

QUANTITY SURVEYORS

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# QUANTITY SURVEYOR'S COST SUMMARY REPORT

for MID-WESTERN REGIONAL COUNCIL

**PROJECT:** 

**CLIENT:** 

**ISSUE DATE:** 

**REVISION:** 

CHILDCARE CENTRE EXPANSION 39 SALEYARDS LANE, MUDGEE NSW

**GOWRIE NSW** 

4<sup>th</sup> JULY 2024

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# CONTENTS

1.0 - QUANTITY SURVEYOR QUALIFICATIONS	3
2.0 - INTRODUCTION	4
3.0 - PURPOSE & BASIS OF REPORT	4
4.0 - PROJECT DESCRIPTION	4
5.0 - DEVELOPMENT COST SUMMARY	4
6.0 - BASIS OF COST ESTIMATE	4
7.0 - PROJECT AREAS	5
8.0 - INCLUSIONS, EXCLUSIONS & ASSUMPTIONS	6
9.0 - COST ESTIMATE	8
10.0 - QUANTITY SURVEYOR CERTIFICATION	9
APPENDIX – ELEMENTAL ESTIMATE SUMMARY	10



# **1.0 - QUANTITY SURVEYOR QUALIFICATIONS**

**CPP Quantity Surveyors** are registered and certified members (CQS) of the Australian Institute of Quantity Surveyors.

The preparer of this report is: -

#### Gary B. Uys MAIQS, CQS

Director Certified Quantity Surveyor (AIQS #3327)



For more information about us, please visit our website <u>https://cppqs.com.au</u>.



## **2.0 - INTRODUCTION**

This report has been prepared to provide a Registered Quantity Surveyors' Cost Summary Report for the childcare centre development located at 39 Saleyards Lane, Mudgee NSW.

## **3.0 - PURPOSE & BASIS OF REPORT**

This report has been prepared to determine an indicative development cost for inclusion in the DA or CC application to *Mid-Western Regional Council only*. Costs have been prepared in accordance with council requirements and scope definitions per Clause 208 of the Environmental Planning & Assessment Regulation 2021 and S7.11 and S7.12 of the Development Contributions Plan 2020. <u>It is not intended</u> to be used for any other purpose such as for owner bank/financing use, budgeting, planning, sales and marketing.

Estimated costs contained herein are based on our opinion of current average market construction costs with building work completed by a licensed builder and appropriate suppliers and installers. Final construction costs could vary depending on construction methodology adopted, timing of the works, ongoing design decisions, inclusions, specifications, tendering conditions, market conditions, availability of resources, development application and other government and authority conditions.

## **4.0 - PROJECT DESCRIPTION**

Partial demolition, site clearance and the expansion of an existing childcare centre including two detached sheds, external works and landscaping.

# **5.0 - DEVELOPMENT COST SUMMARY**

Our estimated development cost inclusive of professional fees and GST is **\$1,390,000** (Average of **\$3,294/m2 GFA (expanded area) for the whole development).** 

We refer you to the "Appendix - Elemental Estimate Summary" section for more detailed costing information and cost breakdown.

#### **6.0 - BASIS OF COST ESTIMATE**

This cost estimate has been based on the following documentation provided by the client or consultants:

- > Architectural DA Plans prepared by Barnson, Rev.G, 28.06.24), 7 sheets
- Civil Plans

Structural, services, landscaping designs have not been provided. We have made reasonable allowances based on our experience with similar projects.



#### 7.0 - PROJECT AREAS

The Gross Floor Area (GFA) has been measured in accordance with the Method of Measurement of Building Areas in the AIQS Cost Management Manual Volume 1, Appendix A2.

#### **GROSS FLOOR AREA (GFA) DEFINITION**

The sum of the "Fully Enclosed Covered Area" and "Unenclosed Covered Area" as defined.

#### FULLY ENCLOSED COVERED AREA (FECA)

The sum of all such areas at all building floor levels, including basements (except unexcavated portions), floored roof spaces and attics, garages, penthouses, enclosed porches and attached enclosed covered ways alongside buildings, equipment rooms, lift shafts, vertical ducts, staircases and any other fully enclosed spaces and usable areas of the building, computed by measuring from the normal inside face of exterior walls but ignoring any projections such as plinths, columns, piers and the like which project from the normal inside face of exterior walls. It shall not include open courts, lightwells, connecting or isolated covered ways and net open areas or upper portions of rooms, lobbies, halls, interstitial spaces and the like which extend through the storey being computed.

#### **UNENCLOSED COVERED AREA (UCA)**

The sum of all such areas at all building floor levels, including roofed balconies, open verandahs, porches and porticos, attached open covered ways alongside buildings, undercrofts and usable space under buildings, unenclosed access galleries (including ground floor) and any other trafficable covered areas of the building which are not totally enclosed by full height walls, computed by measuring the area between the enclosing walls or balustrade (i.e. from the inside face of the UCA excluding the wall or balustrade thickness). When the covering element (i.e. roof or upper floor) is supported by columns, is cantilevered or is suspended, or any combination of these, the measurements shall be taken to the edge of the paving or to the edge of the cover, whichever is the lesser. UCA shall not include eaves overhangs, sun shading, awnings and the like where these do not relate to the clearly defined trafficable areas, nor shall it include connecting or isolated covered ways.

The approximate Gross Floor Areas (GFA) in accordance with this definition for this project is as follows:

Location	Area (m2)	Comment
FECA	361	Expanded childcare area
UCA	61	Covered unenclosed external areas
GFA (m2)	422	FECA + UCA = GFA

Note 1: The GFA of the existing building is 307m2 (FECA) and 59m2 (UCA) – 366m2

Note 2: Sheds are excluded from the above

Note 3: The areas above may differ from the areas calculated for FSR purposes as the definition of inclusions/exclusions in the areas are different.



The cost generally includes the following works. This is not a concise list of inclusions. Where information was not provided, we have included allowances / assumption based on our experience with similar projects.

Demolition	Fitments & Fixtures
Partial demolition	Kitchen cabinetry/joinery
Excavation	Laundry joinery
Site preparation & minor excavation	Classroom and Infant joinery
Foundations	Store Joinery
Edge, strip & pad footings	Supplemental rooms joinery
Structure	Kitchen fixtures
Retain/make good existing structure provision	Kitchen appliances
Reinforced concrete ground slab	Laundry fixtures
Timber framed roof	Bathroom fixtures & fittings
Structural steel support elements	Architraves, trims, fixout
External Envelope / Enclosure	Services
Timber framed exgternal walls	Plumbing & hydraulic services
Mix of external wall finishes	Electrical services and light fixtures
Wall insulation	Air-conditioning - Ducted
Metal roof covering	Water tank(s)
Mix of metal roof covering and concrete roof tile covering	External electrical
Fascia, gutters and downpipes	Smoke detectors
Aluminium framed windows	Stormwater reticulation & connection
Glazed external sliding, hinged and stacker doors	Mains connection
Internal walls & doors	External works
Combination of timber and masonry walls	
Internal doors & hardware	External works (Driveway, Carparks, Paving, etc)
Wall Finishes	Civil Works
Plasterboard or render	Landscaping
Paint	Detached sheds
Wall tiling	Boundary fencing as indicated
Feature wall finishes	Miscellaneous
Floor Finishes	Builders Preliminaries, Home Warranty Insurance, Margin
Tiling to wet areas	Professional fees
Vinyl or similar to classrooms, infants, common areas	GST
Waterproofing to wet areas	
Skirtings, division strips etc	
Tiling or decking to alfresco, patios and balconies	
Ceiling Finishes	
Plasterboard & paint	
Bulkheads, recesses, etc	
Cornices	
Ceiling insulation	

The following items are **<u>excluded</u>** from this cost estimate.

- Escalation beyond July 2024
- Contingencies
- Ground contamination and other hazardous materials
- Asbestos removal & disposal
- Services & works outside side boundary
- All fitout including machinery, equipment, furniture, specialist items, specific user requirements
- Loose fittings & furnishings
- Long service levy (LSL)
- Land & Legal costs
- Marketing and finance costs
- Project management costs
- Insurances other than builder's insurances
- Taxes, levies & charges other than GST



## 9.0 - COST ESTIMATE

This report is based on our opinion of market costs and pricing levels to provide our opinion on the development costs and may vary from actual final costs.

Costs have been prepared in accordance with Clause 208 of the Environmental Planning & Assessment Regulation 2021 and S7.11 & S7.12 of the Development Contributions Plan.

The estimated construction cost is **\$1,390,000 (Average of \$3,294/m2 GFA (expanded area) for the whole development**).

We refer you to the Appendix for the elemental cost estimate.

## **10.0 - QUANTITY SURVEYOR CERTIFICATION**

#### I CERTIFY THAT I HAVE:

- Inspected the plans subject to the application for development consent or complying development certificate.
- Prepared and attached an elemental estimate generally prepared in accordance with the Australian Cost Management Manuals from the Australian Institute of Quantity Surveyors.
- Measured gross floor area in accordance with the Method of Measuring of Building Area in the Australian Institute of Quantity Surveyor's Cost Management Manual Volume 1, Appendix A2
- Calculated the development costs in accordance with the definition of proposed cost of development in Clause 208 of the Environmental Planning & Assessment Regulation 2021 and S7.11 & S7.12 of the Development Contributions Plan at current prices; and
- Included GST in the calculation of the proposed cost of development.



Name: Gary Uys, MAIQS CQS

**Position & Qualifications:** Director, CPP Quantity Surveyors, Certified Quantity Surveyor (AIQS Member #3327)

Date: 4<sup>th</sup> July 2024

# **APPENDIX – ELEMENTAL ESTIMATE SUMMARY**

CPP

# Summary

CPP QUANTITY SURVEYORS

Project:	39 Saleyards Lane, Mudgee	Details:	Childcare Centre - Expansion
Duilding	Cost Summary Poport		

Building: Cost Summary Report

SITE PREPARATIONIMIMIMIMIMDemolition & Site Clearancem2422121.240.8051,162Groundworksm244241.470.2851,750STRUCTUREm2422137.750.9158,129Columnsm2422137.750.9158,129Columnsm24222.090.02880Subsended Floorsm24222.68.901.77113,476ENCLOSUREm24222.68.901.77113,476External Walls & Exterior Finishm24222.68.901.77113,476External Walls & Exterior Finishm24223.60.22.479,367Windows and Exterior Doorsm24223.60.20.000Internal Walls & Exterior Finishm24223.60.20.2415.000Internal Doorsm24223.60.20.2415.0000Internal Wallsm24223.60.20.445.9.962Wall Finishesm24223.60.20.445.9.962Wall Finishesm2422140.450.96.16.03Ceiling Finishesm2422140.450.96.16.03Ceiling Finishesm2422140.470.95.9.150Enternal Servicesm2422140.470.95.9.150Electrical Servicesm2422135.16.33.7.45Ar	Description	Unit	Quantity	Rate	% of Cost	Total
Groundworks   m2   4422   41.47   0.28   17,500     STRUCTURE   m2   4422   137.75   0.91   58,129     Columns   m2   4422   137.75   0.91   58,129     Columns   m2   4422   137.75   0.91   58,129     Columns   m2   4422   2.00   0.00   0     ENCLOSURE   m2   4422   2.00   0.00   0     External Walls & Exterior Finishe   m2   4422   25.88   0.37   23,622     Windows and Exterior Doors   m2   4422   0.00   0.00   0     IntERIORS   m2   4422   0.00   0.00   0     Internal Balustrades   m2   4422   0.00   0.00   0     Internal Balustrades   m2   4422   0.50   0.57   36,6274     Floor Finishes   m2   4422   142.60   0.96   61,803     Celling Finishes   m2   4422   142.64   0	SITE PREPARATION					
STRUCTURE   Image: Marcine State S	Demolition & Site Clearance	m2	422	121.24	0.80	51,162
Substructure & Ground Slabs   m2   4422   137.75   0.91   58,129     Columns   m2   4422   2.09   0.02   880     Suspended Floors   m2   4422   0.00   0.00   0     Roof Structure & Roof Finishes   m2   4222   268.90   1.77   113,476     External Walls & Exterior Finish   m2   4222   55.88   0.37   23,622     INTERIORS   m2   4222   0.00   0.00   0     Staircases & Internal Balustrades   m2   4222   0.00   0.00   0     Internal Doors   m2   4222   0.00   0.00   0   0     Internal Walls   m2   4222   46.05   0.96   61.803   0.422   142.09   0.49   59.962     Wall Finishes   m2   4222   146.45   0.96   61.803     Ceiling Finishes   m2   4222   146.45   0.96   61.803     Ceiling Finishes   m2   4222   10.01	Groundworks	m2	422	41.47	0.28	17,500
Columns   m2   4422   2.09   0.02   880     Suspended Floors   m2   4222   0.00   0.00   0     Rof Structure & Roof Finishes   m2   4222   268.90   1.77   113,476     External Walls & Exterior Finish   m2   4222   518.807   1.24   79,367     Internal Secterior Doors   m2   4222   50.80   3.7   23,622     INTERIORS   m2   4222   0.00   0.00   0     Internal Balustrades   m2   4222   0.00   0.00   0     Internal Walls   m2   422   0.00   0.00   0     Internal Walls   m2   422   140.05   59,62   15,200     Internal Walls   m2   422   146.45   0.96   61,803   53,310     Reling Finishes   m2   422   126.33   0.83   53,310     Fittings and Fixtures   m2   422   120.47   1.32   84,600     Internal Walls   D	STRUCTURE					
Suspended Floors   m2   422   0.00   0.00     ENCLOSURE   m2   422   268.90   1.77   113,476     Roof Structure & Roof Finishes   m2   422   188.07   1.24   79,367     Windows and Exterior Finish   m2   422   188.07   1.24   79,367     Windows and Exterior Doors   m2   422   0.00   0.00   0     INTERIORS   m2   422   0.00   0.00   0     Internal Doors   m2   422   36.02   0.24   15.200     Internal Walls   m2   422   142.09   0.94   59,962     Wall Finishes   m2   422   142.65   0.65   16.123     Ceiling Finishes   m2   422   146.45   0.96   61.803     Ceiling Finishes   m2   422   146.45   0.96   61.803     Intrens and Fixtures   m2   422   146.45   0.96   61.803     Intrens and Fixtures   m2   422 <t< td=""><td>Substructure &amp; Ground Slabs</td><td>m2</td><td>422</td><td>137.75</td><td>0.91</td><td>58,129</td></t<>	Substructure & Ground Slabs	m2	422	137.75	0.91	58,129
ENCLOSURE   Image: Marcine Section Finishes	Columns	m2	422	2.09	0.02	880
Roof Structure & Roof Finishes   m2   4422   268.90   1.77   113.476     External Walls & Exterior Finish   m2   422   188.07   1.24   79,367     Windows and Exterior Doors   m2   422   55.98   0.37   23,622     INTERIORS   m2   422   0.00   0.00   0     Staircases & Internal Balustrades   m2   422   36.02   0.24   15,200     Internal Doors   m2   422   36.02   0.24   15,200     Internal Walls   m2   422   142.09   0.94   59,962     Wall Finishes   m2   422   146.45   0.96   61,803     Ceiling Finishes   m2   422   146.45   0.96   61,803     Ceiling Finishes   m2   422   200.47   1.32   84,600     INTERNAL SERVICES   m2   422   140.17   0.92   59,150     Electrical Services   m2   422   135.11   0.89   57,015     Fire Services <td>Suspended Floors</td> <td>m2</td> <td>422</td> <td>0.00</td> <td>0.00</td> <td>0</td>	Suspended Floors	m2	422	0.00	0.00	0
External Walls & Exterior Finish   m2   4422   188.07   1.24   79,367     Windows and Exterior Doors   m2   4422   55.98   0.37   23,622     INTERIORS   m2   4422   55.98   0.30   0.00   0.00     Internal Doors   m2   4422   36.02   0.24   15,200     Internal Walls   m2   4422   85.96   0.57   36,274     Floor Finishes   m2   4422   142.09   0.94   59,962     Wall Finishes   m2   4422   146.45   0.96   61,803     Ceiling Finishes   m2   4422   146.45   0.96   61,803     Ceiling Finishes   m2   422   146.45   0.96   61,803     Ceiling Finishes   m2   422   200.77   1.32   84,600     INTERNAL SERVICES   m2   422   140.17   0.92   59,150     Electrical Services   m2   422   135.11   0.89   57,015     Fire Services <td>ENCLOSURE</td> <td></td> <td></td> <td></td> <td></td> <td></td>	ENCLOSURE					
Windows and Exterior Doors   m2   422   55.98   0.37   23.622     INTERIORS   m2   422   0.00   0.00   0     Staircases & Internal Balustrades   m2   422   36.02   0.24   15,200     Internal Doors   m2   422   36.02   0.24   15,200     Internal Walls   m2   422   85.96   0.57   36,274     Floor Finishes   m2   422   142.09   0.94   59,962     Wall Finishes   m2   422   146.45   0.96   61,803     Ceiling Finishes   m2   422   200.47   1.32   84,600     INTERNAL SERVICES   m2   422   89.44   0.59   37,745     Air-Conditioning & Drainage   m2   422   140.17   0.92   59,150     Electrical Services   m2   422   140.17   0.92   59,150     Electrical Services   m2   422   140.17   0.92   59,150     External Works   m2 <td>Roof Structure &amp; Roof Finishes</td> <td>m2</td> <td>422</td> <td>268.90</td> <td>1.77</td> <td>113,476</td>	Roof Structure & Roof Finishes	m2	422	268.90	1.77	113,476
INTERIORS   Image: Margin and Margin an	External Walls & Exterior Finish	m2	422	188.07	1.24	79,367
Staircases & Internal Balustrades m2 4422 0.00 0.00   Internal Doors m2 4422 36.02 0.24 15,200   Internal Walls m2 4422 36.02 0.24 15,200   Internal Walls m2 4422 36.02 0.94 59,962   Wall Finishes m2 422 146.45 0.96 61,803   Ceiling Finishes m2 422 146.45 0.96 61,803   Ceiling Finishes m2 422 200.47 1.32 84,600   INTERNAL SERVICES m2 422 200.47 1.32 84,600   INTERNAL SERVICES m2 422 140.17 0.92 59,150   Electrical Services m2 422 140.17 0.92 59,150   Electrical Services m2 422 135.1 0.89 57,015   Fire Services m2 422 131.74 0.75 48,000   External Services m2 422 131.74 0.75 48,000   External Services m2 <t< td=""><td>Windows and Exterior Doors</td><td>m2</td><td>422</td><td>55.98</td><td>0.37</td><td>23,622</td></t<>	Windows and Exterior Doors	m2	422	55.98	0.37	23,622
Internal Doorsm2442236.020.2415,200Internal Wallsm2442285.960.5736,274Floor Finishesm2422142.090.9459,962Wall Finishesm2422146.450.9661,803Ceiling Finishesm2422200.471.3284,600INTERNAL SERVICESm2422200.471.3284,600INTERNAL SERVICESm242289.440.5937,745Air-Conditioning & Ventilationm2422140.170.9259,150Electrical Servicesm2422135.110.8957,015Fire Servicesm242223.700.1610,000EXTERNAL WORKSm2422364.562.39153,844TRADE SUB-TOTAL \$m2422113.740.7548,000External Worksm2422110.001.78114,356Contingencym242210.001.78114,356Contingencym342210.001.78114,356CONSTRUCTION TOTAL \$m4m4m4m4m4CONSTRUCTION TOTAL \$m3m4m4m4m4Contingencym4m4m4m4m4Construction TOTAL \$m4m4m4m4m4Construction TOTAL \$m4m4m4m4m4Construction TOTAL \$m4m4m4m4m4	INTERIORS					
Internal Walls   m2   4422   85.96   0.57   36,274     Floor Finishes   m2   4422   142.09   0.94   59,962     Wall Finishes   m2   4422   146.45   0.96   61,803     Ceiling Finishes   m2   4422   126.33   0.83   53,310     Fittings and Fixtures   m2   422   200.47   1.32   84,600     INTERNAL SERVICES   m2   422   89.44   0.59   37,745     Air-Conditioning & Ventilation   m2   422   140.17   0.92   59,150     Electrical Services   m2   422   135.11   0.89   57,015     Fire Services   m2   422   135.11   0.89   57,015     Fire Services   m2   422   23.70   0.16   10,000     External Services   m2   422   113.74   0.75   48,000     External Services   m2   422   113.74   0.75   48,000     External Services   m2	Staircases & Internal Balustrades	m2	422	0.00	0.00	0
Floor Finishes m2 422 142.09 0.94 59.962   Wall Finishes m2 422 146.45 0.96 61.803   Ceiling Finishes m2 422 126.33 0.83 53.310   Fittings and Fixtures m2 422 200.47 1.32 84.600   INTERNAL SERVICES m2 422 89.44 0.59 37.745   Air-Conditioning & Ventilation m2 422 140.17 0.92 59.150   Electrical Services m2 422 135.11 0.89 57.015   Fire Services m2 422 23.70 0.16 10.000   EXTERNAL WORKS m2 422 113.74 0.75 48.000   External Services m2 422 113.74 0.75 48.000   External Works m2 422 113.74 0.75 48.000   External Services m2 422 113.74 0.75 153.84   TRDE SUB-TOTAL \$ m2 12.00 1.91 122.525   Margin % 422	Internal Doors	m2	422	36.02	0.24	15,200
Wall Finishes   m2   422   146.45   0.96   61,803     Ceiling Finishes   m2   422   126.33   0.83   53,310     Fittings and Fixtures   m2   4222   200.47   1.32   84,600     INTERNAL SERVICES   m2   4222   89.44   0.59   37,745     Air-Conditioning & Ventilation   m2   4222   140.17   0.92   59,150     Electrical Services   m2   4222   135.11   0.89   57,015     Fire Services   m2   422   113.74   0.75   48,000     External Works   m2   422   113.74   0.75   48,000     BullDER'S COSTS	Internal Walls	m2	422	85.96	0.57	36,274
Ceiling Finishes   m2   422   126.33   0.83   53,310     Fittings and Fixtures   m2   422   200.47   1.32   84,600     INTERNAL SERVICES   m2   422   200.47   1.32   84,600     Hydraulics, Plumbing & Drainage   m2   422   89.44   0.59   37,745     Air-Conditioning & Ventilation   m2   422   140.17   0.92   59,150     Electrical Services   m2   422   135.11   0.89   57,015     Fire Services   m2   422   23.70   0.16   10,000     EXTERNAL WORKS   m2   422   113.74   0.75   48,000     External Services   m2   422   364.56   2.39   153,844     TRADE SUB-TOTAL \$   m2   422   12.00   1.91   122,525     Margin   %   422   10.00   1.78   114,356     Contingency     1.25   1.25,7919     Prefeminaries   %   422	Floor Finishes	m2	422	142.09	0.94	59,962
Fittings and Fixtures m2 422 200.47 1.32 84,600   INTERNAL SERVICES m2 422 89.44 0.59 37,745   Hydraulics, Plumbing & Drainage m2 422 89.44 0.59 37,745   Air-Conditioning & Ventilation m2 422 140.17 0.92 59,150   Electrical Services m2 422 23.70 0.16 10,000   EXTERNAL WORKS m2 422 2113.74 0.75 48,000   External Services m2 422 364.56 2.39 153,844   TRADE SUB-TOTAL \$ m2 422 12.00 1.91 122,525   Margin % 422 10.00 1.78 114,356   Contingency   19.53 1,257,919   Professional Fees % 422 5.00 0.98 62,896   DEVELOPMENT TOTAL (ex CST) \$ % 422 10.00 2.06 1320,815	Wall Finishes	m2	422	146.45	0.96	61,803
INTERNAL SERVICES   Image	Ceiling Finishes	m2	422	126.33	0.83	53,310
Hydraulics, Plumbing & Drainage m2 422 89.44 0.59 37,745   Air-Conditioning & Ventilation m2 422 140.17 0.92 59,150   Electrical Services m2 422 135.11 0.89 57,015   Fire Services m2 422 23.70 0.16 10,000   EXTERNAL WORKS m2 422 113.74 0.75 48,000   External Services m2 422 364.56 2.39 153,844   TRADE SUB-TOTAL \$ m2 422 364.56 2.39 153,844   TRADE SUB-TOTAL \$ m2 422 12.00 1.91 122,525   Margin % 422 10.00 1.78 114,356   Contingency ////////////////////////////////////	Fittings and Fixtures	m2	422	200.47	1.32	84,600
Air-Conditioning & Ventilation m2 422 140.17 0.92 59,150   Electrical Services m2 422 135.11 0.89 57,015   Fire Services m2 422 23.70 0.16 10,000   EXTERNAL WORKS m2 422 23.70 0.16 10,000   External Services m2 422 113.74 0.75 48,000   External Works m2 422 364.56 2.39 153,844   TRADE SUB-TOTAL \$ m2 422 12.00 1.91 122,525   Margin % 422 12.00 1.91 122,525   Margin % 422 10.00 1.78 114,356   Contingency   19.53 1,257,919   Professional Fees % 422 5.00 0.98 62,896   DEVELOPMENT TOTAL (ex GST) \$  20.51 1,320,815   GST % 422 10.00 2.06 132,0815	INTERNAL SERVICES					
Electrical Services m2 422 135.11 0.89 57,015   Fire Services m2 422 23.70 0.16 10,000   EXTERNAL WORKS m2 422 113.74 0.75 48,000   External Services m2 422 364.56 2.39 153,844   TRADE SUB-TOTAL \$ m2 422 364.56 2.39 153,844   BUILDER'S COSTS m2 422 12.00 1.91 122,525   Margin % 422 10.00 1.78 114,356   Contingency   9.00 Excluded   Professional Fees % 422 5.00 0.98 62,896   DEVELOPMENT TOTAL (ex GST) \$   20.51 1,320,815	Hydraulics, Plumbing & Drainage	m2	422	89.44	0.59	37,745
Fire Services m2 422 23.70 0.16 10,000   EXTERNAL WORKS m2 422 113.74 0.75 48,000   External Services m2 422 364.56 2.39 153,844   TRADE SUB-TOTAL \$ m2 422 364.56 2.39 153,844   BUILDER'S COSTS m2 422 12.00 1.91 122,525   Margin % 422 10.00 1.78 114,356   Contingency % 422 10.00 1.25,7919   Professional Fees % 422 5.00 0.98 62,896   DEVELOPMENT TOTAL (ex GST) \$ % 422 10.00 2.051 1,320,815	Air-Conditioning & Ventilation	m2	422	140.17	0.92	59,150
EXTERNAL WORKS   Image: mail of the mail	Electrical Services	m2	422	135.11	0.89	57,015
External Services m2 422 113.74 0.75 48,000   External Works m2 422 364.56 2.39 153,844   TRADE SUB-TOTAL \$ m2 422 364.56 2.39 153,844   BUILDER'S COSTS Image: main state st	Fire Services	m2	422	23.70	0.16	10,000
External Works m2 422 364.56 2.39 153,844   TRADE SUB-TOTAL \$ Image: constraint of the state of the	EXTERNAL WORKS					
TRADE SUB-TOTAL \$ Is.85 1,021,038   BUILDER'S COSTS ////////////////////////////////////	External Services	m2	422	113.74	0.75	48,000
BUILDER'S COSTS   Image: marked state st	External Works	m2	422	364.56	2.39	153,844
Preliminaries % 422 12.00 1.91 122,525   Margin % 422 10.00 1.78 114,356   Contingency // // 0.00 Excluded   CONSTRUCTION TOTAL \$ // 19.53 1,257,919   Professional Fees % 422 5.00 0.98 62,896   DEVELOPMENT TOTAL (ex GST) \$ // // 20.51 1,320,815   GST % 422 10.00 2.06 132,081	TRADE SUB-TOTAL \$				15.85	1,021,038
Margin   %   422   10.00   1.78   114,356     Contingency       0.00   Excluded     CONSTRUCTION TOTAL \$    19.53   1,257,919     Professional Fees   %   422   5.00   0.98   62,896     DEVELOPMENT TOTAL (ex GST) \$    %   422   10.00   2.051   1,320,815     GST   %   422   10.00   2.06   132,081	BUILDER'S COSTS					
Contingency   0.00   Excluded     CONSTRUCTION TOTAL \$   19.53   1,257,919     Professional Fees   %   422   5.00   0.98   62,896     DEVELOPMENT TOTAL (ex GST) \$   20.51   1,320,815     GST   %   422   10.00   2.06   132,081	Preliminaries	%	422	12.00	1.91	122,525
CONSTRUCTION TOTAL \$   19.53   1,257,919     Professional Fees   %   422   5.00   0.98   62,896     DEVELOPMENT TOTAL (ex GST) \$   20.51   1,320,815     GST   %   422   10.00   2.06   132,081	Margin	%	422	10.00	1.78	114,356
Professional Fees   %   422   5.00   0.98   62,896     DEVELOPMENT TOTAL (ex GST) \$   20.51   1,320,815     GST   %   422   10.00   2.06   132,081	Contingency				0.00	Excluded
DEVELOPMENT TOTAL (ex GST) \$   20.51   1,320,815     GST   %   422   10.00   2.06   132,081	CONSTRUCTION TOTAL \$				19.53	1,257,919
GST % 422 10.00 2.06 132,081	Professional Fees	%	422	5.00	0.98	62,896
	DEVELOPMENT TOTAL (ex GST) \$				20.51	1,320,815
TOTAL (Incl GST) \$   m2   422   3,293.84   21.58   1,390,000	GST	%	422	10.00	2.06	132,081
	TOTAL (Incl GST) \$	m2	422	3,293.84	21.58	1,390,000