

FRONT SETBACK - VARIATION STATEMENT

Scale 1:2000 @ A3

VARIATION STATEMENT

Council DCP Requirements
Mid-Western Regional Development Control Plan, Part 6 Development in Rural Areas

Objective: To not negatively impact the amenity of the streetscape or adjoining properties.
Control: 6.1 Dwellings; R5 Zone, LOTS greater than 5Ha = 60m STREET SETBACK

Proposed Street Setback: 40m.

Justification:

- 1) The two (2) closest neighbouring (with R5 zoning) properties are both located 40m from the front boundary - the siting of the proposed dwelling is in keeping to the current street scape.
- 2) The road verge (between Boundary and carriage way) is heavily vegetated and is 45m wide.

Due to the heavily vegetated verge, large verge distance (45m) and maintaining the existing street setback distances (of the neighbouring properties), we believe that the proposed dwelling will have minimal to no adverse impact on the existing streetscape or adjoining properties sitting the dwelling 40m front the front boundary. The Dwelling will appear to be 85m front the street/carriageway for passers-by.



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REV.	DATE	COMMENTS
1	23.04.24	DA DRAWINGS

BY	CHK
SR	SR

TITLE:

DUAL OCCUPANCY (detached) WITH POOLS, & DAM

PROJECT ADDRESS

Address: 1530 HENRY LAWSON DR, ST FILLANS NSW 2850
Client: K & S REDWOOD

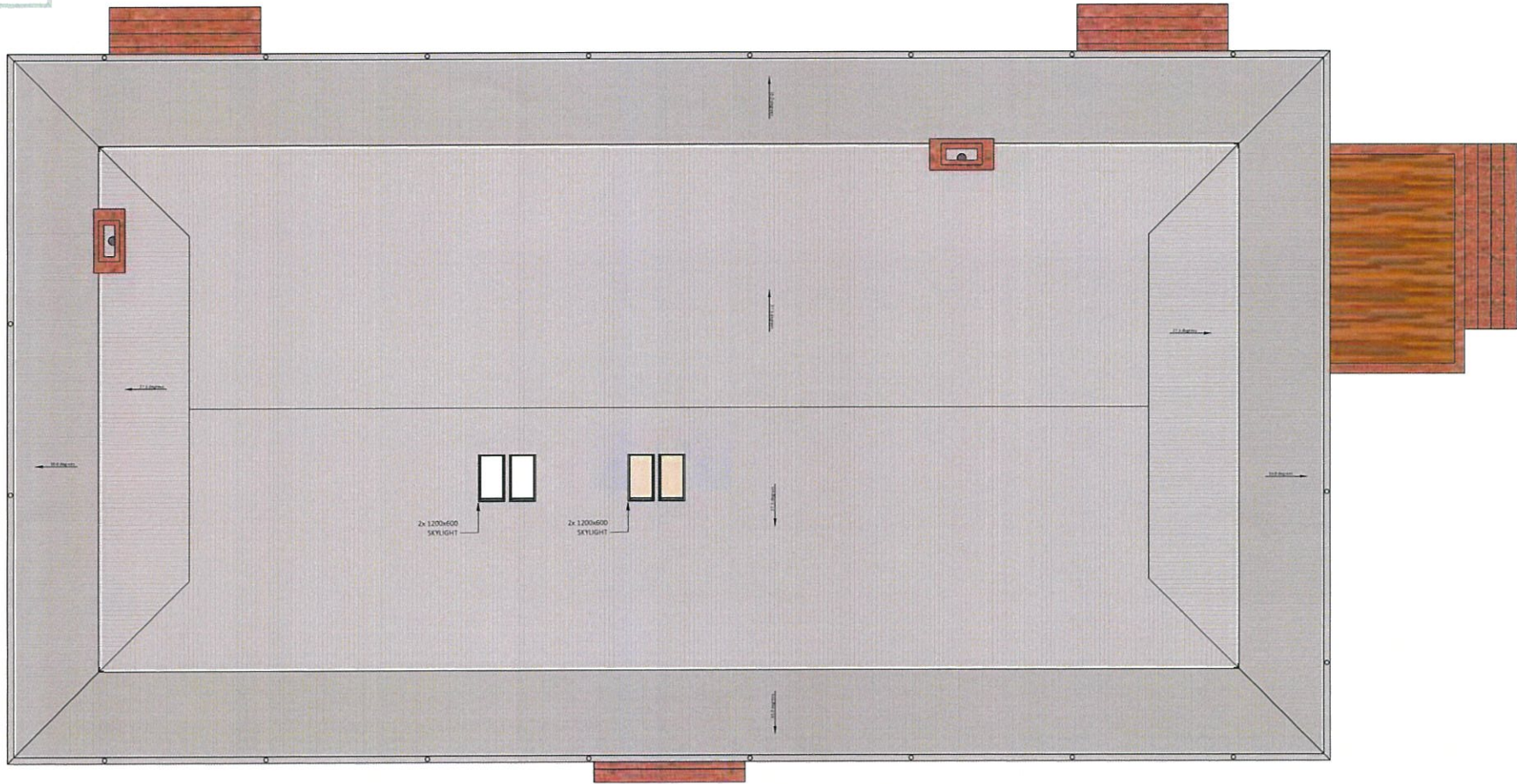
PROJECT NUMBER

#001.2024

VARIATION STATEMENT - Front Setback

DRAWING NUMBER

A-02



MAIN HOUSE - ROOF PLAN

Scale 1:100 @ A3

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NEW DWELLING, GARAGE, POOL AND SECONDARY DWELLING

PROJECT ADDRESS

Address: 1530 HENRY LAWSON DR, ST FILLANS NSW 2850
Client: K & S REDWOOD

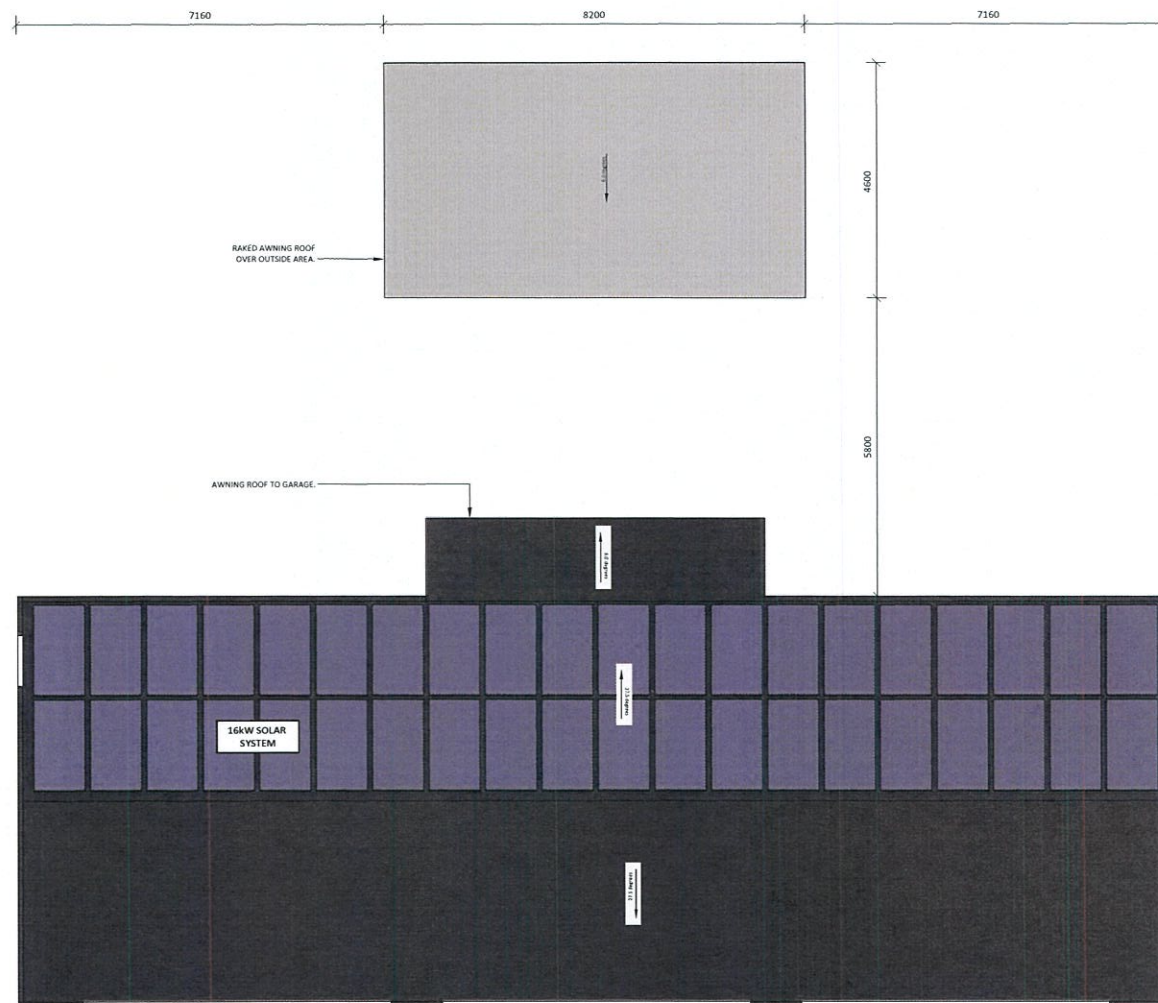
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#001.2024

MAIN DWELLING - ROOF PLAN

DRAWING NUMBER

A-15



GARAGE - ROOF PLAN

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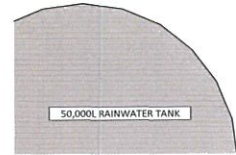
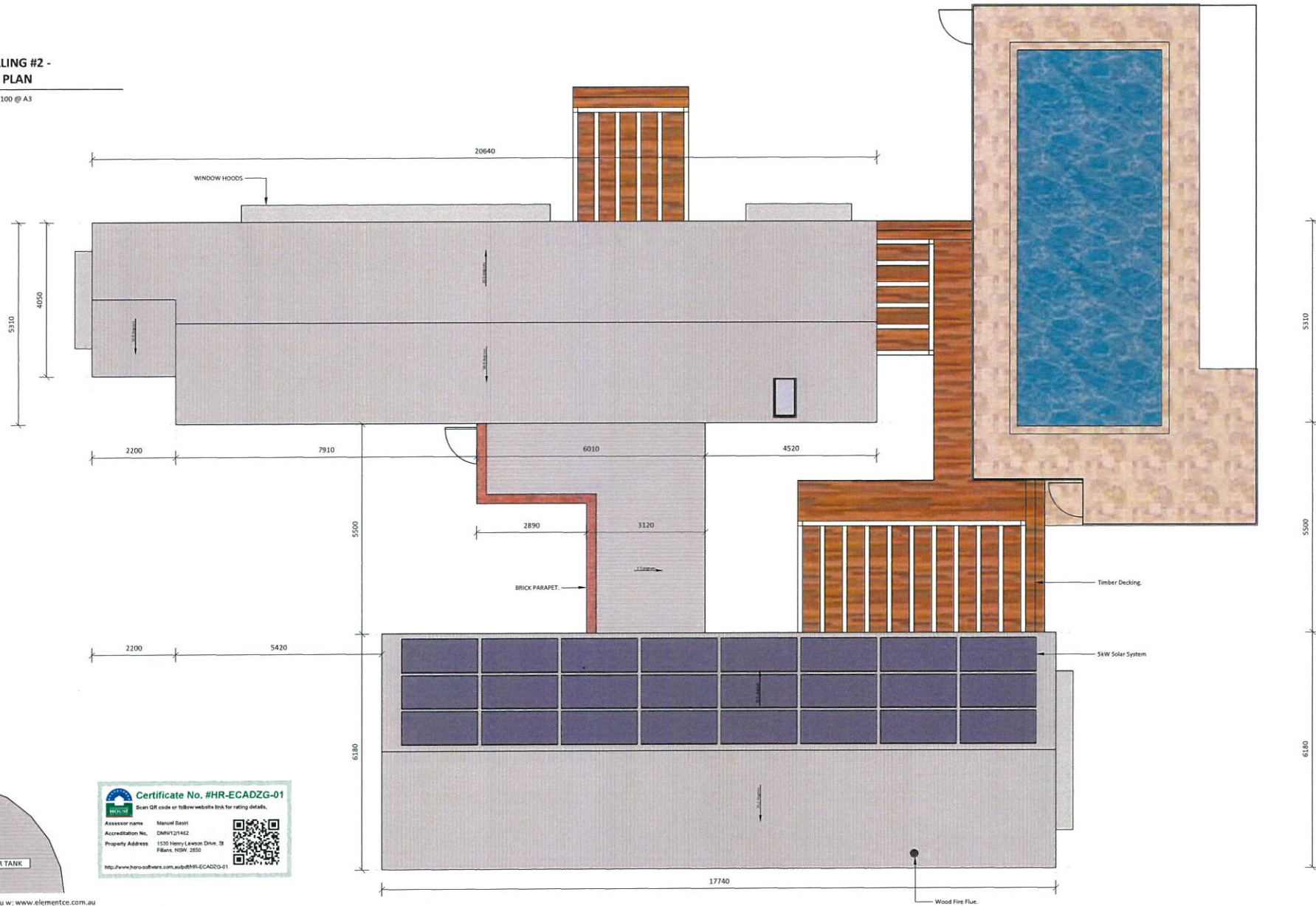
GARAGE - ROOF PLAN

DRAWING NUMBER

A-16

DWELLING #2 - ROOF PLAN

Scale 1 : 100 @ A3



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DWELLING #2 - ROOF PLAN

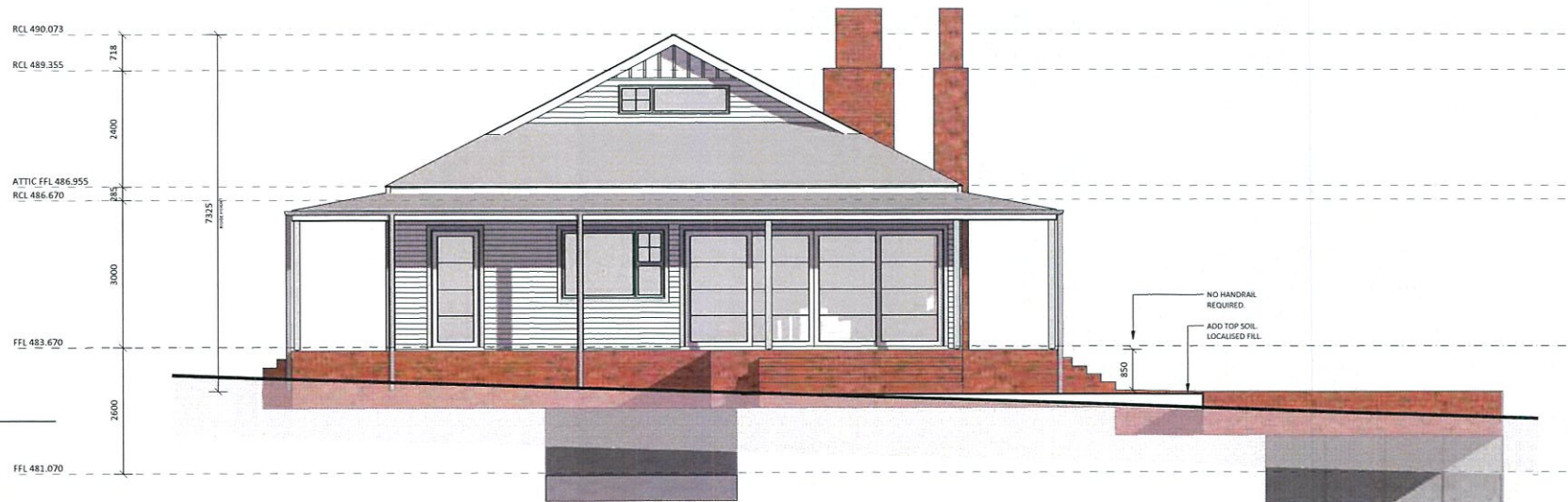
DRAWING NUMBER

A-17



NORTH ELEVATION

Scale 1:100 @ A3



EAST ELEVATION

Scale 1:100 @ A3

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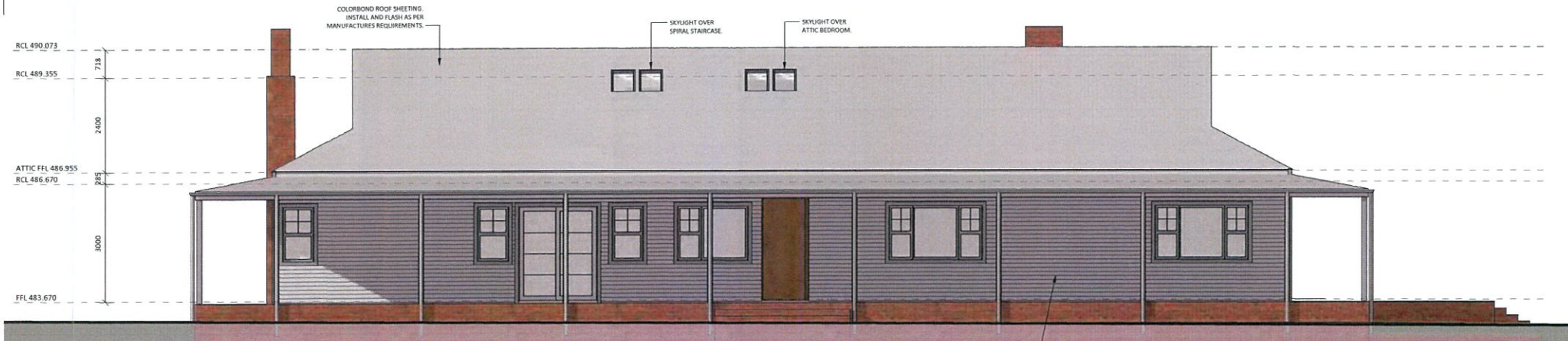
PROJECT NUMBER

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MAIN HOUSE - ELEVATIONS 1 of 2

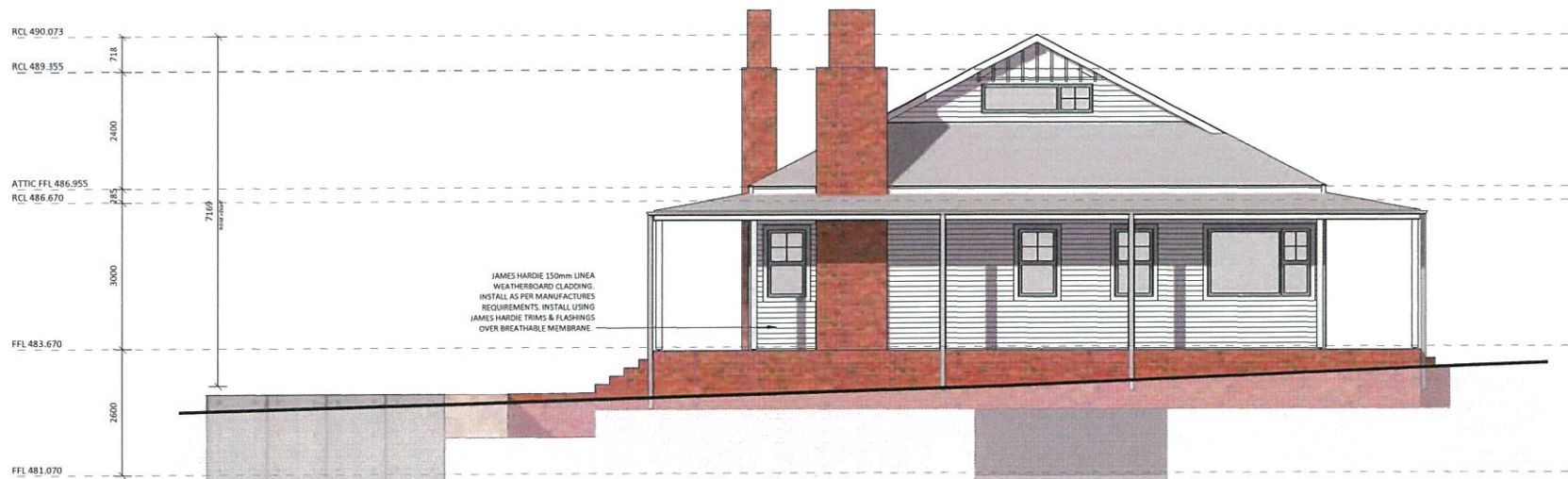
DRAWING NUMBER

A-20



SOUTH ELEVATION

Scale 1:100 @ A3



WEST ELEVATION

Scale 1:100 @ A3



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MAIN HOUSE - ELEVATIONS 2 of 2

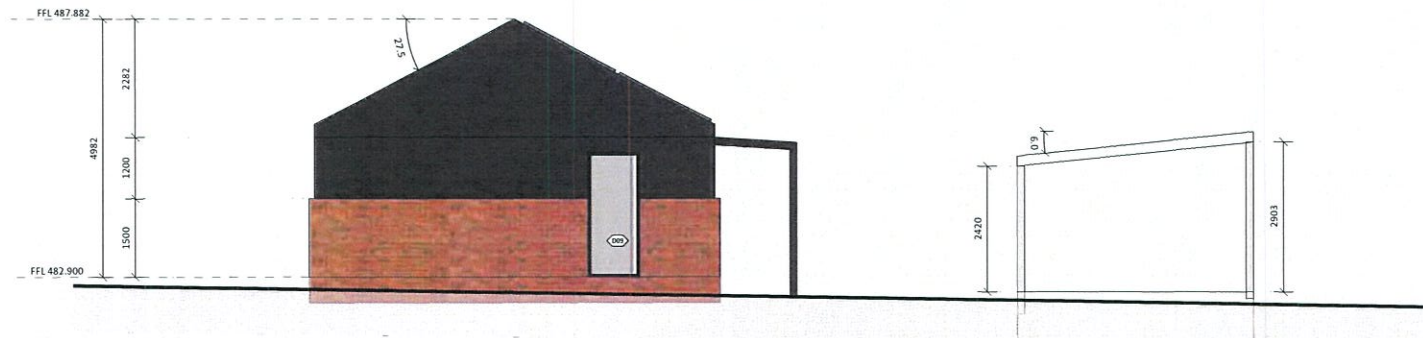
DRAWING NUMBER

A-21



NORTH ELEVATION

Scale 1 : 100 @ A3



EAST ELEVATION

Scale 1 : 100 @ A3



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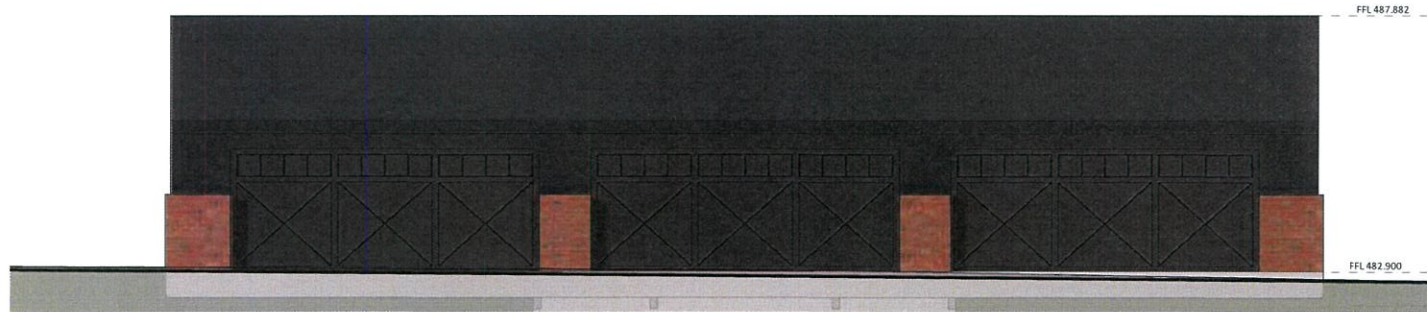
Address: 1530 HENRY LAWSON DR, ST ILLANS NSW 2850
Client: K & S REDWOOD

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GARAGE - ELEVATIONS 1 of 2

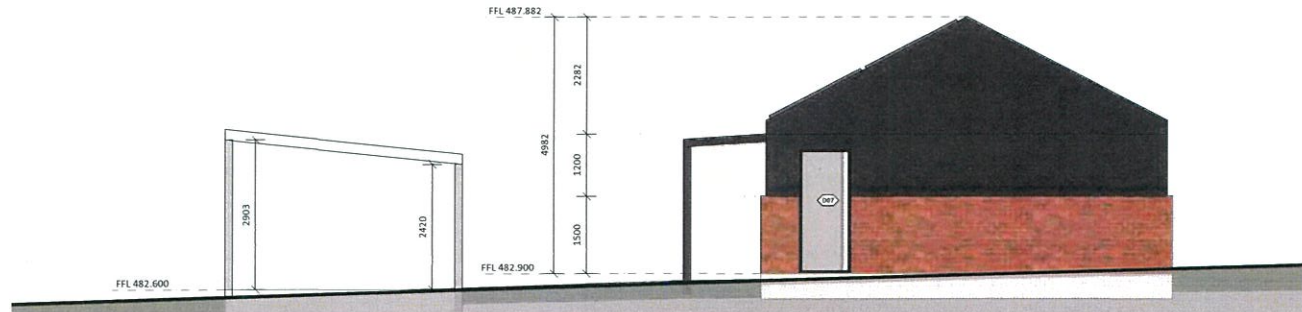
DRAWING NUMBER

A-22



SOUTH ELEVATION

Scale 1:100 @ A3



WEST ELEVATION

Scale 1:100 @ A3



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GARAGE - ELEVATIONS 2 of 2

DRAWING NUMBER

A-23

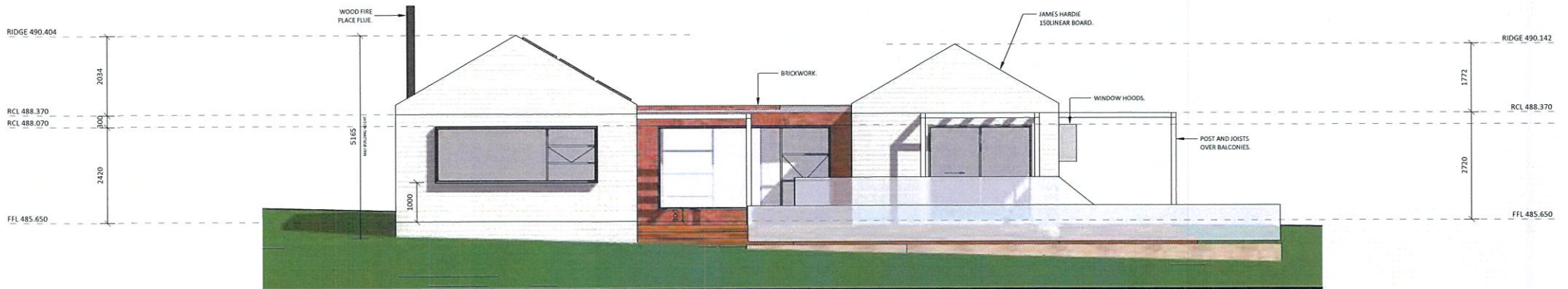


COLORBOND CUSTOM ORB
ROOF SHEETING OVER ANTICORM
BLANKET. INSTALL AS PER
MANUFACTURERS REQUIREMENTS.



NORTH ELEVATION

Scale 1:50 @ A3



EAST ELEVATION

Scale 1:50 @ A3

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TITLE: DWELLING #2 - NORTH & EAST ELEVATION

DUAL OCCUPANCY (detached) WITH POOLS, & DAM

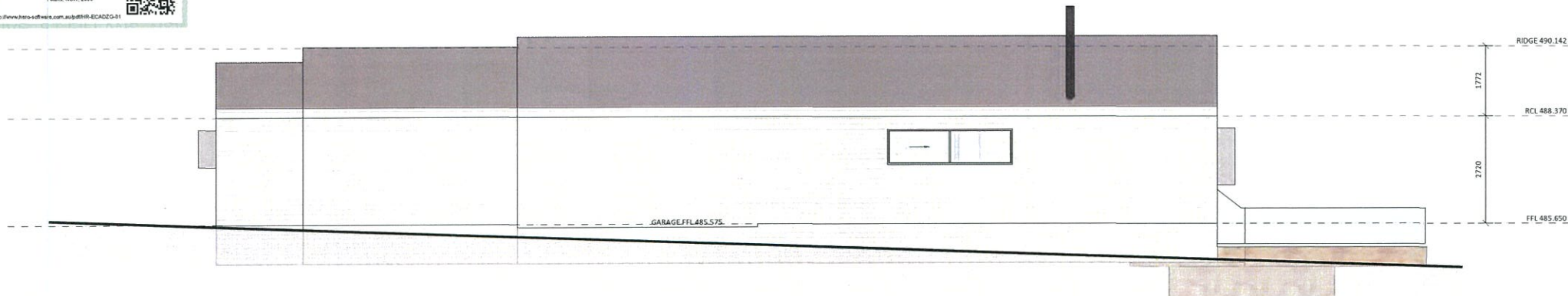
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Address: 1530 HENRY LAWSON DR, ST FILLANS NSW 2850
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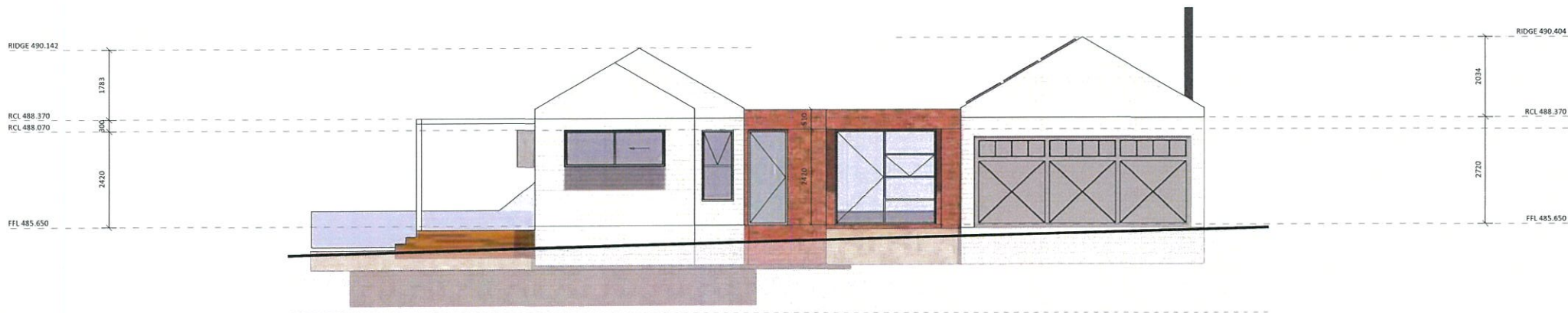
DRAWING NUMBER

A-24



SOUTH ELEVATION

Scale 1:50 @ A3



WEST ELEVATION

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A-25