

Basix Commitments

Fixtures and systems

Hot water

The applicant must install the following hot water system in the development: gas instantaneous.

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
suspended floor with enclosed subfloor:	R1.00 (down) (or R1.70 including construction)	N/A
external wall: framed	R1.30 (or R1.70 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
internal wall shared with garage	nil	
raked ceiling, pitched/skillion roof: framed		
ceiling:	R1.50 (up)	
roof:	foil backed blanket (75 mm)	light (solar absorptance < 0.475

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
The following requirements must also be satisfied in relation to each window and glazed door:
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.
Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.
The description is provided for information only.
Alternative systems with complying U-value and SHGC may be substituted.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window.
The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window Orientation	Area (m2)	Shading device	Frame and glass type
W1 N	2.88	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W2 N	2.88	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W3 N	0.88	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W4 N	2.04	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W5 N	2.7	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W6 N	0.96	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W7 E	7.2	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W8 E	4.8	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W9 E	7.2	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W10 E	7.2	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W11 E	2.8	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W12 E	2.8	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W13 E	0.96	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W14 E	0.96	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W15 W	1.8	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W16 W	1.8	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W17 W	7.2	projection/height above sill ratio >=0.23	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)

Bushfire Specification

Asset Protection Zone

The APZ for BAL29 is proposed to be managed in perpetuity for the life of development.
Vegetation to be managed in accordance with the guidelines and specifications for landscaping for bushfire protection provided in PBP Appendix 4.

Construction Standard

The additions to the dwelling and studio part of the shed are to be constructed in accordance with the *Building Code of Australia*, and section 3 and section 7 of AS3959 for BAL–29 standard.
The NSW variation to the BCA required in section 7.5 of PBP 2019 is to be applied for construction, as relevant.
There are to be no flammable (e.g. brush) fences or gates.
The studio shall be separated from the Class 10a building (shed) is proposed to be separated by a fire-rated wall.

Access

Vehicle access is to be provided as follows:
All-weather gravel road to the house site of ~500m length from the public road with 4m carriageway width.

Alternative access provided via the other farm track leading back to Nangawooka Road.
Vehicle turning area provided adjacent to the dwelling and the SWS fire-fighting tank, consistent with one of the options shown in Figure 3-1.

Water Supply

Water supply to be provided as follows to both the main dwelling and habitable shed:
20,000 L SWS is required as a dedicated fire-fighting water supply, with a 65 mm Storz valve.
The tank and all external pipes and fittings will be metal.
Diesel fire-fighting pump with 60m fire hose is provided at the water supply tank.

Electricity

Where possible, electricity supply will be provided via underground power lines from mains to the house.
Vegetation around any aerial supply lines needs to be managed to limit the possibility of trees and branches falling on the power lines and thereby limit the possibility of ignition of surrounding bush land or the fabric of buildings.

Gas

Gas cylinders need to be kept clear of all flammable material to a distance of 10 m and shielded from hazard vegetation.
All above-ground gas service pipes, connections and fittings are metal.

Landscaping

Landscaping is to be consistent with the RFS *Asset protection zone standards* in Appendix 4 of PBP 2019.
A clear area of low-cut grass or paving or gravel is maintained adjacent the dwelling building, to provide defensible space.
Ornamental grasses, grass-like plants and other fine fuels are not to be used for landscaping near the house, as these contribute to the bushfire fuels.
Succulent plants and/or pebbles as mulch are non-flammable and are recommended for landscaped areas including near the dwelling. Woodchip mulch should be used only where necessary and to a very limited extent near the dwelling.
Trees and shrubs are to be maintained to have no over-hanging branches over the roof, and a non-continuous canopy.

Emergency Management

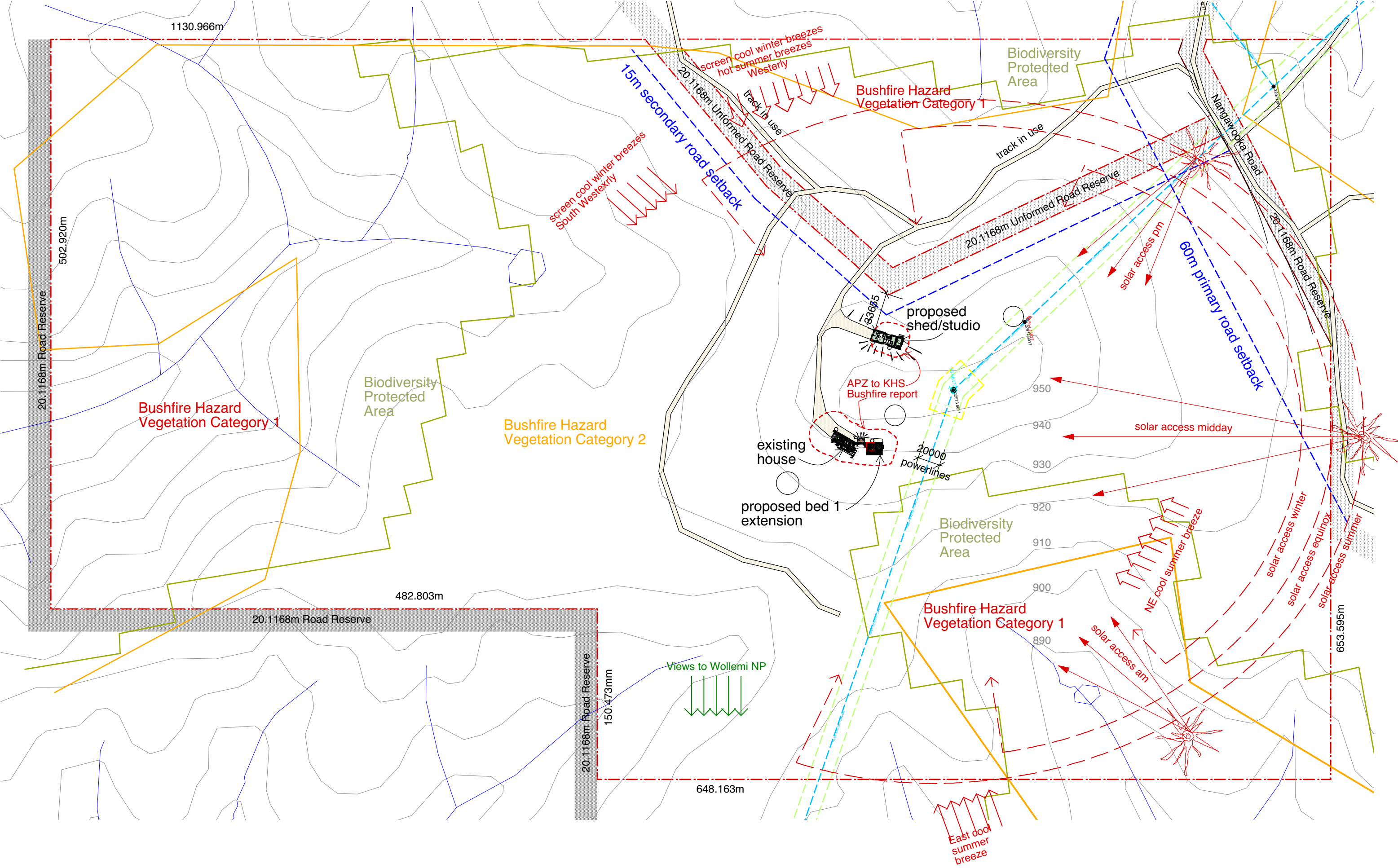
While not mandatory for single residential development, it is recommended that the occupants / owners develop their own Bush Fire Survival Plan, based on the recommendations of the Rural Fire Service, refer to https://www.rfs.nsw.gov.au/resources/bush-fire-survival-plan.
If the property is to be used for short-term rental accommodation all of the above bushfire protection provisions apply and in addition an Emergency Management and Evacuation Plan is to be prepared consistent with: *A Guide to Developing a Bush Fire Emergency Management and Evacuation Plan* (RFS 2014).

Refer to Bushfire Assessment Report by KHS Ecology & Bushfire Pty Ltd for details

notes	revisions		
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	A	DA issue	12/9/24

draftsman	client
Todd Berryman	Rob Coppolino
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4787 7714	project
0403 964 749	Alterations & Additions to Existing House & New Shed / Studio

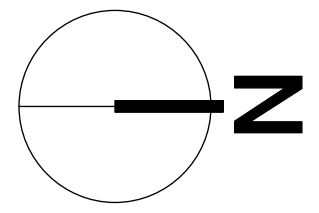
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Lot 112 DP 756917	CHM	A00
131 Nangawooka Road		
Green Gully NSW 2850		
title	scale	issue
Cover Sheet		A



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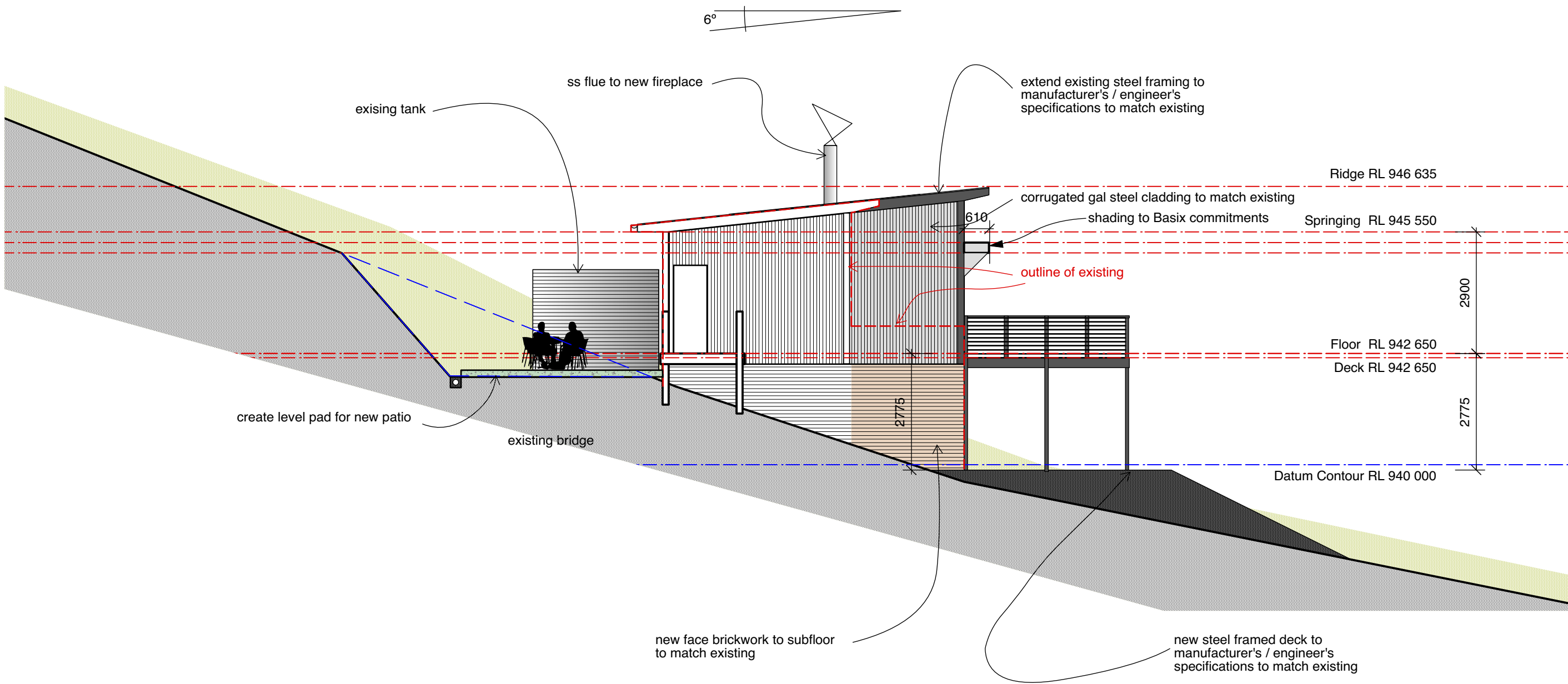
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Site Plan
-Site Analysis

job no
CHM

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@A3

drawing no
A01

issue
A



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address

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title

House South

job no

CHM

scale

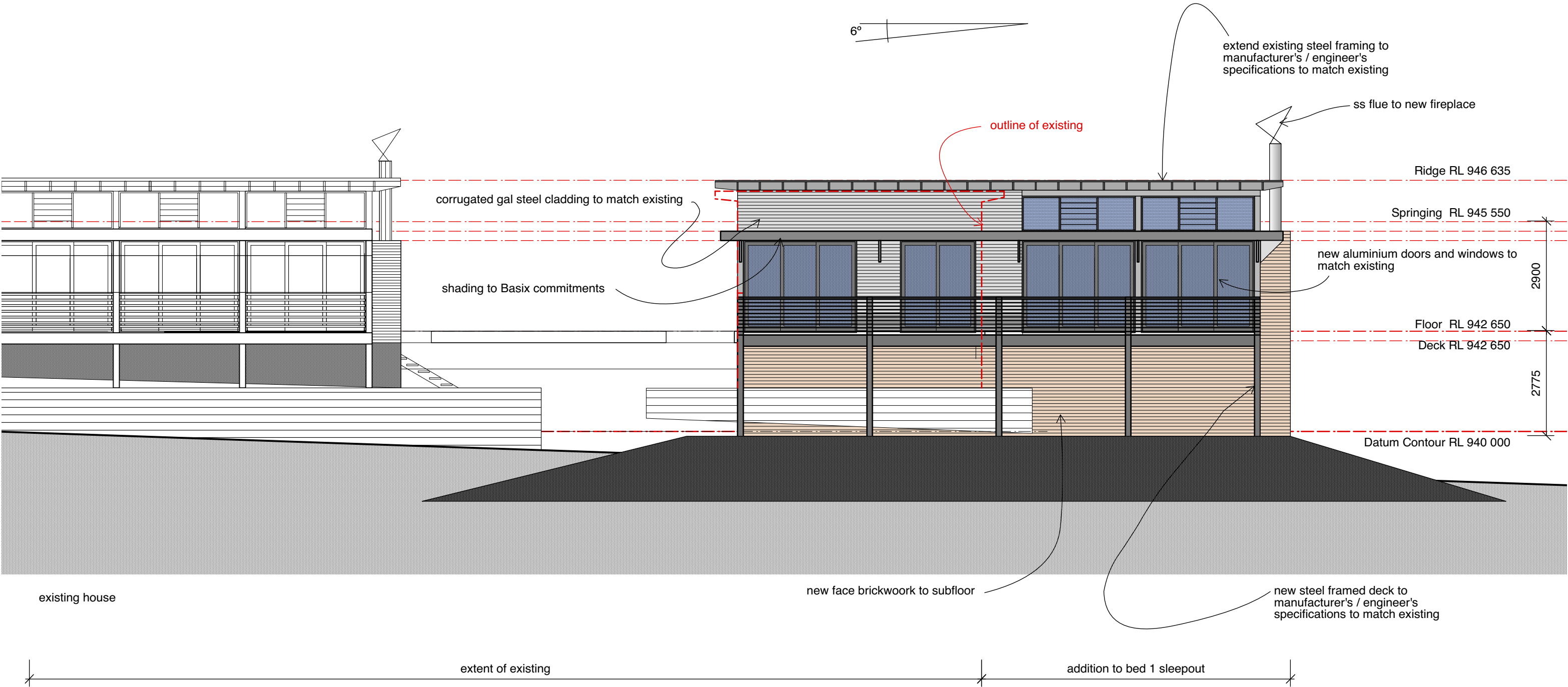
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drawing no

A04

issue

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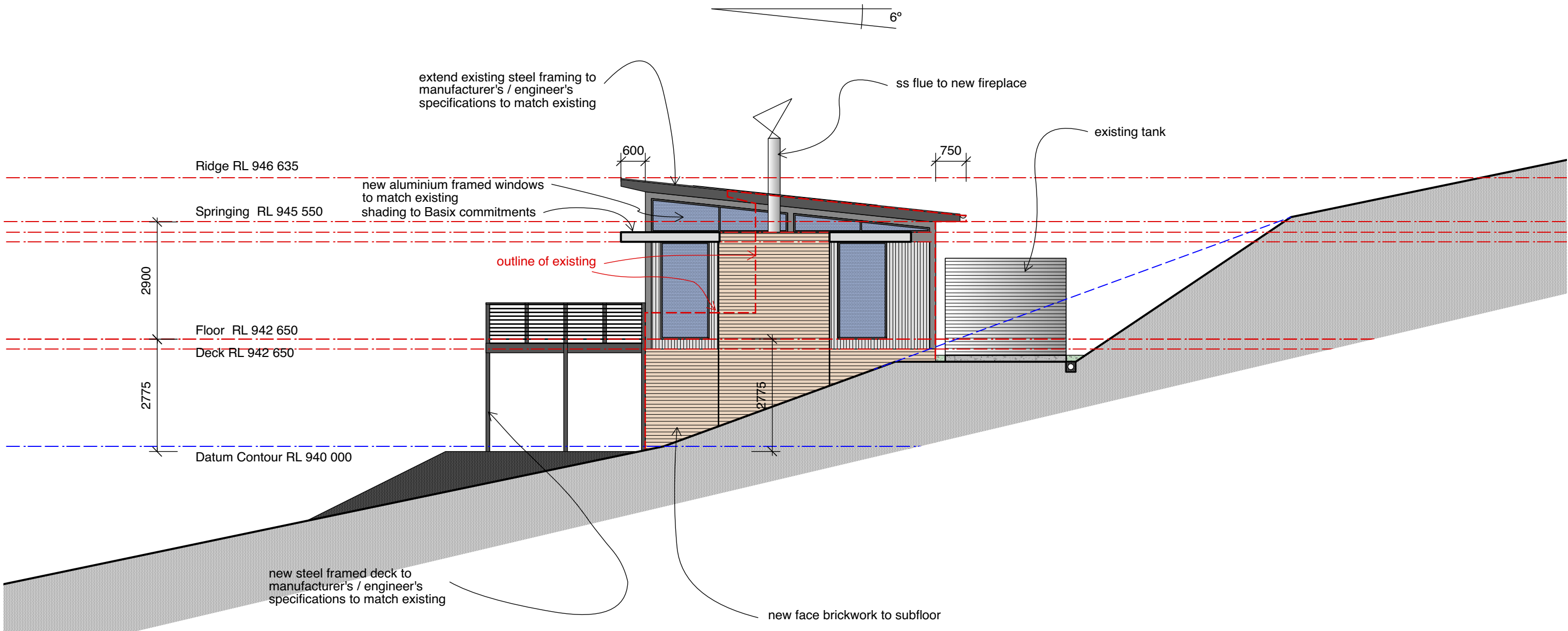
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drawing no
A05

issue
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& New Shed / Studio**

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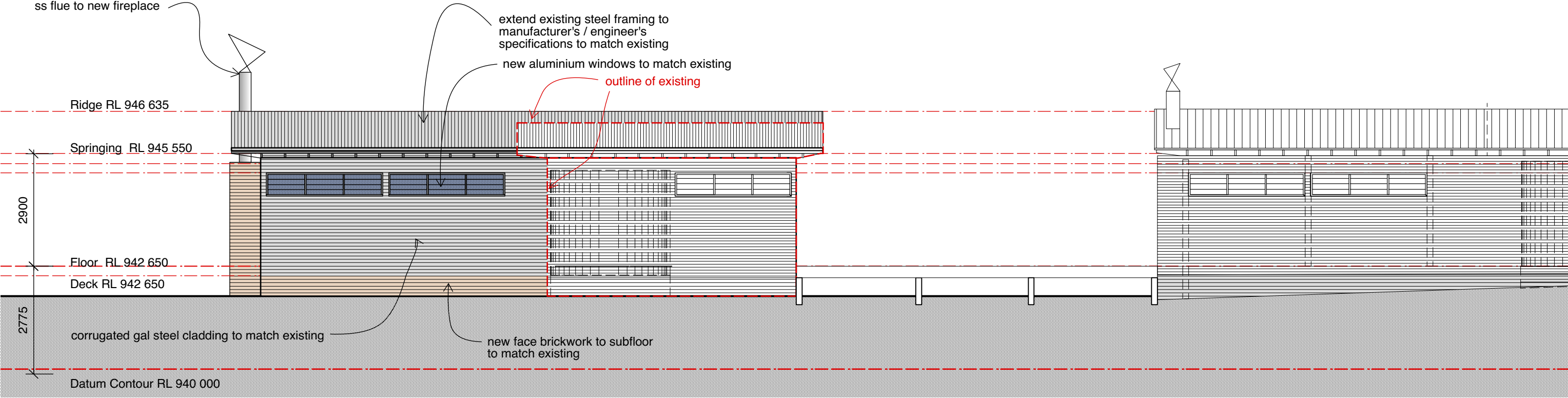
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House North

job no
CHM

scale
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@A3

drawing no
A06

issue
A



existing bed 1 sleepout

existing house

addition to bed 1 sleepout

extent of existing

notes

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address

Lot 112 DP 756917
131 Nangawooka Road
Green Gulley NSW 2850

title

House West

job no

CHM

scale

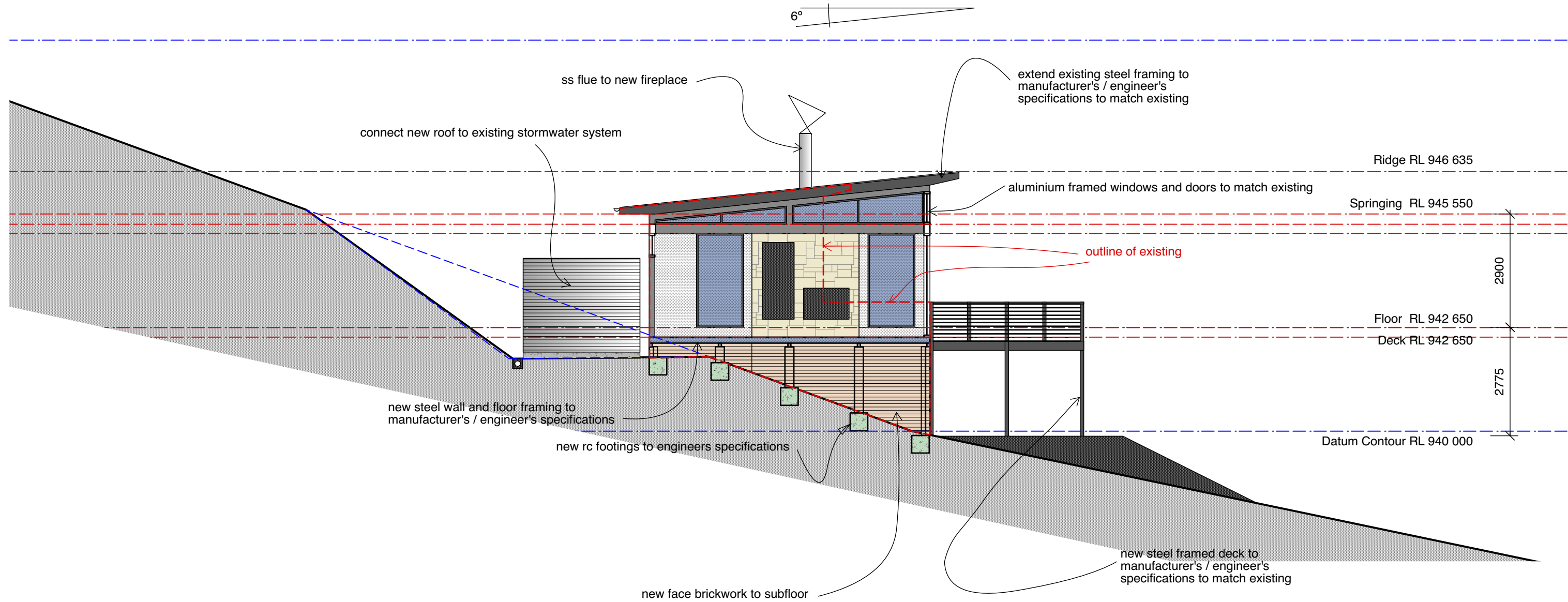
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drawing no

A07

issue

A



notes

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Alterations & Additions to Existing House & New Shed / Studio

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131 Nangawooka Road
Green Gully NSW 2850

title

House Section A-A

job no

CHM

scale

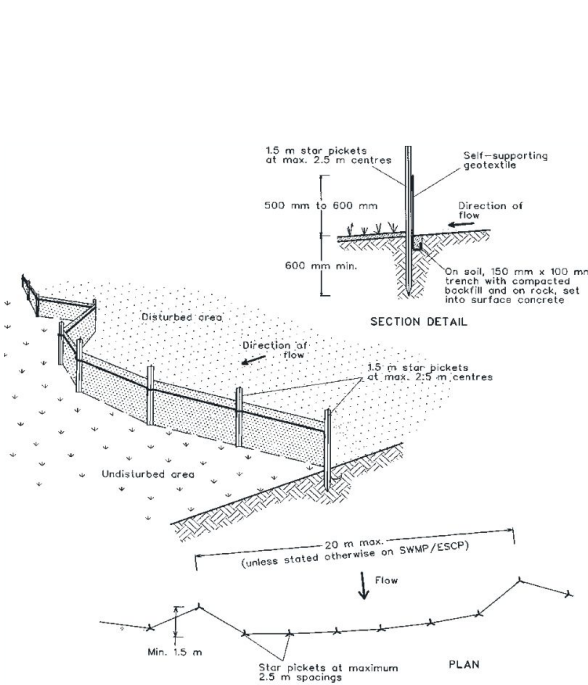
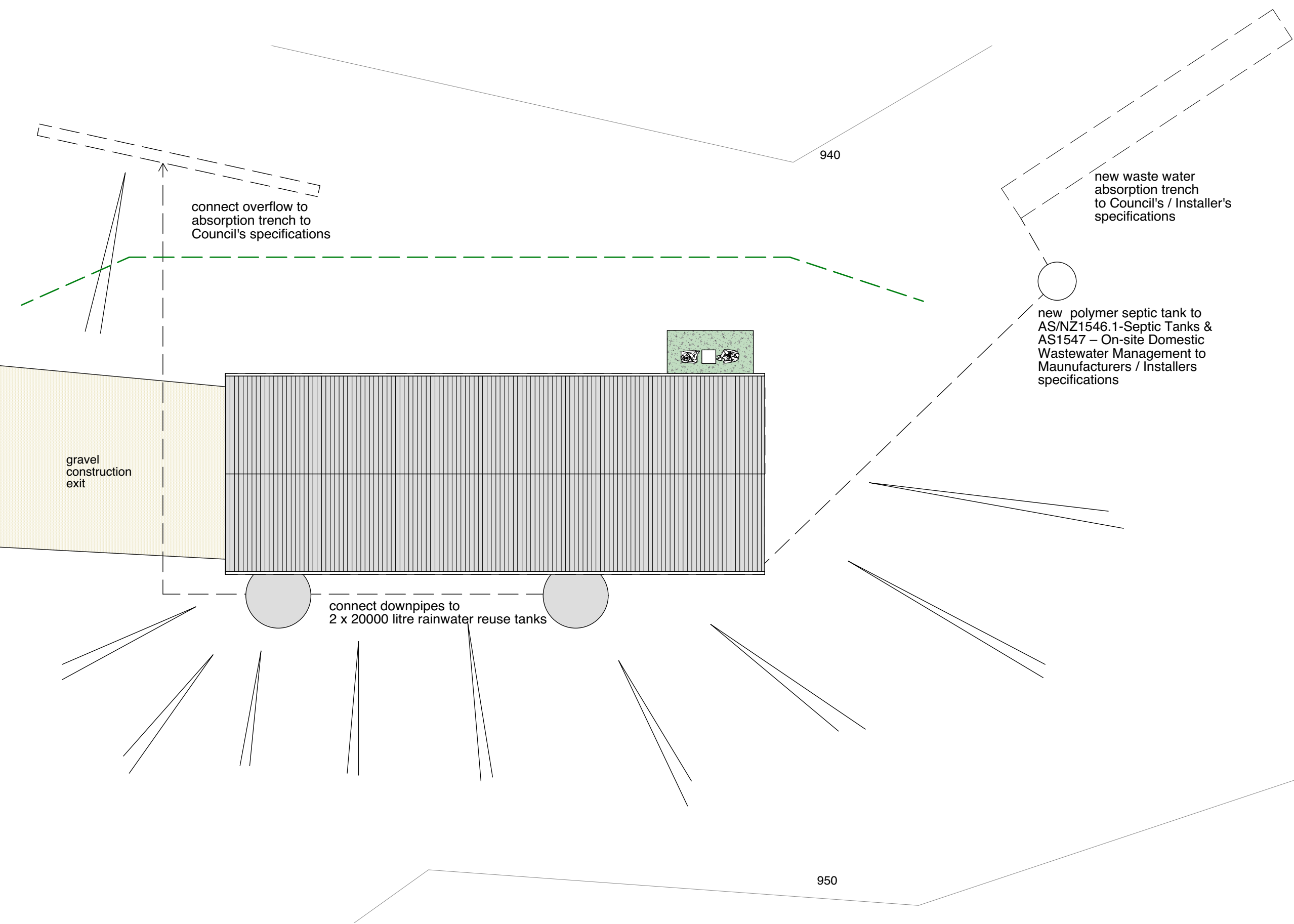
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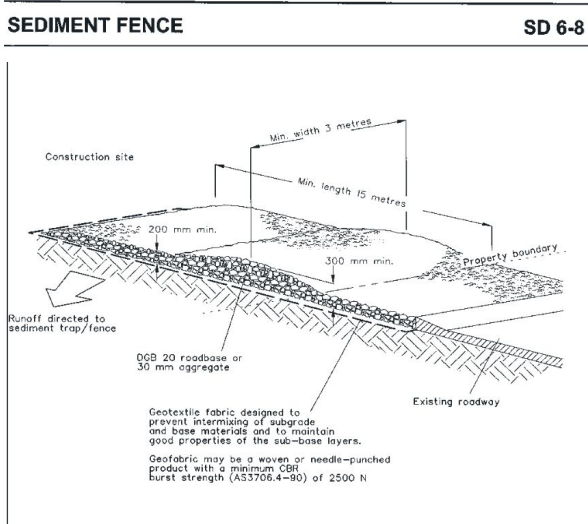
A08

issue

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- Construction Notes**
- Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow if concentrated at one point to 50 litres per second in the design storm event, usually the 10-year event.
 - Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
 - Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
 - Fix self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
 - Join sections of fabric at a support post with a 150-mm overlap.
 - Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.



ESCP Notes

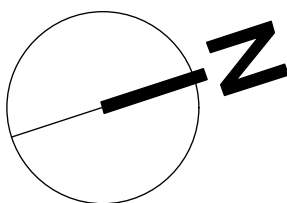
gravel construction exit

straw bales

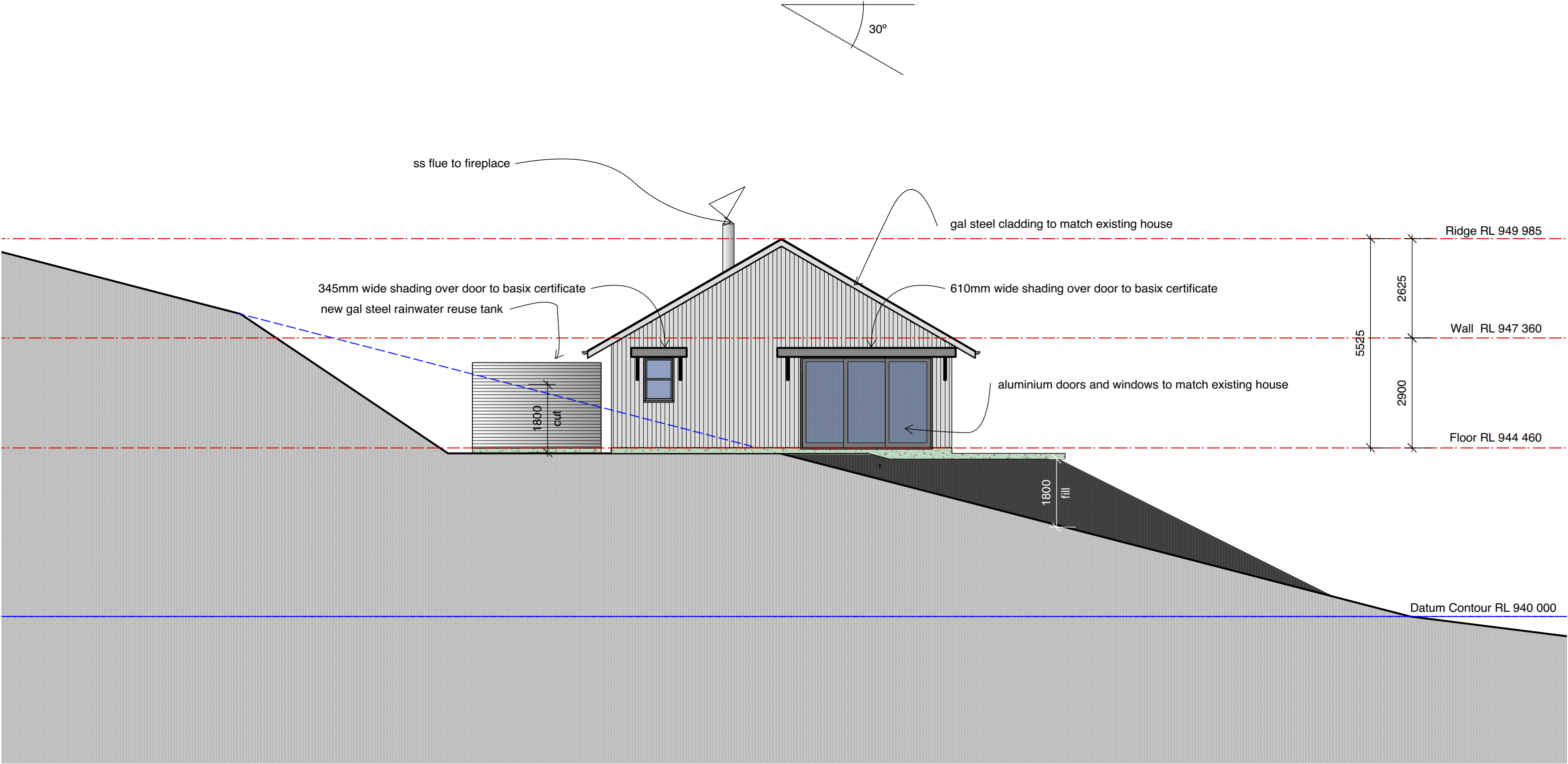
geotextile silt fence during construction

to Managing Urban Stormwater: Soils and Construction Volume 1 (4th Ed. Landcom 2004)

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draftsman Todd Berryman 5 Waragil Street Blackheath 4787 7714 0403 964 749	client Rob Coppolino project Alterations & Additions to Existing House & New Shed / Studio	address Lot 112 DP 756917 131 Nangawooka Road Green Gully NSW 2850 title Shed/Studio Site Plan	job no CHM scale 1:200 @A3	drawing no A09 issue A
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Alterations & Additions to Existing House & New Shed / Studio

address

Lot 112 DP 756917
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title

**Shed/
Studio North**

job no

CHM

scale

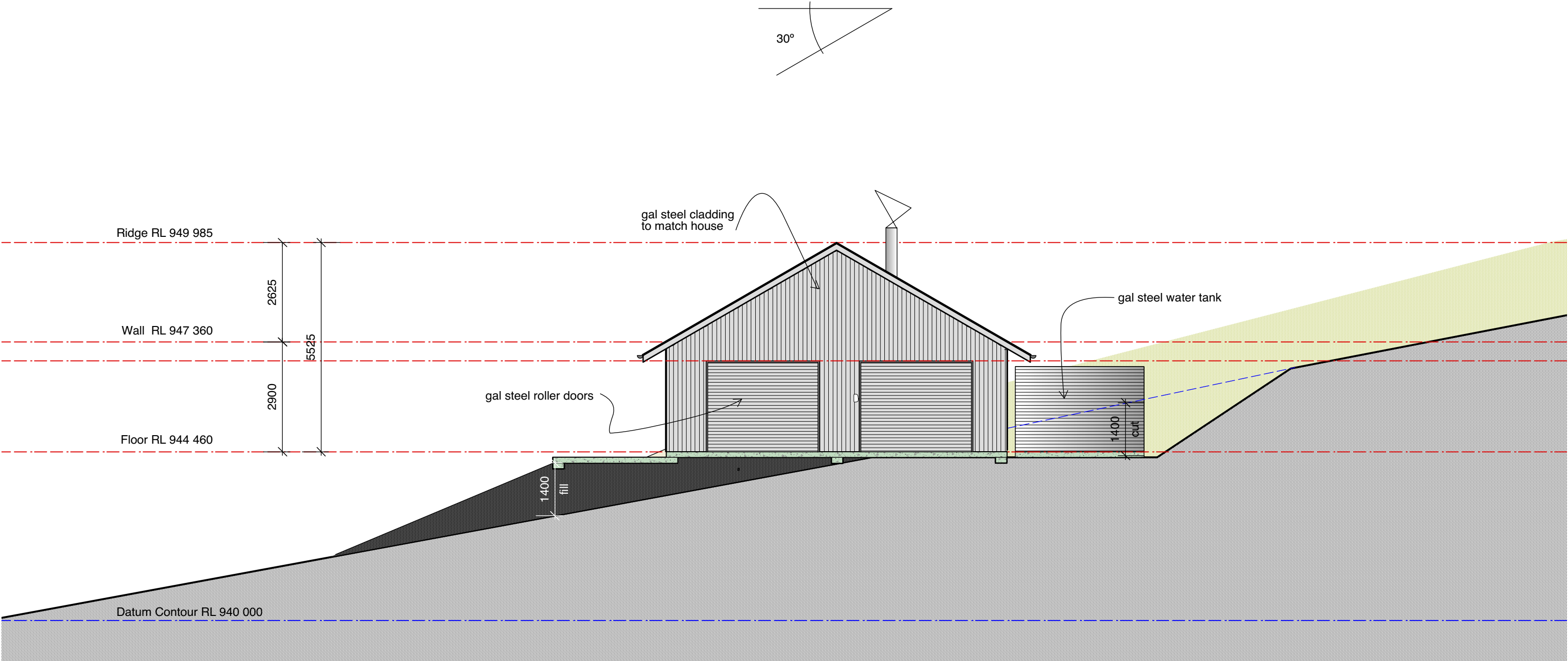
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A11

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**Alterations & Additions to
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& New Shed / Studio**

address

Lot 112 DP 756917
131 Nangawooka Road
Green Gulley NSW 2850

title
**Shed/
Studio South**

job no

CHM

scale

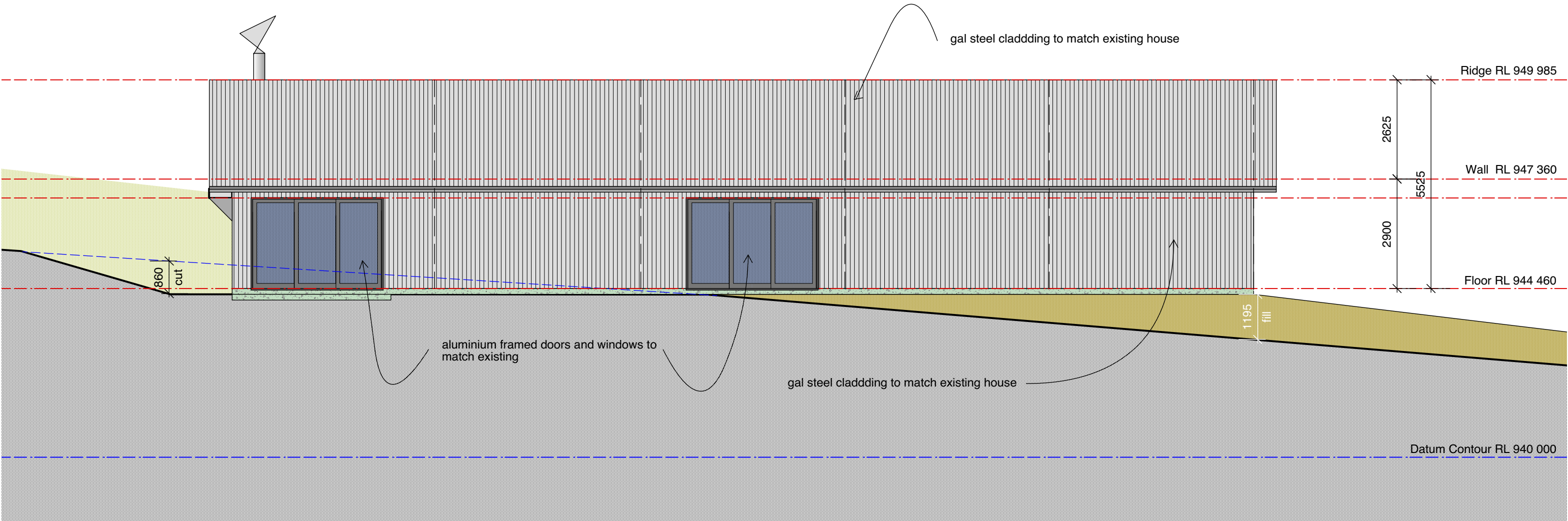
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drawing no

A12

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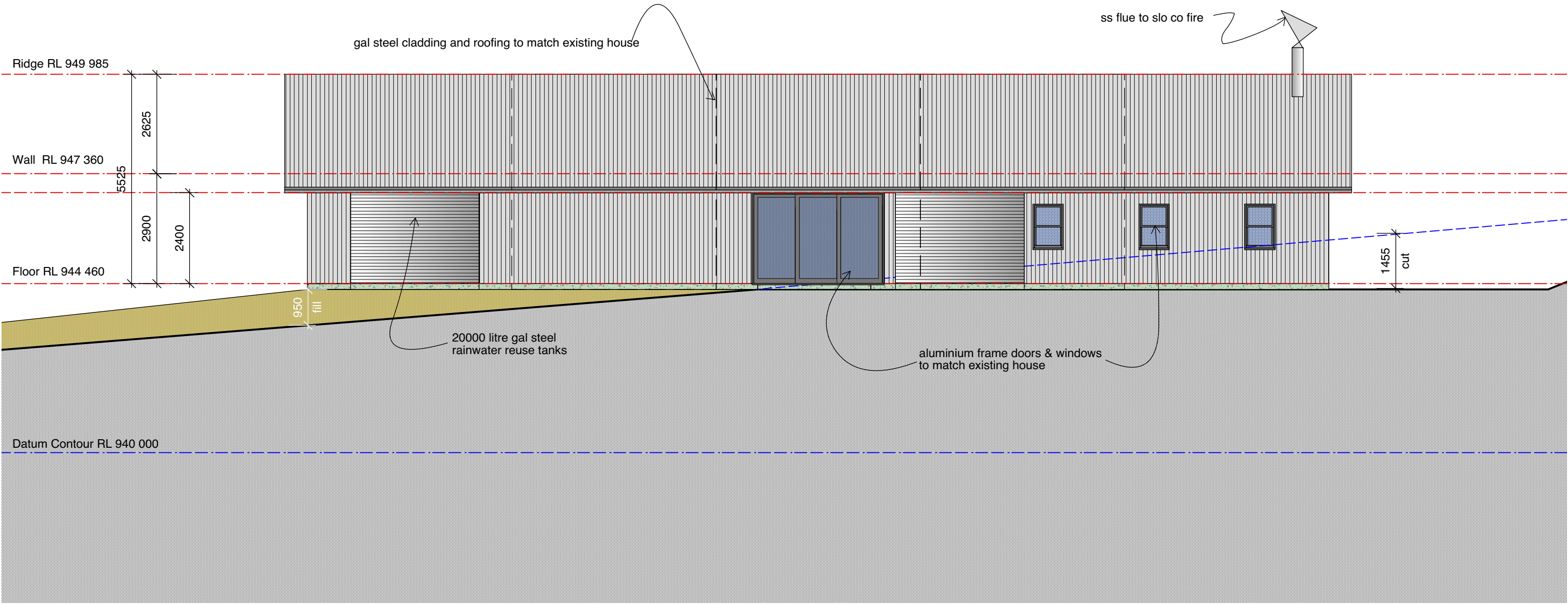
title
**Shed/
Studio West**

job no
CHM

scale
1:100
@A3

drawing no
A13

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title
**Shed/
Studio East**

job no

CHM

scale

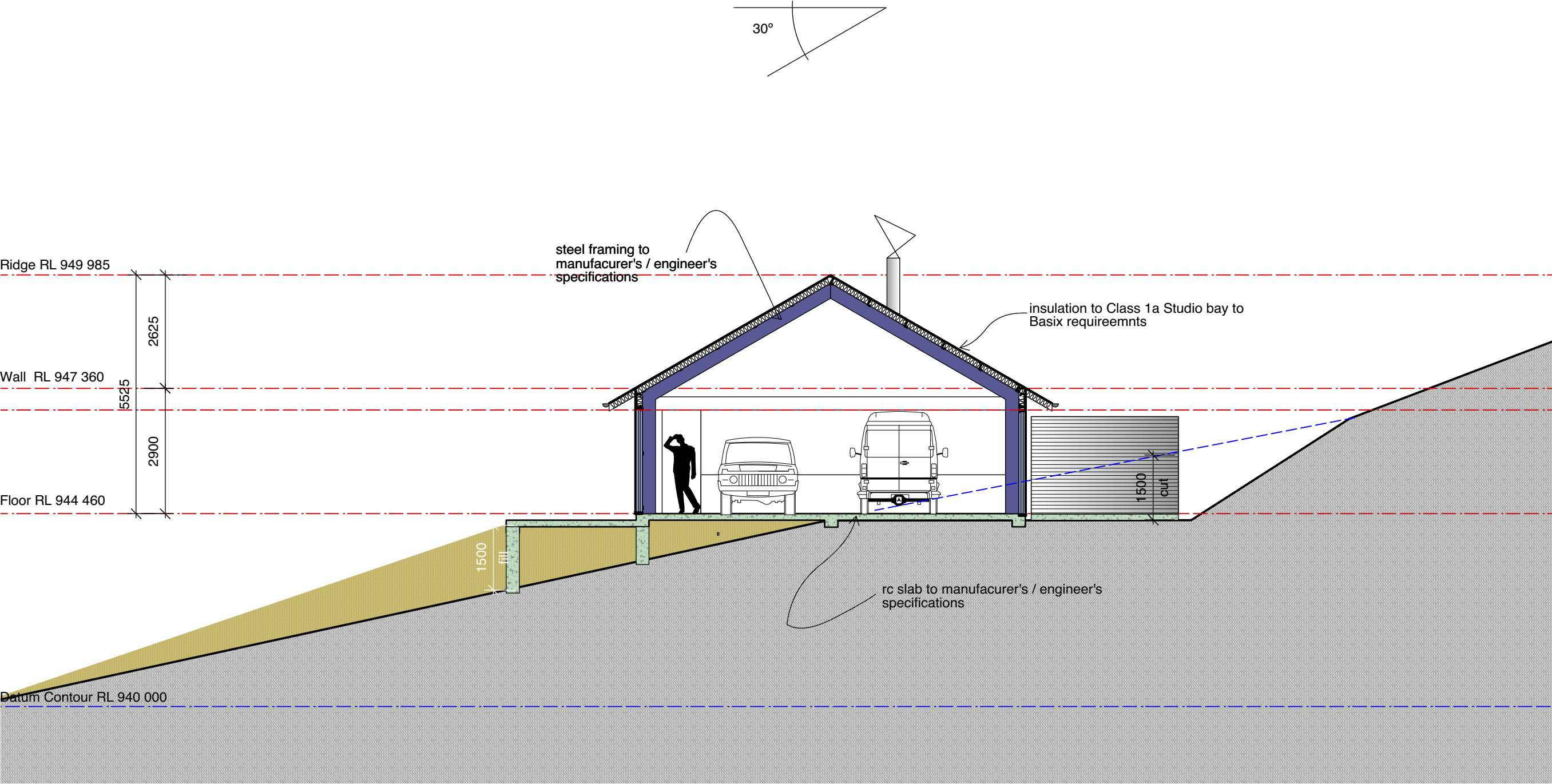
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@A3

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A14

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notes

- any discrepancies to be brought to the draftsman's attention.
- use figure dimension in preference to scaling.
- only scale under direction from draftsman.
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Shed / Studio Section B-B

job no
CHM

scale
1:100
@A3

drawing no
A15

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A