community, whether the proposed development or activity:*
 - (i) *is likely to have an adverse effect on the extent of the ecological community such that its local occurrence is likely to be placed at risk of extinction, or*
 - (ii) *is likely to substantially and adversely modify the composition of the ecological community such that its local occurrence is likely to be placed at risk of extinction,*
- (c) *in relation to the habitat of a threatened species or ecological community:*
 - (i) *the extent to which habitat is likely to be removed or modified as a result of the proposed development or activity, and*
 - (ii) *whether an area of habitat is likely to become fragmented or isolated from other areas of habitat as a result of the proposed development or activity, and*
 - (iii) *the importance of the habitat to be removed, modified, fragmented or isolated to the long-term survival of the species or ecological community in the locality,*
- (d) *whether the proposed development or activity is likely to have an adverse effect on any declared area of outstanding biodiversity value (either directly or indirectly),*
- (e) *whether the proposed development or activity is or is part of a key threatening process or is likely to increase the impact of a key threatening process.*

Comment: The proposed development includes no clearing of any significant vegetation and is for the subdivision of land only. The provision of new services will not require the removal of any vegetation on the site or within the road reserve. Therefore, the proposed development is unlikely to significantly affect threatened species or ecological communities, or their habitats.

Section 7.4 Test

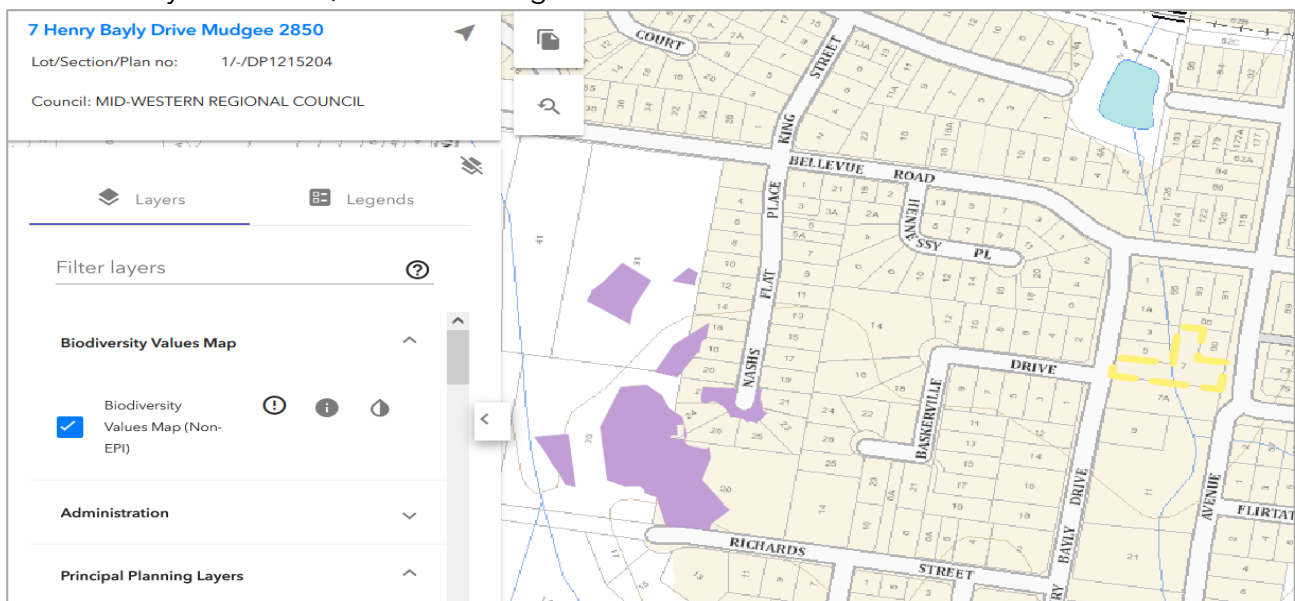
Section 7.4 of the BC Act states:

- (1) *Proposed development exceeds the biodiversity offsets scheme threshold for the purposes of this Part if it is development of an extent or kind that the regulations declare to be development that exceeds the threshold.*
- (2) *In determining whether proposed development exceeds the biodiversity offsets threshold for the purposes of this Part, any part of the proposed development that involves the clearing of native vegetation on category 1-exempt land (within the meaning of Part 5A of the Local Land Services Act 2013) is to be disregarded.*

Comment: The proposed development does not exceed the area clearing threshold for the purposes of this part.

Declared Area of Outstanding Biodiversity Value

The site is not mapped on the Biodiversity Value Map as being land with a high biodiversity value as defined by the BC Act, as shown in Figure 9 below.



Source: (NSW Government, 2024)

Figure 9 – Biodiversity Value Map

5.1.2. Biodiversity Development Assessment Report

As outlined in Section 5.1.1, the proposed development is not likely to significantly affect threatened species as defined by Section 7.2 of the BC Act. Therefore, a Biodiversity Development Assessment Report is not required to accompany the application for development consent.

5.2. Environmental Planning & Assessment Act 1979

5.2.1. Application of Biodiversity Conservation Act 2016 & Fisheries Management Act 1994

Section 1.7 of the *Environmental Planning & Assessment Act 1979* (EP&A Act) identifies that Part 7 of the BC Act and Part 7A of the FM Act relate to the operation of the EP&A Act in relation to the terrestrial and aquatic environment. The FM Act does not apply and the BC Act has been addressed in Section 5.1 of this report.

5.2.2. Evaluation

Section 4.15 of the EP&A Act (as amended) requires the Council to consider various matters in regard to the determination of the Development Application.

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) *The provisions of:*
 - (i) *any environmental planning instrument, and*
 - (ii) *any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and*
 - (iii) *any development control plan, and*
 - (iv) *any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and*
 - (v) *the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and*
 - (vi) *any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates,*
- (b) *The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality;*
- (c) *The suitability of the site for the development,*
- (d) *Any submissions made in accordance with this act or the regulations,*
- (e) *The public interest.*

The proposed development has been designed with consideration to the following matters, as outlined below.

5.2.3. Integrated Development

Development that requires both development consent and another approval listed under Section 4.46 of the EP&A Act is 'Integrated Development'. The proposed development is Integrated Development as follows:

- Development within 40m of a watercourse under the *Water Management Act 2000*.

5.3. Environmental Planning Instruments

5.3.1. State Environmental Planning Policy (Biodiversity and Conservation) 2021 – Chapter 2 Vegetation in Non-Rural Areas

The R1 General Residential zone is listed in Clause 2.3 of the SEPP, therefore, in accordance with Clause 2.3, Chapter 2 of the SEPP applies to the proposed development.

The principles of Chapter 2 are to:

Protect the biodiversity values of trees and other vegetation in non-rural areas of the State, and

Preserve the amenity of non-rural areas of the State through the preservation of trees and other vegetation.

Comment: The proposed development includes no clearing of any significant vegetation. Therefore, the development shall achieve the principles listed in Chapter 2.

5.3.2. State Environmental Planning Policy (Resilience and Hazards) 2021

Clause 4.6 of *State Environmental Planning Policy (Resilience and Hazards) 2021* requires Council to consider the following before granting consent to a DA:

- it has considered whether the land is contaminated, and*
- if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
- if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

Comment: It is assumed an application was previously submitted for the existing dwellings on the site, which involved earthworks and construction activities. It is thus logical to assume that the site underwent assessments to determine its suitability for the proposed land use, and any necessary contamination investigations were carried out and addressed during the earlier application. To date, no records indicate any contaminating activity on the site after the completion of the previous application. Furthermore, the proposed development does not involve a change of land use.

5.3.3. Mid-Western Regional Local Environmental Plan 2012

Land Use Table

The subject site is zoned R1 General Residential pursuant to the *Mid-Western Regional Local Environmental Plan 2012* (LEP). The objectives of the R1 zone are:

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

Comment: The proposed development is defined as a 'subdivision'. The development is consistent with the zone objectives as it provides for future residential development and supports existing residential dwellings in an area dominated by residential accommodation. The subdivision is permissible with consent in the R1 zone.

Subdivision

Clause 2.6 of the *Mid-Western Regional Local Environmental Plan 2012* (LEP) enables subdivision to be carried out with development consent.

Minimum Lot Size

Clause 4.1 (3) states:

- (3) *The size of any lot resulting from a subdivision of land to which this clause applies is not to be less than the minimum size shown on the Lot Size Map in relation to that land.*

Comment: The subject site has a minimum of 600m² pursuant to the *Mid-Western Regional Local Environmental Plan 2012* Lot Size Map and ePlanning Spatial Viewer.

The proposed development is for the subdivision of land that results in two lots (refer to subdivision sketch in Appendix E). Proposed Lot one (1) has a land area of 616m², proposed Lot two (2) has a land area of 1,252m² and proposed Lot three (3) has an area of 1,055m².

The proposed development meets the minimum lot size requirement.

Heritage Conservation

Clause 5.10 applies as the subject site is located within the Heritage Conservation Area, as shown in Figure 7 of this report. However, given the proposed development is for the subdivision of the site only and all existing buildings shall remain unchanged, the provisions under this clause are not triggered.

Flood Planning

Clause 5.21 applies as the site is partially mapped under the *Mudgee Flood Study 2021* as shown in Figure 3 of this report. Subsection (2) of this clause states:

(2) Development consent must not be granted to development on land the consent authority considers to be within the flood planning area unless the consent authority is satisfied the development—

- (a) is compatible with the flood function and behaviour on the land, and*
- (b) will not adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties, and*
- (c) will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood, and*
- (d) incorporates appropriate measures to manage risk to life in the event of a flood, and*
- (e) will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses.*

Comment: The following is provided in response to the provisions above:

- The proposed subdivision has been designed to ensure the existing dwellings and future dwelling is compatible with the flood impact within proximity. The subdivision layout respects the natural flow paths and flood characteristics of the area. The Flood Planning Level is 477.18m AHD (500mm freeboard above the 1% AEP). A future dwelling on proposed Lot 1 shall ensure the finished floor level is above the Flood Planning Level and it is recommended that Council condition this on the consent.
- The subdivision design incorporated flood mitigation methods, including raised finished floor levels for a future dwelling on proposed Lot 1 and appropriate drainage infrastructure.
- The subdivision layout provides clear and accessible evacuation routes directly to the nearby street network. Direct access to these evacuation routes should be kept clear at all times and the design of these routes shall be included for a future dwelling on proposed Lot 1.
- The following shall be utilised for a future dwelling; a floor level that complies with the Flood Planning Level, flood-resilient building materials, and clear evacuation routes as required. Additionally, the proposed stormwater management design shall appropriately manage stormwater across the site, reducing flood impacts.
- The proposed subdivision avoids direct impacts on riparian zones and maintains the stability of riverbanks and watercourses. Erosion control measures will be implemented during construction to prevent siltation and damage to surrounding ecosystems.

Subsection (3) of this clause states:

(3) In deciding whether to grant development consent on land to which this clause applies, the consent authority must consider the following matters—

- (a) the impact of the development on projected changes to flood behaviour as a result of climate change,*
- (b) the intended design and scale of buildings resulting from the development,*
- (c) whether the development incorporates measures to minimise the risk to life and ensure the safe evacuation of people in the event of a flood,*
- (d) the potential to modify, relocate or remove buildings resulting from development if the surrounding area is impacted by flooding or coastal erosion.*

Comment: The following is provided in response to the provisions above:

- The design flood modelling results under the *Mudgee Flood Study 2021* considered the impacts and potential changes due to climate change. This included consideration in the finalisation of the 1% AEP event. Therefore, by complying with the FPL, the proposed subdivision has taken into account future climate change scenarios, ensuring that the development remains resilient to increased flood risks over time.
- A future dwelling on proposed Lot 1 will be constructed with raised floor levels and flood-resistant materials where appropriate, and the overall scale of the development is designed to avoid encroachment into key flood pathways or obstructing natural drainage.
- The subdivision includes elevated finished floor levels, flood-resilient building materials, and well-planned evacuation routes that will remain accessible in the event of a flood.
- The subdivision layout has been designed with flexibility in mind, incorporating considerations for future climate change impacts, such as flooding.

Earthworks

Clause 6.3 applies as minor earthworks are proposed to allow the development to proceed, in particular the provision of services connections. The minor earthworks proposed has been designed to minimise disruption to existing drainage patterns and soil stability, ensuring the integrity of the site and surrounding properties.

Groundwater Vulnerability

Clause 6.4 applies as the site is mapped as vulnerable, as shown in Figure 5 of this report. It is not proposed to draw water from any groundwater resources as part of this application and minimal earthworks are required to allow the development to proceed. As such, the proposed subdivision would avoid any impacts on groundwater quality and dependant ecosystems.

Essential Services

Clause 6.9 (1) states:

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the proposed development are available or that adequate arrangements have been made to make them available when required—

- (a) the supply of water,
- (b) the supply of electricity,
- (c) the disposal and management of sewage,
- (d) stormwater drainage or on-site conservation,
- (e) suitable road access.

Comment: The existing essential services connected to proposed Lots 2 and 3 shall remain unchanged. Proposed Lot 1 shall be provided with new connections, consisting of water supply, sewerage, telecommunications, electricity and suitable road access. Discussions will be undertaken with the relevant service providers prior to the issue of the subdivision certificate.

The proposed service arrangements have been included on the preliminary Civil Engineering Designs in Appendix F of this report.

5.4. Draft Environmental Planning Instruments

No draft Environmental Planning Instruments are applicable to the subject site or development.

5.5. Development Control Plans

The *Mid-Western Regional Council Development Control Plan 2013* (DCP) applies to the proposed development. Table 2 below considers the relevant provisions of the DCP as they apply to the proposed development.

Table 2 – DCP compliance Table

Provision	Comment
<i>Part 7.1 Urban Subdivision Controls</i>	
Lot Size	<p>The proposed Lots have direct frontage to the street network.</p> <p>The MLS is 600m² pursuant to the <i>Mid-Western Regional Local Environmental Plan 2012</i>. The resulting lots are proposed to be 616m², 1,251m² and 1,055m² in area. The slope of the land does not exceed 10 degrees. Therefore compliance with this part is achieved.</p>
Lot Design	<p>The subdivision results in three proposed Lots, of which two contain an existing residential dwelling. The subdivision has been designed to optimise solar access, consideration solar patterns and solar orientation.</p> <p>The proposed Lots are generally rectangular in shape and allow for an orientation to include 3-hours of sunlight access between 9:00am and 3:00pm on 21 June (Winter Solstice).</p>
Street Design and Layout	A Traffic Impact Statement is not required as the subdivision does not involve 5 or more allotments or the creation of a new road. The subdivision sketch attached in Appendix E of this report details how the proposed development integrates with the surrounding road hierarchy and residential area.
Cycle Footpaths Ways and	Not applicable to proposed development as there are no proposed footpaths or cycle ways proposed.

Open Space	Not applicable to the proposed development as there are no proposed on-site detention basins, and the subject site is not a 'Greenfield' site.
Landscaping	Not applicable to the proposed development as there are no proposed public reserve nor are there any proposed changes to the public domain including any nature strip, street furniture or paving materials.
Utility Services	The proposed subdivision will result in three new allotments. Proposed Lots 2 and 3 shall retain all utility connections afforded to the existing dwellings on the site. Proposed Lot 2 shall be connected to water supply, sewer, telecommunications, electricity and stormwater management ready for future development.
<i>Part 5.4 Environmental Controls</i>	
Protection of Aboriginal Archaeological Items	An AHIMS Search was undertaken and is provided in Appendix D of this report. The search shows that there are no known Aboriginal items or relics known to be on the subject site or within proximity. If any items of significance are identified the proponent will notify relevant authorities.
Bushfire Management	The site is not mapped as bushfire prone land.
Riparian and Drainage Line Environments	The drainage line and associated drainage easements have been accurately positioned on the plans in Appendix E of this report. The proposed development is considered integrated development, being development within 40m of an identified water course. As such, referral to DPE – Water shall be undertaken.
Pollution and Water Management	There is no proposed pollution or waste producing activity as part of this proposed development.
Threatened Species and Vegetation Management	The proposed development is for the subdivision of two existing Lots into three Lots and the provision of associated essential services. It does not include significant clearing and is considered to not have any significant impact on local flora and fauna.
Building in Saline Environments	The subject site is not considered a saline environment.
House Slabs and Footings	Not applicable as there are no proposed slabs or footings.

Brickwork	Not applicable as there are no proposed brickworks.
All Buildings	Not applicable as there are no proposed buildings.
Alterations Additions	and Not applicable as there are no proposed alterations or additions.

5.6. Any Planning Agreement entered into

No Planning Agreements entered into are known to exist in relation to the development or site.

5.7. Any Matters Prescribed by the Regulations

For the purposes of Section 4.15(1)(a)(iv) of the EP&A Act, Clause 92 of the *Environmental Planning and Assessment Regulations 2000* (EP&A Regulations) specifies the additional matters a consent authority must take into consideration when determining a DA. None of which apply to the proposed development.

5.8. Any Likely Impacts of the Development

5.8.1. Context & Setting

The subject site is located in a residential locality which is characterised by existing residential developments and emerging infill developments. The proposed development is for a minor subdivision of two Lots to produce three Lots that reflect the minimum lot size of the area which is considered to be consistent with the existing streetscape and would not impact on the context or setting in the locality.

5.8.2. Access, Transport & Traffic

The subject site has frontage to Henry Bayly Drive and Cox Street, which are two way, town lanes sealed roads. The existing access crossovers for the existing dwelling may require upgrades, subject to Council's assessment/requirements. The vacant Lot, proposed Lot 1, will require a new access crossover and layback. Section 138 applications shall be lodged and it is anticipated that Council shall condition this requirement.

5.8.3. Utilities

The provision of all essential services are either available or arrangements have been made to make them available where required. All services shall be established for proposed Lot 1 (vacant Lot) ready for future residential development and in accordance with Council's requirements.

5.8.4. Heritage

As discussed throughout this report, the site is located within a Heritage Conservation Area. However, as the proposed development does not involve the construction of any buildings, direct heritage impacts are not anticipated at this stage. Heritage considerations will be carefully addressed as part of any future development applications, ensuring that any proposed works comply with relevant heritage guidelines and protect the cultural and historical values of the area. Appropriate heritage assessments will be conducted during future stages to ensure any development respects the significance of the conservation area.

5.8.5. Flooding

The proposed subdivision has been designed to minimise any likely impacts on flooding and flood behaviour. It incorporates measures for a future dwelling on proposed Lot 1 such as raised finished floor levels, flood-resistant materials, and proper drainage systems to ensure compatibility with the existing flood function and to prevent exacerbating flood risks to surrounding properties. The Flood Planning Level is 477.18m AHD (500mm freeboard above the 1% AEP). A future dwelling on proposed Lot 1 shall ensure the finished floor level is above the Flood Planning Level and it is recommended that Council condition this on the consent.

The development will not impede natural flood flows or increase flood risks to neighbouring areas. A Flood Evacuation Plan should be implemented for the existing dwellings and future dwelling on proposed Lot 1. Additionally, the development avoids impacts on environmentally sensitive areas and ensures that flood risks are mitigated through thoughtful design and planning.

5.8.6. Social & Economic Impacts in the Locality

The proposed development creates the potential for further residential development in the township of Mudgee, contributing to the future development of services and facilities that are associated with a small town as well as economic activity in the building and construction industry in the locality. The proposed development is not considered to have any significant adverse social or economic impacts.

5.8.7. Site Design & Internal Design

There are no prohibitive constraints posed by adjacent developments. There does not appear to be any zoning, planning or environmental matters that should hinder the proposed development of the site. In this regard, it can be concluded that the proposed subdivision is suitable for the locality.

5.8.8. Cumulative Impacts

There are no other impacts such as bushfire or technological hazards that would result from the proposed subdivision.

5.9. Suitability of the Site for the Proposed Development

The suitability of the site for the proposed development has been addressed in the above sections of this report. There are no prohibitive constraints posed by adjacent developments. There does not appear to be any zoning, planning or environmental matters that should hinder the proposed development of the site. In this regard, it can be concluded that the proposal fits into the locality and the site attributes are conducive for the development.

5.10. The Public Interest

The proposed development is considered to be in the public interest as it provides for a small-scale subdivision. As outlined throughout this report the development is consistent with the minimum lot size for the area and is not expected to have any adverse off-site impacts.

6. CONCLUSION

It is recommended that the proposed subdivision of Lots 1 and 2 DP 1215204, known as 7 Henry Bayly Drive and 90 Cox Street, Mudgee be supported on the following grounds:

- The proposal is considered acceptable in terms of the provisions of Section 4.15 of the *Environmental Planning and Assessment Act 1979*;
- The proposal is permissible with consent and consistent with the relevant development standards and provisions of the *Mid-Western Regional Local Environmental Plan 2012*;
- The proposal complies with the relevant provisions of the *Mid-Western Regional Council Development Control Plan 2012*;
- The proposed development is not anticipated to generate any adverse impacts in the locality; and
- The proposed development is considered suitable for the site and its surrounds.

7. REFERENCES

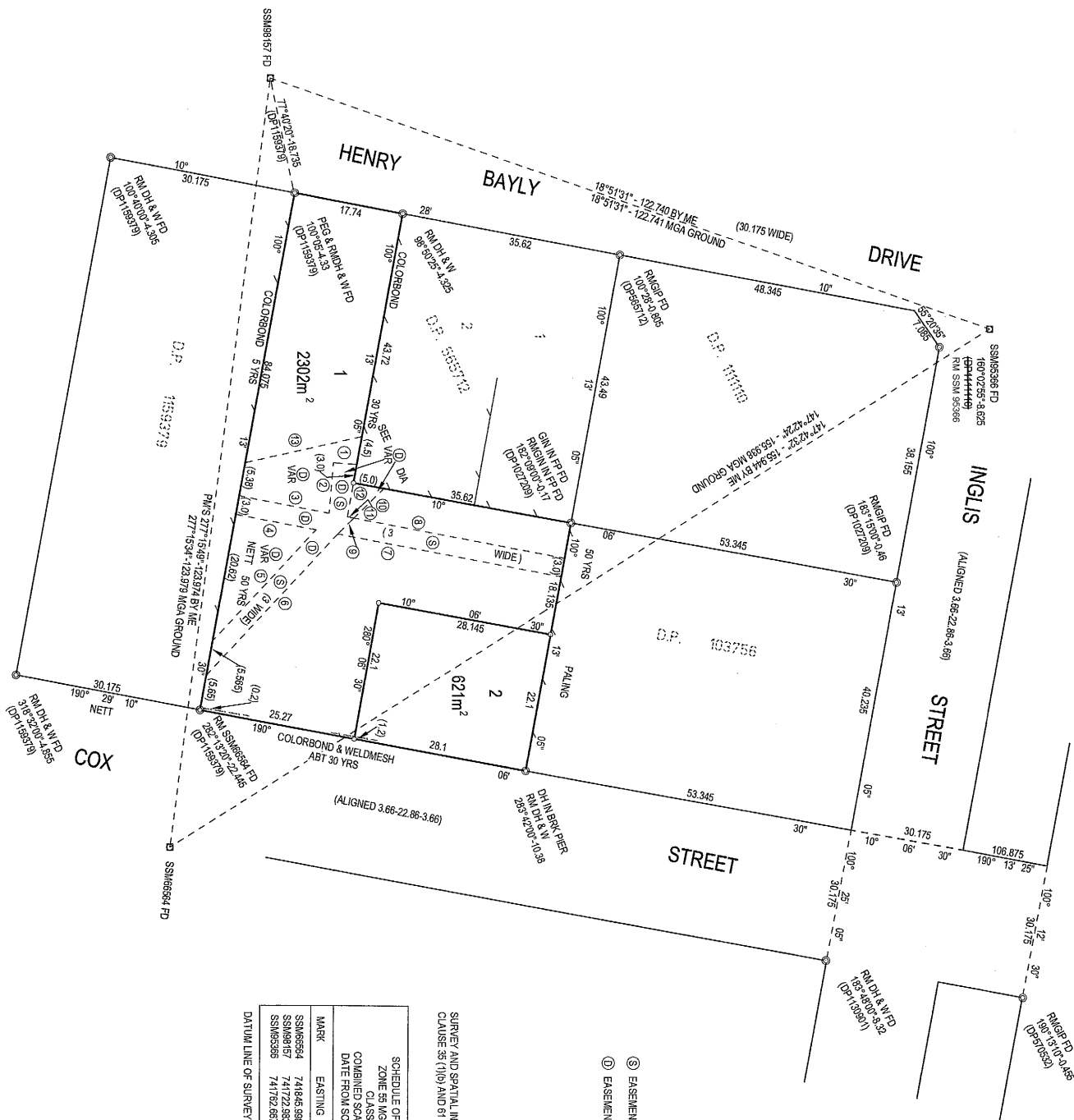
- NSW Government. (2024, November 7). *Biodiversity Value Map*. Retrieved from <https://www.lmbc.nsw.gov.au/Maps/index.html?viewer=BVMap>
- NSW Government Spatial Services. (2024, November 7). *Six Maps*. Retrieved from <http://maps.six.nsw.gov.au/>
- NSW Rural Fire Service. (2019). *Planning for Bush Fire Protection: A Guide for Council's, Planners, Fire Authorities and Developers*. Sydney: NSW RFS.



APPENDIX A

Deposited Plan

LINE	EAS	BEARING	DISTANCE
1	SD	183°17'05"	3.81
2	SD	94°40'50"	8.08
3	SD	190°27'30"	14.745
4	SD	10°27'30"	13.46
5	SD	132°50'45"	24.415
6	SD	312°50'45"	31.005
7	S	10°27'30"	36.655
8	S	190°27'30"	34.635
9	D	135°31'50"	3.665
10	D	135°31'50"	6.775
11	SD	190°27'30"	1.085
12	SD	280°13'05"	3.575
13	D	187°08'40"	19.23



MARK	EASTING	NORTHING	ORIGIN
SSM6554	741845.988	639087.725	SCMS
SSM6553	741722.983	6390103.395	SCMS
SSM6536	741762.657	6390219.576	SCMS

SURVEY AND SPATIAL INFORMATION REGULATION 2012
CLAUSE 35 (1)(b) AND 6(12)

DATUM LINE OF SURVEY - SSM6536 - SSM6517

Surveyor : ROBERT JOHN CROOKS
Date of Survey : 30TH JUNE 2015
Surveyor's Ref : BK248

PLAN OF SUBDIVISION OF LOT 3 DP655712 AND LOT 4 SECTION 53 DP758721


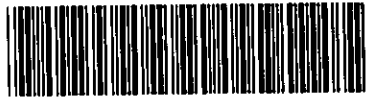
LGA: MID WESTERN REGIONAL
Locality : MUDGEE
Subdivision No: S0003 | 2016
Lengths are in metres, Reduction Ratio 1: 500

Registered
22-12-2015


DP1215204 P

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 1 of 2 Sheet(s)

Office Use Only	Public Use Only
Registered:  22-12-2015	 DP1215204 S
Title System: TORRENS	
Purpose: SUBDIVISION	
PLAN OF SUBDIVISION OF LOT 3 DP565712 AND LOT 4 SECTION 53 DP758721	LGA: MID WESTERN REGIONAL Locality: MUDGEES Parish: MUDGEES County: WELLINGTON
Crown Lands NSW/Western Lands Office Approval I, (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given. Signature: Date: File Number: Office:	Survey Certificate I, ROBERT JOHN CROOKS of JABEK PTY LTD - 107-125 BELLEVUE ROAD, MUDGEES NSW 2850 a surveyor registered under the <i>Surveying and Spatial Information Act</i> 2002, certify that: *(a) The land shown in the plan was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2012</i> , is accurate and the survey was completed on 30TH JUNE 2015 *(b) The part of the land shown in the plan (*being* excluding was surveyed in accordance with the <i>Surveying and Spatial</i> <i>Information Regulation 2012</i> , is accurate and the survey was completed on the part not surveyed was compiled in accordance with that Regulation. *(c) The land shown in this plan was compiled in accordance with the <i>Surveying and Spatial Information Regulation 2012</i> . Signature: Dated: 5/7/2015 Surveyor ID: 884 Datum Line: SSM95366 - SSM98157 Type: *Urban The terrain is Level / Undulating *Strike through if inapplicable. ^Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.
Subdivision Certificate I, <u>LINDSAY DUNSTAN</u> *Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of s.109J of the <i>Environmental Planning and</i> <i>Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set out herein. Signature: Accreditation number: Consent Authority: <u>MIDWESTERN REGIONAL COUNCIL</u> Date of endorsement: <u>29 July 2015</u> Subdivision Certificate number: <u>SC003/2016</u> File number: <u>9709</u> *Strike through if inapplicable.	
Statements of intention to dedicate public roads, public reserves and drainage reserves.	Plans used in the preparation of survey/compilation: DP1159379; DP1111110; DP1027209; DP565712; DP1130901; DP103756; 32-1009 If space is insufficient continue on PLAN FORM 6A
Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A	Surveyor's Reference: BK248


DEPOSITED PLAN ADMINISTRATION SHEET Sheet 1 of 2 sheet(s)

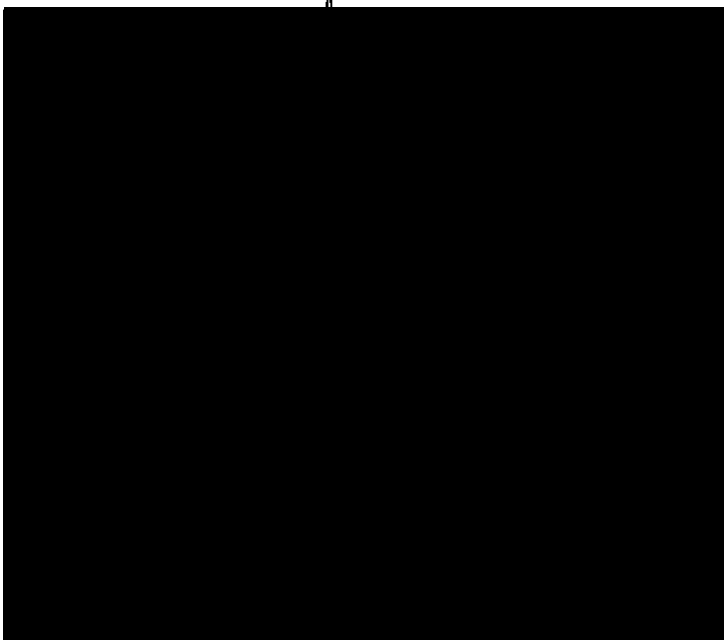
Office Use Only		Public Use Only	
Registered:  22-12-2015	DP1215204		
PLAN OF SUBDIVISION OF LOT 3 DP565712 AND LOT 4 SECTION 53 DP758721			
Subdivision Certificate number: <u>SC003/2016</u>		This sheet is for the provision of the following information as required: <ul style="list-style-type: none">• A schedule of lots and addresses - See 60(c) <i>SSI Regulation 2012</i>• Statements of intention to create and release affecting interests in accordance with section 88B <i>Conveyancing Act 1919</i>• Signatures and seals- see 195D <i>Conveyancing Act 1919</i>• Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.	
Date of Endorsement: <u>29 July 2015</u>			

PURSURANT TO SECTION 88B OF THE CONVEYANCING ACT 1919 AS AMENDED, IT IS INTENDED TO CREATE:

1. EASEMENT TO DRAIN SEWAGE 3 WIDE AND VARIABLE
2. EASEMENT TO DRAIN WATER VARIABLE WIDTH

LOT NO	STREET NO	STREET NAME	STREET TYPE	LOCALITY
1	7	HENRY BAYLY	DRIVE	MUDGEES
2	90	COX	STREET	MUDGEES


Westpac



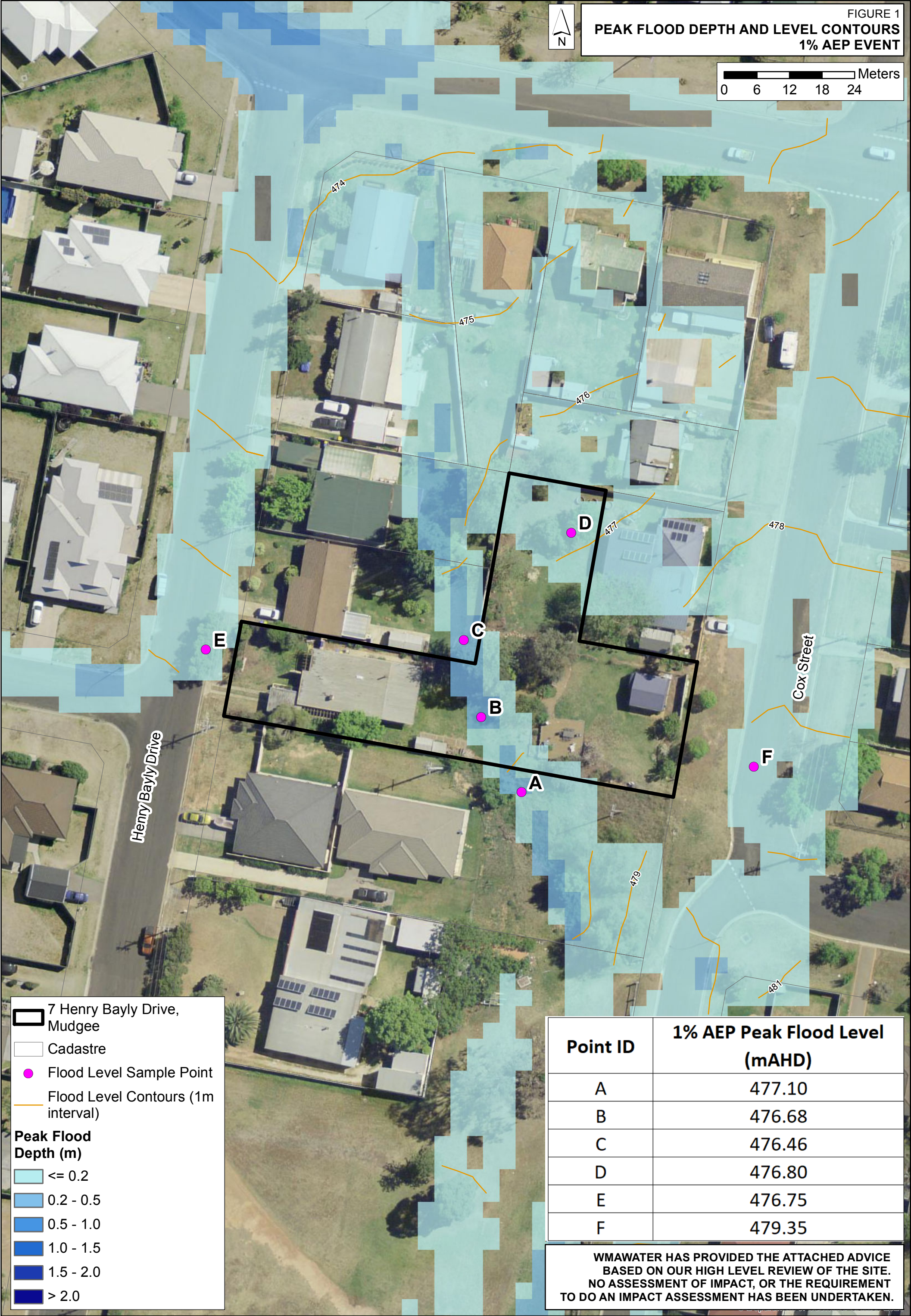
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Surveyor's Reference: BK248

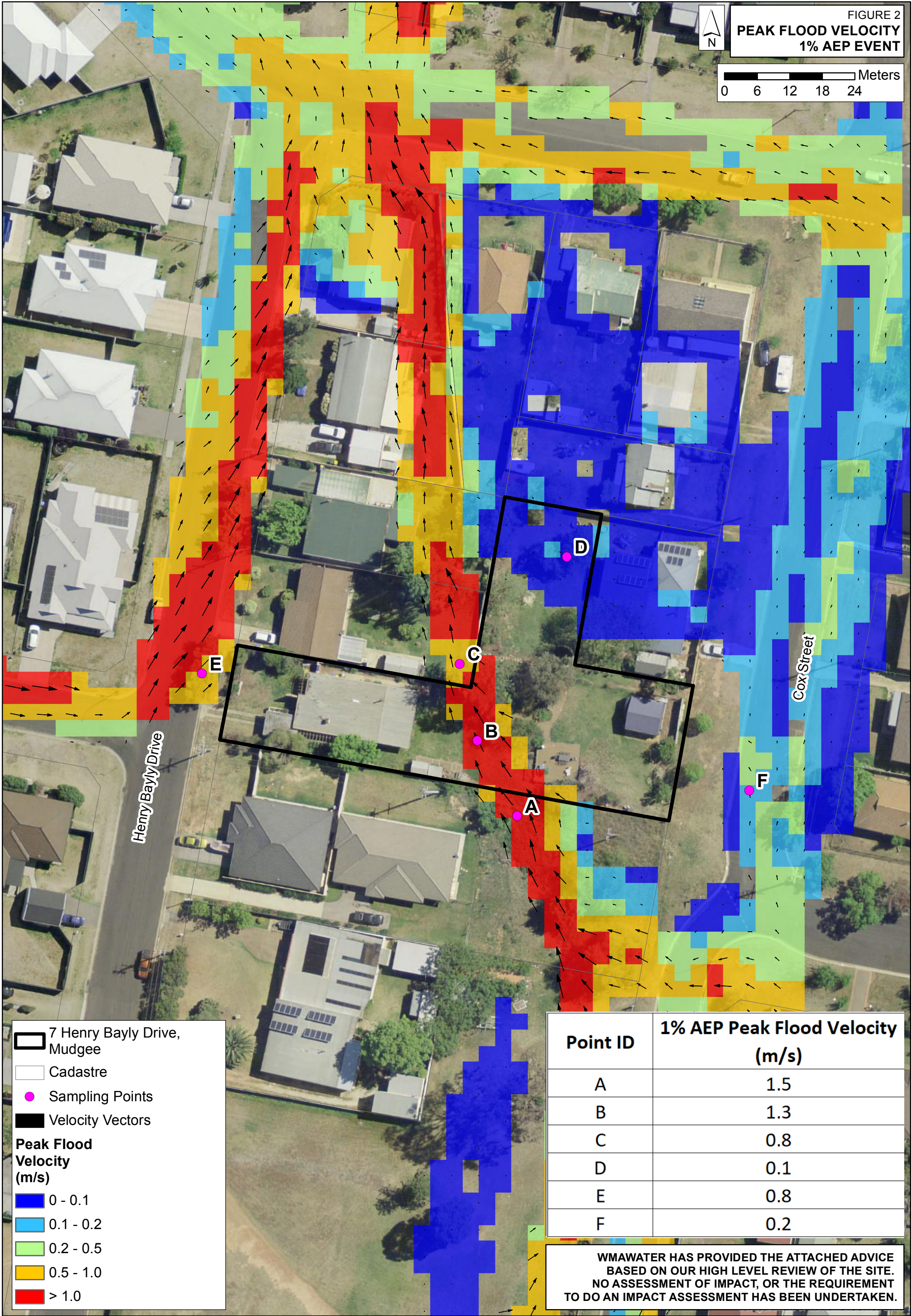
APPENDIX B

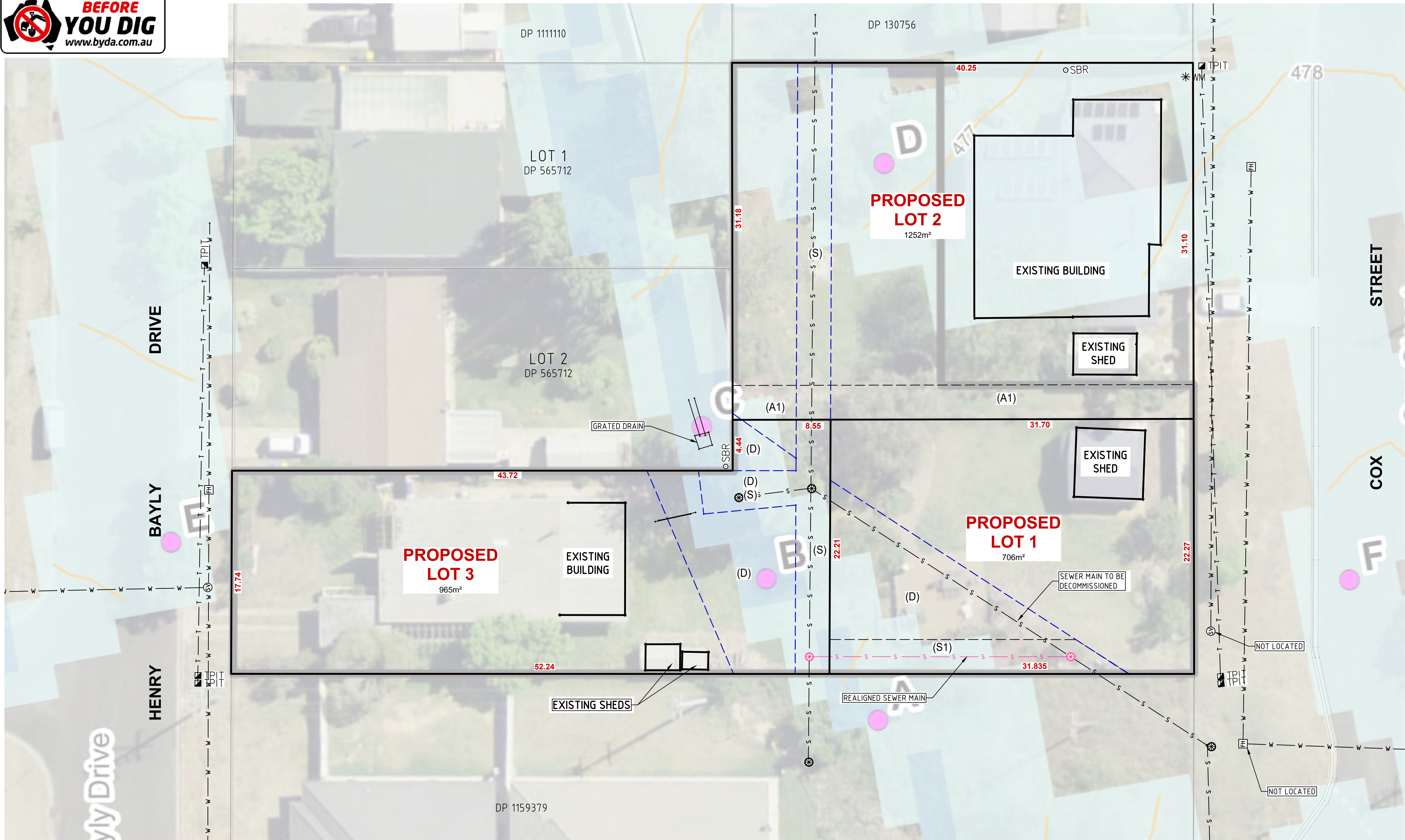
Flood Prone Land Map

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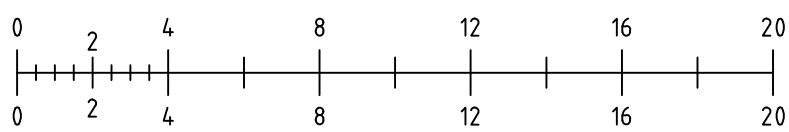




OVERALL SITE PLAN

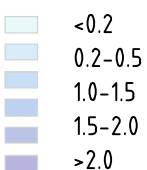
REDUCTION RATIO 1:200 @ A1
1:400 @ A3

SCALE 1:200(A1)



SCALE 1:400(A3)

PEAK FLOOD DEPTH (m)



- (S) EASEMENT TO DRAIN SEWAGE 3 WIDE AND VARIABLE (VIDE DP1215204)
(D) EASEMENT TO DRAIN WATER VARIABLE WIDTH (VIDE DP 1215204)
(S1) PROPOSED EASEMENT TO DRAIN SEWAGE 3 WIDE
(A1) PROPOSED EASEMENT FOR ACCESS 3 WIDE

KEY

—	EXISTING SUBJECT CADASTRAL BOUNDARIES
— / —	EXISTING FENCE LINE
+++++	EXISTING GATE
W — W	EXISTING UNDERGROUND WATER MAIN - COUNCIL APPROX.
S — S	EXISTING UNDERGROUND SEWER PIPE - APPROX
E — E	EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX
OE — OE	EXISTING OVERHEAD ELECTRICITY CABLES
T — T	EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
TD — TD	EXISTING TABLE DRAIN
SW — SW	DRAIN PIPE
⊙	ELECTRICITY POWER POLE
⊙	ELECTRIC LIGHT POLE
⊙	FIRE HYDRANT
⊙	HYDRANT
⊙	WATER STOP VALVE
⊙	SEWER MANHOLE
⊙	EXISTING SHRUB
— S —	PROPOSED U/G SEWER MAIN
⊙	PROPOSED SEWER MANHOLE

NOTES:

- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9.1(1) OF THE "SURVEYING AND SPATIAL INFORMATION REGULATION 2017". IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.
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- THE LOCATIONS AND DEPTHS OF UNDERGROUND SERVICE LINES SHOWN ON THIS PLAN HAVE BEEN SCALED FROM RELEVANT AUTHORITY PLANS. IT IS RECOMMENDED THAT THE LOCATION OF THESE SERVICES SHOULD BE PRECISELY DETERMINED BY POTHOLING PRIOR TO DESIGN AND CONSTRUCTION OR ANY EXCAVATION, DEMOLITION OR CONSTRUCTION COMMENCES. ALL MEASURES SHOULD BE TAKEN TO PROTECT THESE SERVICES FROM DAMAGE. THERE MAY BE UNDERGROUND SERVICES THAT HAVE NOT BEEN SHOWN HEREON. BARNSON TAKES NO RESPONSIBILITY FOR LOSSES, DAMAGES OR INJURIES TO ANY PERSON OR ORGANISATION THAT MAY OCCUR DUE TO THE RELIANCE ON THIS PLAN FOR THE LOCATION OF UNDERGROUND SERVICES.
- SERVICES LOCATED ONLY WHERE VISIBLE
- THE BENCHMARK PROVIDED IS FOR DETAILED PLANNING AND DESIGN IT IS TO BE CONFIRMED PRIOR TO USE FOR CONSTRUCTION ACTIVITY.

ISSUED TO CLIENT

BARNSON PTY LTD

phone 1300 BARNSON (1300 227 676)
email generalenquiry@barnson.com.au
web barnson.com.au

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH GENERAL BUILDING DRAWINGS, SPECIFICATIONS & OTHER CONSULTANTS DRAWINGS APPLICABLE TO THIS PROJECT. ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE. DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK. REPORT DISCREPANCIES TO BARNSON PTY LTD. NO PART OF THIS DRAWING MAY BE REPRODUCED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF BARNSON PTY LTD.

Rev	Date	Description
A	30/11/2024	ISSUED TO CLIENT

Project
SUBDIVISION PLAN
LOTS 1 & 2 IN DP 1215204
Site Address
90 COX STREET & 7 HENRY BAYLY DRIVE
MUDGEES, NSW, 2850
Client
ELIZABETH McLEAN

Drawing Title
PROPOSED SUBDIVISION PLAN

Survey BT
Drawn AR
Check RB

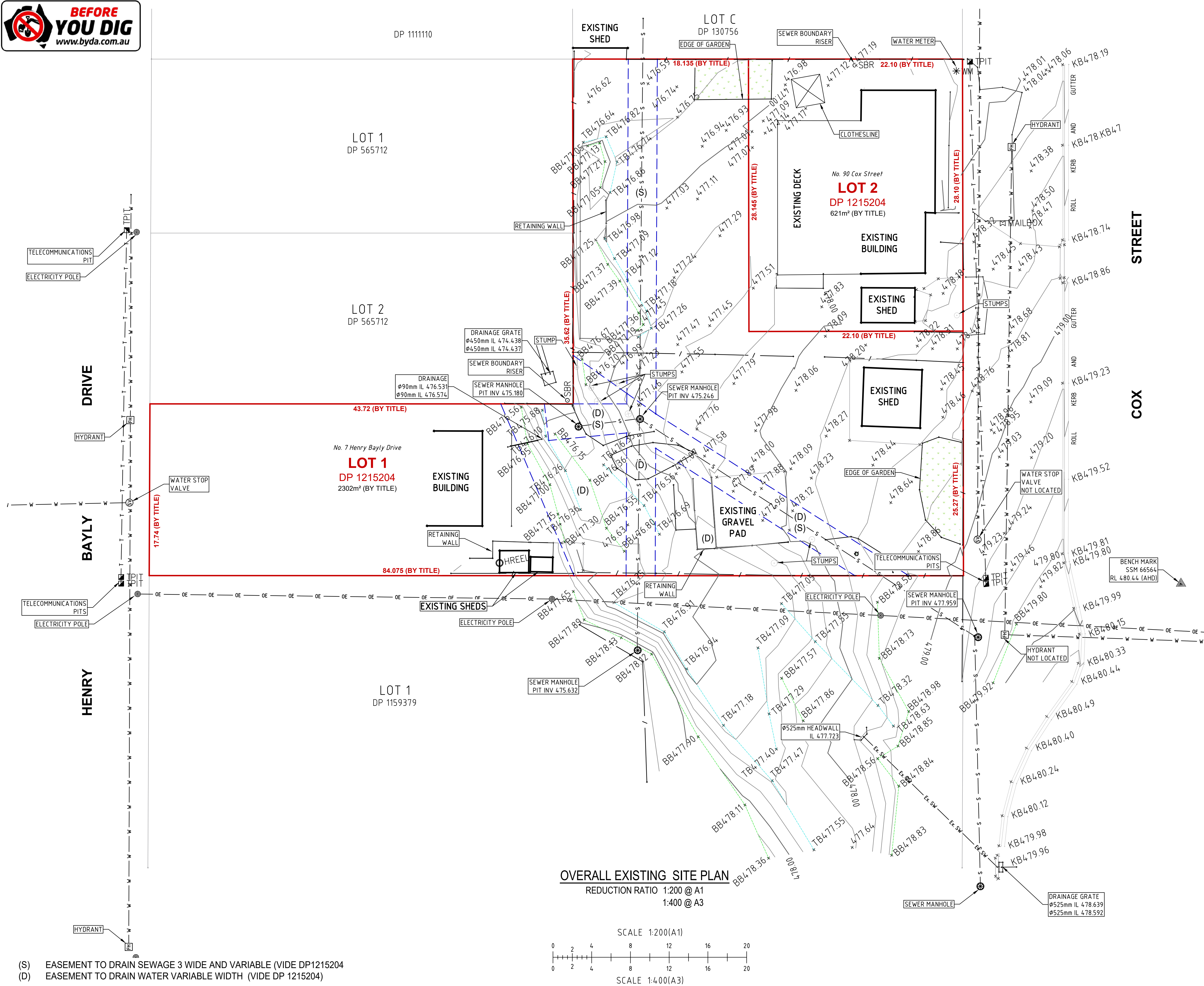
Original Sheet Size
Revision

A1
A

Certification
Project No
Drawing No

45202
L02

APPENDIX C
Detail Survey



(S) EASEMENT TO DRAIN SEWAGE 3 WIDE AND VARIABLE (VIDE DP1215204)
(D) EASEMENT TO DRAIN WATER VARIABLE WIDTH (VIDE DP 1215204)

DATE OF SURVEY : 19th NOVEMBER 2024
SURVEY BY : B. TIMALSINA
DATUM : AUSTRALIAN HEIGHT DATUM (A.H.D.)
ORIGIN : SSM 98157 RL 477.605m (S.C.I.M.S.)
MAJOR CONTOUR INTERVAL : 1 METRE
MINOR CONTOUR INTERVAL : 0.25 METRES

KEY

- EXISTING SUBJECT CADASTRAL BOUNDARIES
- EXISTING FENCE LINE
- EXISTING GATE
- TOP OF BANK
- BOTTOM OF BANK
- EXISTING UNDERGROUND WATER MAIN - COUNCIL APPROX.
- EXISTING UNDERGROUND SEWER PIPE - APPROX
- EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX
- EXISTING OVERHEAD ELECTRICITY CABLES
- EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
- EXISTING TABLE DRAIN
- DRAIN PIPE
- ELECTRICITY POWER POLE, STAY WIRE AND ANCHOR
- ELECTRICITY POWER POLE
- ELECTRIC LIGHT POLE
- FIRE HYDRANT
- HYDRANT
- WATER STOP VALVE
- SEWER MANHOLE
- EXISTING SHRUB

NOTES:

- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9.1(1) OF THE "SURVEYING AND SPATIAL INFORMATION REGULATION 2017". IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.
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- THE LOCATIONS AND DEPTHS OF UNDERGROUND SERVICE LINES SHOWN ON THIS PLAN HAVE BEEN SCALED FROM RELEVANT AUTHORITY PLANS. IT IS RECOMMENDED THAT THE LOCATION OF THESE SERVICES SHOULD BE PRECISELY DETERMINED BY POTHOLING PRIOR TO DESIGN AND CONSTRUCTION OR ANY EXCAVATION, DEMOLITION OR CONSTRUCTION COMMENCES. ALL MEASURES SHOULD BE TAKEN TO PROTECT THESE SERVICES FROM DAMAGE. THERE MAY BE UNDERGROUND SERVICES THAT HAVE NOT BEEN SHOWN HEREON. BARNSON TAKES NO RESPONSIBILITY FOR LOSSES, DAMAGES OR INJURIES TO ANY PERSON OR ORGANISATION THAT MAY OCCUR DUE TO THE RELIANCE ON THIS PLAN FOR THE LOCATION OF UNDERGROUND SERVICES.
- SERVICES LOCATED ONLY WHERE VISIBLE
- THE BENCHMARK PROVIDED IS FOR DETAILED PLANNING AND DESIGN IT IS TO BE CONFIRMED PRIOR TO USE FOR CONSTRUCTION ACTIVITY.

ISSUED TO CLIENT

BARNSON PTY LTD

phone 1300 BARNSON (1300 227 676)
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web barnson.com.au

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Rev Date Description
A 30/11/2024 ISSUED TO CLIENT

Project
LEVEL AND DETAIL SURVEY PLAN OVER
LOTS 1 & 2 IN DP 1215204
Site Address
90 COX STREET & 7 HENRY BAYLY DRIVE
MUDGEE, NSW, 2850
Client
ELIZABETH McLEAN

Drawing Title
OVERALL EXISTING SITE PLAN

Survey BT
Drawn AR
Check RB

Original Sheet Size
Revision

A1
A

Certification
Project No
Drawing No

45202
L01

APPENDIX D
AHIMS Search

Barnson

Date: 07 November 2024

Suite 6 11 White Street
Tamworth New South Wales 2340

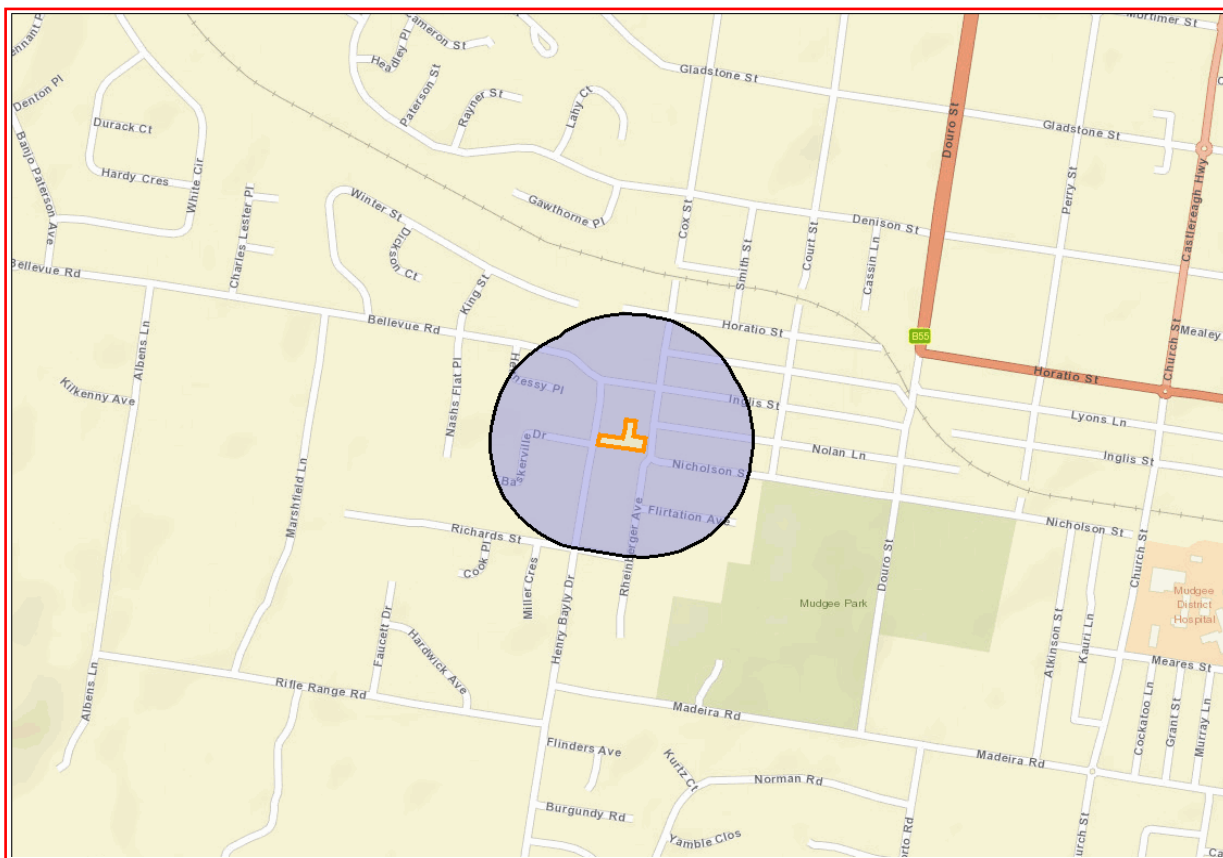
Attention: Jack Massey

Email: jmassey@barnson.com.au

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 1, DP:DP1215204, Section : - with a Buffer of 200 meters, conducted by Jack Massey on 07 November 2024.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

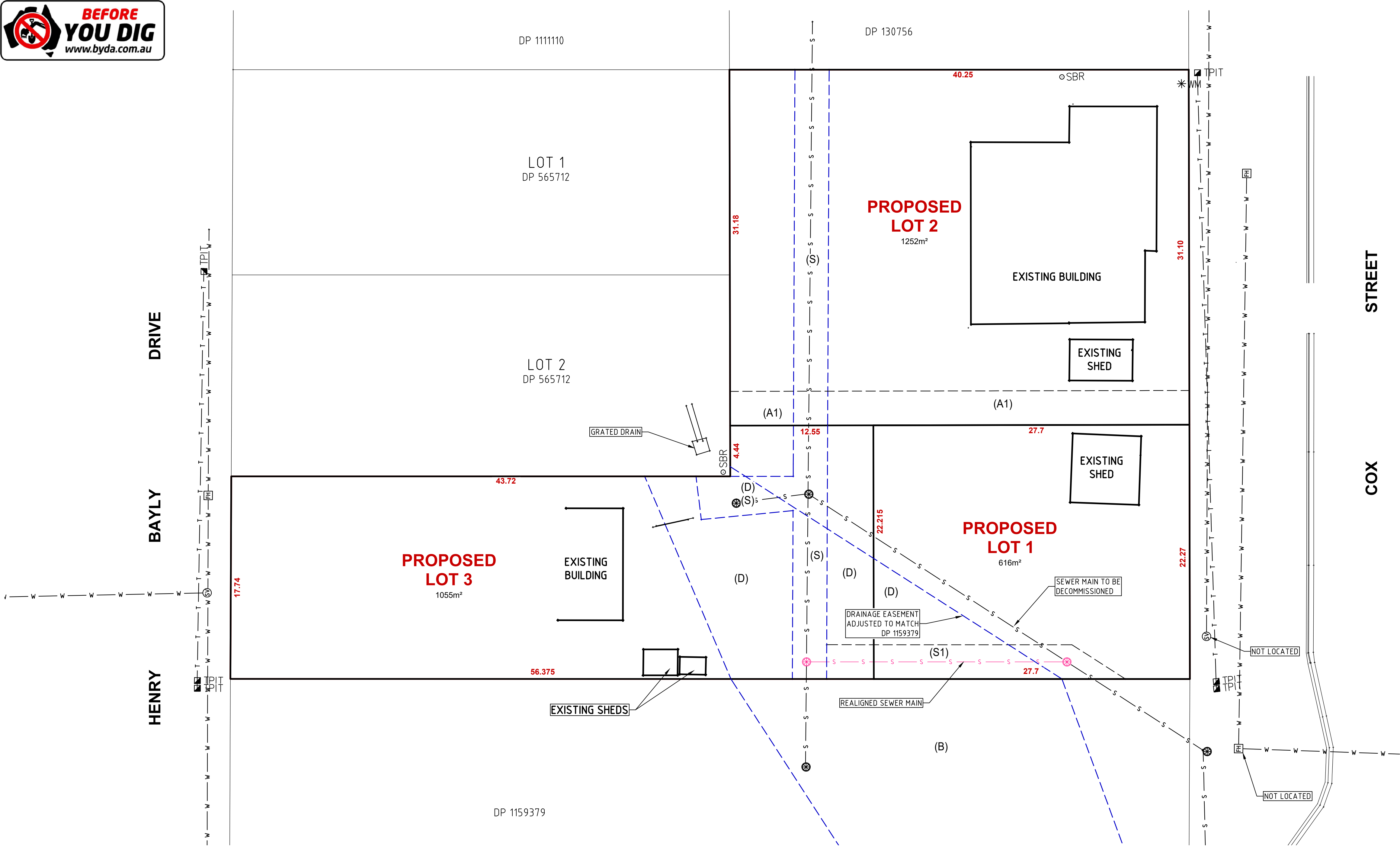
Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.



APPENDIX E

Subdivision Sketch Plan



DATE OF SURVEY : 19th NOVEMBER 2024
SURVEY BY : B. TIMALSINA
DATUM : AUSTRALIAN HEIGHT DATUM (A.H.D.)
ORIGIN : SSM 98157 RL 477.605m (S.C.I.M.S.)
MAJOR CONTOUR INTERVAL : 1 METRE
MINOR CONTOUR INTERVAL : 0.25 METRES

KEY

- EXISTING SUBJECT CADASTRAL BOUNDARIES
- EXISTING FENCE LINE
- EXISTING GATE
- EXISTING UNDERGROUND WATER MAIN - COUNCIL APPROX.
- EXISTING UNDERGROUND SEWER PIPE - APPROX
- EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX
- EXISTING OVERHEAD ELECTRICITY CABLES
- EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
- EXISTING TABLE DRAIN
- DRAIN PIPE
- ELECTRICITY POWER POLE
- ELECTRIC LIGHT POLE
- FIRE HYDRANT
- HYDRANT
- WATER STOP VALVE
- SEWER MANHOLE
- EXISTING SHRUB
- PROPOSED U/G SEWER MAIN
- PROPOSED SEWER MANHOLE

NOTES:

- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9.1(1) OF THE "SURVEYING AND SPATIAL INFORMATION REGULATION 2017". IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.
- A DETAIL & LEVEL SURVEY IS NOT A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT 2002. IF ANY CONSTRUCTION OR DESIGN WORK WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.
- THE LOCATIONS AND DEPTHS OF UNDERGROUND SERVICE LINES SHOWN ON THIS PLAN HAVE BEEN SCALED FROM RELEVANT AUTHORITY PLANS. IT IS RECOMMENDED THAT THE LOCATION OF THESE SERVICES SHOULD BE PRECISELY DETERMINED BY POTHOLING PRIOR TO DESIGN AND CONSTRUCTION OR ANY EXCAVATION, DEMOLITION OR CONSTRUCTION COMMENCES. ALL MEASURES SHOULD BE TAKEN TO PROTECT THESE SERVICES FROM DAMAGE. THERE MAY BE UNDERGROUND SERVICES THAT HAVE NOT BEEN SHOWN HEREON. BARNSON TAKES NO RESPONSIBILITY FOR LOSSES, DAMAGES OR INJURIES TO ANY PERSON OR ORGANISATION THAT MAY OCCUR DUE TO THE RELIANCE ON THIS PLAN FOR THE LOCATION OF UNDERGROUND SERVICES.
- SERVICES LOCATED ONLY WHERE VISIBLE
- THE BENCHMARK PROVIDED IS FOR DETAILED PLANNING AND DESIGN IT IS TO BE CONFIRMED PRIOR TO USE FOR CONSTRUCTION ACTIVITY.

ISSUED TO CLIENT

BARNSON PTY LTD

phone 1300 BARNSON (1300 227 676)
email generalenquiry@barnson.com.au
web barnson.com.au

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Rev	Date	Description
A	30/11/2024	ISSUED TO CLIENT
B	17/12/2024	EASEMENTS AND PROPOSED LOTS AMENDED

Project
SUBDIVISION PLAN
LOTS 1 & 2 IN DP 1215204
Site Address
90 COX STREET & 7 HENRY BAYLY DRIVE
MUDGEEE, NSW, 2850
Client
ELIZABETH McLEAN

Drawing Title
PROPOSED SUBDIVISION PLAN

Survey BT
Drawn JS
Check RB

Original Sheet Size
Revision

A1
B

Certification
Project No
Drawing No

45202
L02

APPENDIX F

**Preliminary Civil Engineering
Designs**

Civil Design Documentation

Proposed Subdivision

Lots 1 & 2 in DP 1215204

90 Cox Street & 7 Henry Bayly Drive,

Mudgee, NSW, 2850

SCHEDULE OF DRAWINGS

SHEET No.	DESCRIPTION
45202-C00	COVER SHEET AND DRAWING SCHEDULE
45202-C01	EXISTING SITE PLAN
45202-C02	PROPOSED SITE PLAN
45202-C10	PROPOSED STORMWATER MANAGEMENT PLAN
45202-C11	STORMWATER SPECIFICATION
45202-C20	PROPOSED SEWER RETICULATION PLAN
45202-C21	SEWER RETICULATION LONGITUDINAL SECTION & NOTES AND DETAILS
45202-C30	PROPOSED WATER RETICULATION PLAN
45202-C31	WATER RETICULATION NOTES AND DETAILS



LOCALITY PLAN

NOT TO REDUCTION RATIO

PRELIMINARY DRAWING

Not to be used for construction purposes

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Rev	Date	Description
A	04-12-2024	PRELIMINARY DRAWING

Project

PROPOSED SUBDIVISION OF

LOTS 1 & 2 in DP 1215204

Site Address

90 Cox Street & 7 Henry Bayly Drive,

MUDGE, NSW, 2850

Client

ELIZABETH McLEAN

Drawing Title

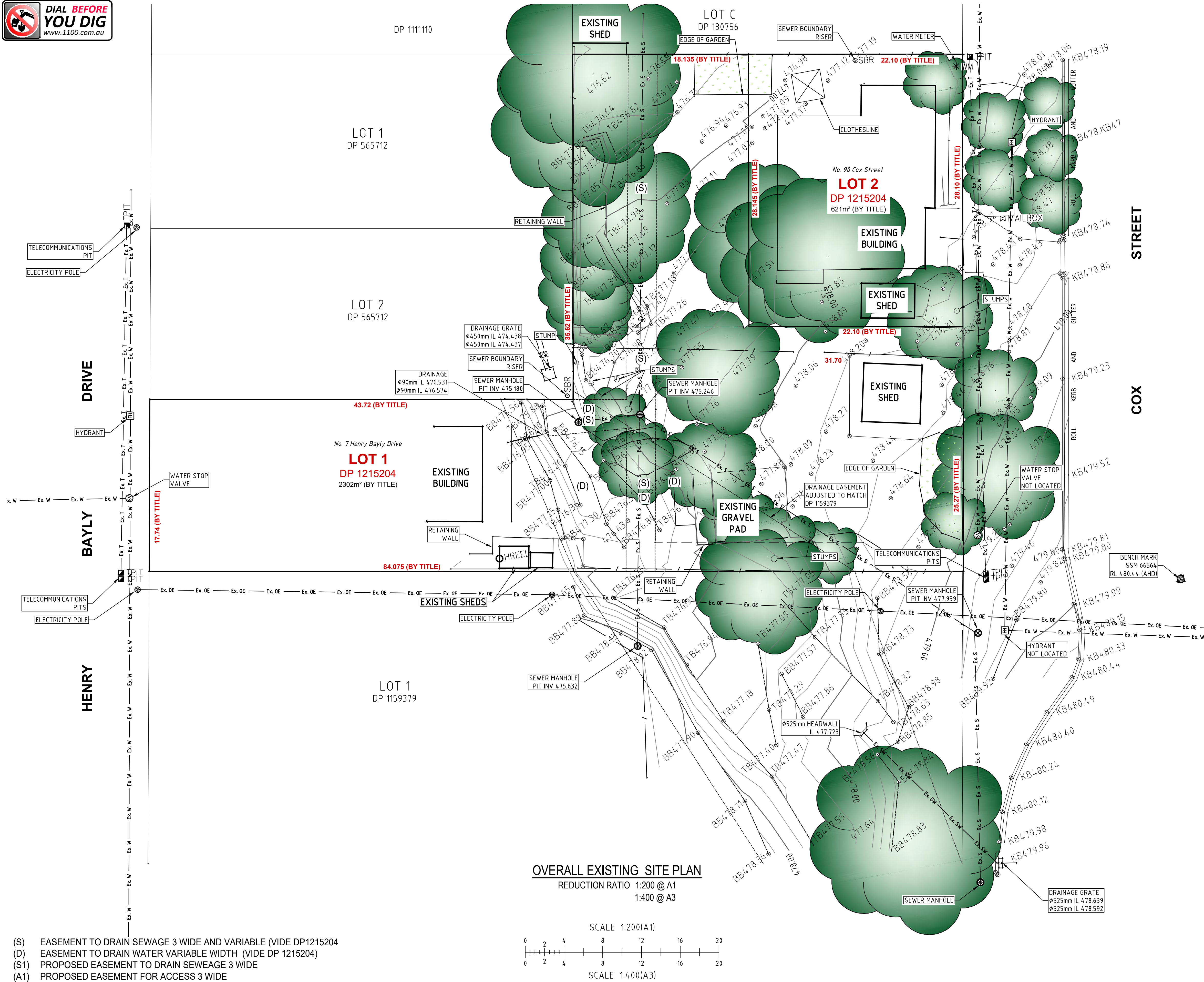
COVER SHEET & NOTES

Design	LM	Original Sheet Size	A1
Drawn	AR		
Check		Revision	A

Certification Title
Project No
Drawing No

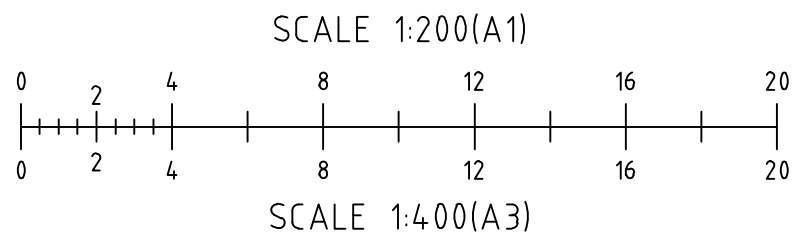
45202

C00



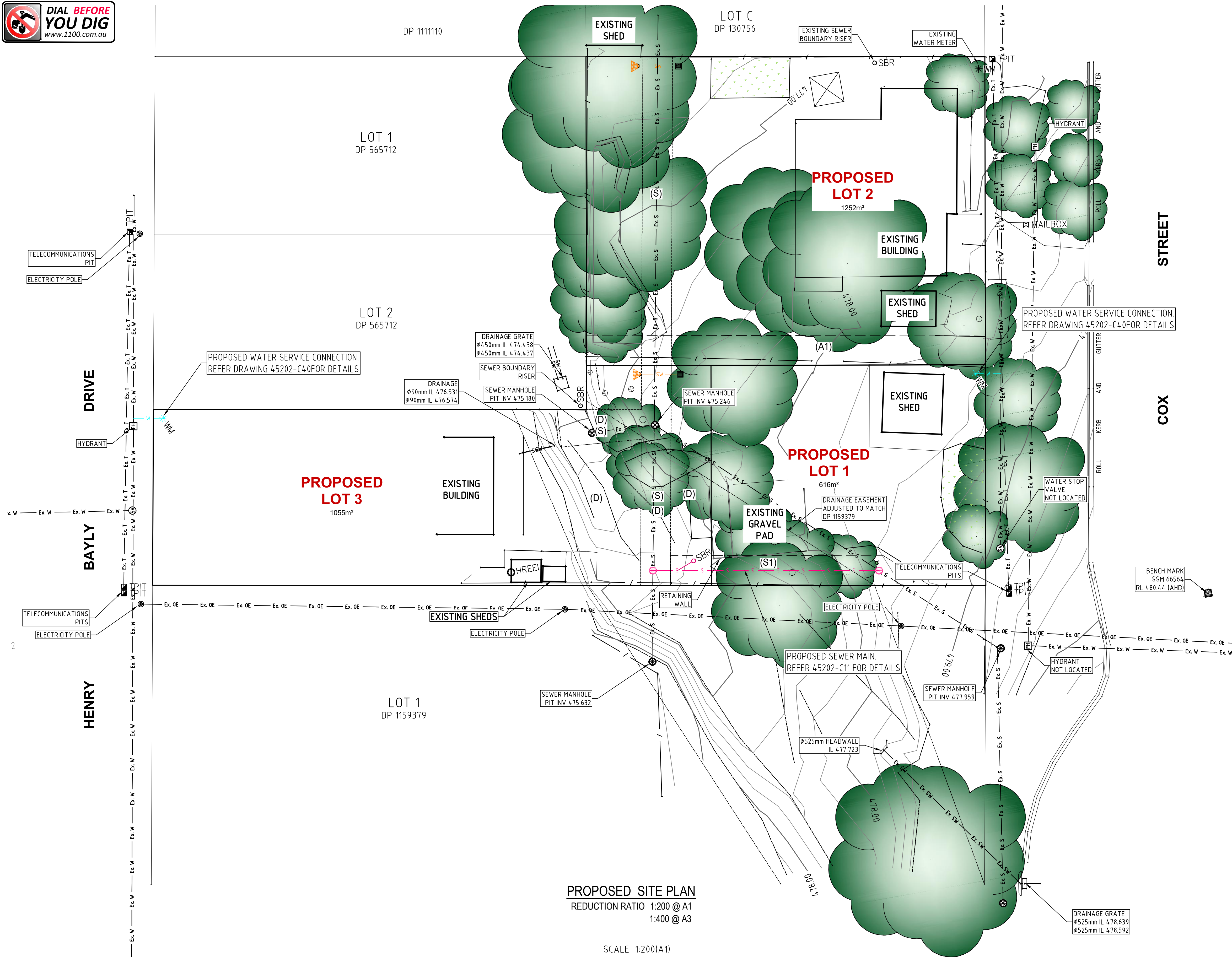
- (S) EASEMENT TO DRAIN SEWAGE 3 WIDE AND VARIABLE (VIDE DP1215204
(D) EASEMENT TO DRAIN WATER VARIABLE WIDTH (VIDE DP 1215204)
(S1) PROPOSED EASEMENT TO DRAIN SEWAGE 3 WIDE
(A1) PROPOSED EASEMENT FOR ACCESS 3 WIDE

OVERALL EXISTING SITE PLAN
REDUCTION RATIO 1:200 @ A1
1:400 @ A3



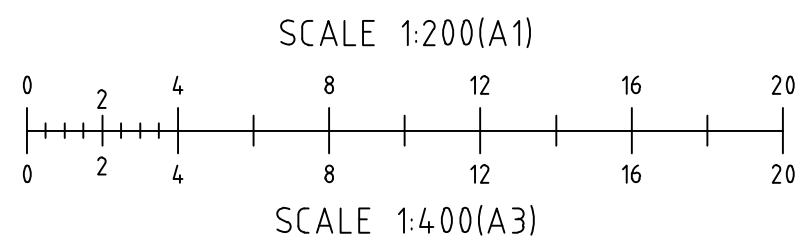
LEGEND (existing)	
	EXISTING SUBJECT CADASTRAL BOUNDARIES
	EXISTING FENCE LINE
	EXISTING GATE
	TOP OF BANK
	BOTTOM OF BANK
	EXISTING UNDERGROUND WATER MAIN - COUNCIL APPROX.
	EXISTING UNDERGROUND SEWER PIPE - APPROX
	EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX
	EXISTING OVERHEAD ELECTRICITY CABLES
	EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
	EXISTING TABLE DRAIN
	DRAIN PIPE
	ELECTRICITY POWER POLE, STAY WIRE AND ANCHOR
	ELECTRIC LIGHT POLE
	FIRE HYDRANT
	WATER STOP VALVE
	SEWER MANHOLE
	EXISTING SHRUB

PRELIMINARY DRAWING
Not to be used for construction purposes



- (S) EASEMENT TO DRAIN SEWAGE 3 WIDE AND VARIABLE (VIDE DP1215204)
(D) EASEMENT TO DRAIN WATER VARIABLE WIDTH (VIDE DP 1215204)
(S1) PROPOSED EASEMENT TO DRAIN SEWAGE 3 WIDE
(A1) PROPOSED EASEMENT FOR ACCESS 3 WIDE

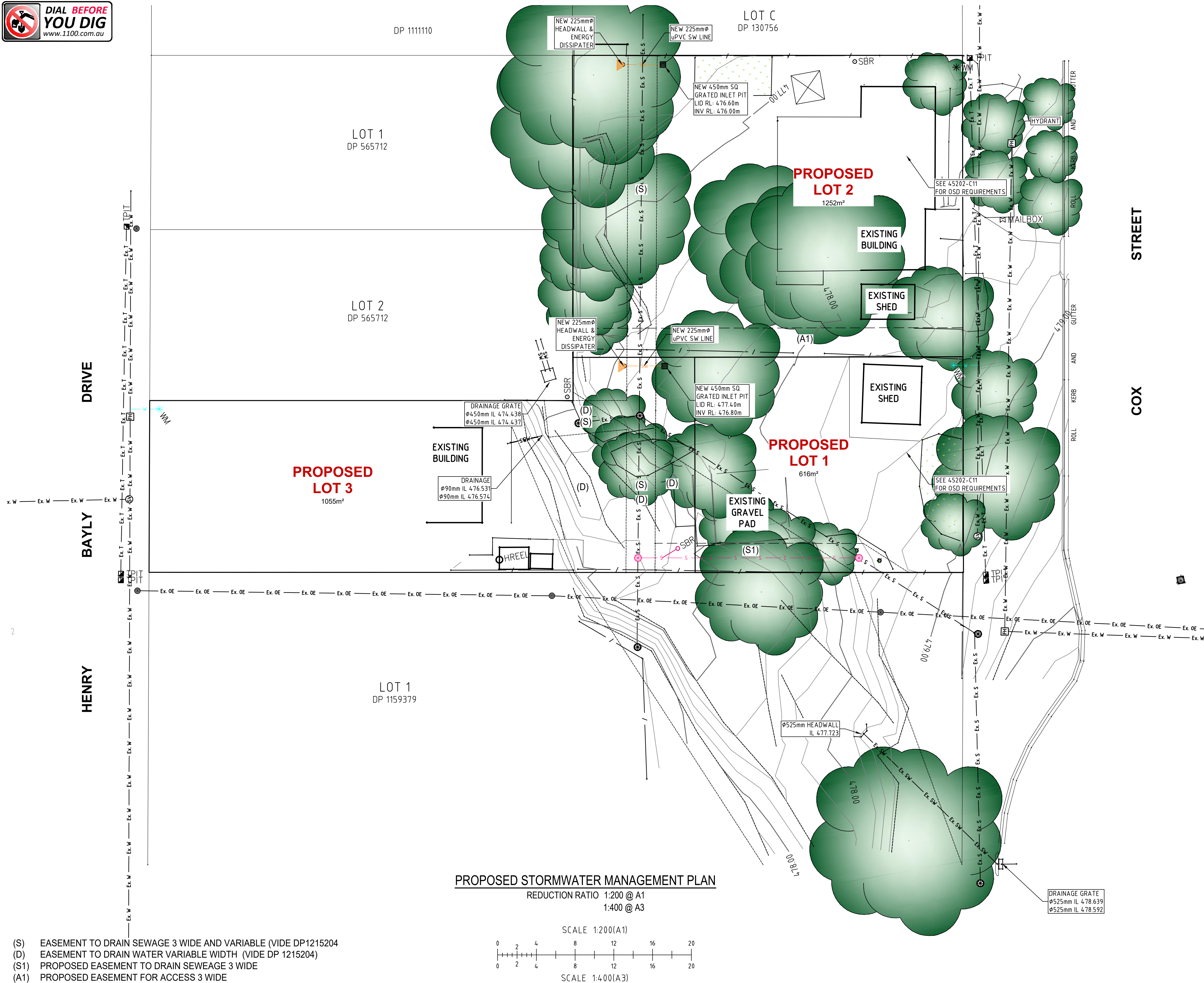
PROPOSED SITE PLAN
REDUCTION RATIO 1:200 @ A1
1:400 @ A3



LEGEND (proposed)	
	PROPOSED UNDERGROUND STORMWATER PIPE
	PROPOSED GRATED STORMWATER PIT
	PROPOSED GRAVITY SEWER MAIN
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER BOUNDARY RISER
	PROPOSED WATER MAIN
	PROPOSED WATER METER

LEGEND (existing)	
	EXISTING SUBJECT CADASTRAL BOUNDARIES
	EXISTING FENCE LINE
	EXISTING GATE
	TOP OF BANK
	BOTTOM OF BANK
	EXISTING UNDERGROUND WATER MAIN - COUNCIL APPROX.
	EXISTING UNDERGROUND SEWER PIPE - APPROX
	EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX
	EXISTING OVERHEAD ELECTRICITY CABLES
	EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
	EXISTING TABLE DRAIN
	DRAIN PIPE
	ELECTRICITY POWER POLE, STAY WIRE AND ANCHOR
	ELECTRIC LIGHT POLE
	FIRE HYDRANT
	HYDRANT
	WATER STOP VALVE
	SEWER MANHOLE
	EXISTING SHRUB

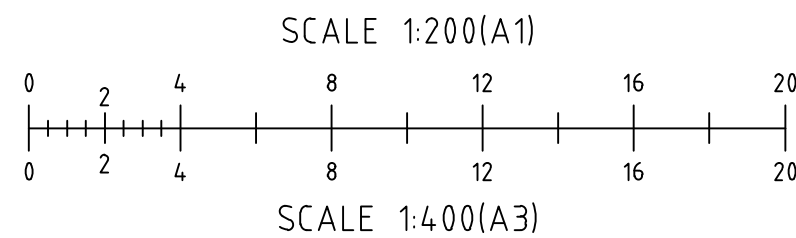
PRELIMINARY DRAWING
Not to be used for construction purposes



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(D) EASEMENT TO DRAIN WATER VARIABLE WIDTH (VIDE DP 1215204)
(S1) PROPOSED EASEMENT TO DRAIN SEWAGE 3 WIDE
(A1) PROPOSED EASEMENT FOR ACCESS 3 WIDE

PROPOSED STORMWATER MANAGEMENT PLAN

REDUCTION RATIO 1:200 @ A1
1:400 @ A3



LEGEND (proposed)	
	PROPOSED UNDERGROUND STORMWATER PIPE
	PROPOSED GRATED STORMWATER PIT
	PROPOSED GRAVITY SEWER MAIN
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER BOUNDARY RISER
	PROPOSED WATER MAIN
	PROPOSED WATER METER

LEGEND (existing)	
	EXISTING SUBJECT CADASTRAL BOUNDARIES
	EXISTING FENCE LINE
	EXISTING GATE
	TOP OF BANK
	BOTTOM OF BANK
	EXISTING UNDERGROUND WATER MAIN - COUNCIL APPROX.
	EXISTING UNDERGROUND SEWER PIPE - APPROX
	EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX
	EXISTING OVERHEAD ELECTRICITY CABLES
	EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
	EXISTING TABLE DRAIN
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	ELECTRICITY POWER POLE, STAY WIRE AND ANCHOR
	ELECTRICITY POWER POLE
	ELECTRIC LIGHT POLE
	FIRE HYDRANT
	HYDRANT
	WATER STOP VALVE
	SEWER MANHOLE
	EXISTING SHRUB

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Rev	Date	Description
A	04-12-2024	PRELIMINARY DRAWING
B	17-12-2024	EASEMENTS AND PROPOSED LOTS UPDATED

Project
PROPOSED SUBDIVISION OF LOTS 1 & 2 in DP 1215204
Site Address
90 Cox Street & 7 Henry Bayly Drive,
MUDGEE, NSW, 2850
Client
ELIZABETH McLEAN

Drawing Title
PROPOSED STORMWATER MANAGEMENT PLAN
Design LM
Drawn AR
Check

Original Sheet Size
Revision

A1
B

Certification
Project No
Drawing No

45202
C10

SITEWORKS NOTES

- ORIGIN OF LEVELS :- AHD
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK.
- ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS, THE SPECIFICATIONS AND THE DIRECTIONS OF THE SUPERINTENDENT.
- EXISTING SERVICES HAVE BEEN OBTAINED FROM SURFACE INSPECTION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- WHERE NEW WORKS ABOUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED.
- THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A QUALIFIED SURVEYOR.
- CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOM OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.
- ON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS.
- MAKE SMOOTH TRANSITION TO EXISTING AREAS.
- THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY DIVERSION DRAINS AND MOUNDS TO ENSURE THAT AT ALL TIMES EXPOSED SURFACES ARE FREE DRAINING AND WHERE NECESSARY EXCAVATE SUMPS AND PROVIDE PUMPING EQUIPMENT TO DRAIN EXPOSED AREAS. ALL WORK TO BE UNDERTAKEN WITH ADHERENCE TO THE REQUIREMENTS OF THE SOIL AND WATER MANAGEMENT PLAN.
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATIONS.

SURVEY NOTES

- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT.
- SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE AND ARE INDICATIVE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH.

PIPE TRENCH - FILL NOTES:

- BEDDING SAND**
BEDDING SAND SHALL BE GRANULAR MATERIAL HAVING A LOW PERMEABILITY AND HIGH STABILITY WHEN SATURATED, CONFORMING TO THE GRADING LIMITS FOR BEDDING SAND AS INDICATED IN THE CONTRACT DOCUMENTS. BEDDING SAND SHALL BE COMPACTED TO A DENSITY INDEX OF 95% AS DETERMINED IN ACCORDANCE WITH AS1289.
- APPROVED IMPORTED GRANULAR FILL**
ONLY IMPORTED GRANULAR FILL MATERIAL APPROVED BY THE SUPERINTENDENT SHALL BE USED. THIS FILL MATERIAL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 300mm THICK TO A DRY DENSITY OF 100% OF THE STANDARD MAXIMUM DRY DENSITY OF THE MATERIAL AND WITH A MOISTURE CONTENT NO MORE THAN 1% ABOVE OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH AS1289.
- ORDINARY EXCAVATED FILL MATERIAL**
ORDINARY EXCAVATED FILL MATERIAL IS EXCAVATED TRENCH MATERIAL THAT IS FREE OF VEGETABLE MATTER, HUMUS, LARGE CLAY LUMPS AND ROCK BOULDERS. THIS FILL MATERIAL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 300mm THICK, TO A DENSITY OF 95% OF THE STANDARD MAXIMUM DRY DENSITY OF THE MATERIAL WITH A MOISTURE CONTENT OF NOT MORE THAN 1% ABOVE THE OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH AS1289.

STORMWATER NOTES

- ALL DOWNPIPE LINES SHALL BE SEWER GRADE uPVC WITH SOLVENT WELD JOINTS (U.N.O)
- EQUIVALENT STRENGTH VCP OR FCP PIPES MAY BE USED.
- MINIMUM GRADE TO STORMWATER LINES TO BE 0.5% MINIMUM (U.N.O)
- CONTRACTORS TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.
- ALL CONNECTIONS TO EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN-LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH.
- APPROVED PRECAST PITS MAY BE USED.
- WHERE TRENCHES ARE IN ROCK, THE PIPE SHALL BE BEDDED ON A MIN. 50mm CONCRETE BED (75mm THICK BED OF 12mm BLUE METAL) UNDER THE BARREL OF THE PIPE. THE PIPE COLLAR AT NO POINT SHALL BEAR THE ROCK. IN OTHER THAN ROCK, PIPES SHALL BE LAID ON A 75mm THICK SAND BED. IN ALL CASES, BACKFILL THE TRENCH WITH THE SAND TO 200mm ABOVE THE PIPE. WHERE THE PIPE IS UNDER PAVEMENTS, BACKFILL REMAINDER OF TRENCH WITH SAND OR APPROVED GRANULAR BACKFILL COMPACTED IN 150mm LAYERS TO 98% MAX. DRY DENSITY.
- WHERE STORMWATER LINES PASS UNDER FLOOR SLABS, SEWER GRADE RUBBER RING JOINTS ARE TO BE USED.
- ALL PIPES IN THE ROADWAY AND FOOTPATH AREAS, WHERE THE DEPTH OF PIPE IS LESS THAN 500mm FROM THE FINISHED SURFACE LEVEL ARE TO BE CONCRETE ENCASED.

STORMWATER ANALYSIS

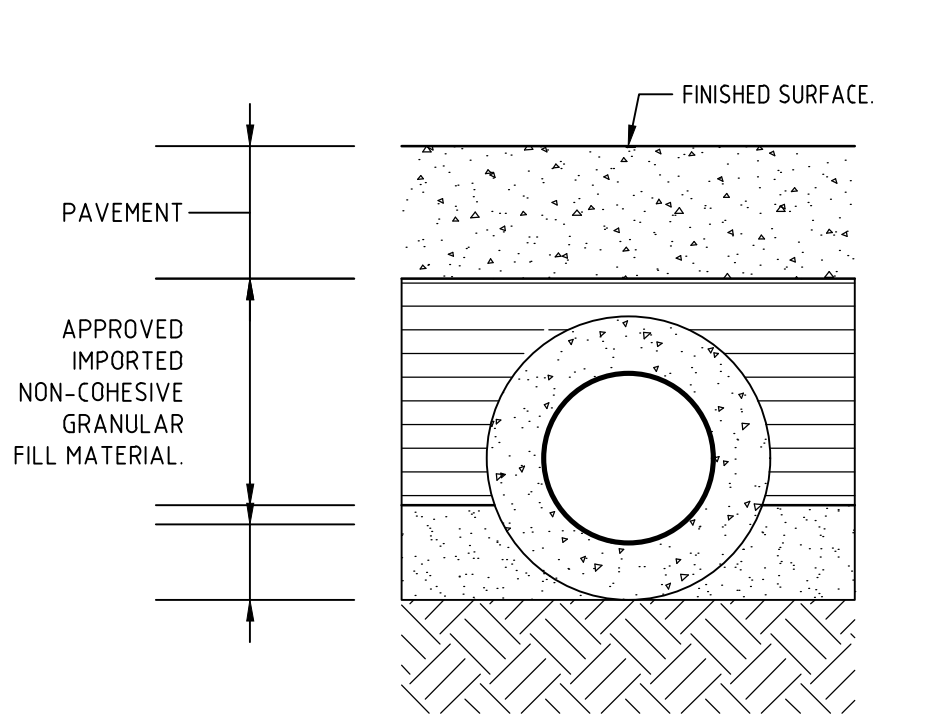
DESIGN CALCULATIONS AS PER AS3500.3-2021

PROPOSED LOT 1

- A) **PRE-DEVELOPED:**
-TOTAL APPLICABLE CATCHMENT AREA (A) = 706m²
-RAINFALL INTENSITY (I_i) = 14.8 mm/hr (5min- 5% AEP)
-Cr = RUNOFF COEFFICIENT FOR ROOFED AREA = 1.0
-Ar = TOTAL ROOFED AREA= 0 m²
-Ci = RUNOFF COEFFICIENT FOR UNROOFED IMPERVIOUS AREA = 0.9
-Ai = TOTAL UNROOFED IMPERVIOUS AREA= 0 m²
-Cp = RUNOFF COEFFICIENT FOR PERVIOUS AREA = 0.3
-Ap = TOTAL PERVIOUS GRASS AREA = 706m²
-TOTAL FLOW Q_{PRE} = (Cr Ar +Ci Ai + Cp Ap). I_i / 3600 = 8.7 l/s
- B) **POST-DEVELOPED:**
-TOTAL APPLICABLE CATCHMENT AREA (A) = 706m²
-RAINFALL INTENSITY (I_i) = 14.8 mm/hr (5min- 5% AEP)
-Cr = RUNOFF COEFFICIENT FOR ROOFED AREA = 1.0
-Ar = TOTAL ROOFED AREA= 300 m²
-Ci = RUNOFF COEFFICIENT FOR UNROOFED IMPERVIOUS AREA = 0.9
-Ai = TOTAL UNROOFED IMPERVIOUS AREA= 56m²
-Cp = RUNOFF COEFFICIENT FOR PERVIOUS AREA = 0.3
-Ap = TOTAL PERVIOUS AREA = 350 m²
-TOTAL FLOW Q_{POST} = (Cr Ar +Ci Ai + Cp Ap). I_i / 3600 = 18.7 l/s
- C) **OSD CALCULATION**
- REQUIRED OSD VOLUME = (18.7-8.7)x5x60/1000= 3.00 CUM
- PROPOSED ON-SITE DETENTION TANK REQUIRED = 3000L

PROPOSED LOT 2

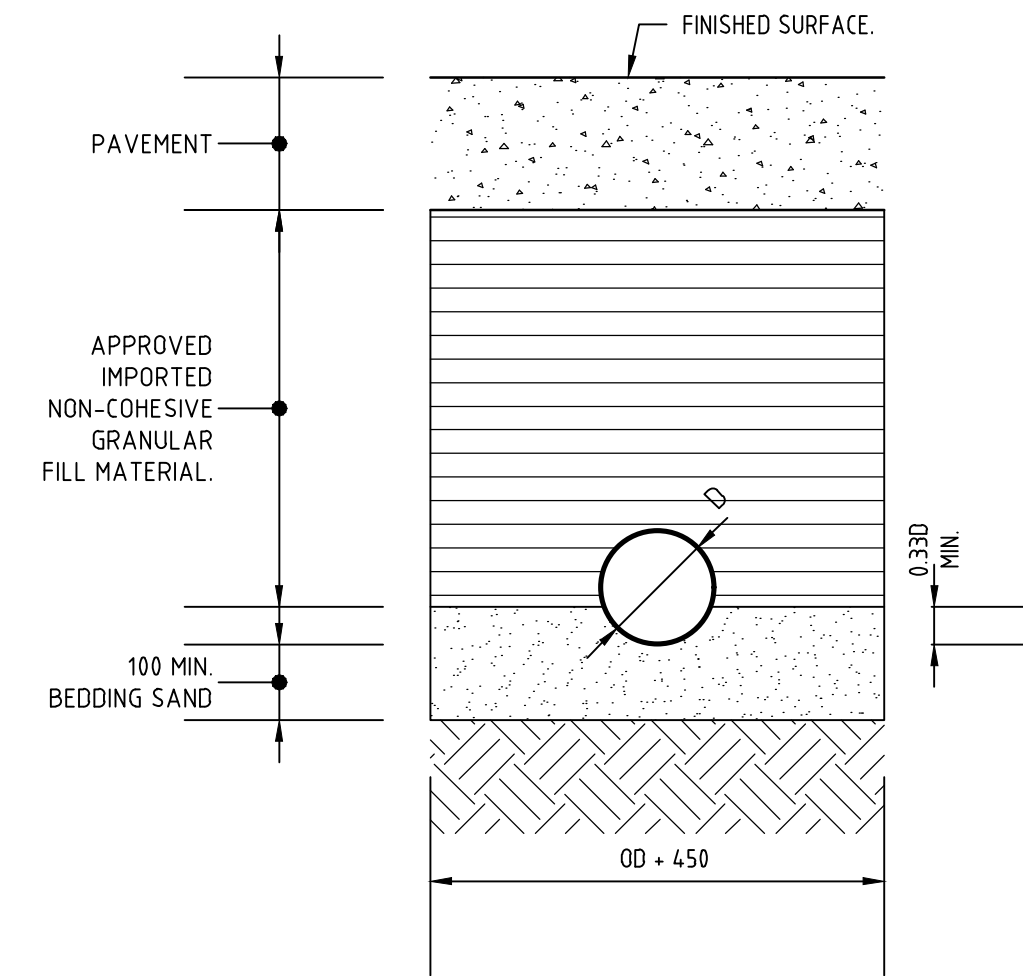
- A) **PRE-DEVELOPED:**
-TOTAL APPLICABLE CATCHMENT AREA (A) = 1252m²
-RAINFALL INTENSITY (I_i) = 14.8 mm/hr (5min- 5% AEP)
-Cr = RUNOFF COEFFICIENT FOR ROOFED AREA = 1.0
-Ar = TOTAL ROOFED AREA= 0 m²
-Ci = RUNOFF COEFFICIENT FOR UNROOFED IMPERVIOUS AREA = 0.9
-Ai = TOTAL UNROOFED IMPERVIOUS AREA= 0 m²
-Cp = RUNOFF COEFFICIENT FOR PERVIOUS AREA = 0.3
-Ap = TOTAL PERVIOUS GRASS AREA = 1525m²
-TOTAL FLOW Q_{PRE} = (Cr Ar +Ci Ai + Cp Ap). I_i / 3600 = 15.4 l/s
- B) **POST-DEVELOPED:**
-TOTAL APPLICABLE CATCHMENT AREA (A) = 1252m²
-RAINFALL INTENSITY (I_i) = 14.8 mm/hr (5min- 5% AEP)
-Cr = RUNOFF COEFFICIENT FOR ROOFED AREA = 1.0
-Ar = TOTAL ROOFED AREA= 500 m²
-Ci = RUNOFF COEFFICIENT FOR UNROOFED IMPERVIOUS AREA = 0.9
-Ai = TOTAL UNROOFED IMPERVIOUS AREA= 152m²
-Cp = RUNOFF COEFFICIENT FOR PERVIOUS AREA = 0.3
-Ap = TOTAL PERVIOUS AREA = 600 m²
-TOTAL FLOW Q_{POST} = (Cr Ar +Ci Ai + Cp Ap). I_i / 3600 = 33.6 l/s
- C) **OSD CALCULATION**
- REQUIRED OSD VOLUME = (33.6-15.4)x5x60/1000= 5.46 CUM
- PROPOSED ON-SITE DETENTION TANK REQUIRED = 5,500L



TYPICAL PIPE ENCASEMENT

SCALE 1:10

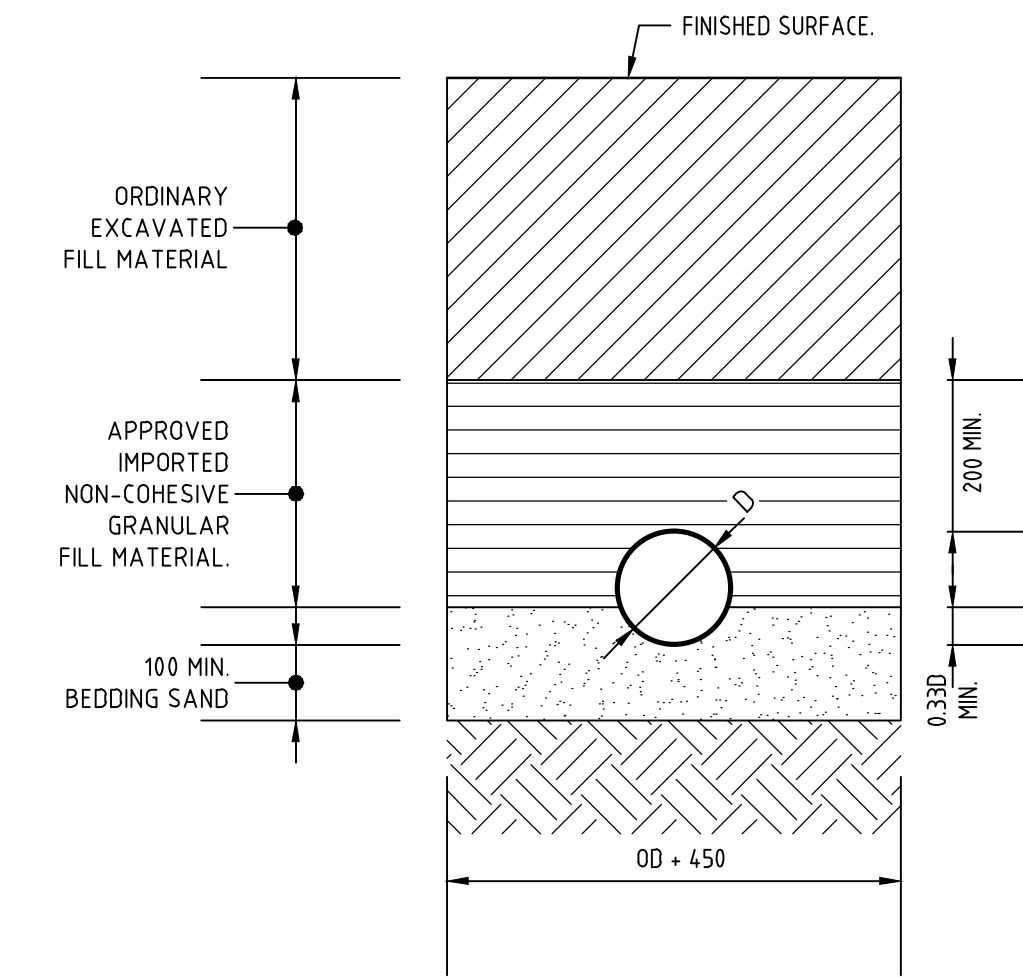
NOTE: PIPE COLLAR IS NOT TO REST ON ORIGINAL MATERIAL



TYPICAL SECTION TRENCH IN ROADWAY

SCALE 1:10

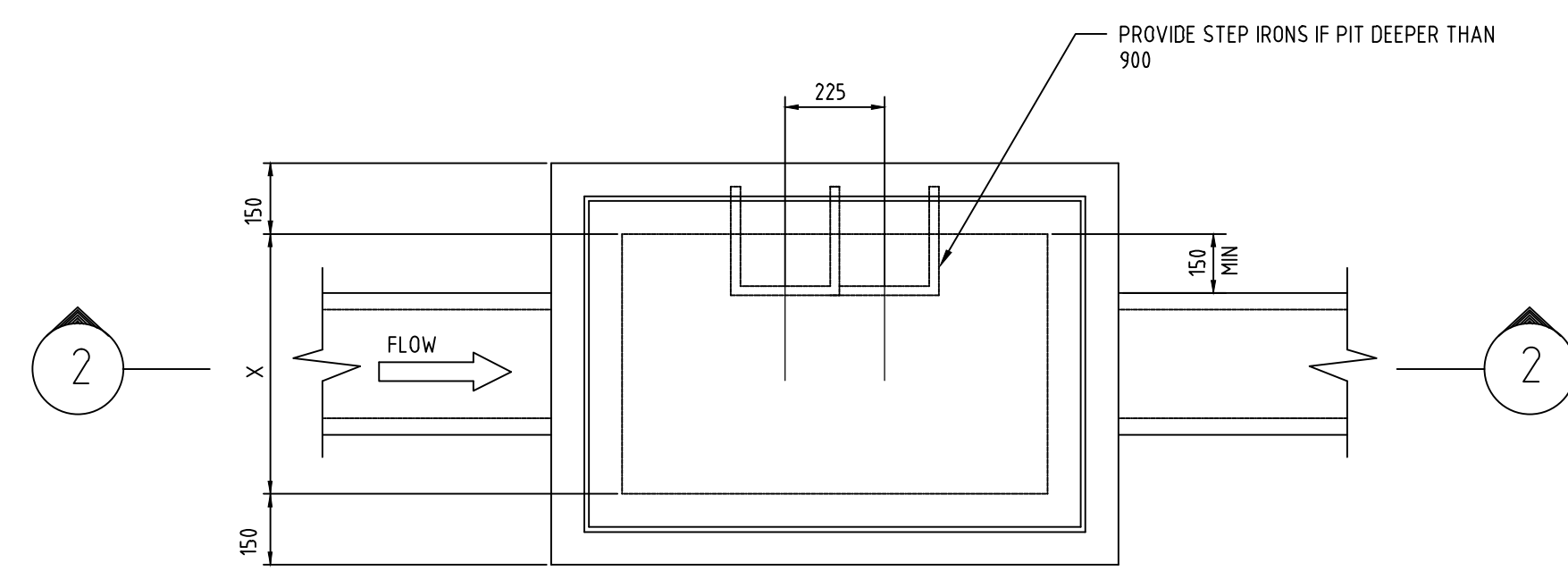
NOTE: PIPE COLLAR IS NOT TO REST ON ORIGINAL MATERIAL



TYPICAL SECTION EARTH FOUNDATION TRENCH

SCALE 1:10

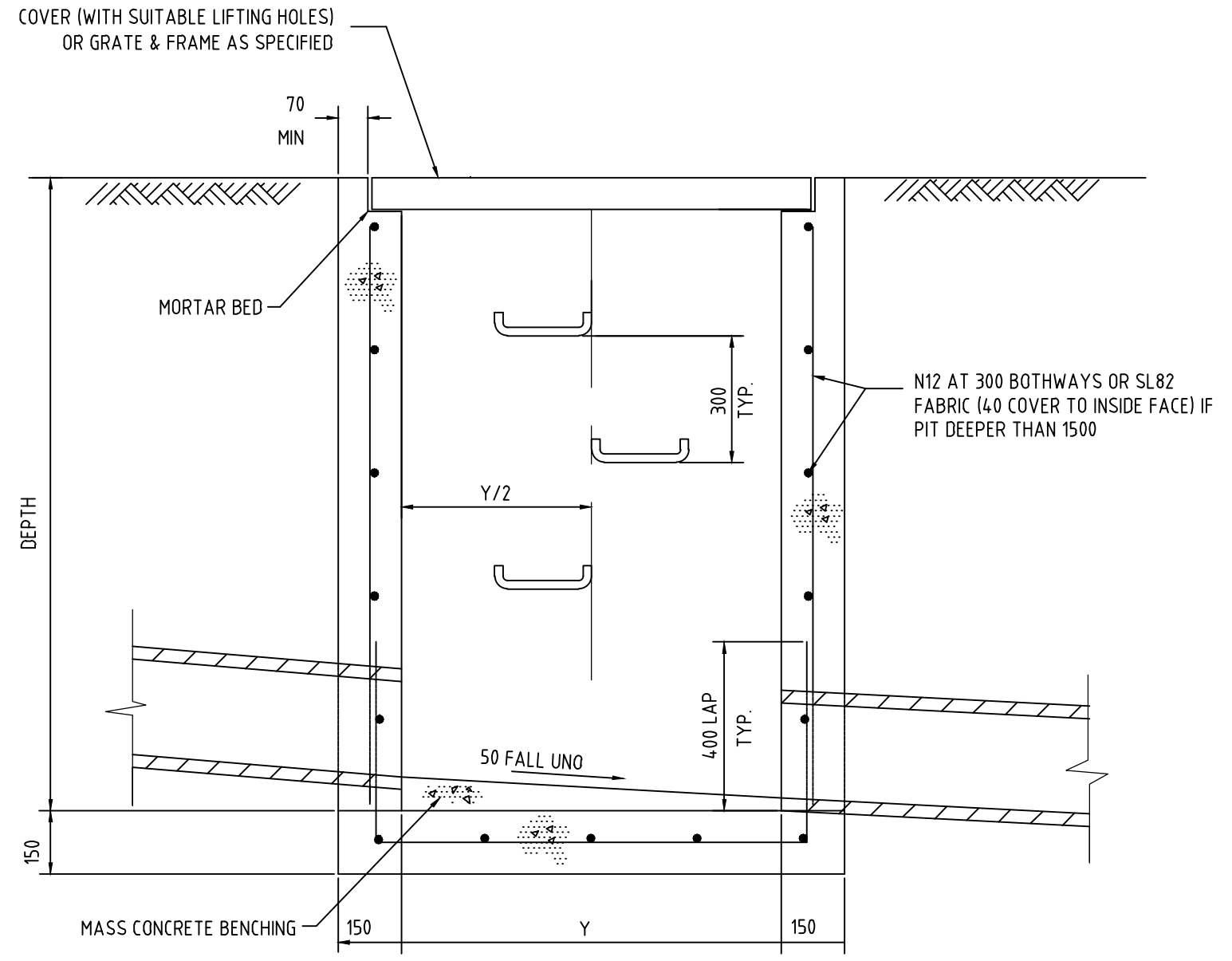
NOTE: PIPE COLLAR IS NOT TO REST ON ORIGINAL MATERIAL



PLAN

GRATED INLET PIT

N.T.S.



SECTION 2

N.T.S.

INSPECTION HOLD POINTS

- INSTALLATION OF SEDIMENT & EROSION CONTROL MEASURES.
- WATER & SEWER LINE INSTALLATION PRIOR TO BACKFILL.
- ESTABLISHMENT OF LINE & LEVEL FOR KERB & GUTTER PLACEMENT.
- ROAD PAVEMENT CONSTRUCTION.
- ROAD PAVEMENT SURFACING.
- PRACTICAL COMPLETION.

SERVICES INSTALLATION

- INSTALLATION OF ALL UNDERGROUND PIPES BE INSTALLED PRIOR TO INSTALLATION OF ROAD PAVEMENT.

PRELIMINARY DRAWING

Not to be used for construction purposes

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Rev Date Description
A 04-12-2024 PRELIMINARY DRAWING

Project
PROPOSED SUBDIVISION OF LOTS 1 & 2 in DP 1215204
Site Address
90 Cox Street & 7 Henry Bayly Drive,
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ELIZABETH McLEAN

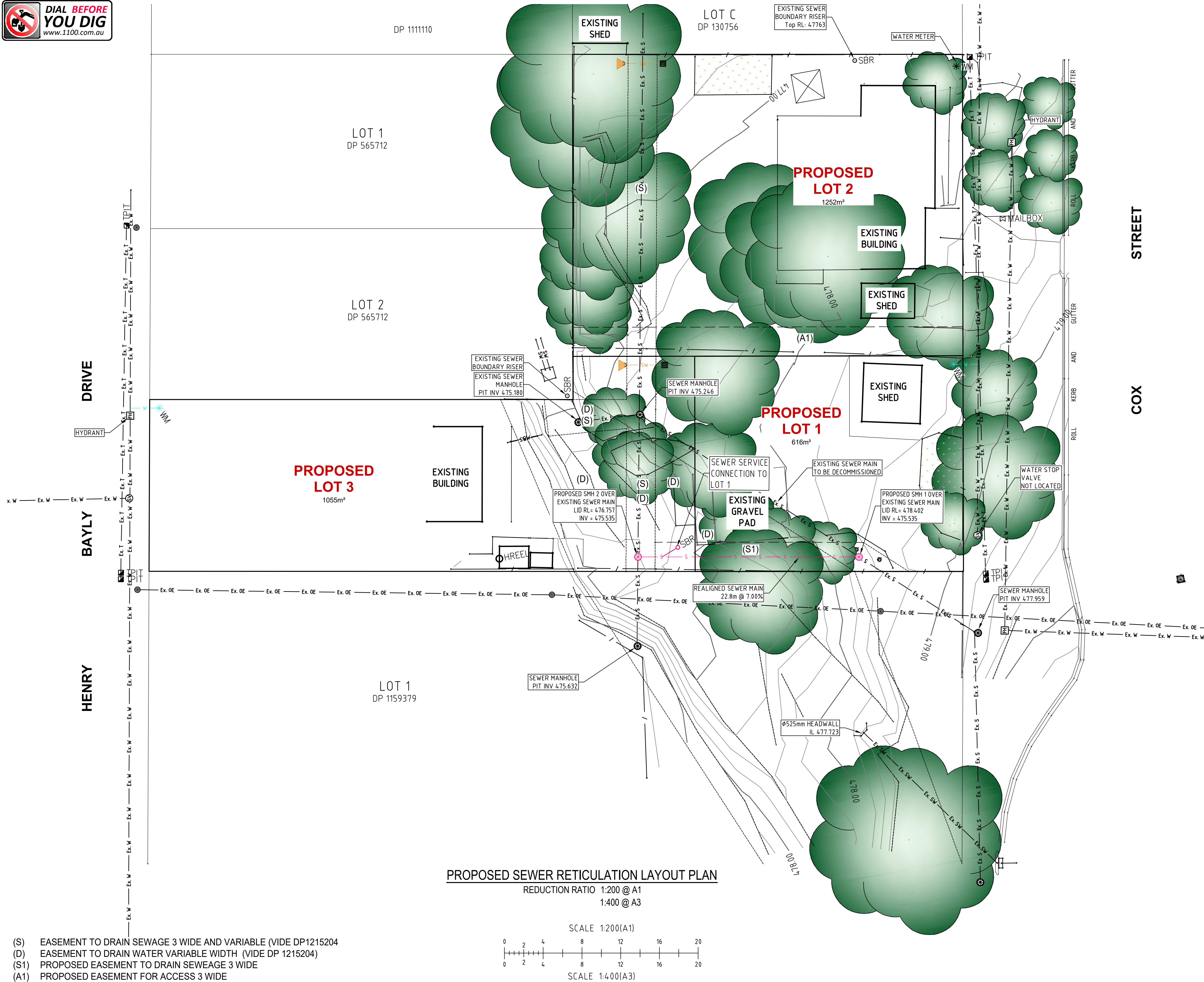
Drawing Title
STORMWATER SPECIFICATIONS

Design LM
Drawn AR
Check
Original Sheet Size A1
Revision A

Certification

Project No
Drawing No

45202
C11



- (S) EASEMENT TO DRAIN SEWAGE 3 WIDE AND VARIABLE (VIDE DP1215204)
(D) EASEMENT TO DRAIN WATER VARIABLE WIDTH (VIDE DP 1215204)
(S1) PROPOSED EASEMENT TO DRAIN SEWAGE 3 WIDE
(A1) PROPOSED EASEMENT FOR ACCESS 3 WIDE

PROPOSED SEWER RETICULATION LAYOUT PLAN
REDUCTION RATIO 1:200 @ A1
1:400 @ A3
SCALE 1:200(A1)
SCALE 1:400(A3)

LEGEND (proposed)	
	PROPOSED UNDERGROUND STORMWATER PIPE
	PROPOSED GRATED STORMWATER PIT
	PROPOSED GRAVITY SEWER MAIN
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER BOUNDARY RISER
	PROPOSED WATER MAIN
	PROPOSED WATER METER

LEGEND (existing)	
	EXISTING SUBJECT CADASTRAL BOUNDARIES
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	EXISTING OVERHEAD ELECTRICITY CABLES - APPROX.
	EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
	EXISTING TABLE DRAIN
	DRAIN PIPE
	ELECTRICITY POWER POLE, STAY WIRE AND ANCHOR
	ELECTRICITY POWER POLE
	ELECTRIC LIGHT POLE
	FIRE HYDRANT
	HYDRANT
	WATER STOP VALVE
	SEWER MANHOLE
	EXISTING SHRUB

PRELIMINARY DRAWING
Not to be used for construction purposes

SEWER NOTES:

1. ALL WORK TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS AND ALL COSTS INCLUDING COUNCIL FEES AND CHARGES AT THE CONTRACTORS EXPENSE.
2. CONTRACTOR TO CONFIRM LOCATION OF ALL EXISTING SERVICE LINES INCLUDING WATER MAINS, TELSTRA CABLES AND COUNTRY ENERGY CABLES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. THE SEWER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
4. SEWER MAINS SHALL BE UPVC CLASS SN8 TO AS1260 UNO. MAINS TO BE RRJ TO AS1646.
5. DUCTILE IRON PIPE (TYTON EXTREME OR EQUIVALENT), CONFORMING WITH AS2280 SHALL BE USED UNDER ROADS WHERE THERE IS LESS THAN 1.2M COVER FROM CONSTRUCTION TRAFFIC.
6. SEWER MAINS SHALL BE LAID TRUE TO GRADE AND ALIGNMENT.
7. WATER STOPS/BULK HEADS SHALL BE PROVIDED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
8. ALL PIPES SHALL BE TESTED BY THE RELEVANT TESTING AUTHORITY AT THE PLACE OF MANUFACTURE.
9. ALL MAINS ARE TO BE TESTED IN ACCORDANCE WITH COUNCIL STANDARD PROCEDURES PRIOR TO ACCEPTANCE OF THE WORKS INTO MAINTENANCE. ALL COSTS ASSOCIATED WITH TESTING INCLUDING COUNCIL FEES AND CHARGES AT THE CONTRACTORS EXPENSE.
10. MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
11. MANHOLES SHALL BE FINISHED WITH A SMOOTH RENDERED FINISH INTERNALLY AND BE WATERTIGHT. ALL MANHOLES SHALL BE FITTED WITH STEP IRONS IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
12. WHERE MANHOLE LIDS ARE LOCATED IN BATTERS THE SURROUND SHALL BE PACKED TO PROVIDE MAXIMUM PRACTICABLE CROSSFALL IN THE PLANE OF THE BATTER FACE AND THE UPPER AND LOWER EDGES OF THE SURROUND SHALL BE EQUIDISTANT FROM THE PLANE OF THE BATTER FACE.
13. U.N.O. MANHOLES LIDS SHALL BE IN ACCORDANCE WITH AS3996, AND COUNCIL REQUIREMENTS.

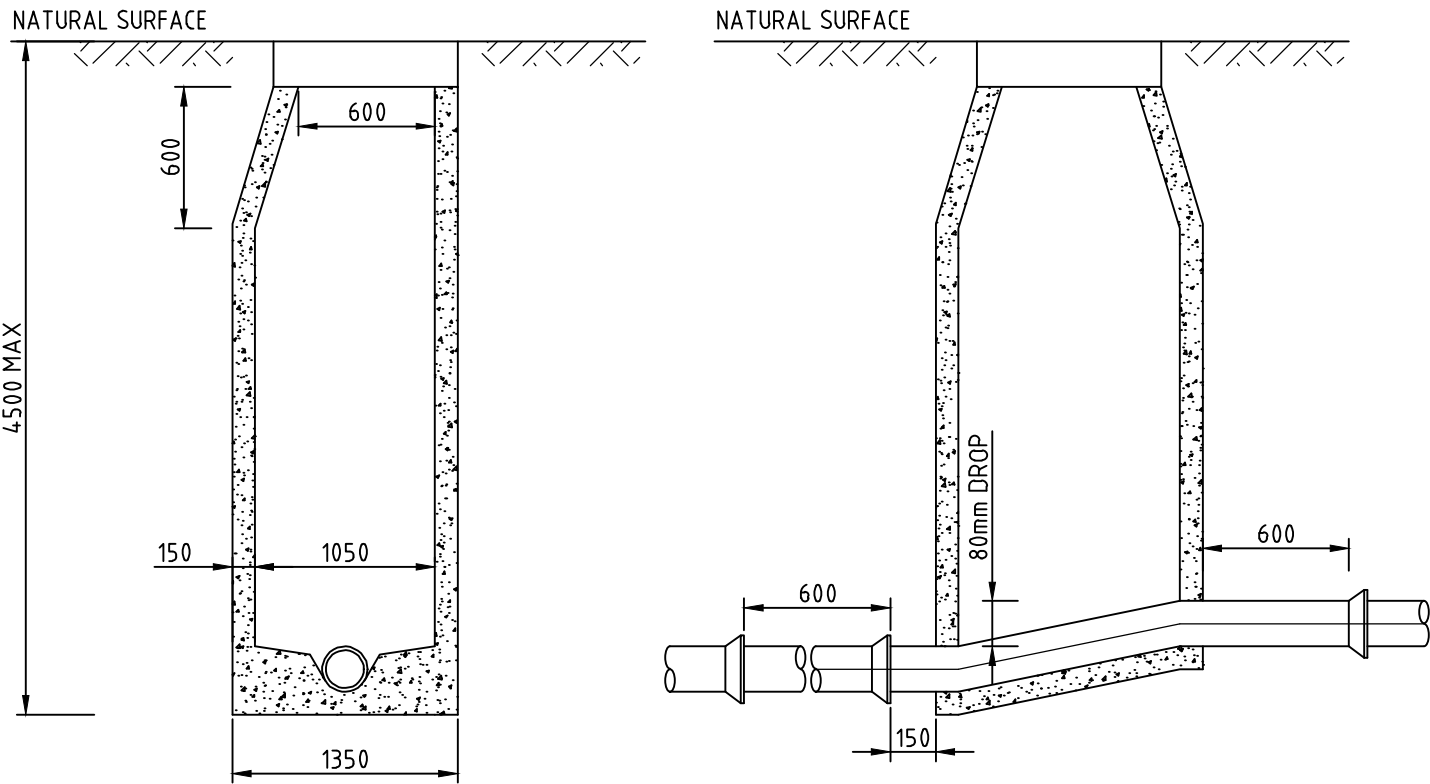
BEDDING NOTES:

1. THE MINIMUM DEPTH TO TOP OF PIPE SHALL BE 1000mm, EXCEPT UNDER ROAD PAVEMENT WHERE MINIMUM COVER TO TOP OF PIPE SHALL BE 1200mm MINIMUM UNLESS SHOWN OTHERWISE. PIPES WITH LESS COVER THAN THESE LIMITS TO BE CONCRETE ENCASED, AND DICL UNDER ROADS.
2. GRADES OF GRAVITY SEWER NOT TO BE FLATTER THAN 1:179 (0.55%) FOR 150mm DIAMETER PIPES AS PER WSA-2014.
3. MANHOLES SHALL BE PLACED AT EACH CHANGE IN DIRECTION OR GRADE OF THE PIPE LINE AT INTERVALS ALONG THE LINE NOT EXCEEDING 80m.

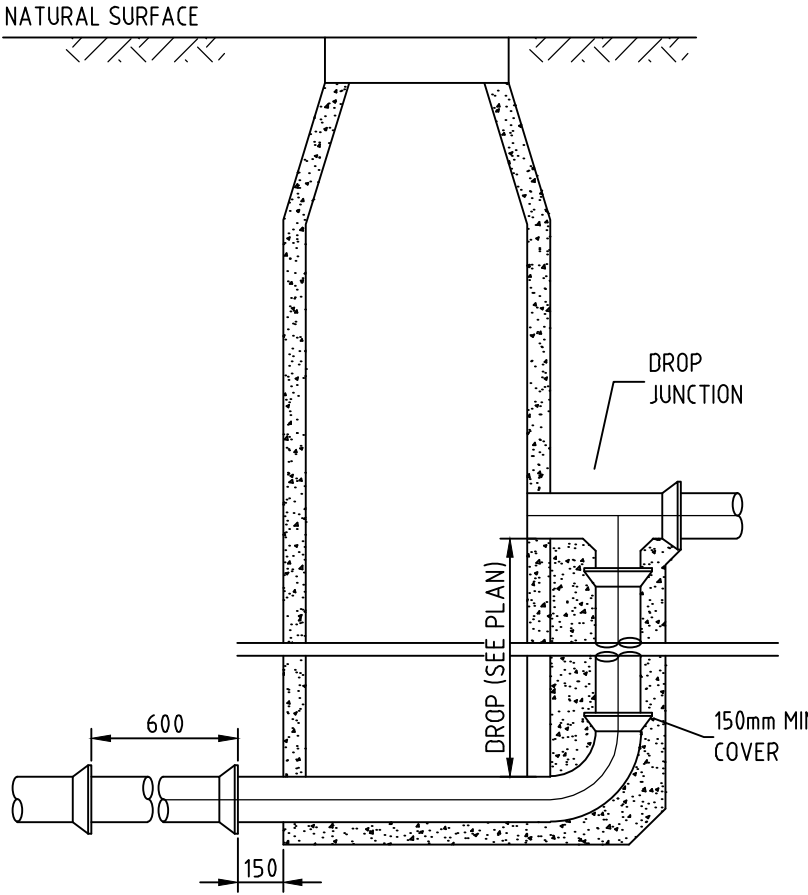
FIELD NOTES:

1. BEARINGS AND DISTANCES ARE BY TITLE AND/OR DEED ONLY. NO BOUNDARY INVESTIGATION HAS BEEN CARRIED OUT.
2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH.
3. ALL HEIGHTS TO AHD (AUSTRALIAN HEIGHT DATUM).

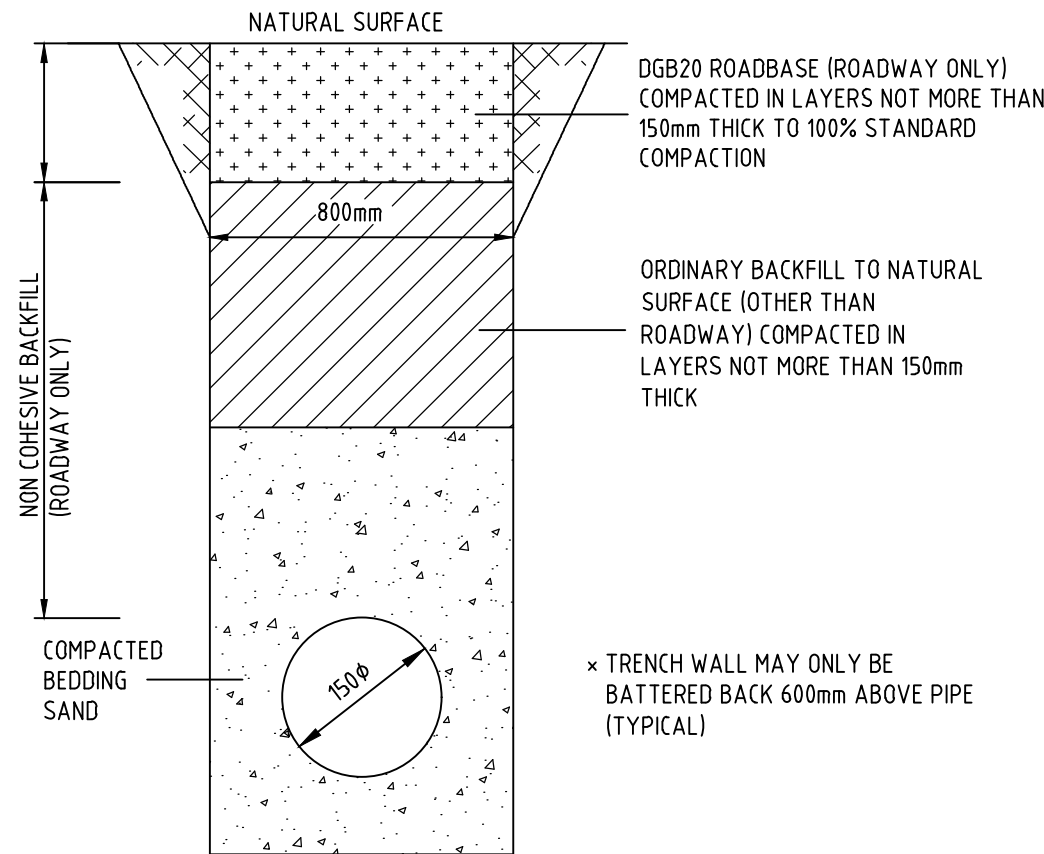
INSPECTION HOLD POINTS
1. INSTALLATION OF SEDIMENT & EROSION CONTROL MEASURES.
2. WATER & SEWER LINE INSTALLATION PRIOR TO BACKFILL.
3. ESTABLISHMENT OF LINE & LEVEL FOR KERB & GUTTER PLACEMENT.
4. ROAD PAVEMENT CONSTRUCTION.
5. ROAD PAVEMENT SURFACING.
6. PRACTICAL COMPLETION.
SERVICES INSTALLATION
1. INSTALLATION OF ALL UUNDERGROUND PIPES BE INSTALLED PRIOR TO INSTALLATION OF ROAD PAVEMENT.



TYPICAL MANHOLE SECTION (150mmØ)
N.T.S.

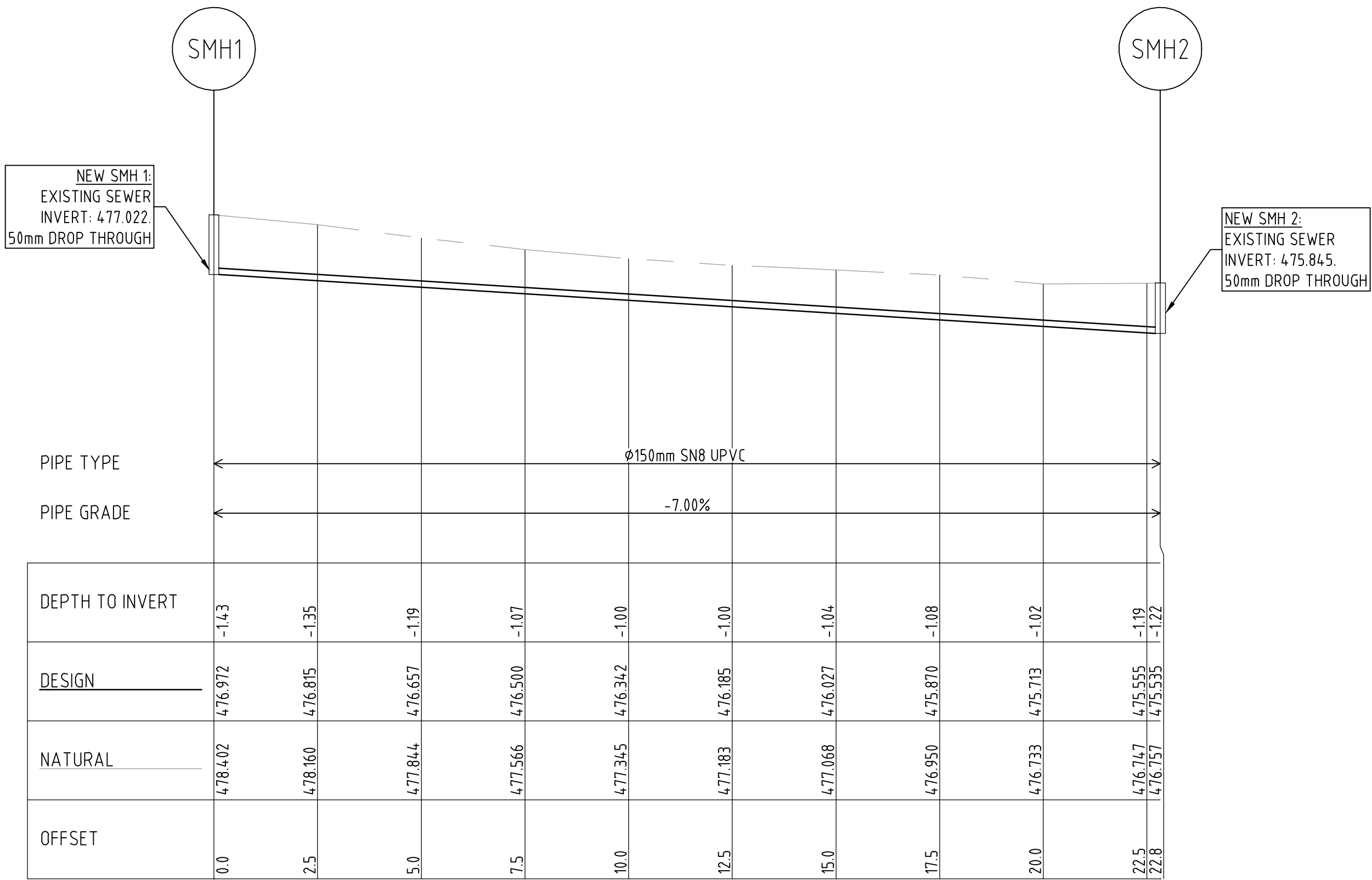


TYPICAL EXTERNAL DROP (150mmØ)
N.T.S.



TYPICAL TRENCH SECTION
N.T.S.

- × INSTALLATION OF UPVC PIPES SHALL TO CONFORM TO AS2032-1977 "INSTALLATION OF UPVC PIPE SYSTEMS", AS2566-1998 "BURIED FLEXIBLE PIPELINES", WSA-02 2002 AND MANUFACTURERS INSTRUCTIONS.



SEWER LONGSECTION

REDUCTION RATIO 1:250H 1:50V @ A1
1:500H 1:100V @ A3

PRELIMINARY DRAWING

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BARNSON PTY LTD

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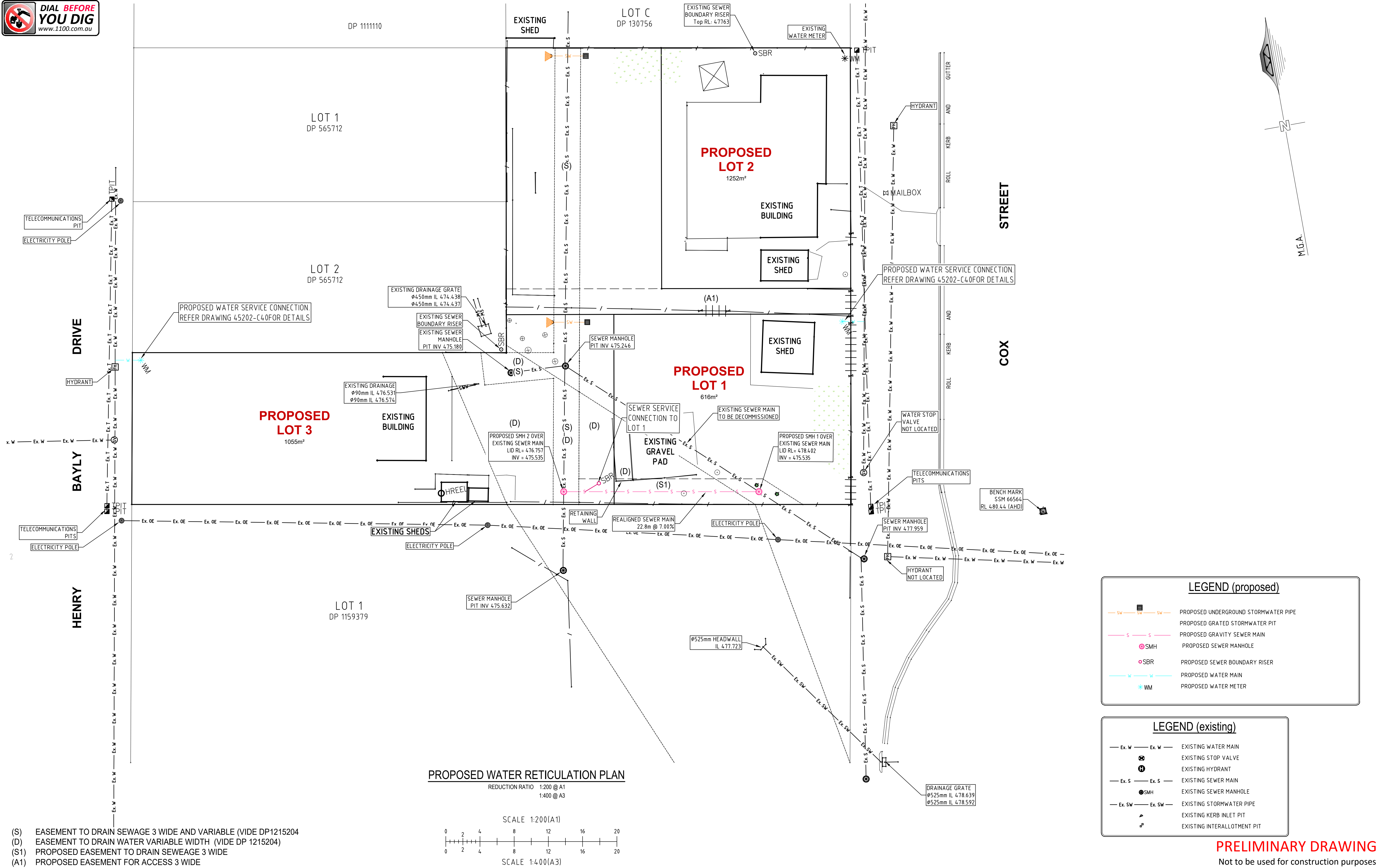
Rev	Date	Description
A	04-12-2024	PRELIMINARY DRAWING

Project
PROPOSED SUBDIVISION OF LOTS 1 & 2 in DP 1215204
Site Address
90 Cox Street & 7 Henry Bayly Drive,
MUDGEE, NSW, 2850
Client
ELIZABETH McLEAN

Drawing Title	
SEWER RETICULATION LONGITDINAL SECTION & NOTES AND DETAILS	
Design	LM
Drawn	AR
Check	
Original Sheet Size	
A1	
Revision	
A	

Certification
Project No
Drawing No

45202
C21



- (S) EASEMENT TO DRAIN SEWAGE 3 WIDE AND VARIABLE (VIDE DP1215204)
(D) EASEMENT TO DRAIN WATER VARIABLE WIDTH (VIDE DP 1215204)
(S1) PROPOSED EASEMENT TO DRAIN SEWAGE 3 WIDE
(A1) PROPOSED EASEMENT FOR ACCESS 3 WIDE

NOTES:

1. STOP VALVE & SCOUR VALVE CHAMBERS MAY EITHER BE CONSTRUCTED USING PREFABRICATED UNITS, 375mm DIAM. PVC OR CONCRETE PIPE, INTERLOCKING POLYPROPYLENE CONCRETE BLOCKS OR BRICKS WITH SAND/CEMENT MORTAR JOINTS.
2. THE BOTTOM OF THE BRICK, INTERLOCKING CONCRETE BLOCK OR PIPE CHAMBERS SHALL NOT REST DIRECTLY ON BUT ON A COURSE OF BRICKS OR A 100mm THICK CONCRETE THE PIPE FOUNDATION.
3. MINIMUM COVER OVER PIPELINES (ALL TYPES) SHALL BE 800mm IN AREAS SUBJECT TO VEHICULAR LOADING SUCH AS ROADS & FOOTPATHS AND 800mm ELSEWHERE ALSO.
4. IN AREAS PAVED WITH BITUMEN SEALING, ASPHALT, CONCRETE OR PAVING BLOCKS THE SURFACE OF VALVE AND HYDRANT COVERS SHALL FINISH FLUSH WITH THE PAVED SURFACE.
5. FOR STOP VALVES INSTALLATION, SOCKETS SHALL BE BUTTED UP TO SPIGOTS AND TRENCH WIDTHS SHALL BE KEPT TO A MINIMUM.
6. FILL SAND SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 150mm AND COMPACTED TO ACHIEVE A MINIMUM 70 % DENSITY INDEX AND TO THE SATISFACTION OF THE SUPERINTENDENT.
7. INDICATOR POSTS SHALL BE WHITE IN COLOUR AND ONE OF THE FOLLOWING TYPES :
 - 100mm x 100mm REINFORCED CONCRETE WITH 20mm CHAMFERS.
 - POWDER COATED METAL SUCH AS "EZIDRIVE" POST OR EQUIVALENT.
 - RECYCLED PLASTIC POST WITH RECESSES FOR MARKER PLATES.
 - OTHER POSTS APPROVED BY COUNCIL.
8. DIMENSIONS OF SURFACE BOX COVERS SHOWN ON THIS DRAWING ARE NOMINAL. IF SURFACE BOX COVERS OTHER THAN THOSE SHOWN ARE SUPPLIED, THE DIMENSIONS OF THE CONCRETE SURROUNDS SHALL BE ADJUSTED ACCORDINGLY.
9. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AND COMPLY WITH THE AUS-SPEC SPECIFICATION FOR MINOR CONCRETE WORKS.
10. THE DIMENSION BETWEEN THE UNDERSIDE OF THE STOP VALVE SURFACE BOX LID AND THE TOP OF THE VALVE SPINDLE SHALL BE A MINIMUM OF 80mm. THE TOP OF VALVE SPINDLE SHALL BE NO MORE THAN 300mm BELOW TOP SURFACE OF SURFACE BOX LID. IF THIS CANNOT BE ATTAINED, A GALVANIZED OR EPOXY PAINTED VALVE KEY EXTENSION SECURED BY GRUB SCREWS SHALL BE FITTED. IF NECESSARY, TO ENSURE THAT THE KEY EXTENSION IS CENTERED CORRECTLY A SPIDER ASSEMBLY SHALL BE INCORPORATED IN THE EXTENSION.

CONSTRUCTION NOTES:

1. CONSTRUCTION TO BE TO COUNCIL REQUIREMENTS AND APPROVAL.
2. COUNCIL WILL CONNECT TO EXISTING WATER MAIN AT THE CONTRACTORS EXPENSE.
3. WORKS ON COUNCIL WATER MAINS SHALL BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
4. COPPER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL REQUIREMENTS TO ALL LOTS WHERE DIRECTED.
5. LAY PIPES TRUE TO GRADE WITH A MINIMUM COVER OF 600MM BELOW FINISHED SURFACE WHERE POSSIBLE. AVOID STORMWATER PIPES, PITS AND EXISTING SERVICES. PIPE BACKFILL TO BE IN ACCORDANCE WITH WSA 03-2011-3.1 T7.2.
6. D.I.C.L. PIPES & COPPER ROAD CROSSING PIPES TO EXTEND 300MM BEHIND FACE OF KERB, AND IN ACCORDANCE WITH COUNCIL REQUIREMENTS..
7. ALL PIPES SHALL BE BEDDED ON SAND OR APPROVED COHESIONLESS MATERIAL IN ACCORDANCE WITH COUNCIL REQUIREMENTS. WATER STOPS SHALL BE PROVIDED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
8. ALL PIPES SHALL BE LAID IN STRAIGHT LENGTHS AND NOT BENT TO SUIT A PARTICULAR ALIGNMENT.
9. MASS CONCRETE THRUST BLOCKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL REQUIREMENTS. BEHIND TEES, BENDS, VALVES ETC.
10. STAMP "W" IN FACE OF KERB ABOVE COPPER WATER SERVICES AND MAINS TO COUNCIL REQUIREMENTS.
11. STOP VALVES TO COUNCIL REQUIREMENTS.
12. SPRING HYDRANTS TO COUNCIL REQUIREMENTS.
13. MARKER POSTS, PLATES, PAINT, DELINEATORS TO COUNCIL REQUIREMENTS.
14. WATER CROSSINGS TO BE PLACED A MINIMUM OF 600MM FROM COUNTRY ENERGY/TELSTRA CONDUITS AND ON ALTERNATE BOUNDARIES WHERE POSSIBLE.
15. THRUST BLOCKS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.

PIPE NOTES:

1. THE FOLLOWING PIPE MATERIALS MAY BE USED FOR WATER RETICULATION MAINS:

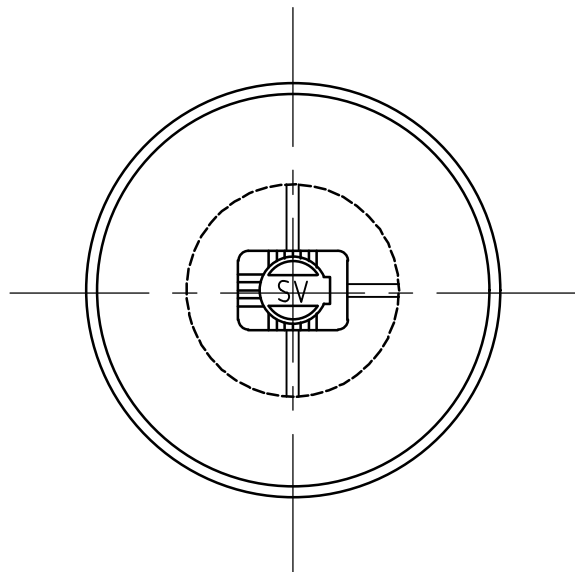
1a. ALL WATER MAINS LESS THAN 300mm IN DIAMETER FACTURED IN ACCORDANCE WISHALL BE CONSTRUCTED FROM CLASS K9 DUCTILE IRON CEMENT LINED (DICL), SPIGOT AND SOCKET, RUBBER RING JOINTED PIPE MANUTH AUSTRALIAN STANDARD 2280.

1b. ALL WATER PIPES GREATER THAN 300MM IN DIAMETER SHALL BE CLASS K12 DICL. ALTERNATIVELY, CLASS 20 (MIN) "BLUE BRUTE" UPVC PIPE MAY BE USED, PROVIDED THAT OD COMPATIBILITY WITH DICL PIPING IS MAINTAINED.

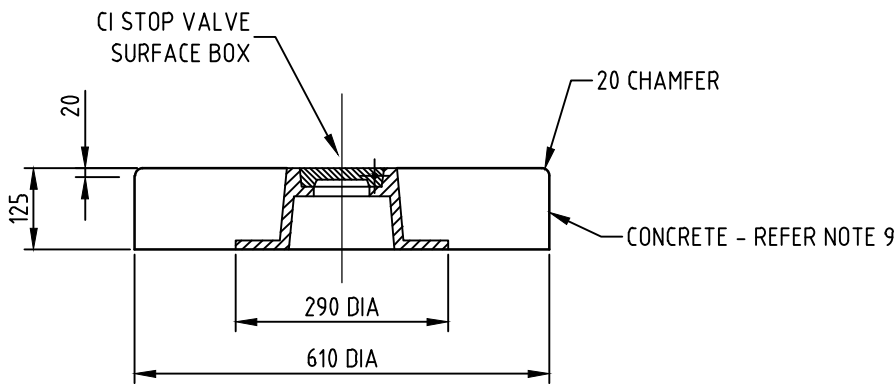
1c. POLYETHYLENE (AS/NZS4130) MINIMUM PN12.5, BLUE STRIPED FOR POTABLE SYSTEMS. LILAC STRIPED FOR RE-USE OR RAW WATER SYSTEMS. ALL JOINTING TO BE ELECTRO-FUSION OR BUTT-WELDED.
2. PRODUCTS IN CONTACT WITH POTABLE WATER SHALL BE TESTED AND COMPLY WITH THE REQUIREMENTS OF AS/NZS4020 FOR PRODUCTS IN CONTACT WITH DRINKING WATER.

DICL NOTES:

1. ALL DUCTILE IRON CEMENT LINED PIPES TO BE IN ACCORDANCE WITH AS2280-2014.
2. ALL SLUICE VALVES TO BE IN ACCORDANCE WITH AS/NZS 2638.2-2011-GATE VALVES FOR WATERWORKS PURPOSES.
3. ALL POLYETHELENE SLEEVING TO BE IN ACCORDANCE WITH AS3680-2008.
4. ALL ELASTOMETRIC SEALS TO BE IN ACCORDANCE WITH 1646-2007.

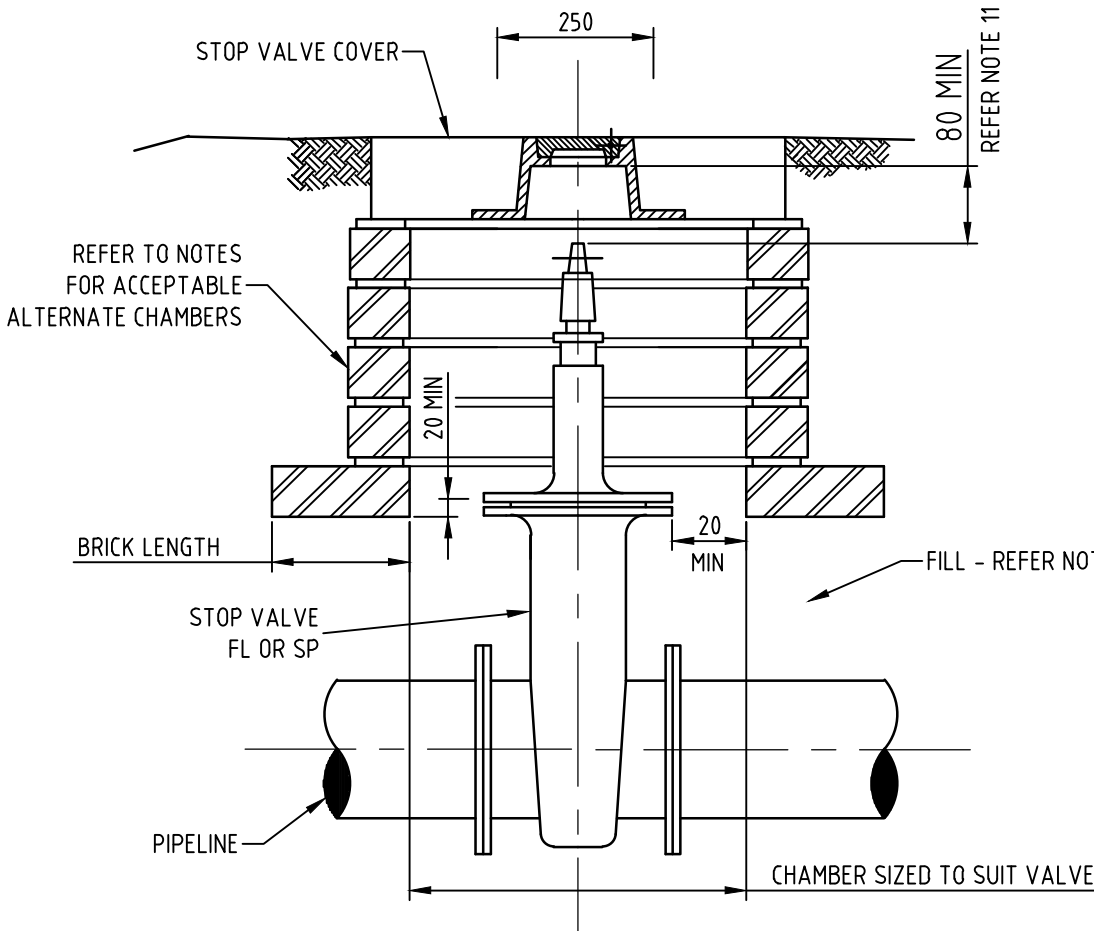


STOP VALVE COVER - PLAN
SCALE = N.T.S.



STOP VALVE COVER - SECTION
SCALE = N.T.S.

NOTE:
PROPRIETARY RECYCLED PLASTIC VALVE COVERS MAY BE USED. THEY SHALL BE GREEN IF THE VALVE IS RESILIENT SEATED.



STOP VALVE INSTALLATION
SCALE = N.T.S.

PRELIMINARY DRAWING
Not to be used for construction purposes