

CHANGE OF USE

140 MAYNE STREET
GULGONG NSW 2852

LOCALITY PLAN.



mayne street, gulgonglot 2, dp 1261038

DRAWING SCHEDULE.

| | | | |
|----|---------------------|-------|------------------|
| A1 | COVER SHEET | REV F | DATED 19.12.2024 |
| A2 | EXISTING SITE PLAN | REV F | DATED 19.12.2024 |
| A3 | PROPOSED SITE PLAN | REV G | DATED 18.02.2025 |
| A4 | EXISTING FLOOR PLAN | REV F | DATED 19.12.2024 |
| A5 | DEMO FLOOR PLAN | REV G | DATED 18.02.2025 |
| A6 | PROPOSED FLOOR PLAN | REV F | DATED 19.12.2024 |
| A7 | ELEVATIONS 1 | REV F | DATED 19.12.2024 |
| A8 | ELEVATIONS 2 | REV F | DATED 19.12.2024 |

PROJECT DESCRIPTION.

For the purpose of the Building Code of Australia, Vol. 1, 2022, the development may be described as follows:

- classification - NCC 'part A6'**
The building has been classified as a 'Class 5' building - office
- rise in stories - NCC 'part C2D3'**
The building has a rise in stories of one.
- effective height - NCC 'schedule 1 definitions'**
The building has an effective height of zero, ie less than 25.0m.
- type of construction required - NCC 'part A6, part C2D2 - table C2D2'**
Class 5 building - Type 'C' construction. The building has been deemed 'conditioned' excluding the toilets & airlocks.
- climate zone - NCC 'schedule 1 definitions'**
The building is located within climate zone 6.

GENERAL NOTES.

In addition to the National Construction Code series, Building Code of Australia Vol. 1, 2022, the Plumbing Code of Australia, 2022 & the building regulations applicable to the state of New South Wales, the following applicable Australian Standards & codes of practice are to be adhered to through the documentation & construction works;

- AS1668 – Mechanical ventilation & air conditioning in Buildings
- AS3000 – Electrical installations; buildings, structures & premises (known as the saa wiring rules)
- AS1428.1 – General requirements for access – buildings
- AS2890.6 – Off-street parking; mandatory requirements
- AS1680.0 – Interior lighting - safe movement

These drawings shall be read in conjunction with all architectural & other consultants drawings & specifications & with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to 'Barnson Pty Ltd' for a decision before proceeding with the work.

All dimensions are in millimetres unless stated otherwise & levels are expressed in metres. Figured dimensions are to be taken in preference to scaled dimensions unless otherwise stated. All dimensions are nominal, and those relevant to setting out & off-site work shall be verified by the contractor before construction & fabrication.

BARNSON PTY LTD

address Unit 4, 108-110 Market Street
Mudgee, NSW 2850
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| Rev. | Date | Amendment |
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| A | 20.08.2024 | CONCEPT PLANS FOR REVIEW |
| B | 23.08.2024 | ADD RECEPTION DESK + STORE. ADD VEHICLE PATHS |
| C | 28.08.2024 | MOVE ACCESS WC, ADD SKILLION ROOF, REMOVE AWNING ROOF, REVISE DOORS |
| D | 10.09.2024 | REVISE CARPORT ROOF, ACCESS WC |
| E | 30.09.2024 | FURTHER INFO ADDED |
| F | 19.12.2024 | REVISE MEETING ROOM AND FRONT FACADE |

Project.
CHANGE OF USE

Site Address.
**140 MAYNE STREET
GULGONG NSW 2852**
Client.
Brodie McGann

Drawing Title.
EXISTING SITE PLAN

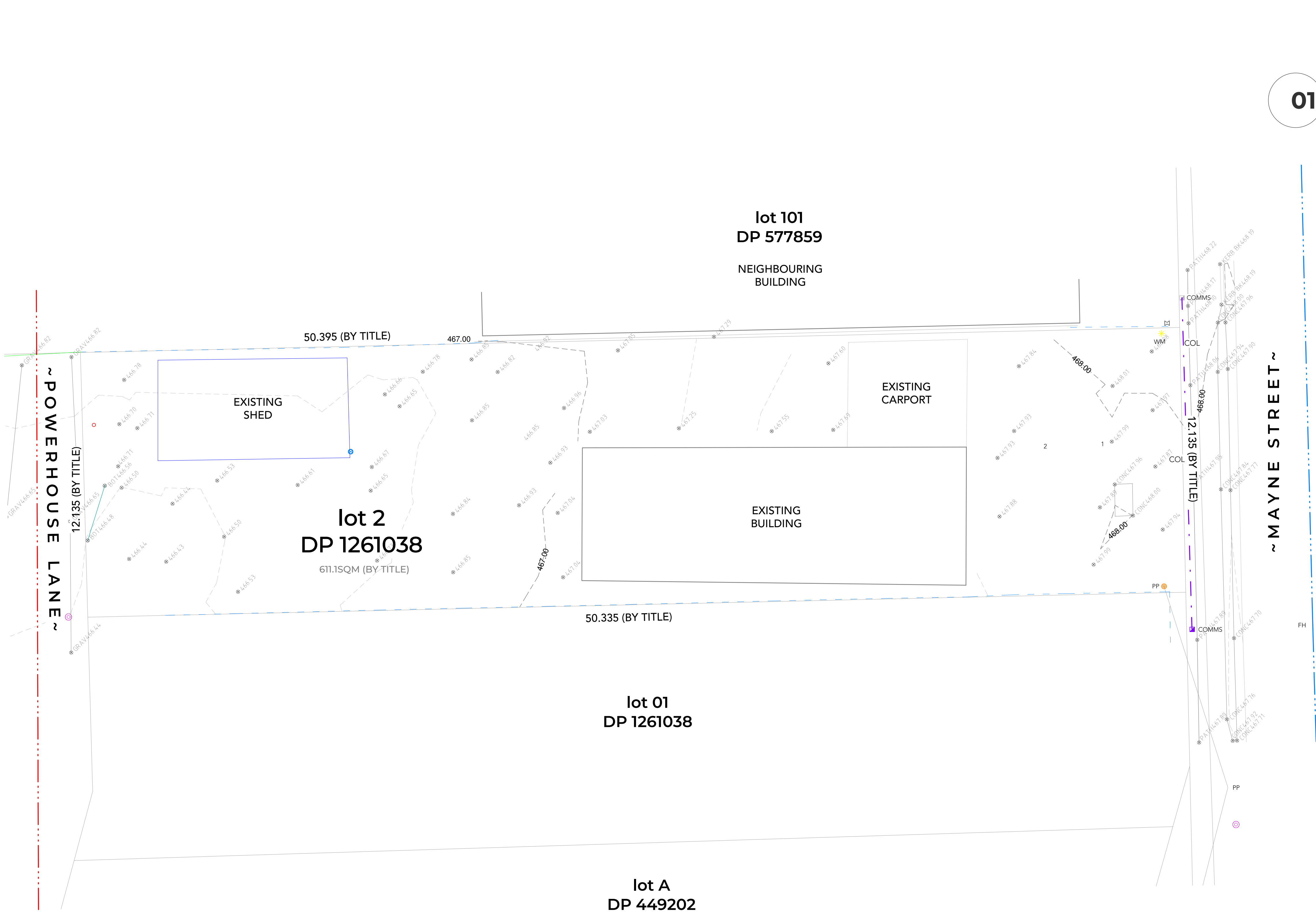
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Sheet. **02 of 08**
Project No. **45078**

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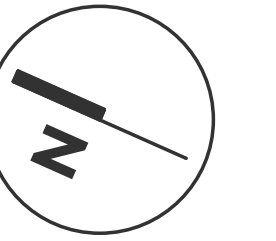
01 EXISTING SITE PLAN

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EXISTING SITE LEGEND.

| | | | |
|--|---------------------------------|--|-------------------------------------|
| | proposed boundary | | existing vegetations |
| | existing boundary | | existing fence line |
| | existing easement | | underground stormwater |
| | existing major contours | | underground sewer |
| | existing minor contours | | underground telecommunications line |
| | existing buildings & structures | | overhead electrical lines |
| | existing concrete paths | | underground electrical lines |
| | existing driveways | | underground water lines |



02

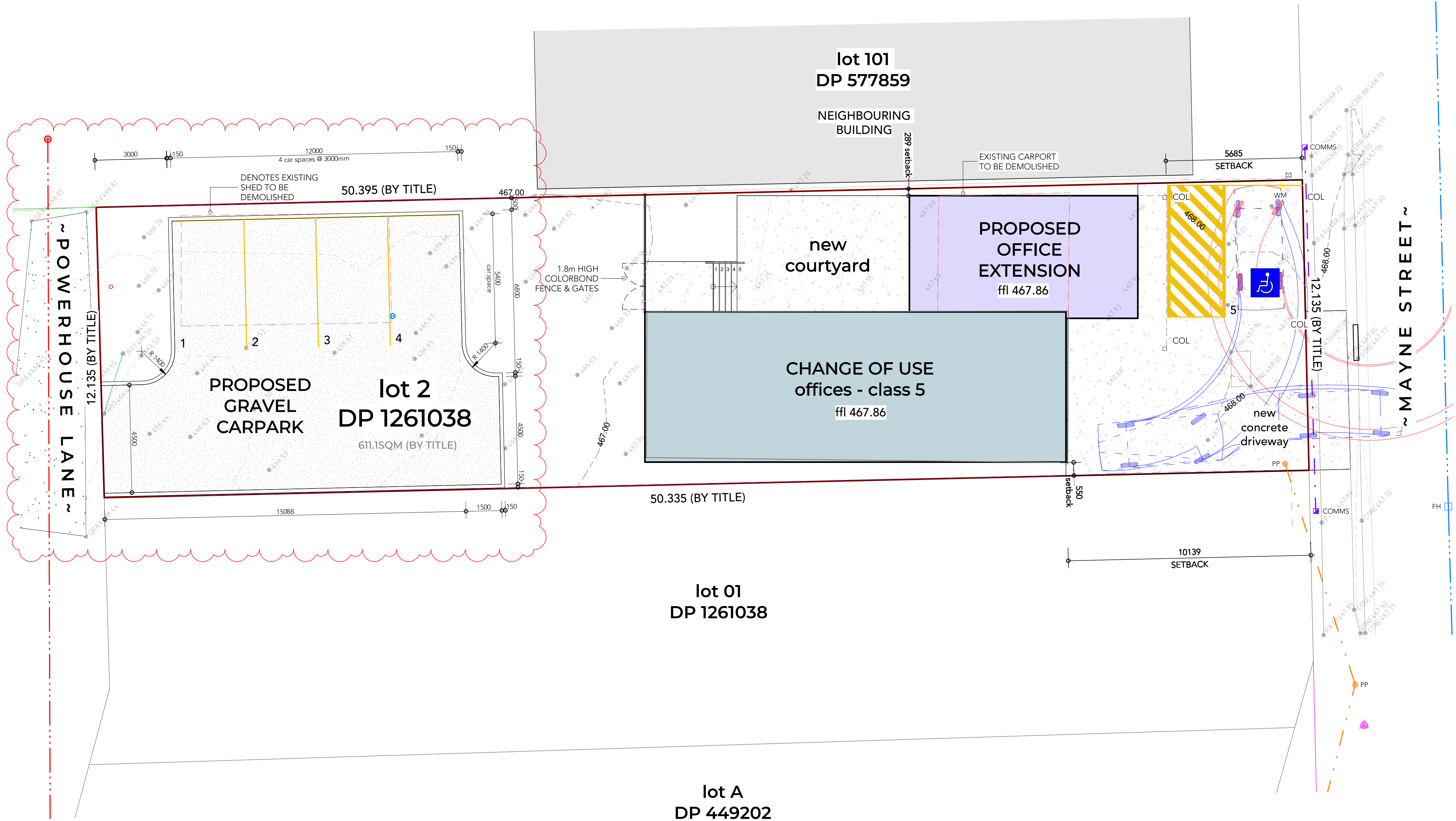
PROPOSED SITE PLAN

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EXISTING SITE LEGEND.

- | | | | |
|--|---------------------------------|--|-------------------------------------|
| | proposed boundary | | existing vegetations |
| | existing boundary | | existing fence line |
| | existing easement | | underground stormwater |
| | existing major contours | | underground sewer |
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| G | 18.02.2025 | DEMOLITION OF EXISTING SHED, PROPOSED CARPARKING |

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Brodie McGann

Drawing Title.
PROPOSED SITE PLAN

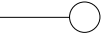
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DEMO FLOOR PLAN

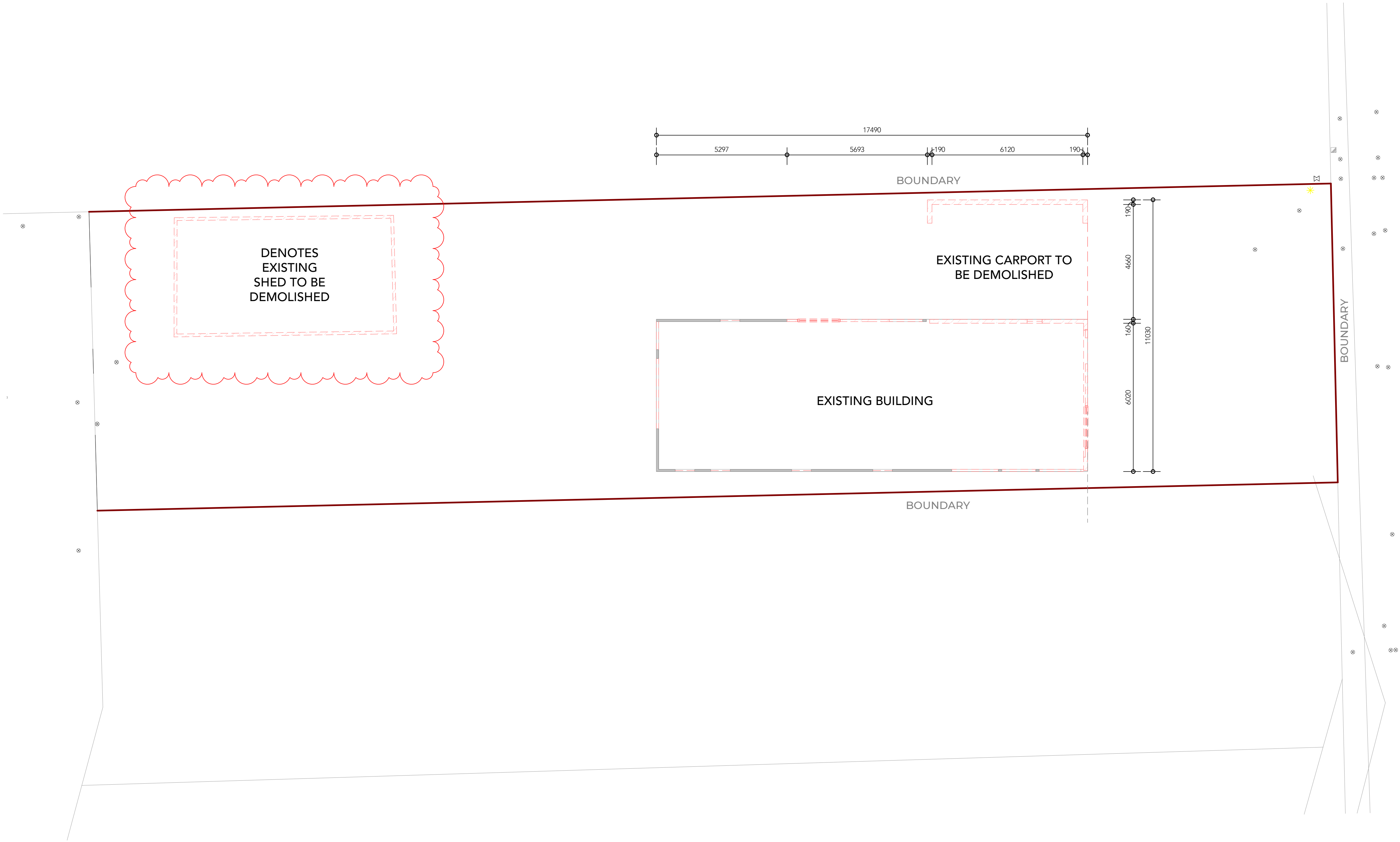
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DEMOLITION PLAN

Scale 1 : 100 @ A1



DEMOLITION LEGEND.

- denotes existing elements to be demolished, make good to existing surfaces
- denotes existing walls to be demolished, make good to existing surfaces
- denotes existing doors to be demolished, make good to existing surfaces
- denotes existing windows to be demolished, make good to existing surfaces

DEMOLITION NOTES.

The precautions & procedures to be taken before & during the demolitions works shall be in accordance with the building regulations applicable to the state of New South Wales & the following Australian standards & codes of practice.

- a. 'AS 2601-2001 - demolition of structures' & the following additional requirements:
- b. AS 2436 - 1981 guide to noise control
- c. O.H&S - code of practice for demolition-1991 no. 14
- d. O.H&S - asbestos regulations - 2003

The relevant statutory authorities shall be notified in advance & their approvals or services, if necessary shall be obtained.

Security fencing shall be provided around the perimeter of the demolition site & any additional precautionary measures taken, as my be necessary to prevent unauthorised entry to the site at all times during the demolition & construction period.

The erection of hoardings, outriggers & scaffolding shall be constructed in accordance with the requirements of the relevant authorities & the applicable Australian standards.

All electrical, gas, water, sewer & other service lines not required in the demolition process shall be shut off, capped or disconnected at or outside the building line, before the demolition works commences. Any service retained for demolition will be adequately protected.

All protection works to the adjoining properties (as required) will be in place before demolition works.

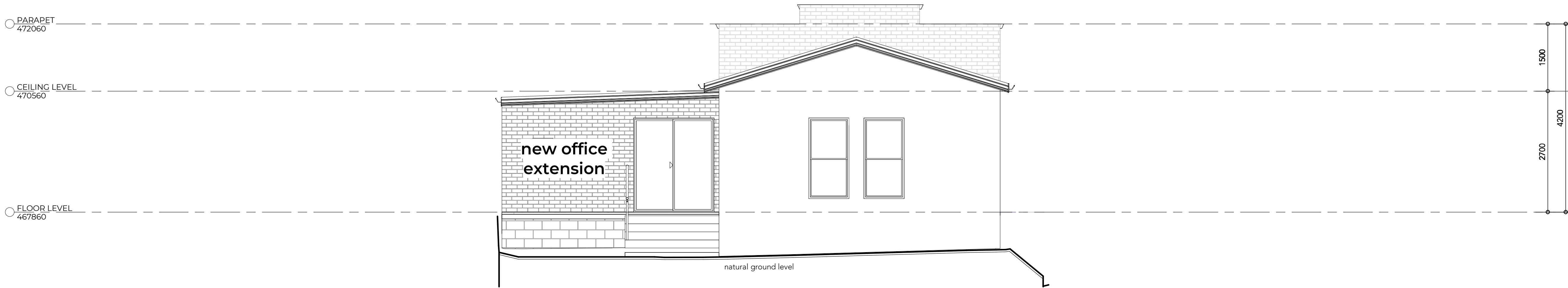
Demolition & removal of the building shall be undertaken in a careful & proper manner & with a minimum disturbance to the adjoining buildings & to the public & occupants.

All practible precautions shall be taken to avoid danger from collapse of a building when any part of a framed member is removed.

No wall, chimney or other structure shall be left free standing & unattended without temporary bracing or supports in such a condition that it may collapse due to wind or vibration.

Procedures & method of demolition will be adequate to prevent injury to persons & avoid damage to neighbouring buildings.

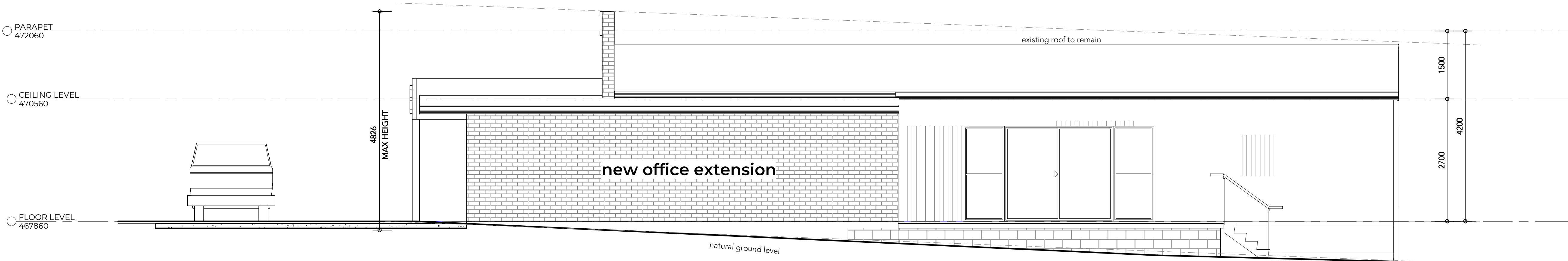
No combustible material & rubbish will be left on site as to cause a fire hazard.



06

NORTH FACADE

Scale 1 : 50 @ A1



07

EAST FACADE

Scale 1 : 50 @ A1

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ELEVATIONS 1

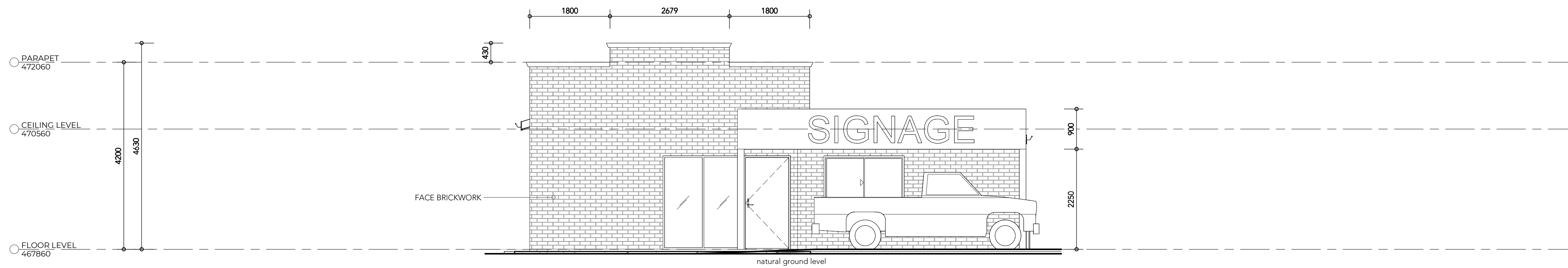
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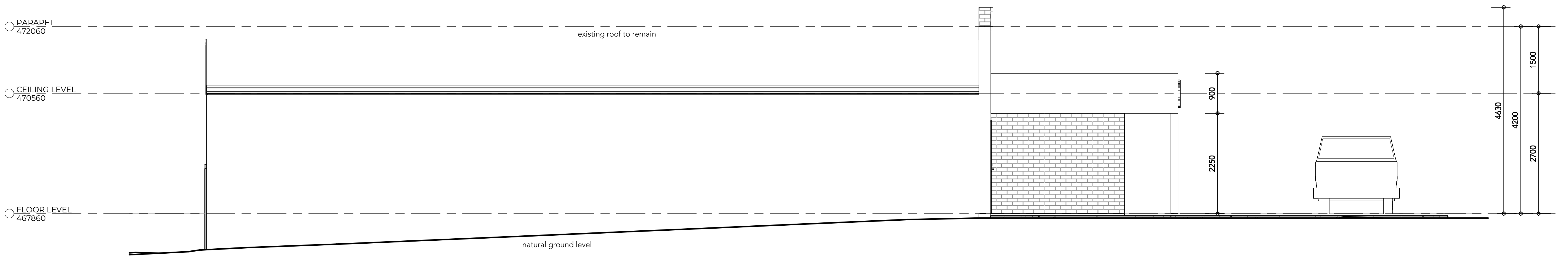
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08 SOUTH FACADE
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09 WEST FACADE
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ELEVATIONS 2

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