



CPP

QUANTITY SURVEYORS

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QUANTITY SURVEYOR'S COST SUMMARY REPORT

for MID-WESTERN REGIONAL COUNCIL

PROJECT:

**CHILDCARE CENTRE EXPANSION
39 SALEYARDS LANE, MUDGEE NSW**

CLIENT:

GOWRIE NSW

ISSUE DATE:

4th JULY 2024

REVISION:

0

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1.0 - QUANTITY SURVEYOR QUALIFICATIONS

CPP Quantity Surveyors are registered and certified members (CQS) of the Australian Institute of Quantity Surveyors.

The preparer of this report is: -

Gary B. Uys MAIQS, CQS

Director

Certified Quantity Surveyor (AIQS #3327)



For more information about us, please visit our website <https://cppqs.com.au>.

2.0 - INTRODUCTION

This report has been prepared to provide a Registered Quantity Surveyors' Cost Summary Report for the childcare centre development located at 39 Saleyards Lane, Mudgee NSW.

3.0 - PURPOSE & BASIS OF REPORT

This report has been prepared to determine an indicative development cost for inclusion in the DA or CC application to **Mid-Western Regional Council only**. Costs have been prepared in accordance with council requirements and scope definitions per Clause 208 of the Environmental Planning & Assessment Regulation 2021 and S7.11 and S7.12 of the Development Contributions Plan 2020. **It is not intended to be used for any other purpose such as for owner bank/financing use, budgeting, planning, sales and marketing.**

Estimated costs contained herein are based on our opinion of current average market construction costs with building work completed by a licensed builder and appropriate suppliers and installers. Final construction costs could vary depending on construction methodology adopted, timing of the works, ongoing design decisions, inclusions, specifications, tendering conditions, market conditions, availability of resources, development application and other government and authority conditions.

4.0 - PROJECT DESCRIPTION

Partial demolition, site clearance and the expansion of an existing childcare centre including two detached sheds, external works and landscaping.

5.0 - DEVELOPMENT COST SUMMARY

Our estimated development cost inclusive of professional fees and GST is **\$1,390,000 (Average of \$3,294/m2 GFA (expanded area) for the whole development)**.

We refer you to the "Appendix - Elemental Estimate Summary" section for more detailed costing information and cost breakdown.

6.0 - BASIS OF COST ESTIMATE

This cost estimate has been based on the following documentation provided by the client or consultants:

- Architectural DA Plans prepared by Barnson, Rev.G, 28.06.24), 7 sheets
- Civil Plans

Structural, services, landscaping designs have not been provided. We have made reasonable allowances based on our experience with similar projects.

7.0 - PROJECT AREAS

The Gross Floor Area (GFA) has been measured in accordance with the Method of Measurement of Building Areas in the AIQS Cost Management Manual Volume 1, Appendix A2.

GROSS FLOOR AREA (GFA) DEFINITION

The sum of the “Fully Enclosed Covered Area” and “Unenclosed Covered Area” as defined.

FULLY ENCLOSED COVERED AREA (FECA)

The sum of all such areas at all building floor levels, including basements (except unexcavated portions), floored roof spaces and attics, garages, penthouses, enclosed porches and attached enclosed covered ways alongside buildings, equipment rooms, lift shafts, vertical ducts, staircases and any other fully enclosed spaces and usable areas of the building, computed by measuring from the normal inside face of exterior walls but ignoring any projections such as plinths, columns, piers and the like which project from the normal inside face of exterior walls. It shall not include open courts, lightwells, connecting or isolated covered ways and net open areas or upper portions of rooms, lobbies, halls, interstitial spaces and the like which extend through the storey being computed.

UNENCLOSED COVERED AREA (UCA)

The sum of all such areas at all building floor levels, including roofed balconies, open verandahs, porches and porticos, attached open covered ways alongside buildings, undercrofts and usable space under buildings, unenclosed access galleries (including ground floor) and any other trafficable covered areas of the building which are not totally enclosed by full height walls, computed by measuring the area between the enclosing walls or balustrade (i.e. from the inside face of the UCA excluding the wall or balustrade thickness). When the covering element (i.e. roof or upper floor) is supported by columns, is cantilevered or is suspended, or any combination of these, the measurements shall be taken to the edge of the paving or to the edge of the cover, whichever is the lesser. UCA shall not include eaves overhangs, sun shading, awnings and the like where these do not relate to the clearly defined trafficable areas, nor shall it include connecting or isolated covered ways.

The approximate Gross Floor Areas (GFA) in accordance with this definition for this project is as follows:

Location	Area (m2)	Comment
FECA	361	Expanded childcare area
UCA	61	Covered unenclosed external areas
GFA (m2)	422	FECA + UCA = GFA

Note 1: The GFA of the existing building is 307m2 (FECA) and 59m2 (UCA) – 366m2

Note 2: Sheds are excluded from the above

Note 3: The areas above may differ from the areas calculated for FSR purposes as the definition of inclusions/exclusions in the areas are different.

8.0 - INCLUSIONS, EXCLUSIONS & ASSUMPTIONS

The cost generally includes the following works. This is not a concise list of inclusions. Where information was not provided, we have included allowances / assumption based on our experience with similar projects.

Demolition
Partial demolition
Excavation
Site preparation & minor excavation
Foundations
Edge, strip & pad footings
Structure
Retain/make good existing structure provision
Reinforced concrete ground slab
Timber framed roof
Structural steel support elements
External Envelope / Enclosure
Timber framed exgternal walls
Mix of external wall finishes
Wall insulation
Metal roof covering
Mix of metal roof covering and concrete roof tile covering
Fascia, gutters and downpipes
Aluminium framed windows
Glazed external sliding, hinged and stacker doors
Internal walls & doors
Combination of timber and masonry walls
Internal doors & hardware
Wall Finishes
Plasterboard or render
Paint
Wall tiling
Feature wall finishes
Floor Finishes
Tiling to wet areas
Vinyl or similar to classrooms, infants, common areas
Waterproofing to wet areas
Skirtings, division strips etc
Tiling or decking to alfresco, patios and balconies
Ceiling Finishes
Plasterboard & paint
Bulkheads, recesses, etc
Cornices
Ceiling insulation

Fitmments & Fixtures
Kitchen cabinetry / joinery
Laundry joinery
Classroom and Infant joinery
Store Joinery
Supplemental rooms joinery
Kitchen fixtures
Kitchen appliances
Laundry fixtures
Bathroom fixtures & fittings
Architraves, trims, fixout
Services
Plumbing & hydraulic services
Electrical services and light fixtures
Air-conditioning - Ducted
Water tank(s)
External electrical
Smoke detectors
Stormwater reticulation & connection
Mains connection
External works
External works (Driveway, Carparks, Paving, etc)
Civil Works
Landscaping
Detached sheds
Boundary fencing as indicated
Miscellaneous
Builders Preliminaries, Home Warranty Insurance, Margin
Professional fees
GST

The following items are **excluded** from this cost estimate.

- Escalation beyond July 2024
- Contingencies
- Ground contamination and other hazardous materials
- Asbestos removal & disposal
- Services & works outside side boundary
- All fitout including machinery, equipment, furniture, specialist items, specific user requirements
- Loose fittings & furnishings
- Long service levy (LSL)
- Land & Legal costs
- Marketing and finance costs
- Project management costs
- Insurances other than builder's insurances
- Taxes, levies & charges other than GST

9.0 - COST ESTIMATE

This report is based on our opinion of market costs and pricing levels to provide our opinion on the development costs and may vary from actual final costs.

Costs have been prepared in accordance with Clause 208 of the Environmental Planning & Assessment Regulation 2021 and S7.11 & S7.12 of the Development Contributions Plan.

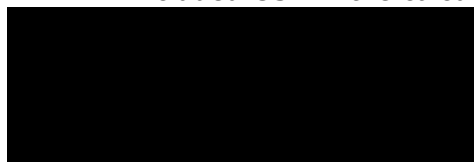
The estimated construction cost is **\$1,390,000 (Average of \$3,294/m2 GFA (expanded area) for the whole development)**.

We refer you to the Appendix for the elemental cost estimate.

10.0 - QUANTITY SURVEYOR CERTIFICATION

I CERTIFY THAT I HAVE:

- Inspected the plans subject to the application for development consent or complying development certificate.
- Prepared and attached an elemental estimate generally prepared in accordance with the Australian Cost Management Manuals from the Australian Institute of Quantity Surveyors.
- Measured gross floor area in accordance with the Method of Measuring of Building Area in the Australian Institute of Quantity Surveyor's Cost Management Manual Volume 1, Appendix A2
- Calculated the development costs in accordance with the definition of proposed cost of development in Clause 208 of the Environmental Planning & Assessment Regulation 2021 and S7.11 & S7.12 of the Development Contributions Plan at current prices; and
- Included GST in the calculation of the proposed cost of development.



Name: Gary Uys, MAIQS CQS

Position & Qualifications: Director, CPP Quantity Surveyors, Certified Quantity Surveyor (AIQS Member #3327)

Date: 4th July 2024

APPENDIX – ELEMENTAL ESTIMATE SUMMARY

Summary

Project: 39 Saleyards Lane, Mudgee	Details: Childcare Centre - Expansion
Building: Cost Summary Report	

Description	Unit	Quantity	Rate	% of Cost	Total
SITE PREPARATION					
Demolition & Site Clearance	m2	422	121.24	0.80	51,162
Groundworks	m2	422	41.47	0.28	17,500
STRUCTURE					
Substructure & Ground Slabs	m2	422	137.75	0.91	58,129
Columns	m2	422	2.09	0.02	880
Suspended Floors	m2	422	0.00	0.00	0
ENCLOSURE					
Roof Structure & Roof Finishes	m2	422	268.90	1.77	113,476
External Walls & Exterior Finish	m2	422	188.07	1.24	79,367
Windows and Exterior Doors	m2	422	55.98	0.37	23,622
INTERIORS					
Staircases & Internal Balustrades	m2	422	0.00	0.00	0
Internal Doors	m2	422	36.02	0.24	15,200
Internal Walls	m2	422	85.96	0.57	36,274
Floor Finishes	m2	422	142.09	0.94	59,962
Wall Finishes	m2	422	146.45	0.96	61,803
Ceiling Finishes	m2	422	126.33	0.83	53,310
Fittings and Fixtures	m2	422	200.47	1.32	84,600
INTERNAL SERVICES					
Hydraulics, Plumbing & Drainage	m2	422	89.44	0.59	37,745
Air-Conditioning & Ventilation	m2	422	140.17	0.92	59,150
Electrical Services	m2	422	135.11	0.89	57,015
Fire Services	m2	422	23.70	0.16	10,000
EXTERNAL WORKS					
External Services	m2	422	113.74	0.75	48,000
External Works	m2	422	364.56	2.39	153,844
TRADE SUB-TOTAL \$				15.85	1,021,038
BUILDER'S COSTS					
Preliminaries	%	422	12.00	1.91	122,525
Margin	%	422	10.00	1.78	114,356
Contingency				0.00	Excluded
CONSTRUCTION TOTAL \$				19.53	1,257,919
Professional Fees	%	422	5.00	0.98	62,896
DEVELOPMENT TOTAL (ex GST) \$				20.51	1,320,815
GST	%	422	10.00	2.06	132,081
TOTAL (Incl GST) \$	m2	422	3,293.84	21.58	1,390,000