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Statement of Environmental Effects

Project: Change of use from a Dwelling & Secondary Dwelling to a Dual Occupancy (attached) and associated Subdivision

Client: Jacqueline Donaldson

Site Address: 26-26A Rifle Range Road, Mudgee

11 March 2024

Our Reference : 43133-PR01_A

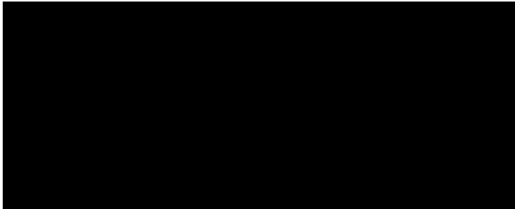

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| | |
|--------------------------|---|
| Project Name: | Change of Use from a Dwelling & Secondary Dwelling to Dual Occupancy (attached) and associated Torrens Title Subdivision (1 Lot into 2 Lots) at 26-26A Rifle Range Road, Mudgee |
| Client: | Jacqueline Donaldson |
| Project Number: | 43133 |
| Report Reference: | 43133-PR01_A |
| Date: | 11 March 2024 |

| Prepared by: | Reviewed by: |
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1. INTRODUCTION

1.1. Background

Barnson Pty Ltd has been engaged by Jacqueline Donaldson to prepare information in support of a Development Application (DA) for a change of use from a dwelling & secondary dwelling to a dual occupancy (attached) and associated Torrens title subdivision (1 Lot into 2 Lots) at 26-26A Rifle Range Road, Mudgee.

The subject site is located on the northern side of Rifle Range Road and has an area of 840.4m². The site contains an existing dwelling and granny flat.

The project will consist of the change of use from a dwelling & secondary dwelling to a dual occupancy (attached) and associated Torrens title subdivision (1 Lot into 2 Lots). No physical works are required as part of this development proposal.

The site is zoned R1 General Residential pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012*. The proposed development is defined as a 'dual occupancy (attached)' and 'subdivision', which are permissible with consent in the R1 zone.

This application consists of:

- A completed NSW Planning Portal development application form; and
- PDF copy of this written statement, including plans.

1.2. Proponent

The proponent for the DA is Jacqueline Donaldson.

1.3. Consultant

Barnson Pty Ltd

Jack Massey

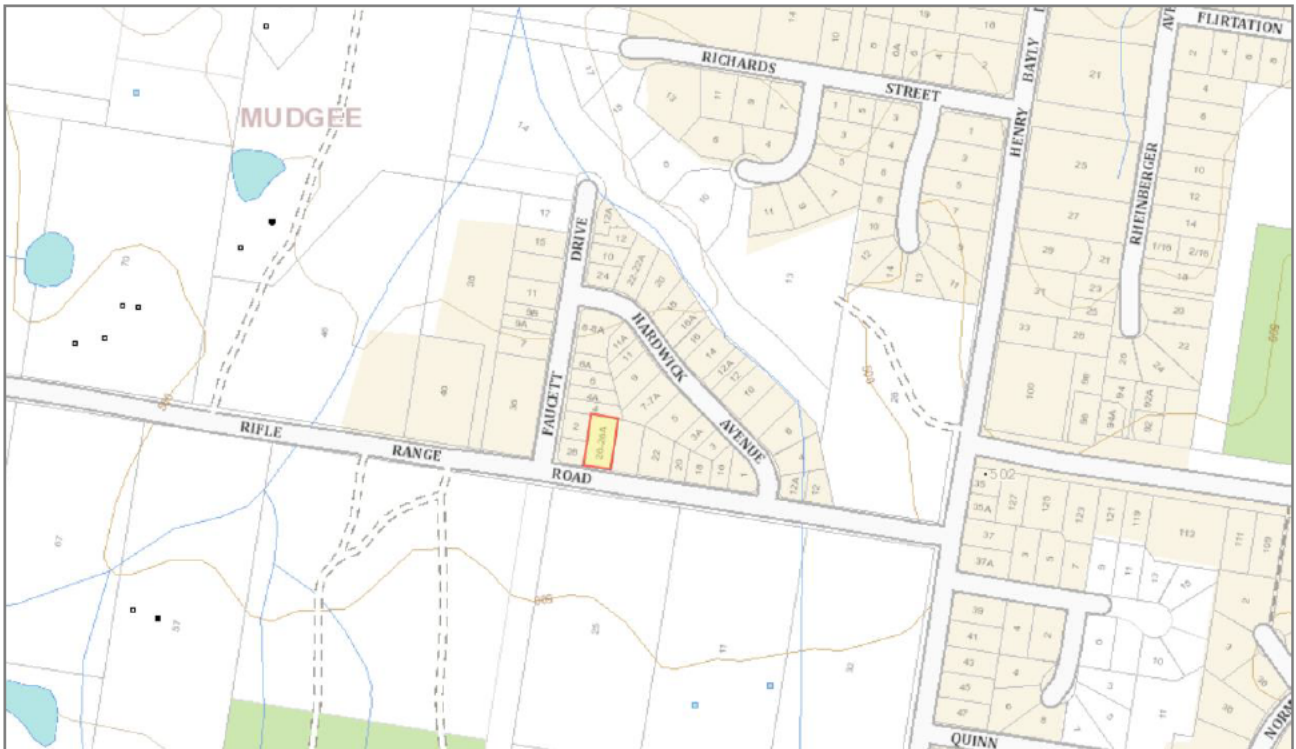
Unit 4 / 108-110 Market St

Mudgee NSW 2850

2. EXISTING ENVIRONMENT

2.1. Location and Title

The site the subject of this application is Lot 20 DP 1191367, known as 26-26A Rifle Range Road, Mudgee. The site is located on the northern side of Rifle Range Road on the outskirts of Mudgee, as shown in Figure 1 below.



Source: (NSW Government Spatial Services, 2024)

Figure 1 – Site Location

The site has an overall area of 840.4m² (refer Appendix A) with direct frontage to Rifle Range Road. The subject site contains a dwelling and attached secondary dwelling, as shown in Figure 2 and Plate 1 below.



Source: (NSW Government Spatial Services, 2024)

Figure 2 – Site Aerial



Plate 1 – View of the subject site (Google Street View)

2.2. Land Use

The subject site is located in an established residential area on the outskirts of Mudgee. The site and surrounding allotments form part of recent subdivisions and therefore contain newly constructed dwellings. There are vacant lands to the south and residential lands to the north.

2.3. Topography

The subject site has a gradual fall to the north of the site. There is a stormwater easement and interallotment drainage arrangement at the rear of the property, which services neighbouring allotments and was established as part of the subdivision.

2.4. Flora and Fauna

The site is well managed, contains grasslands and no trees or shrubs.

2.5. Natural Hazards

2.5.1. Flooding

The subject site is not mapped within the Flood Planning Area pursuant to the NSW ePlanning Spatial Viewer or *Mid-Western Regional Local Environmental Plan 2012*.

2.5.2. Bush Fire

The subject site is not mapped within a bushfire prone area pursuant to the ePlanning Spatial Viewer or RFS' Online Bushfire Mapping Tool.

2.6. Services

By virtue of the existing dwellings located on the property, the site has existing connections to water supply, sewer, stormwater management, telecommunications, NBN, and suitable road access. There are underground electricity lines supplying power to the existing dwellings at the front of the site.

There are two (2) easements afforded to the property at the rear of the site as follows:

- Easement to drain water 3 wide and variable;
- Easement to drain sewage 2 wide and variable.

The easements are located along the rear boundary as shown in Figure 3 below.

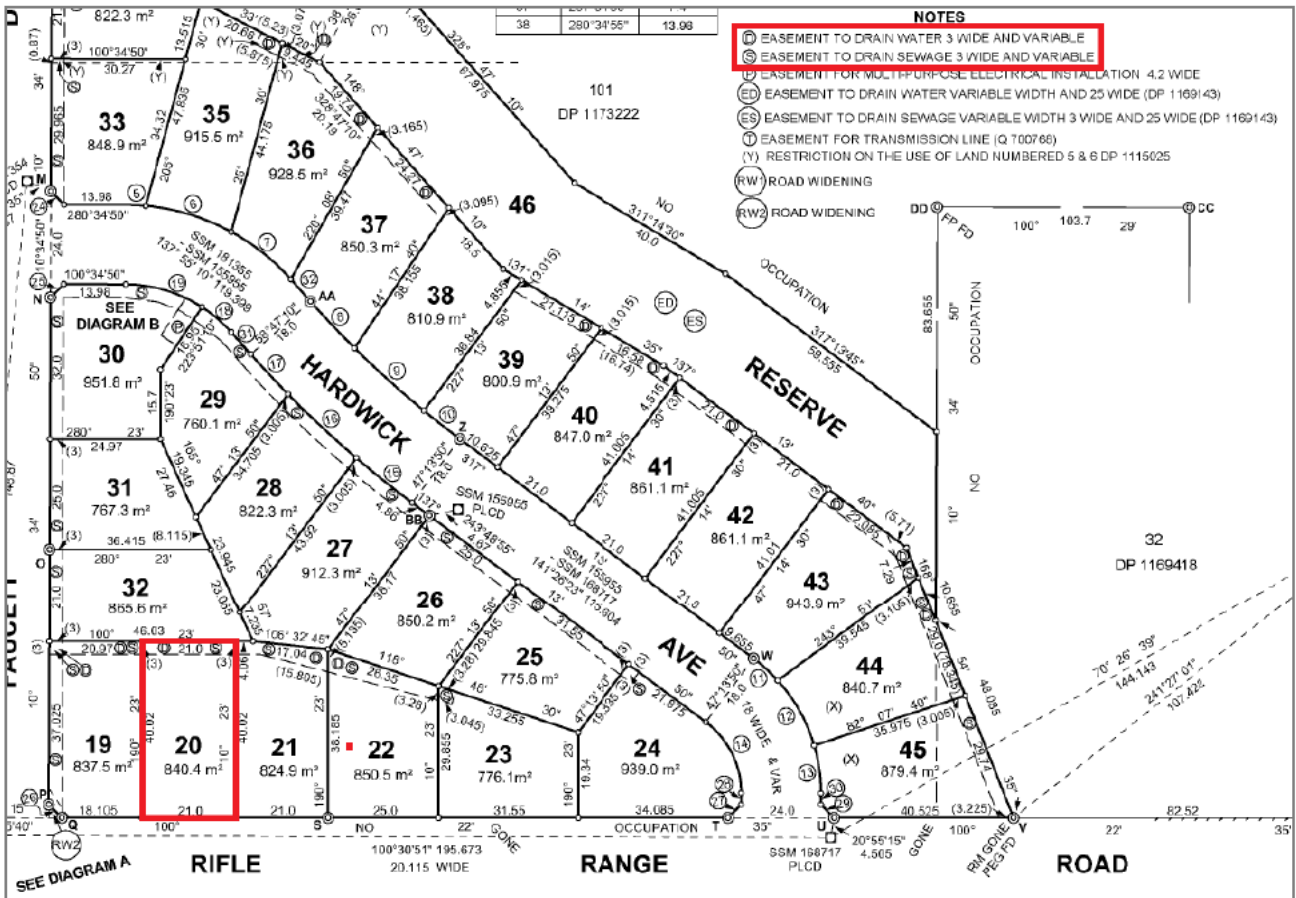


Figure 3 - Easements

2.7. Access and Traffic

The site has frontage and access to Rifle Range Road (two way, two lanes sealed road). An existing access crossover and layback currently provides suitable vehicular access to and from the site, associated with the residential use of the land.

2.8. Heritage

The site is not identified as containing a heritage listed item pursuant to Schedule 5 of the *Mid-Western Regional Local Environmental Plan 2012* or State Heritage Register. An Aboriginal Heritage Information System (AHIMS) search was undertaken for the site and immediate surrounds. The AHIMS search revealed that there are no Aboriginal sites recorded within 50m of the subject site. Refer to AHIMS search in Appendix B of this report.

3. PROPOSED DEVELOPMENT

The proposed development is for the change of use from a dwelling & secondary dwelling to a dual occupancy (attached) and associated torrens title subdivision (1 Lot into 2 Lots). The site is Lot 20 DP 1191367, known as 26-26A Rifle Range Road, Mudgee. The original plans of the existing built form development on the site have been provided in Appendix C of this report.

The intension of the change of use is to enable the subdivision of the site under Clause 4.1B of the *Mid-Western Regional Local Environmental Plan 2012*, which is discussed in Section 5.2.2 of this report. No physical works are required as part of the proposed development. A Subdivision Sketch Plan has been provided and is attached in Appendix D of this report.

The proposed Lots, their sizes and inclusions are shown in Table 1 below.

Table 1 – Subdivision Details

| Proposed Lot | Address | Road Frontage | Area | Use of land |
|--------------|--------------------|------------------|---------------------|----------------------------------|
| | | Rifle Range Road | | |
| Lot 1 | 26 Rifle Range Rd | Yes | 447m ² | Residential – 4 bedroom dwelling |
| Lot 2 | 26A Rifle Range Rd | Yes | 393.4m ² | Residential – 2 bedroom dwelling |

The proposed change of use does not trigger any changes to existing building. All utilities and services are available and connected to each resultant dwelling. The original plans of the dwellings, prepared by Barnson dated 16 February 2016, provided for the following internal wall to separate each dwelling; Gyprock – CSR 360 Party Wall System with 25mm fire barrier.

The subdivision sketch has followed this internal wall and as such, each dwelling is adequately fire separated. The original plans have been provided in Appendix C of this report. Refer to Sheet A07 of those plans for a detail of the party wall separating the dwellings.

The existing access crossover at the front of the site measures approximately 6m wide. Generally a 3m width is adequate for single dwellings in the area, which is confirmed via aerial imagery measurements and Council’s engineering standards. As such, the proposed boundary at the front of the site has been positioned in the middle of the existing access crossover, thereby allowing appropriate vehicle access to each dwellings/garage. To the rear, the proposed boundary has followed the existing fencing.

The existing utility connections afforded to the existing dwellings shall remain unchanged, which includes reticulated water, sewer, stormwater management, electricity and telecommunications infrastructure and road/pedestrian access to Rifle Range Road.

Refer to Subdivision Sketch Plans in Appendix D of this report.

4. LAND USE ZONING

The subject site is zoned R1 General Residential pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012* (LEP). The proposed development is for the change of use to a 'dual occupancy (attached)' and 'subdivision', which is permissible with consent in the R1 zone.

The permissibility of the proposed development is assessed in terms of the heads of consideration in Section 4.15 of the *Environmental Planning & Assessment Act 1979*, which incorporates consideration of the LEP and the objectives and permissible uses outlined in the R1 zone, as outlined in Section 5 of this report.

5. PLANNING CONSIDERATIONS

5.1. Environmental Planning & Assessment Act 1979

5.1.1. Application of Biodiversity Conservation Act 2016 & Fisheries Management Act 1994

Section 1.7 of the *Environmental Planning & Assessment Act 1979* (EP&A Act) identifies that Part 7 of the BC Act and Part 7A of the FM Act relate to the operation of the EP&A Act in relation to the terrestrial and aquatic environment. There is no clearing proposed as part of this application and the site is not located within proximity to any watercourses, as such, the provisions under these legislative documents are not applicable.

5.1.2. Evaluation

Section 4.15 of the EP&A Act (as amended) requires the Council to consider various matters in regard to the determination of the Development Application.

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) *The provisions of:*
 - (i) *any environmental planning instrument, and*
 - (ii) *any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and*
 - (iii) *any development control plan, and*
 - (iv) *any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and*
 - (v) *the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and*
 - (vi) *any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates,*
- (b) *The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality;*
- (c) *The suitability of the site for the development,*
- (d) *Any submissions made in accordance with this act or the regulations,*
- (e) *The public interest.*

The proposed development has been designed with consideration to the following matters, as outlined below.

5.2. Environmental Planning Instruments

5.2.1. SEPP (Resilience and Hazards) 2021

Clause 4.6 of *State Environmental Planning Policy (Resilience and Hazards) 2021* requires Council to consider the following before granting consent to a DA:

- (a) *it has considered whether the land is contaminated, and*
- (b) *if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
- (c) *if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

Comment: The site has recently been subject to a DA for the construction of the existing dwellings and associated earthworks and service connection works. Given that, it is reasonable to assume that the site has been considered suitable for the proposed land use and any required contamination investigation would have been undertaken as part of the previous development applications and remediated as required. There are no known contaminating uses that have been carried out on the site since the construction of the existing dwellings and associated works. Therefore, the SEPP (Resilience and Hazards) 2021 does not require any further consideration for the purposes of the proposed development.

5.2.2. Mid-Western Regional Local Environmental Plan 2012

Land Use Table

The subject site is zoned R1 General Residential pursuant to the *Mid-Western Regional Local Environmental Plan 2012* (LEP). The objectives of the R1 zone are:

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

Comment: The proposed development is defined as a 'dual occupancy (attached)' and associated 'subdivision' which is consistent with the objectives of the R1 zone as it provides for a variety of housing types and contributes to the demand and needs of the community by way of adding further opportunity for house ownership and residential stock. It is permissible with consent in the R1 zone.

Subdivision

Clause 2.6 of the *Mid-Western Regional Local Environmental Plan 2012* (LEP) enables subdivision to be carried out with development consent.

Minimum Lot Size

Clause 4.1B of the LEP states:

- (2) *Despite any other provision of this Plan, development consent may be granted to the subdivision of land to which this clause applies if—*
- (a) *multi dwelling housing or a dual occupancy is lawfully erected on the land, and*
 - (b) *the area of each resulting lot will not be less than—*
 - (i) *300 square metres for a dual occupancy (attached) or multi dwelling housing, or*
 - (ii) *400 square metres for a dual occupancy (detached), and*
 - (c) *only one dwelling will be located on each lot resulting from the subdivision.*

Comment: The subject site contains an existing dwelling and attached secondary dwelling that was approved via a Complying Development Certificate in 2016. As stipulated in Clause 4.1B, a subdivision is permissible for a *dual occupancy (attached)* or *multi dwelling housing* where each resultant dwelling is positioned on at least a 300m² Lot. As such, this application seeks consent to change the use of the existing development on the site from a dwelling and attached secondary dwelling to a dual occupancy (attached) to facilitate the subdivision of the site.

Therefore, the proposed development results in two (2) lots, all of which meet the minimum requirement of 300m² as shown below.

- Proposed Lot 1 = 447m²
- Proposed Lot 2 = 393.4m²

The proposed development meets the minimum lot size requirement.

Groundwater Vulnerability

Clause 6.4 'Groundwater Vulnerability' applies to the subject application as the subject site is mapped with groundwater vulnerabilities pursuant to the NSW Governments ePlanning Spatial Viewer and LEP mapping.

Clause 6.4 states:

- (3) *Before determining a development application for development on land to which this clause applies, the consent authority must consider the following—*
- (a) *the likelihood of groundwater contamination from the development (including from any on-site storage or disposal of solid or liquid waste and chemicals),*
 - (b) *any adverse impacts the development may have on groundwater dependent ecosystems,*
 - (c) *the cumulative impact the development may have on groundwater (including impacts on nearby groundwater extraction for a potable water supply or stock water supply),*
 - (d) *any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.*

Comment: The proposed development includes a small-scale subdivision with no new proposed structures or dwellings, and as such, does not include significant adverse impacts on groundwater vulnerabilities. There are no proposed groundwater contamination activities, or any development that would have adverse impacts on groundwater dependant ecosystems. There are no identified

cumulative impacts on groundwater or nearby groundwater extraction of the proposed development and as such, is considered to be compliant for the purposes of this part.

Essential Services

Clause 6.9 'Essential Services' applies to the subject site, as each lot is required to have essential services available or adequate arrangements in place to make them available when required.

Clause 6.9 states;

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the proposed development are available or that adequate arrangements have been made to make them available when required—

- (a) the supply of water,
- (b) the supply of electricity,
- (c) the disposal and management of sewage,
- (d) stormwater drainage or on-site conservation,
- (e) suitable road access.

Comment: The proposed Lots shall retain all of their existing services, which are considered suitable for the ongoing use of the residential land and include reticulated water, sewer, stormwater, electrical and telecommunications infrastructure and all proposed lots have suitable access to Rifle Range Road.

5.3. Draft Environmental Planning Instruments

No draft Environmental Planning Instruments are applicable to the subject site or development.

5.4. Development Control Plans

Section 7 of the *Mid-Western Regional Council Development Control Plan 2013* (DCP) applies to the proposed subdivision. Given that a change of use to a dual occupancy (attached) is proposed, Section 2.2 of the DCP has also been considered. Refer to Table 2 below.

| Table 2 – DCP Compliance Table | |
|---|---|
| Provision | Comment |
| <i>Part 2.2 Dual Occupancy Development "Demmed to Satisfy" Previsions</i> | |
| Minimum Lot Size | The area of the existing Lot is 840.4m ² , thereby complying with the 600m ² requirement under this part. |

| | |
|---|---|
| Building Setbacks | The existing development is setback approximately 5.5m from the street and in excess of 900mm from side and rear boundaries, thereby complying with the setback provisions under this part. |
| Building Height | The existing development is a single storey development. |
| Design | The existing development complies with this part in that: <ul style="list-style-type: none"> • The existing dwellings are not mirror reversed; • There is adequate sunlight for internal living areas; • A fire wall has been established separating the two dwellings; • The design of the development is consistent with others in the streetscape and wider area; • Both dwellings have direct access to Rifle Range Road; • No windowless facades face the street; • At least 5% of the front elevation consists of windows and doors; • The existing development is not considered a manufactures structure; • Garage doors do not exceed 45% of the front elevation; and • The existing development is not transportable. |
| Slope & Cut and Fill | Noted. |
| Open Space | The existing development complies with this part in that: <ul style="list-style-type: none"> • Private Open Space is entirely positioned north of the existing dwellings; • Each dwelling has at least 80m² of Private Open Space exceeding 5m in depth and width; • The Private Open Space areas receive adequate sunlight. |
| Site Coverage | The site area is 840.4m ² and the total floor area for both dwellings is 245.1m ² . Therefore site coverage is approximately 29.16%, thereby complying with the 35% provision under this part. |
| Parking | Each dwelling is provided with a single car garage and parking opportunity in a stacked arrangement. All driveway areas are hardstand and not positioned within 6m of an intersection. |
| Utilities | Existing utility connections comply with the provisions under this part. |
| Fencing | Existing fencing comply with the provisions under this part |
| Heritage | Noted. The site does not contain any heritage listed items. |
| <i>Part 7.1 Urban Subdivision: Land zoned R1, R2 and R3</i> | |
| Lot Size | All proposed lot sizes meet the minimum lot size requirement of 300m ² . (Refer to 5.2.2 of this report detailing the MLS relevant to the subject site and proposed development as per Clause 4.1B of the LEP). |

| | |
|---|--|
| | The slope of the land does not exceed 10 degrees. |
| Lot Design | <p>The subdivision results in two proposed lots, of which each resultant lot contains an existing residential dwelling. The subdivision has been designed to optimise solar access, considering solar patters and solar orientation for the existing dwellings.</p> <p>The proposed lots are generally rectangular in shape and allow an orientation to include 3-hours of sunlight access between 9:00am and 3:00pm on 21 June (Winter Solstice).</p> |
| Street Design and Layout | <p>No new roads are proposed as part of this development application and there is only one additional Lot produced from this subdivision. The access road to the proposed site is a residential road (Rifle Range Street).</p> <p>Subdivision sketch is provided in Appendix D of this report.</p> |
| Cycleways and Footpaths | Not applicable to proposed development as there are no proposed footpaths or cycle ways proposed. |
| Open Space | Not applicable to proposed development as there are no proposed on-site detention basins, and the subject site is not a 'Greenfield' site. |
| Landscaping | Not applicable to proposed development as there are no proposed public reserve nor any proposed changes to the public domain including any nature strip, street furniture or paving materials. |
| Utility Services | The proposed subdivision will result in two new allotments. All of the proposed lots have existing established connections to utility services and shall retain all utility connections afforded to the existing dwellings located on the site. |
| Drainage | The proposed development does not include any additional drainage, as there is no proposed physical works, nor the provision of future physical works as part of this development application. |
| <i>Part 5.4 Environmental Controls</i> | |
| Protection of Aboriginal Archaeological Items | An AHIMS Search was undertaken and is provided in Appendix B of this report. The search shows that there are no known Aboriginal items or relics known to be on the subject site or within proximity. If any items of significance are identified the proponent will notify relevant authorities. |
| Bushfire Management | The subject site is not mapped as bushfire prone land. |
| Riparian and Drainage Line Environments | There are no riparian lands or identified watercourses on the subject site as per <i>ePlanning Spatial Viewer</i> and the <i>Biodiversity Values Map</i> . |
| Pollution and Water Management | There is no proposed pollution or waste producing activity as part of this proposed development. |

| | |
|--|---|
| Threatened Species and Vegetation Management | The proposed development is for the subdivision of a single lot into two new lots all of which have existing connections to essential services. It does not include significant clearing and is considered to not have any significant impact on local flora and fauna. |
| Building in Saline Environments | It is understood that salinity may occur on the subject site, resulting in any future proposed residential buildings being susceptible to salt damage. |
| House Slabs and Footings | Not applicable as there are no proposed slabs or footings. |
| Brickwork | Not applicable as there is no proposed brickwork. |
| All Buildings | Not applicable as there are no proposed buildings. |
| Alterations and Additions | Not applicable as there are no proposed alterations or additions. |

5.5. Any Planning Agreement entered into

No Planning Agreements entered into are known to exist in relation to the development or site.

5.6. Any Matters Prescribed by the Regulations

For the purposes of Section 4.15(1)(a)(iv) of the EP&A Act, Clause 92 of the *Environmental Planning and Assessment Regulations 2000* (EP&A Regulations) specifies the additional matters a consent authority must take into consideration when determining a DA. None of which apply to the proposed development.

5.7. Any Likely Impacts of the Development

5.7.1. Context & Setting

The subject site is located in a residential locality which is characterised by existing residential development and emerging development. The proposed development is for a minor subdivision of a single lot to produce two new lots that reflect the minimum lot size of the development which is considered to be consistent with the existing streetscape and would not impact on the context or setting in the locality.

5.7.2. Access, Transport & Traffic

The subject site has frontage and access off Rifle Range Road (a two way, two laned sealed road). Access to the proposed new lots would be gained via the existing driveway located along the southern boundary of the existing lot. The existing access crossover is approximately 6m wide. Generally, a 3m wide access crossover is adequate for existing dwellings. Therefore the existing arrangement is considered suitable for the dwellings located on the site and consistent with other similar developments in the locality.

5.7.3. Utilities

Each proposed Lot contains an existing residential dwelling of which currently have existing connections to all utilities including reticulated water, sewer, stormwater, electricity and telecommunication infrastructure. No changes to these connections is proposed or required as part of the proposed subdivision.

5.7.4. Social & Economic Impacts in the Locality

The subdivision creates potential for separate title ownership of two existing residences, contributing to the affordability of housing in the strong housing market across the region. The proposed development promotes affordability in the middle of a very competitive market, promotes diversity in residential stock in the locality and contributes to local economic activity potential through the ability for the owner to sell the subject lots.

5.7.5. Site Design & Internal Design

There are no prohibitive constraints posed by adjacent developments. There does not appear to be any zoning, planning or environmental matters that should hinder the proposed development of the site. In this regard, it can be concluded that the proposed subdivision is suitable for the locality.

5.7.6. Other Impacts

There are no other impacts such as natural or technological hazards that would result from the proposed subdivision.

5.8. Suitability of the Site for the Proposed Development

The suitability of the site for the proposed development has been addressed in the above sections of this report. There are no prohibitive constraints posed by adjacent developments. There does not appear to be any zoning, planning or environmental matters that should hinder the proposed development of the site. In this regard, it can be concluded that the proposal fits into the locality and the site attributes are conducive for the development.

5.9. The Public Interest

The proposed development is considered to be in the public interest as it provides for a small-scale subdivision. As outlined throughout this report the development is consistent with the minimum lot size for the area and is not expected to have any adverse off-site impacts.

6. CONCLUSION

It is recommended that the proposed change of use from a dwelling & secondary dwelling to a dual occupancy (attached) and associated subdivision of Lot 20 DP 1191367, known as 26-26A Rifle Range Road, Mudgee be supported on the following grounds:

- The proposal is considered acceptable in terms of the provisions of Section 4.15 of the *Environmental Planning and Assessment Act 1979*;
- The proposal is permissible with consent and consistent with the relevant development standards and provisions of the *Mid-Western Regional Local Environmental Plan 2012*;
- The proposal complies with the relevant provisions of the *Mid-Western Regional Council Development Control Plan 2012*;
- The proposed development is not anticipated to generate any adverse impacts in the locality; and
- The proposed development is considered suitable for the site and its surrounds.

7. REFERENCES

NSW Government Spatial Services. (2023, March 7). *Six Maps*. Retrieved from <http://maps.six.nsw.gov.au/>

NSW Rural Fire Service. (2019). *Planning for Bush Fire Protection: A Guide for Council's, Planners, Fire Authorities and Developers*. Sydney: NSW RFS.

APPENDIX A

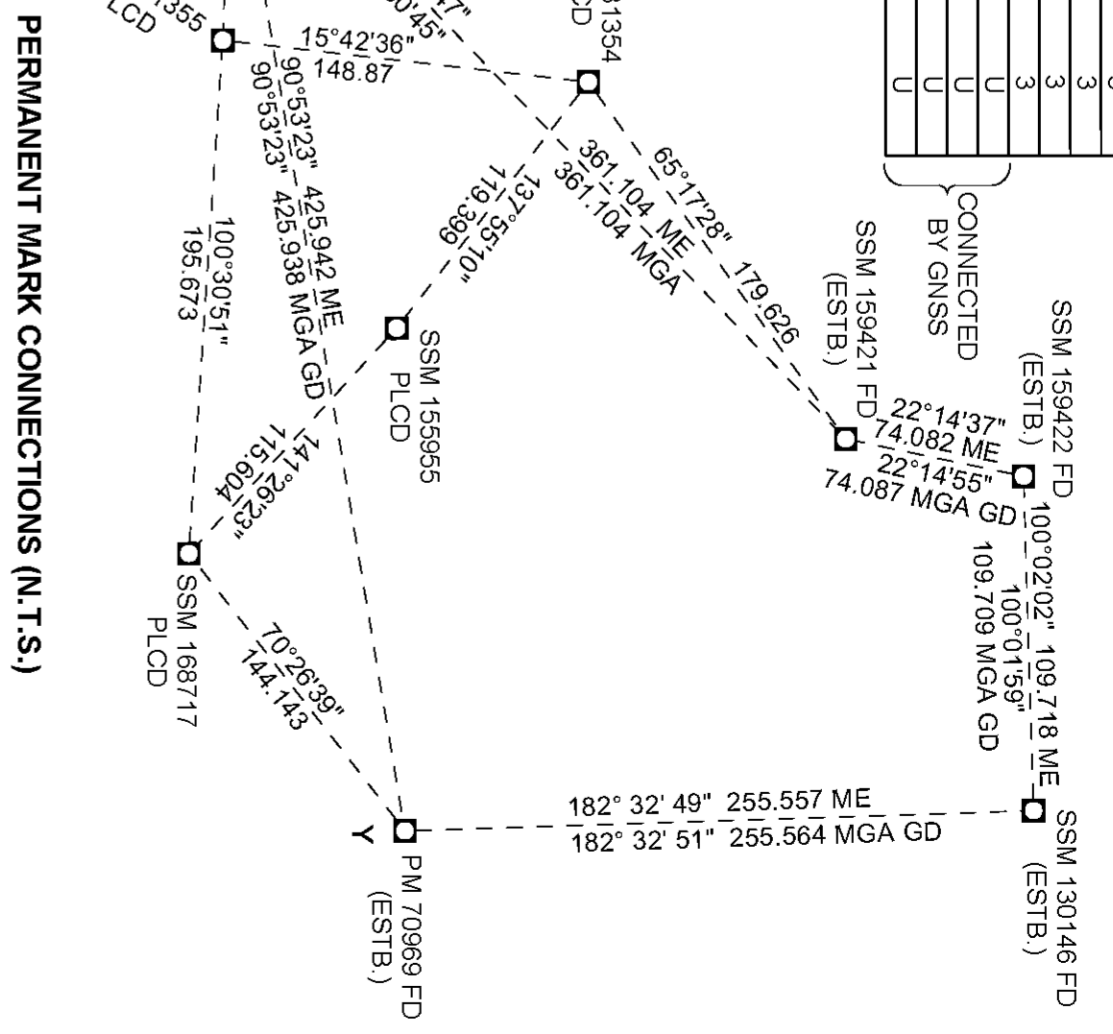
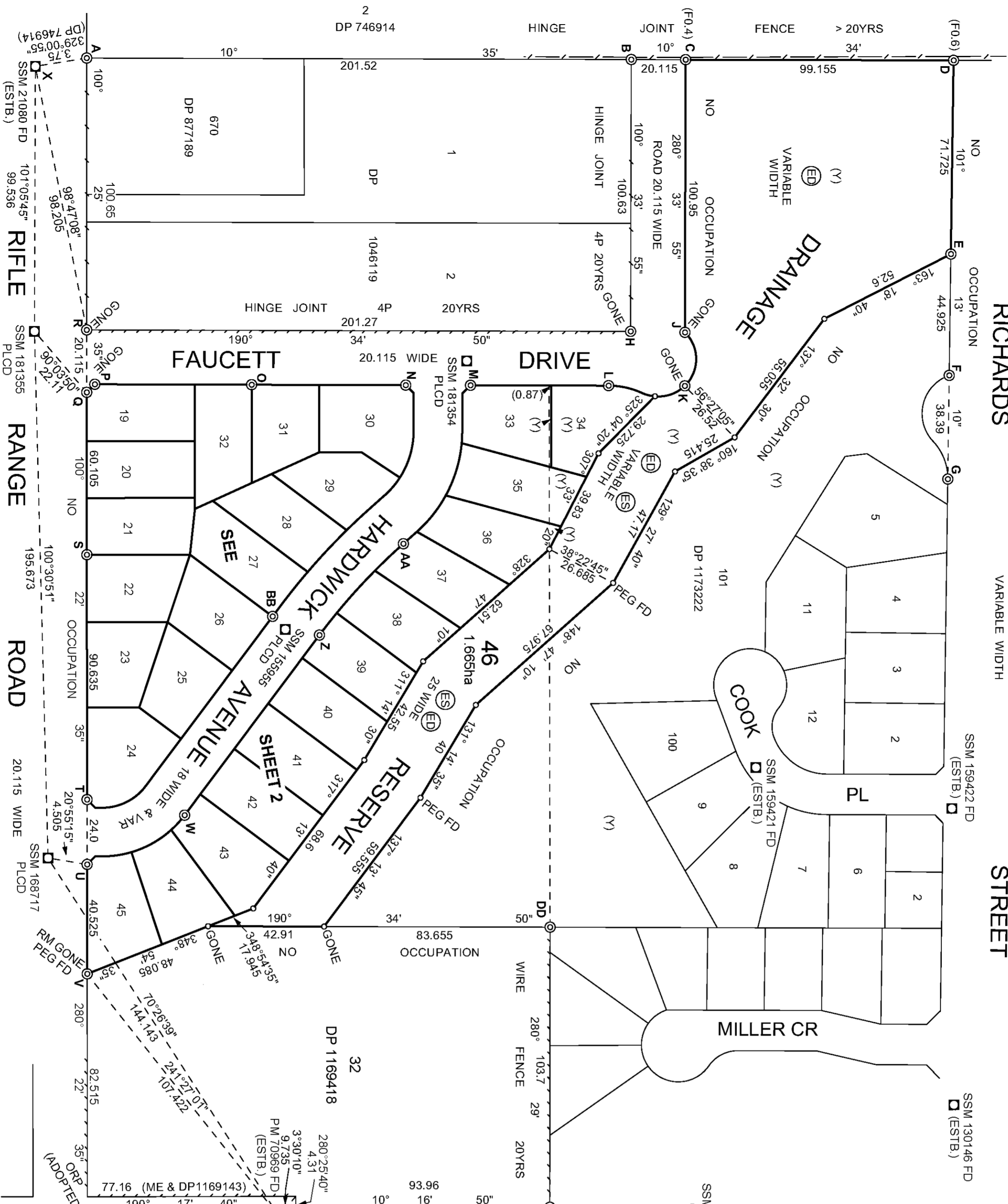
Title and Deposited Plan

SHEET 1

ES EASEMENT TO DRAIN SEWAGE VARIABLE WIDTH 3 WIDE AND 25 WIDE (DP 1169143)
 ED EASEMENT TO DRAIN WATER VARIABLE WIDTH AND 25 WIDE (DP 1169143)
 (Y) RESTRICTION ON THE USE OF LAND NUMBERED 5 & 6 DP 1115025

ESTABLISHED & NON-ESTABLISHED PERMANENT MARKS UNDER CLAUSE 6(12) & 35(1)(b) SURVEYING AND SPATIAL INFORMATION REGULATION 2012 SEARCH DATE: 8-07-2013

| MARK No | EASTING | NORTHING | ZONE | SCALE | CLASS | ORDER |
|------------|------------|-------------|------|----------|-------|-------|
| PM 70969 | 741635.964 | 6389660.606 | 55 | 1:000236 | C | 3 |
| SSM 21080 | 741209.977 | 6389667.221 | 55 | 1:000235 | C | 3 |
| SSM 130146 | 741647.326 | 6389915.978 | 55 | 1:000238 | C | 3 |
| SSM 159421 | 741511.211 | 6389868.509 | 55 | 1:000238 | C | 3 |
| SSM 159422 | 741539.269 | 6389935.099 | 55 | 1:000238 | C | 3 |
| SSM 155955 | 741428.027 | 6389702.765 | 55 | U | U | U |
| SSM 168717 | 741500.104 | 6389612.347 | 55 | U | U | U |
| SSM 181354 | 741347.990 | 6389791.404 | 55 | U | U | U |
| SSM 181355 | 741307.671 | 6389648.061 | 55 | U | U | U |



REFERENCE MARKS

| COR | MARK | BEARING | DIST | PLAN |
|-----|--------------------|--------------|--------|------------|
| A | RM SSM 21080 FD | 329° 00' 55" | 3.75 | DP 746914 |
| B | RM GI PIPE FD | 253° 09' | 2.395 | DP 1046119 |
| C | RM GI PIPE PLCD | 242° 24' 40" | 1.005 | |
| D | RM GI PIPE PLCD | 213° 44' 30" | 0.72 | DP 1115025 |
| E | RM GI PIPE FD | 214° 23' | 10.62 | DP 1169143 |
| F | RM DH&W FD | 221° 29' 40" | 13.4 | DP 1115025 |
| G | RM DH&W FD | 188° 40' 40" | 5.31 | DP 1115025 |
| H | RM DH&W PLCD | 276° 24' 55" | 4.005 | |
| J | RM DH&W PLCD | 333° 21' | 4.54 | |
| K | RM DH&W PLCD | 50° 12' 15" | 4.395 | |
| L | RM DH&W PLCD | 102° 56' 15" | 5.315 | |
| M | RM SSM 181354 | 122° 52' 35" | 5.87 | |
| N | RM DH&W PLCD | 100° 01' 35" | 5.395 | |
| O | RM DH&W PLCD | 101° 12' 20" | 5.45 | |
| P | RM DH&W PLCD | 66° 50' 45" | 5.89 | |
| Q | RM SSM PLCD | 89° 47' 25" | 15.05 | |
| R | RM SSM 181355 | 90° 03' 45" | 22.11 | |
| S | RM DH&W PLCD | 278° 02' 35" | 5.335 | |
| T | RM DH&W PLCD | 10° 07' 25" | 4.415 | |
| U | RM SSM PLCD | 7° 20' | 4.34 | |
| V | RM SSM 168717 | 20° 55' 15" | 4.505 | |
| W | RM DH&W PLCD | 10° 21' 50" | 4.44 | |
| X | RM DH&W PLCD | 48° 43' 55" | 4.465 | |
| Y | RM DH&W PLCD | 46° 41' 30" | 13.495 | |
| Z | RM DH&W PLCD | 46° 32' 45" | 4.375 | |
| AA | RM DH&W PLCD | 47° 05' 40" | 13.465 | |
| BB | RM DH&W PLCD | 62° 44' 55" | 4.38 | |
| BB | RM SSM 155955 | 59° 44' 10" | 13.455 | |
| CC | RM NAIL IN CONC FD | 243° 48' 55" | 4.67 | DP 1070610 |
| DD | RM DH&W FD | 253° 24' | 2.095 | DP 1070610 |

Surveyor: COLIN WILLIAM (BILL) CURRIE
 Date of Survey: 30.7.2013
 Surveyor's Ref: H682MU

PLAN OF
 SUBDIVISION OF LOT 2 IN DP 1169143 AND
 LOT 31 IN DP 1169418

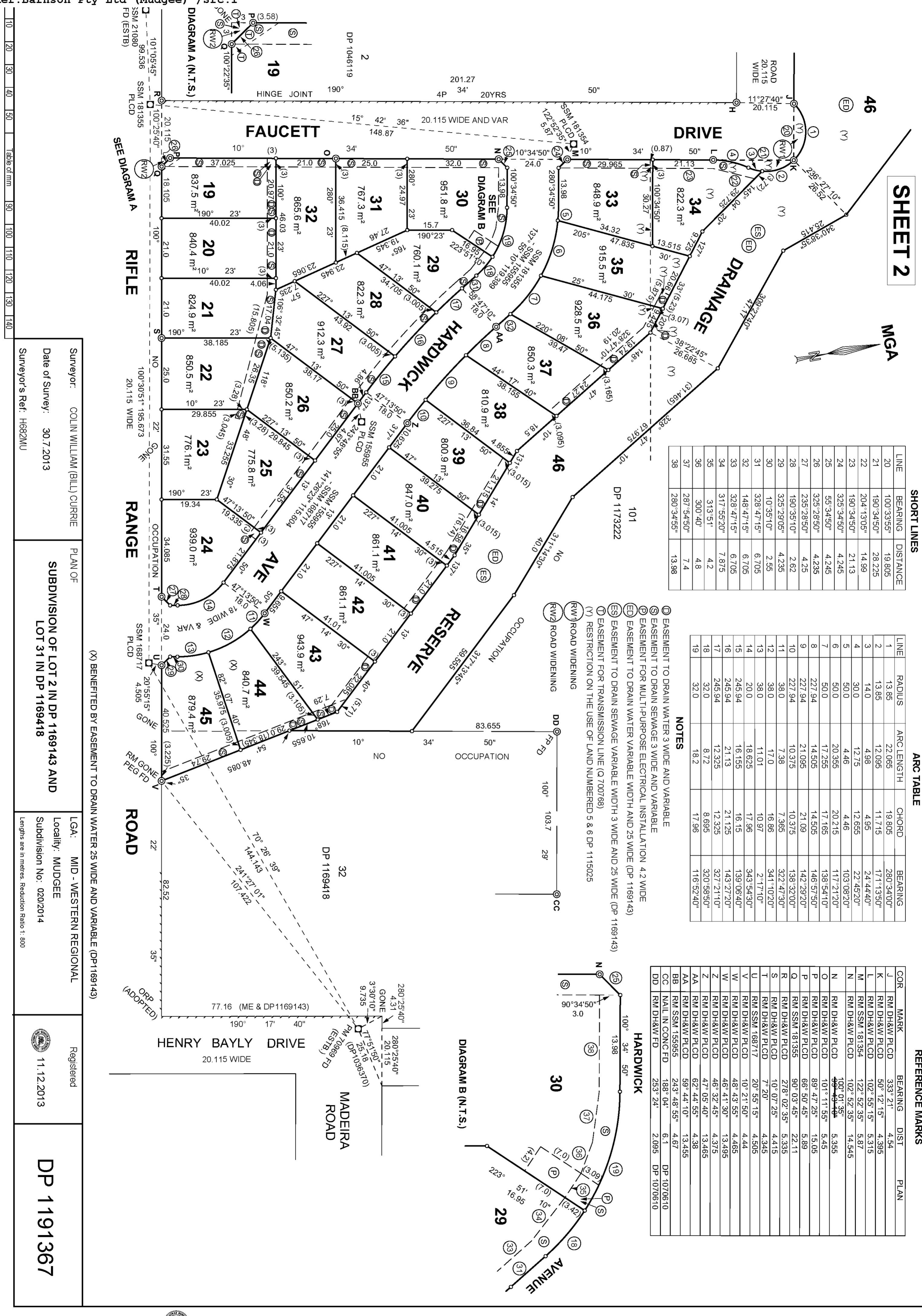
LGA: MID - WESTERN REGIONAL
 Locality: MUDGEE
 Subdivision No.: 020/2014
 Lengths are in metres. Reduction Ratio 1:1250

Registered
 11.12.2013

DP 1191367

| | | | | | | | | | | | | | |
|----|----|----|----|----|----|----|----|----|-----|-----|-----|-----|-----|
| 10 | 20 | 30 | 40 | 50 | 60 | 70 | 80 | 90 | 100 | 110 | 120 | 130 | 140 |
|----|----|----|----|----|----|----|----|----|-----|-----|-----|-----|-----|

Table of mm



SHEET 2

MGA

SHORT LINES

| LINE | BEARING | DISTANCE |
|------|------------|----------|
| 20 | 100°33'55" | 19.805 |
| 21 | 190°34'50" | 28.225 |
| 22 | 204°13'05" | 14.99 |
| 23 | 190°34'50" | 21.13 |
| 24 | 325°34'50" | 4.245 |
| 25 | 55°34'50" | 4.245 |
| 26 | 325°28'50" | 4.235 |
| 27 | 190°35'10" | 2.62 |
| 28 | 235°28'50" | 4.235 |
| 29 | 325°29'05" | 4.235 |
| 30 | 10°35'10" | 2.55 |
| 31 | 328°47'15" | 6.705 |
| 32 | 148°47'15" | 6.705 |
| 33 | 328°47'15" | 6.705 |
| 34 | 317°55'20" | 7.875 |
| 35 | 313°5'1" | 4.2 |
| 36 | 300°40' | 4.8 |
| 37 | 287°54'50" | 7.4 |
| 38 | 280°34'55" | 13.98 |

ARC TABLE

| LINE | RADIUS | ARC LENGTH | CHORD | BEARING |
|------|--------|------------|--------|------------|
| 1 | 13.85 | 22.065 | 19.805 | 280°34'00" |
| 2 | 13.85 | 12.095 | 11.715 | 171°13'50" |
| 3 | 14.0 | 4.98 | 4.95 | 24°44'40" |
| 4 | 30.0 | 12.75 | 12.655 | 22°45'20" |
| 5 | 50.0 | 20.36 | 4.46 | 103°08'20" |
| 6 | 50.0 | 20.355 | 20.215 | 117°21'20" |
| 7 | 50.0 | 17.255 | 17.165 | 138°54'10" |
| 8 | 227.94 | 14.505 | 14.505 | 146°57'50" |
| 9 | 227.94 | 21.095 | 21.09 | 142°29'20" |
| 10 | 227.94 | 10.375 | 10.375 | 143°32'00" |
| 11 | 38.0 | 7.38 | 7.365 | 322°47'30" |
| 12 | 38.0 | 17.0 | 16.86 | 2°17'10" |
| 13 | 38.0 | 11.01 | 10.97 | 2°17'10" |
| 14 | 20.0 | 18.625 | 17.96 | 343°54'30" |
| 15 | 245.94 | 16.155 | 16.15 | 139°06'40" |
| 16 | 245.94 | 21.125 | 21.125 | 143°27'20" |
| 17 | 245.94 | 12.325 | 12.325 | 327°21'10" |
| 18 | 32.0 | 8.72 | 8.695 | 320°58'50" |
| 19 | 32.0 | 18.2 | 17.96 | 116°52'40" |

REFERENCE MARKS

| COR | MARK | BEARING | DIST | PLAN |
|-----|---------------|------------|--------|------------|
| J | RM DH&W PLCD | 333°21' | 4.54 | |
| K | RM DH&W PLCD | 50°12'15" | 4.395 | |
| L | RM DH&W PLCD | 102°55'15" | 5.315 | |
| M | RM SSM 181354 | 122°52'35" | 5.87 | |
| N | RM DH&W PLCD | 102°52'35" | 14.545 | |
| O | RM DH&W PLCD | 100°01'35" | 5.385 | |
| P | RM DH&W PLCD | 101°11'55" | 5.45 | |
| Q | RM DH&W PLCD | 89°47'25" | 15.05 | |
| R | RM DH&W PLCD | 66°50'45" | 5.89 | |
| S | RM SSM 181355 | 90°03'45" | 22.11 | |
| T | RM DH&W PLCD | 278°02'35" | 5.335 | |
| U | RM DH&W PLCD | 10°07'25" | 4.415 | |
| V | RM SSM 168717 | 7°20' | 4.345 | |
| W | RM DH&W PLCD | 20°55'15" | 4.505 | |
| X | RM DH&W PLCD | 10°21'50" | 4.44 | |
| Y | RM DH&W PLCD | 48°43'55" | 4.465 | |
| Z | RM DH&W PLCD | 46°41'30" | 13.495 | |
| AA | RM DH&W PLCD | 46°32'45" | 4.375 | |
| AB | RM DH&W PLCD | 47°05'40" | 13.465 | |
| AC | RM DH&W PLCD | 62°44'55" | 4.38 | |
| AD | RM SSM 155955 | 59°44'10" | 13.455 | |
| AE | RM DH&W PLCD | 243°48'55" | 4.67 | |
| AF | RM SSM 155955 | 188°04' | 6.1 | DP 1070610 |
| AG | RM DH&W PLCD | 253°24' | 2.095 | DP 1070610 |

- NOTES**
- ① EASEMENT TO DRAIN WATER 3 WIDE AND VARIABLE
 - ② EASEMENT TO DRAIN WATER 3 WIDE AND VARIABLE
 - ③ EASEMENT TO DRAIN SEWAGE 3 WIDE AND VARIABLE
 - ④ EASEMENT FOR MULTI-PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE
 - ⑤ EASEMENT TO DRAIN WATER VARIABLE WIDTH AND 25 WIDE (DP 1169143)
 - ⑥ EASEMENT TO DRAIN SEWAGE VARIABLE WIDTH 3 WIDE AND 25 WIDE (DP 1169143)
 - ⑦ EASEMENT FOR TRANSMISSION LINE (Q 700768)
 - (Y) RESTRICTION ON THE USE OF LAND NUMBERED 5 & 6 DP 1115025
 - (RW1) ROAD WIDENING
 - (RW2) ROAD WIDENING
 - (DD) ROAD WIDENING
 - (CC) ROAD WIDENING

Surveyor: COLIN WILLIAM (BILL) CURRIE
 Date of Survey: 30.7.2013
 Surveyor's Ref: H682MU

PLAN OF
**SUBDIVISION OF LOT 2 IN DP 1169143 AND
 LOT 31 IN DP 1169418**

LGA: MID - WESTERN REGIONAL
 Locality: MUDGEE
 Subdivision No: 020/2014
 Lengths are in metres. Reduction Ratio 1: 800

Registered
 11.12.2013

DP 1191367

Table of mm




| | | | | | | | | | | | | | |
|----|----|----|----|----|----|----|----|----|-----|-----|-----|-----|-----|
| 10 | 20 | 30 | 40 | 50 | 60 | 70 | 80 | 90 | 100 | 110 | 120 | 130 | 140 |
|----|----|----|----|----|----|----|----|----|-----|-----|-----|-----|-----|

PLAN FORM 6 (2012)

WARNING: Creasing or folding will lead to rejection

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 1 of 3 sheet(s)


| | |
|--|--|
| <p>Registered:  11.12.2013</p> <p>Title System: TORRENS</p> <p>Purpose: SUBDIVISION</p> | <p style="text-align: right;">Office Use Only</p> <div style="text-align: center;">  DP1191367 S </div> <p style="text-align: right;">Use Only</p> |
| <p>PLAN OF</p> <p style="text-align: center;">SUBDIVISION OF LOT 2 IN DP 1169143 & LOT 31 IN DP 1169418</p> | <p>LGA: MID WESTERN REGIONAL</p> <p>Locality: MUDGEE</p> <p>Parish: MUDGEE</p> <p>County: WELLINGTON</p> |
| <p style="text-align: center;">Crown Lands NSW/Western Lands Office Approval</p> <p>I, (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given.</p> <p>Signature:</p> <p>Date:</p> <p>File Number:</p> <p>Office:</p> | <p style="text-align: center;">Survey Certificate</p> <p>I, COLIN WILLIAM (BILL) CURRIE of INSITES PTY LTD T/A RJ CROOKS & ASSOCIATES 26 MARKET STREET, MUDGEE</p> <p>a surveyor registered under the <i>Surveying and Spatial Information Act 2002</i>, certify that:</p> <p>*(a) The land shown in the plan was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2012</i>, is accurate and the survey was completed on 30.07.2013</p> <p>*(b) The part of the land shown in the plan (*being/*excluding ^ was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2012</i>, is accurate and the survey was completed on,..... the part not surveyed was compiled in accordance with that Regulation.</p> <p>*(c) The land shown in this plan was compiled in accordance with the <i>Surveying and Spatial Information Regulation 2012</i>.</p> <p>Signature: Dated: <u>6/9/2013</u></p> <p>Surveyor ID: 7447</p> <p>Datum Line: 'X'-'Y'</p> <p>Type: Urban/ Rural</p> <p>The terrain is Level Undulating /Steep Mountainous.</p> <p>*Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.</p> |
| <p style="text-align: center;">Subdivision Certificate</p> <p>I, <u>Gary Bruce</u> *Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of s.109J of the <i>Environmental Planning and Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set</p> <p>Signature: </p> <p>Accreditation number:</p> <p>Consent Authority: <u>Mid Western Regional Council</u></p> <p>Date of endorsement: <u>10 October - 2013</u></p> <p>Subdivision Certificate number: <u>020/2014</u></p> <p>File number: <u>P1309361 and P2152461</u></p> <p>*Strike through if inapplicable.</p> | <p>Plans used in the preparation of survey/compilation.</p> <p style="text-align: center;">DP 1169143, DP 1169418, DP 1046119, DP 1115025</p> <p style="text-align: center;">If space is insufficient continue on PLAN FORM 6A</p> |
| <p>Statements of intention to dedicate public roads, public reserves and drainage reserves.</p> <p>IT IS INTENDED TO DEDICATE HARDWICK AVENUE (18 WIDE & VARIABLE) AND THE AREAS SHOWN AS ROAD WIDENING (VAR WIDTH) DENOTED RW1 AND RW2 TO THE PUBLIC AS PUBLIC ROAD.RW1 BEING SUBJECT TO RESTRICTIONS ON THE USE OF LAND NUMBERED 5 & 6 IN DP 115025, AND RW2 DP1115025 AND BEING SUBJECT TO EASEMENT FOR TRANSMISSION LINE RW2 (Q700768).</p> <p>IT IS INTENDED TO DEDICATE LOT 46 TO THE PUBLIC AS DRAINAGE RESERVE SUBJECT TO EASEMENT TO DRAIN SEWAGE VARIABLE WIDTH 3 WIDE AND 25 WIDE (VIDE DP 1169143) AND EASEMENT TO DRAIN WATER VARIABLE WIDTH AND 25 WIDE (VIDE DP 1169143).</p> | <p>Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A</p> |
| <p>Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A</p> | <p>Surveyor's Reference: H682MU</p> |

AMENDED IN LPI AT SURVEYORS REQUEST 4/12/2013

PLAN FORM 6A (2012)

WARNING: Creasing or folding will lead to rejection

DEPOSITED PLAN ADMINISTRATION SHEET Sheet 2 of 3 sheet(s)

| | |
|--|--|
| <p style="text-align: right;">Office Use Only</p> <p>Registered:  11.12.2013</p> <p>PLAN OF SUBDIVISION OF LOT 2 IN DP 1169143 & LOT 31 IN DP 1169418</p> <p>Subdivision Certificate number: <u>020/2014</u> Date of Endorsement: <u>10-October-2013</u></p> | <p style="text-align: right;">Office Use Only</p> <p style="font-size: 24pt; text-align: center;">DP1191367</p> <p>This sheet is for the provision of the following information as required:</p> <ul style="list-style-type: none"> • A schedule of lots and addresses - See 60(c) SSI Regulation 2012 • Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919 • Signatures and seals- see 195D Conveyancing Act 1919 • Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets. |
|--|--|

PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT 1919 AS AMENDED, IT IS INTENDED TO CREATE:

1. EASEMENT TO DRAIN SEWAGE 3 WIDE & VARIABLE WIDTH
2. EASEMENT TO DRAIN WATER 3 WIDE & VARIABLE WIDTH
3. RESTRICTIONS ON THE USE OF LAND
4. RESTRICTION ON THE USE OF LAND
5. EASEMENT FOR MULTI-PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE


| LOT | NUMBER | STREET NAME | STREET TYPE | LOCATLITY |
|-----|-----------------------|-------------|-------------|-----------|
| 45 | ADDRESS NOT AVAILABLE | | | |
| 44 | 4 | HARDWICK | AVENUE | MUDGEES |
| 43 | 6 | HARDWICK | AVENUE | MUDGEES |
| 42 | 8 | HARDWICK | AVENUE | MUDGEES |
| 41 | 10 | HARDWICK | AVENUE | MUDGEES |
| 40 | 12 | HARDWICK | AVENUE | MUDGEES |
| 39 | 14 | HARDWICK | AVENUE | MUDGEES |
| 38 | 16 | HARDWICK | AVENUE | MUDGEES |
| 37 | 18 | HARDWICK | AVENUE | MUDGEES |
| 36 | 20 | HARDWICK | AVENUE | MUDGEES |
| 35 | 22 | HARDWICK | AVENUE | MUDGEES |
| 33 | ADDRESS NOT AVAILABLE | | | |
| 30 | ADDRESS NOT AVAILABLE | | | |
| 29 | 11 | HARDWICK | DRIVE | MUDGEES |
| 28 | 9 | HARDWICK | DRIVE | MUDGEES |
| 27 | 7 | HARDWICK | DRIVE | MUDGEES |
| 26 | 5 | HARDWICK | DRIVE | MUDGEES |
| 25 | 3 | HARDWICK | DRIVE | MUDGEES |
| 24 | ADDRESS NOT AVAILABLE | | | |

Surveyor's Reference: H682MU

PLAN FORM 6A (2012)

WARNING: Creasing or folding will lead to rejection

DEPOSITED PLAN ADMINISTRATION SHEET Sheet 3 of 3 sheet(s)

Office Use Only e Use Only
 Registered:  11.12.2013

DP1191367

PLAN OF
**SUBDIVISION OF LOT 2 IN DP 1169143 &
 LOT 31 IN DP 1169418**

- This sheet is for the provision of the following information as required:
- A schedule of lots and addresses - See 60(c) SSI Regulation 2012
 - Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
 - Signatures and seals- see 195D Conveyancing Act 1919
 - Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

Subdivision Certificate number: 020/2014
 Date of Endorsement: 10-October-2013

Signed for and on behalf of Resiland Pty Limited by its authorised officers pursuant to Section 127 of the Corporations Act 2001 (ACN 086161873)



.....
 Hugh Gordon Bateman, Director



.....
 Peter John Portelli, Secretary

Signed for and on behalf of Deleki Pty Limited by its authorised officers pursuant to Section 127 of the Corporations Act 2001 ACN 001 816 057



.....
 Barry Hilton Swords, Director



.....
 Peter John Portelli, Secretary

| LOT | NUMBER | STREET NAME | STREET TYPE | LOCATLITY |
|-----|-----------------------|-------------|-------------|-----------|
| 23 | 20 | RIFLE RANGE | ROAD | MUDGEES |
| 22 | 22 | RIFLE RANGE | ROAD | MUDGEES |
| 21 | 24 | RIFLE RANGE | ROAD | MUDGEES |
| 20 | 26 | RIFLE RANGE | ROAD | MUDGEES |
| 19 | ADDRESS NOT AVAILABLE | | | |
| 32 | 4 | FAUCETT | DRIVE | MUDGEES |
| 31 | 6 | FAUCETT | DRIVE | MUDGEES |
| 34 | 12 | FAUCETT | DRIVE | MUDGEES |
| 46 | 14 | FAUCETT | DRIVE | MUDGEES |

If space is insufficient use additional annexure sheet

Surveyor's Reference: H682MU



NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 20/1191367

| SEARCH DATE | TIME | EDITION NO | DATE |
|-------------|---------|------------|----------|
| 28/11/2023 | 7:00 PM | 3 | 8/9/2018 |

LAND

LOT 20 IN DEPOSITED PLAN 1191367
 AT MUDGEE
 LOCAL GOVERNMENT AREA MID-WESTERN REGIONAL
 PARISH OF MUDGEE COUNTY OF WELLINGTON
 TITLE DIAGRAM DP1191367

FIRST SCHEDULE

JACQUELINE ANN DONALDSON (T AK87604)
 SECOND SCHEDULE (9 NOTIFICATIONS)

- 1 LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
- 2 DP1115025 EASEMENT TO DRAIN WATER 3 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 3 DP1169143 EASEMENT TO DRAIN SEWAGE 3 METRE(S), 25 METRE(S) WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 4 DP1191367 EASEMENT TO DRAIN SEWAGE 3 METRE(S) WIDE AND VARIABLE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 5 DP1191367 EASEMENT TO DRAIN WATER 3 METRE(S) WIDE AND VARIABLE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 6 DP1191367 EASEMENT TO DRAIN WATER 3 METRE(S) WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 7 DP1191367 RESTRICTION(S) ON THE USE OF LAND REFERRED TO AND NUMBERED (3) IN THE S.88B INSTRUMENT
- 8 DP1191367 RESTRICTION(S) ON THE USE OF LAND REFERRED TO AND NUMBERED (4) IN THE S.88B INSTRUMENT
- 9 AK87605 MORTGAGE TO WESTPAC BANKING CORPORATION

NOTATIONS

UNREGISTERED DEALINGS: NIL
 *** END OF SEARCH ***

Barnson Pty Ltd (Mudgee) PRINTED ON 28/11/2023

* Any entries preceded by an asterisk do not appear on the current edition of the Certificate of Title.
 Warning: the information appearing under notations has not been formally recorded in the Register.
 DYE & DURHAM TERRAIN PTY LTD - hereby certifies that the information contained in this document has been provided electronically by the Registrar General in accordance with section 96B(2) of the Real Property Act 1900.
 Note: Information contained in this document is provided by DYE & DURHAM TERRAIN PTY LTD (ABN 35 164 894 517), <https://dyedurhamterrain.com/> an approved NSW Information Broker
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Instrument setting out terms of Easements or Profits a Prendre intended to be created or released and of Restrictions on the Use of Land or Positive Covenants intended to be created pursuant to Section 88B Conveyancing Act 1919.

(Sheet 1 of 7 sheets)



DP1191367 B

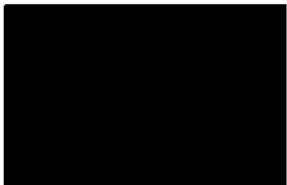
Plan of Subdivision of Lot 2 DP1169143 and Lot 31 DP1169418 Parish of Mudgee County of Wellington covered by Subdivision Certificate No 020/2014 on 10 OCTOBER 2013

Full name and address of the owner of the land:

Resiland Pty Limited ACN 086 161 873
 having its registered office at
 79 Market Street
 MUDGEE NSW 2850
 And
Deleki Pty Limited ACN 001 816 057
 having its registered office at
 79 Market Street
 MUDGEE NSW 2850

Part 1 (Creation)

| Number of item shown in the intention panel on the plan | Identity of easement, profit a prendre, restriction or positive covenant to be created and referred to in the plan | Burdened lot(s) or parcel(s) | Benefited lot(s), road(s), bodies or Prescribed Authorities |
|---|--|---------------------------------|---|
| 1 | Easement to Drain Sewage 3 Wide & Variable Width | Lots 19 to 34 and Lots 43 to 45 | Mid-Western Regional Council ABN 96 149 391 332 |
| 2 | Easement to Drain Water 3 Wide & Variable Width | Lot 19 | Lots 20 to 23 |
| | | Lot 20 | Lots 21 to 23 |
| | | Lot 21 | Lots 22 to 23 |
| | | Lot 22 | Lot 23 |
| | | Lot 35 | Lots 36 to 38 |
| | | Lot 36 | Lots 37 to 38 |
| | | Lot 37 | Lot 38 |
| | | Lot 39 | Lots 40 to 42 |
| | | Lot 40 | Lots 41 to 42 |
| | | Lot 41 | Lot 42 |
| | | Lot 43 | Lots 44 to 45 |
| | | Lot 44 | Lot 45 |



Instrument setting out terms of Easements or Profits a Prendre intended to be created or released and of Restrictions on the Use of Land or Positive Covenants intended to be created pursuant to Section 88B Conveyancing Act 1919.

(Sheet 2 of 7 sheets)

DP1191367

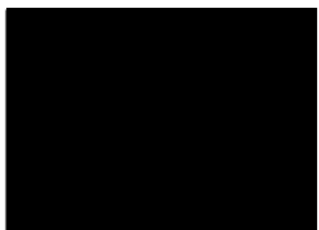
Plan of Subdivision of Lot 2 DP1169143 and Lot 31 DP1169418 Parish of Mudgee County of Wellington covered by Subdivision Certificate No 020/2014 on 10 OCTOBER 2013

| | | | |
|---|---|---|-------------------------------------|
| 3 | Restrictions on the Use of Land | All Lots | All other Lots |
| 4 | Restriction on the Use of Land | Lots 20 to 22, Lots 26 to 29, Lots 31 and 32, Lots 35 to 44 | All other Lots |
| 5 | Easement for Multi-Purpose Electrical Installation 4.2 wide | Lot 30 | Essential Energy ABN 37 428 185 226 |

Part 2

1. **Terms of Restrictions on the Use of Land thirdly referred to in abovementioned plan**

- (a) For the benefit of any adjoining land owned by Resiland Pty Limited and Deleki Pty Limited but only during the ownership thereof by Resiland Pty Limited and Deleki Pty Limited their respective successors and assigns other than purchasers on sale no fence shall be erected on the boundaries of any of the Lots burdened to divide the same from any adjoining land owned by Resiland Pty Limited and Deleki Pty Limited their respective successors and assigns other than purchasers on sale without the consent of Resiland Pty Limited and Deleki Pty Limited their respective successors and assigns other than purchasers on sale but such consent shall not be withheld if such fence is erected without expense to Resiland Pty Limited and Deleki Pty Limited their successors and assigns other than purchasers on sale and in favour of any person dealing with the transferor of any such Lot such consent shall be deemed to have been given in respect of every fence for the time being erected.



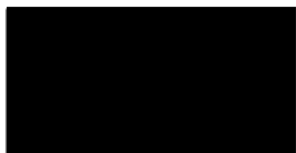
Instrument setting out terms of Easements or Profits a Prendre intended to be created or released and of Restrictions on the Use of Land or Positive Covenants intended to be created pursuant to Section 88B Conveyancing Act 1919.

(Sheet 3 of 7 sheets)

DP1191367

Plan of Subdivision of Lot 2 DP1169143
and Lot 31 DP1169418 Parish of Mudgee
County of Wellington covered by
Subdivision Certificate No 020/2014
on 10 OCTOBER 2013

- (b) No main building shall be erected on the land burdened other than a main building comprising a one storey dwelling house suitable for the occupation of one family provided that nothing in this restriction shall preclude the erection of a split level main building provided further that nothing in this restriction will preclude the erection of more than one dwelling on Lots 19, 23, 24, 25, 30, 33, 34 and 45.
- (c) No building shall be erected or permitted to remain erected on any Lot burdened with external wall or walls other than brick stone natural timber Hebel panel or similar composite product or glass or any combination thereof provided that ten (10) percentum of the total external wall area may be of a material other than that stipulated herein but nothing in this restriction contained shall preclude or prohibit a building being erected or permitted to remain erected on any Lot burdened which is:
- (i) a building having an inner framework of its external walls constructed of timber or other materials with an external brick stone natural timber Hebel panel or similar composite product glass or rendered face;
 - (ii) a garden shed having a floor area no greater than 16 square metres of materials other than as stipulated herein or
 - (iii) a garage:
 - (a) the height of the vertical walls of which do not exceed 2.4 metres; and
 - (b) the wall or walls of which facing towards any street are constructed of similar materials to those materials used in the external walls of any main building erected upon the Lot burdened; and
 - (c) the roof of which has a minimum pitch of 20 degrees.



Instrument setting out terms of Easements or Profits a Prendre intended to be created or released and of Restrictions on the Use of Land or Positive Covenants intended to be created pursuant to Section 88B Conveyancing Act 1919.

(Sheet 4 of 7 sheets)

DP1191367

Plan of Subdivision of Lot 2 DP1169143
and Lot 31 DP1169418 Parish of Mudgee
County of Wellington covered by
Subdivision Certificate No 020/2014
on 10 OCTOBER 2013

- (iv) a gazebo, pergola, swimming pool or tennis court.
- (v) a shed that is constructed behind the main building erected on the Lot burdened and which is not visible from the street on to which the Lot burdened fronts.
- (d) No main building shall be erected or permitted to remain erected on any Lot burdened with a roof having a pitch of less than 20 degrees and which is constructed of a material other than slate terracotta tiles or concrete tiles or of metal sheeting which at the point of manufacture has had its upper surface pre-coloured by a bonded colouring process.
- (e) No main building shall be erected or permitted to remain erected on any Lot burdened unless it has a minimum internal floor area of 160 square metres (excluding any garage carport patio balcony or covered walkways) provided that in respect of lots 19, 23, 24, 25, 30, 33, 34 and 45 if dual occupancy dwellings are erected on those lots then the total of the internal floor areas of the dual occupancy dwellings taken together must be 160 square metres or greater.
- (f) No fence of any kind shall be erected on any street frontage of any Lot burdened and no fence shall be erected on any Lot burdened between the street frontage and the minimum building alignment nominated from time to time by Mid-Western Regional Council unless such fence also forms part of the rear fence of any adjoining property.
- (g) No existing building shall be partly or wholly moved to, placed upon, re-erected upon, or reconstructed on any Lot burdened.

The person who is entitled to release vary or modify these Restrictions on the Use of Land or any of them is Resiland Pty Limited and Deleki Pty Limited but only whilstever they are or either of them is the registered proprietor of any land in the subdivision or any part thereof.



Instrument setting out terms of Easements or Profits a Prendre intended to be created or released and of Restrictions on the Use of Land or Positive Covenants intended to be created pursuant to Section 88B Conveyancing Act 1919.

(Sheet 5 of 7 sheets)

DP1191367

Plan of Subdivision of Lot 2 DP1169143 and Lot 31 DP1169418 Parish of Mudgee County of Wellington covered by Subdivision Certificate No 020/2014 on 10 OCTOBER 2013

2. **Terms of Restriction on the Use of Land fourthly referred to in abovementioned plan**

No main building shall be erected on the land burdened other than a main building comprising a one storey dwelling house suitable for the occupation of one family provided that nothing in this restriction shall preclude the erection of a split level main building and not more than one main building will be erected on the land burdened.

The person who is entitled to release vary or modify this Restriction on the Use of Land is Resiland Pty Limited and Deleki Pty Limited but only whilstever they are or either of them is the registered proprietor of any land in the subdivision or any part thereof.

3. **Terms of Easement for Multi-Purpose Electrical Installation 4.2 wide fifthly referred to in abovementioned plan**

Terms of Easement for Multi-Purpose Electrical Installation 4.2 wide are the terms set out in Part C of Memorandum AG189384 as registered at Land and Property Information as are applicable to a padmounted substation.

SIGNED for and on behalf of **RESILAND**)
PTY LIMITED by its authorised)
officers whose signatures appear below:)

ACN 086161873



Hugh Gordon Bateman
Director



Peter John Portelli
Director/Secretary



Instrument setting out terms of Easements or Profits a Prendre intended to be created or released and of Restrictions on the Use of Land or Positive Covenants intended to be created pursuant to Section 88B Conveyancing Act 1919.

(Sheet 6 of 7 sheets)

DP1191367

Plan of Subdivision of Lot 2 DP1169143 and Lot 31 DP1169418 Parish of Mudgee County of Wellington covered by Subdivision Certificate No 020/2014 on 10 OCTOBER 2013

SIGNED for and on behalf of **DELEKI PTY LIMITED** by its authorised officers whose signatures appear below:

ACN 001 816 057



~~Robert Bede Swords~~ *Barry Hilton*
Director *Swords*

Peter John Portelli
~~Director~~/Secretary

SIGNED for and on behalf of **MID-WESTERN REGIONAL COUNCIL** by its authorised Officer



Signature of Authorised Officer



Name of Authorised Officer

MANAGER STATUTORY
Office held *PLANNING.*



Instrument setting out terms of Easements or Profits a Prendre intended to be created or released and of Restrictions on the Use of Land or Positive Covenants intended to be created pursuant to Section 88B Conveyancing Act 1919.

(Sheet 7 of 7 sheets)

DP1191367

Plan of Subdivision of Lot 2 DP1169143 and Lot 31 DP1169418 Parish of Mudgee County of Wellington covered by Subdivision Certificate No 020/2014 on 10 OCTOBER 2013

EXECUTED BY ESSENTIAL ENERGY)
by its duly appointed attorney under)
Power of Attorney Book 4641 No 640)
in the presence of :)



.....
Signature of Attorney

PETER BERICUA
GENERAL MANAGER
NETWORK OPERATIONS
ESSENTIAL ENERGY

.....
Name and title of Attorney



.....
Signature of witness
MICHELLE AKININ
DIVISIONAL ASSISTANT
ESSENTIAL ENERGY



.....
Signature of Attorney

KEN STONESTREET
CHIEF ENGINEER
ESSENTIAL ENERGY

.....
Name and title of Attorney

.....
Name of witness

REGISTERED  11.12.2013



APPENDIX B
AHIMS Search

Barnson

Date: 05 March 2024

Suite 6 11 White Street
Tamworth New South Wales 2340

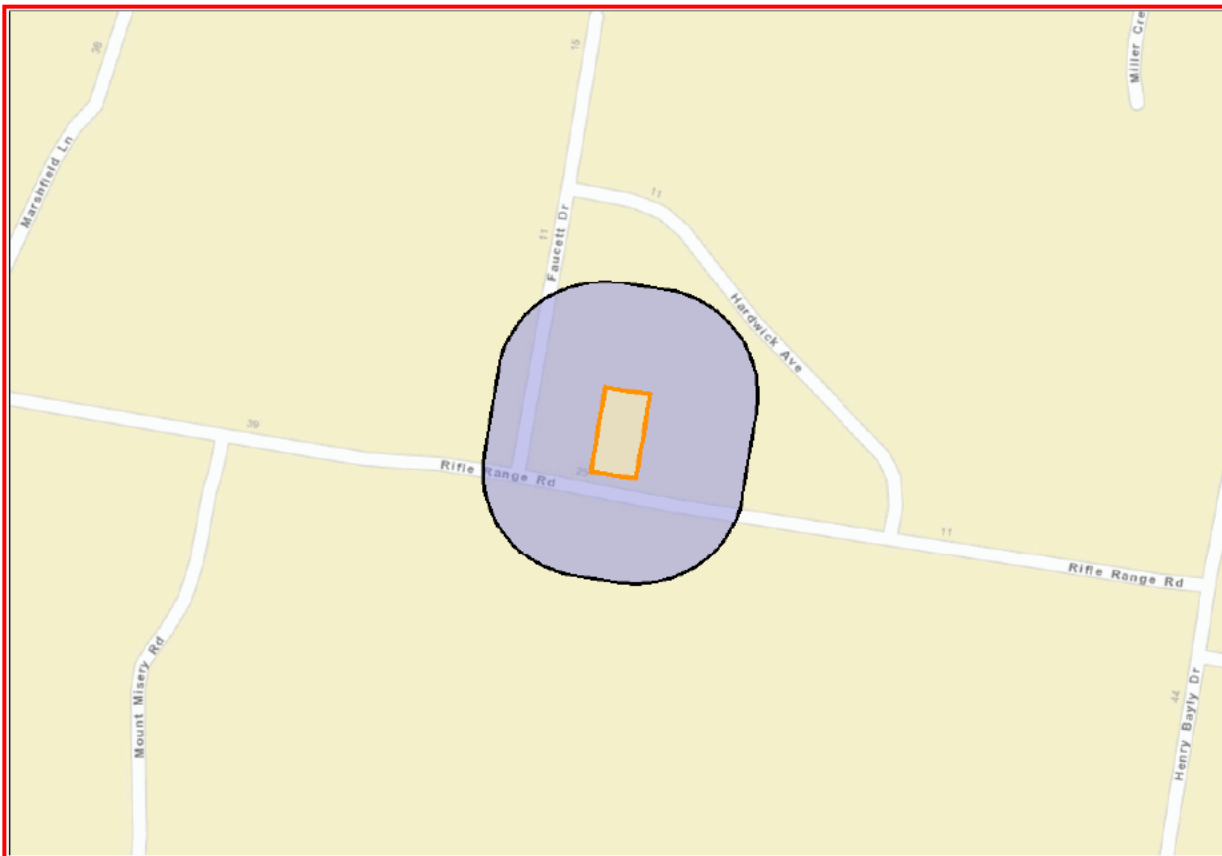
Attention: Jack Massey

Email: jmassey@barnson.com.au

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 20, DP:DP1191367, Section : - with a Buffer of 50 meters, conducted by Jack Massey on 05 March 2024.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

| | |
|---|---|
| 0 | Aboriginal sites are recorded in or near the above location. |
| 0 | Aboriginal places have been declared in or near the above location. * |

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not to be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.

APPENDIX C

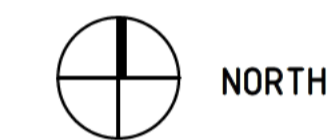
Original Development Plans



PROPOSED AREA OF WORKS
26 RIFLE RANGE ROAD, MUDGEE
LOT 20 - DP 1191367



01 LOCALITY PLAN
NOT TO SCALE



GENERAL NOTES:

1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL & OTHER CONSULTANTS DRAWINGS & SPECIFICATIONS & WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO 'BARNSON PTY LTD' FOR A DECISION BEFORE PROCEEDING WITH THE WORK
2. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS UNLESS OTHERWISE STATED. ALL DIMENSIONS ARE NOMINAL I.E. DIMENSIONS ARE TO STRUCTURAL ELEMENTS AND DO NOT INCLUDE FINISHED SURFACES SUCH AS PLASTERBOARD, TILING ETC. ALL DIMENSIONS RELEVANT TO SETTING OUT & OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION & FABRICATION.
3. WORKMANSHIP & MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A CODES INCLUDING ALL AMENDMENTS, THE 'BUILDING CODE OF AUSTRALIA - VOLUME 2, 2014'; POLICY REQUIREMENTS OF 'MID WESTERN REGIONAL SHIRE COUNCIL';
4. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE & LEVELS ARE EXPRESSED IN METRES.
5. ALL LEVELS, DIMENSIONS, SITE CONDITIONS & SERVICES, TO BE CHECKED & CONFIRMED ON SITE & WITH RELEVANT SERVICE AUTHORITIES, PRIOR TO CONSTRUCTION.
6. THE RELEVANT STATUTORY AUTHORITIES SHALL BE NOTIFIED IN ADVANCE & THEIR APPROVALS OR SERVICES, IF NECESSARY SHALL BE OBTAINED.

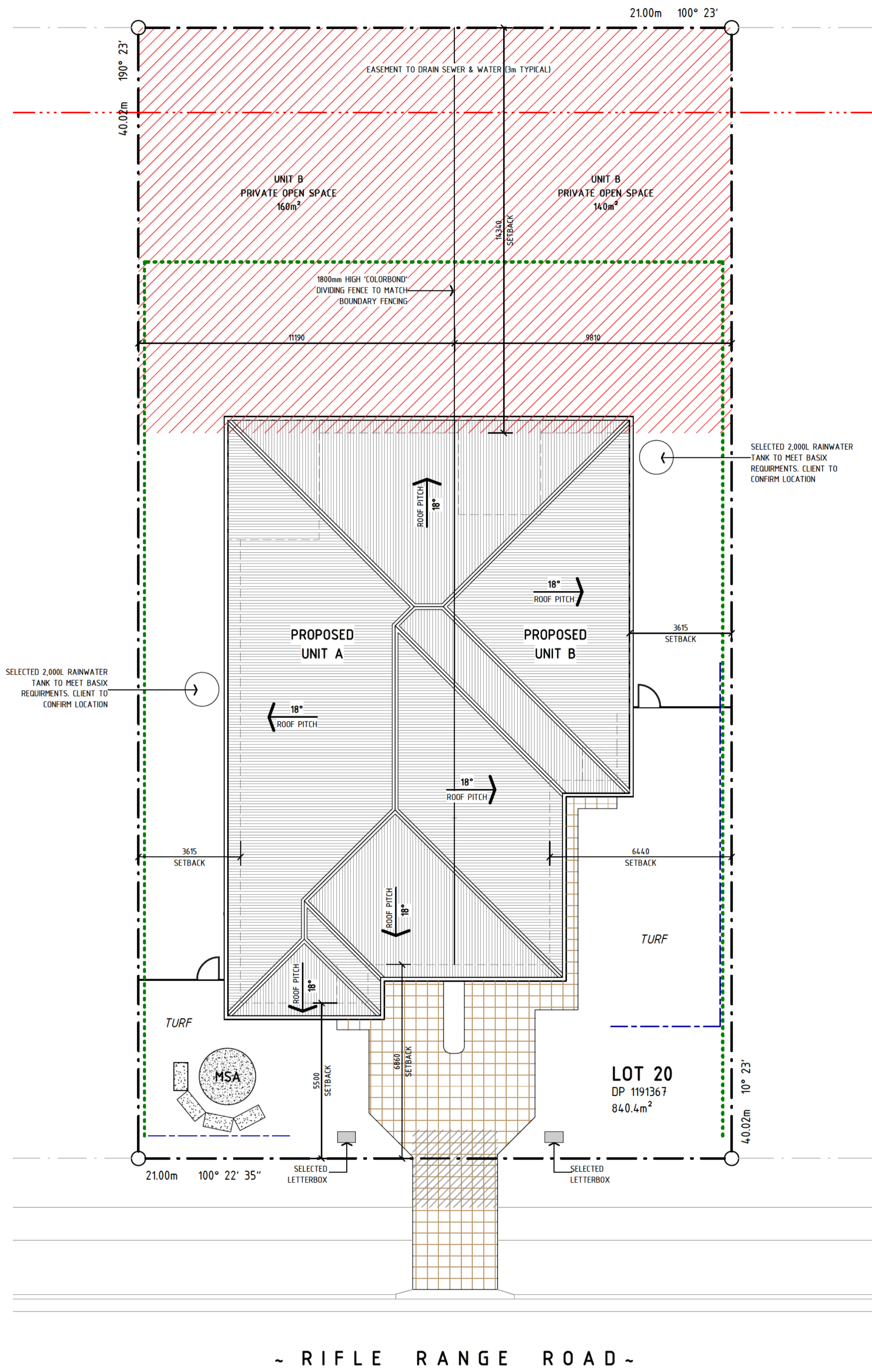
CONSTRUCTION NOTES:

1. ALL INTERNAL WALLS U.N.O TO BE 70mm TIMBER STUD FRAMED LINED WITH 10mm 'GYPROCK - PLASTERBOARD CD' INTERNALLY & 10mm 'GYPROCK - AQUACHEK PLASTERBOARD' TO WET AREAS.
2. WET AREAS OF THE BUILDING I.E. NEW BATHROOMS ARE TO BE PROTECTED BY THE INSTALLATION OF A WATER PROOFING SYSTEM COMPLYING WITH AS3740 - "WATERPROOFING OF WET AREAS".
3. WALL FRAME BRACING, ROOF BRACING, & ALL 'TIE DOWN' FIXING DETAILS TO BE AS SPECIFIED & DETAILED BY TRUSS/FRAME MANUFACTURER.
4. ROOF WATER TO BE COLLECTED BY EAVES GUTTER & DISCHARGED TO DOWNPIPES THRU SUBSOIL PVC PIPES TO TANKS POSITIONED BY CLIENT, OVERFLOW TO BE DETERMINED ON SITE.
5. WATER TEMPERATURE TO ALL OUTLETS (EXCEPT LAUNDRY & KITCHEN) NOT TO EXCEED 50°C.
6. THE BUILDING IS TO BE PROTECTED AGAINST SUBTERRANEAN TERMITES, IN ACCORDANCE WITH 'AS. 3660'. A DURABLE NOTICE MUST BE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT POSITION SHOWING METHOD OF RISK MANAGEMENT, DATE OF INSTALLATION & INSTALLERS OR MANUFACTURER'S RECOMMENDATIONS FOR THE SCOPE & FREQUENCY OF FUTURE INSPECTIONS FOR TERMITE ACTIVITY.
7. ALL PLUMBING WORKS ARE TO BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA (PCA), THE NEW SOUTH WALES CODE OF PRACTICE FOR PLUMBING & DRAINAGE 2006 (NSW PLUMBING CODE) & AS/NZS3500.

DRAWINGS SCHEDULE

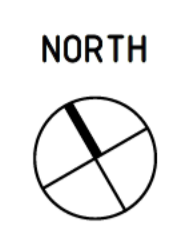
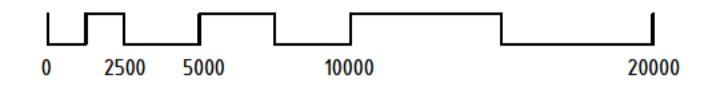
| | |
|-----------|--|
| 24587-A01 | 3D PERSPECTIVES, LOCALITY PLAN & NOTES |
| 24587-A02 | SAFE DESIGN OF STRUCTURES NOTES |
| 24587-A03 | SITE PLAN & EROSION CONTROL DETAILS |
| 24587-A04 | FLOOR LAYOUT, WINDOW & DOOR SCHEDULES |
| 24587-A05 | ELEVATIONS |
| 24587-A06 | SECTIONS |
| 24587-A07 | CONSTRUCTION DETAILS |
| 24587-A08 | SLAB SETOUT PLAN |

PROPOSED RESIDENCE | 26 RIFLE RANGE RD MUDGEE NSW



02 SITE LAYOUT

SCALE: 1:100 (A1) or 1:200 (A3)

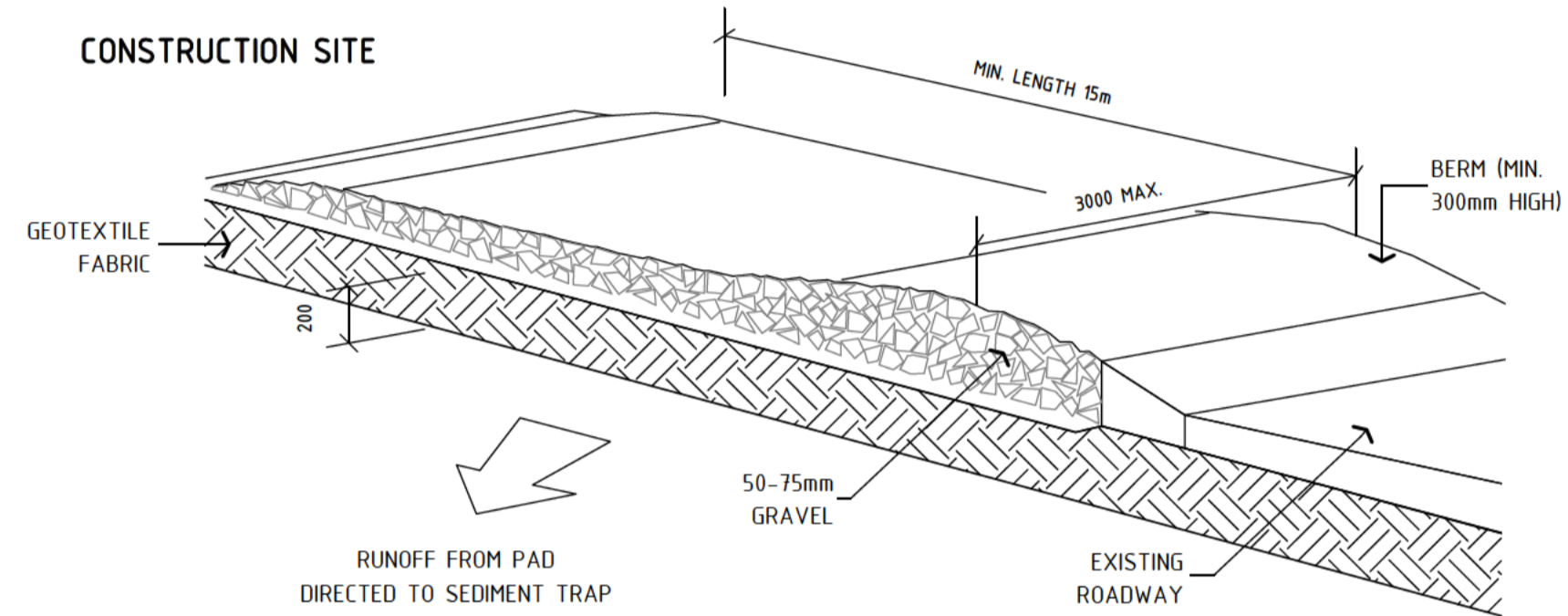


LEGEND:

- MATERIAL STOCKPILE AREA & STRAWBALE BARRIER
- DISTURBED AREA BOUNDARY
- SEDIMENT FENCE OR STRAWBALE FILTER
- TEMPORARY CONSTRUCTION ENTRY/EXIT
- NATURAL FALL OF LAND

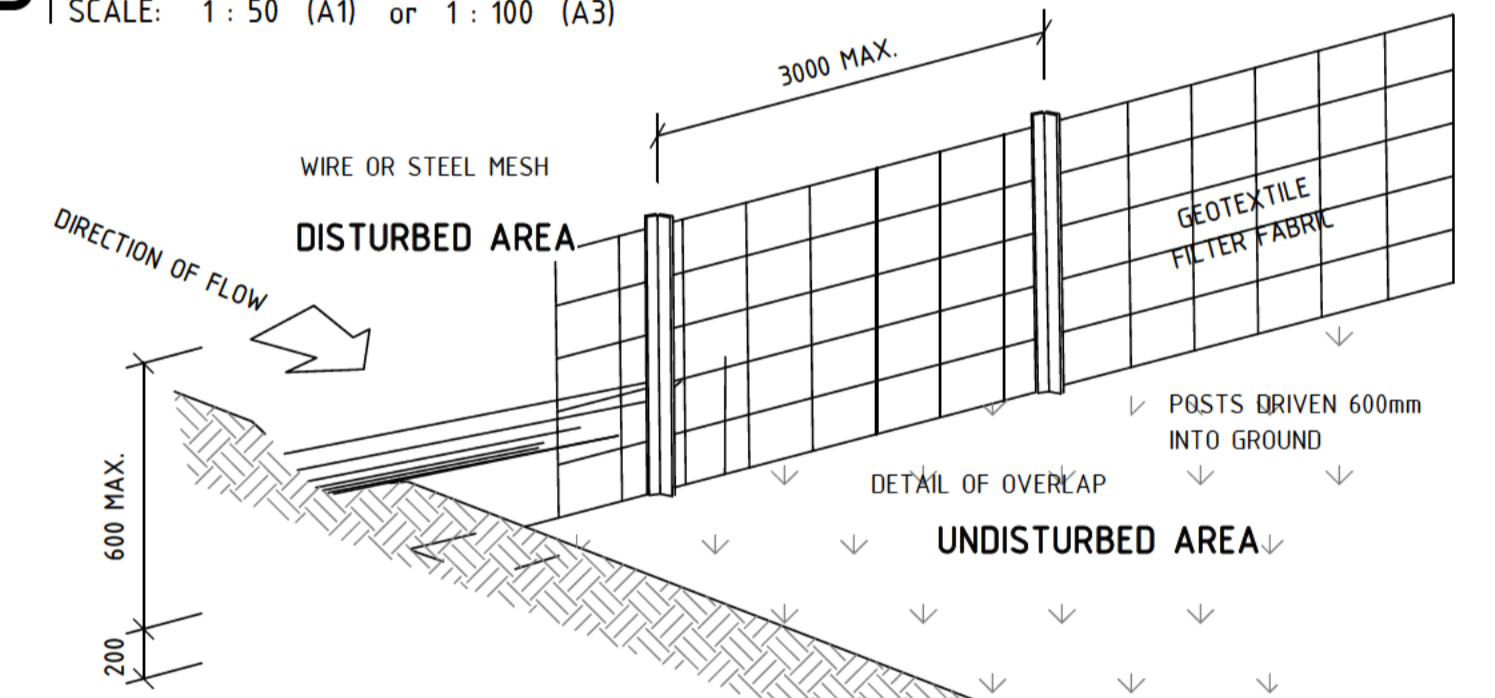
03 DETAIL PLAN: CONSTRUCTION EXIT

SCALE: 1:50 (A1) or 1:100 (A3)



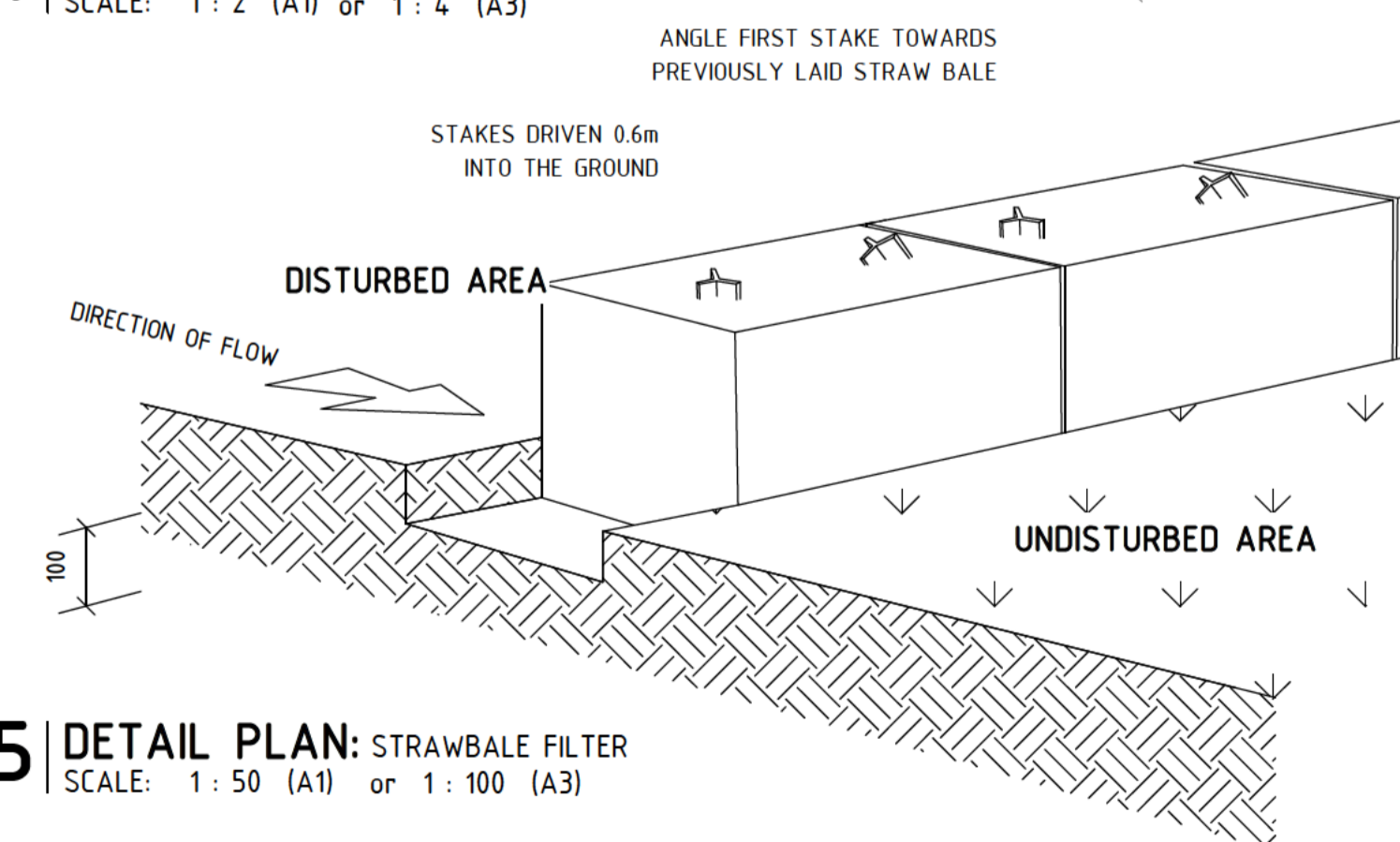
04 DETAIL PLAN: SEDIMENT FENCE

SCALE: 1:2 (A1) or 1:4 (A3)



05 DETAIL PLAN: STRAWBALE FILTER

SCALE: 1:50 (A1) or 1:100 (A3)



SITework NOTES:

1. THIS PLAN IS PREPARED FROM A COMBINATION OF FIELD SURVEY & EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND & SHOULD NOT BE USED FOR ANY OTHER PURPOSE. THE TITLE BOUNDARIES AS SHOWN HEREON WERE NOT MARKED AT THE TIME OF SURVEY & HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY & NOT BY FIELD SURVEY.
2. SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE SO LOCATED SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE & HAVE BEEN NOTED ACCORDINGLY ON THIS PLAN. WHERE SUCH RECORDS EITHER DO NOT EXIST OR ARE INADEQUATE A NOTATION HAS BEEN MADE HEREON.
3. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES & DETAILED LOCATIONS OF ALL SERVICES, INCLUDING:
 - NOTIFY A.G.L.
 - OBTAIN TELSTRA'S "DUTY OF CARE" DOCUMENT REGARDING WORKING IN THE VICINITY OF TELSTRA PLANT.
 - VERIFY CO-AXIAL/OPTIC FIBRE CABLE LOCATION
4. SUBSEQUENT REGISTERED OR OTHER SURVEYS IN THIS AREA MAY AFFECT THE BOUNDARY DEFINITION SHOWN ON THIS PLAN. ANY DIFFERENCES SO CAUSED TO THE BOUNDARY DEFINITION SHOWN ON THIS PLAN ARE BEYOND THE CONTROL OF BARNSON PTY LTD WHO CAN ACCEPT NO RESPONSIBILITY FOR SUCH DIFFERENCES.
5. ALL WORK TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS, THE SPECIFICATIONS & THE DIRECTIONS OF THE SUPERINTENDENT. CONTRACTORS MUST VERIFY ALL DIMENSIONS & EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK.
6. WHERE NEW WORKS ABOUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE FREE FROM ABRUPT CHANGES IS OBTAINED.
7. THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.
8. CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELSTRA OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.

EROSION & SEDIMENT CONTROL NOTES:

1. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY & SPREAD ON DISTURBED AREA.
2. THE PROJECT MANAGER IS TO INFORM ALL CONTRACTORS OF THEIR OBLIGATIONS UNDER THIS PLAN
3. TEMPORARY EROSION CONTROL MEASURES ARE SHOWN IN THIS PLAN.
4. VEGETATION IS NOT TO BE REMOVED FROM THE SITE UNTIL A START IS IMMINENT AND ONLY FOR THE AREA APPROVED BY COUNCIL FOR THE LOCATION OF THE BUILDING. VEGETATION IS NOT TO BE REMOVED UNTIL THE APPROVED EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE
5. DURING EXCAVATION, VEGETATION ABOVE AND BELOW THE CUT AND FILL AREAS IS TO BE RETAINED AS FAR AS PRACTICABLE TO STOP RUNOFF WATER COMING ONTO THE SITE AND INTO THE EXCAVATION AND TO PREVENT SOIL LEAVING THE SITE
6. ALL EXCESS MATERIAL IS TO BE REMOVED IMMEDIATELY AFTER EXCAVATION TO PREVENT BOGGING AND SOIL WASHING AWAY
7. STOCKPILES OF ERODIBLE BUILDING MATERIALS INCLUDING SAND & SOIL MUST BE LOCATED WITHIN THE DESIGNATED MATERIAL STOCKPILE AREA (MSA) & PROTECTED WITH SEDIMENT FENCE OR STRAW BALE SEDIMENT FILTERS. THE BUILDER MAY NOMINATE FURTHER STORAGE AREAS WITHIN THE SITE.
8. DRAINAGE CHANNELS ARE TO BE PROVIDED ABOVE EXCAVATION CUT AND BELOWS THE CUT BATTER TO MINIMISE WATER ENTERING THE EXCAVATION AND/OR BUILDING PAD
9. ONLY ONE ENTRY/EXIT IS TO BE PROVIDED TO EACH BUILDING SITE ENTRY/EXIT IS TO BE CONSTRUCTED OF A MIN DEPTH OF 150-200MM THICK BLUE METAL GRAVEL OR OTHER APPROVED COURSE MATERIAL, UNDERLAIN WITH A GEOTEXTILE FABRIC, TO PREVENT BOGGING
10. ALL MATERIALS DELIVERED TO THE SITE MUST BE LOCATED WITHIN THE SURVEYED BOUNDARIES OF THE ALLOTMENT. UNDER NO CIRCUMSTANCES WILL MATERIALS BE PERMITTED TO BE STORED ON THE FOOTPATH, ROADWAY OR AN ADJOINING LAND
11. ALL SEWER, WATER & DRAINAGE LINE TRENCHES ARE TO BE BACKFILLED WITHIN 24 HOURS OF INSPECTION & APPROVAL
12. ANY TRENCHES EXCAVATED ACROSS THE FOOTPATH FOR SERVICE PIPES ARE TO BE BACKFILLED IMMEDIATELY THE INSTALLATION IS COMPLETED AND PASSED AND APPROVED BY CERTIFIER. IF A TRENCH HAS TO BE RETAINED OPEN AFTER NIGHT FALL, THE EXCAVATION MUST BE SUITABLY BARRICADED AND LIT FOR THE PROTECTION OF ANY PASSING PUBLIC
13. SEDIMENT FENCES (OR OTHER APPROVED SOIL EROSION CONTROL MATERIALS) MUST BE PLACED BELOW THE EXCAVATED/DISTURBED SITE TO PREVENT SOIL MOVING OFF THE ALLOTMENT DURING PERIODS OF RAINFALL
14. SEDIMENT FENCES OR HAY BALES MUST BE PROVIDED AROUND THE PERIMETER OF ANY INTERALLOTMENT STORMWATER DRAINAGE PIT LOCATED ON THE SITE TO PREVENT SOIL BEING WASHED INTO THE DRAINAGE SYSTEM DURING PERIODS OF RAINFALL
15. A FILTER ROLL (OR APPROVED SOIL EROSION CONTROL MATERIALS) MUST BE PLACED IN FRONT OF OR OVER ANY STORMWATER INLET PIT LOCATED IN THE ADJOINING ROAD KERB TO THE DEVELOPMENT SITE, TO PREVENT ENTRY OF SEDIMENT INTO THE DRAINAGE SYSTEM DURING PERIODS OF RAINFALL
16. ALL EROSION & SEDIMENT CONTROL STRUCTURES ARE TO BE INSTALLED PRIOR TO SITE DISTURBANCE
17. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED & MAINTAINED BY THE BUILDER AT LEAST WEEKLY. IF STRUCTURES ARE TO BE REMOVED, THEY ARE TO BE REINSTALLED & INSPECTED BY THE BUILDER
18. DAMAGED CAUSED BY THE OWNER/APPLICANT OR THEIR AGENT DURING THE BUILDING OPERATIONS TO ANY DRAINAGE STRUCTURE OR SEDIMENTATION/STORMWATER CONTROL MEASURE PREVIOUSLY INSTALLED ON THE SUBJECT ALLOTMENT BY THE SUBDIVIDER, IS TO BE REPAIRED AT THE OWNERS/APPLICANTS FULL COST.



Offices Located
Dubbo, Mudgee, Parkes & Bathurst

Contact Us
t 1300 138 857
e generalenquiry@barnson.com.au
w www.barnson.com.au



Client: LYNCH BUILDING GROUP

Project:
PROPOSED DUPLEX AT
26 RIFLE RANGE ROAD,
MUDGEE, NSW, 2850

Drawing Title:
SITE PLAN & EROSION CONTROL
DETAILS

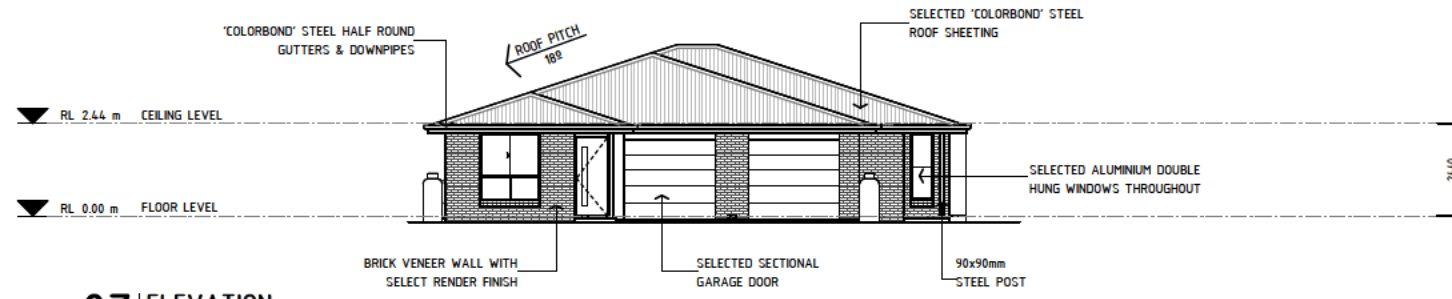
Design Drawn
Check QA
Drawing Sheet
A1 - Original size - Scales as noted
A3 - Minimization - Not to scale

| Rev | Date | Amendment |
|-----|------------|----------------------------|
| A | 10/02/2016 | ISSUED FOR CLIENT REVIEW |
| 0 | 16/02/2016 | ISSUED FOR CDC APPLICATION |

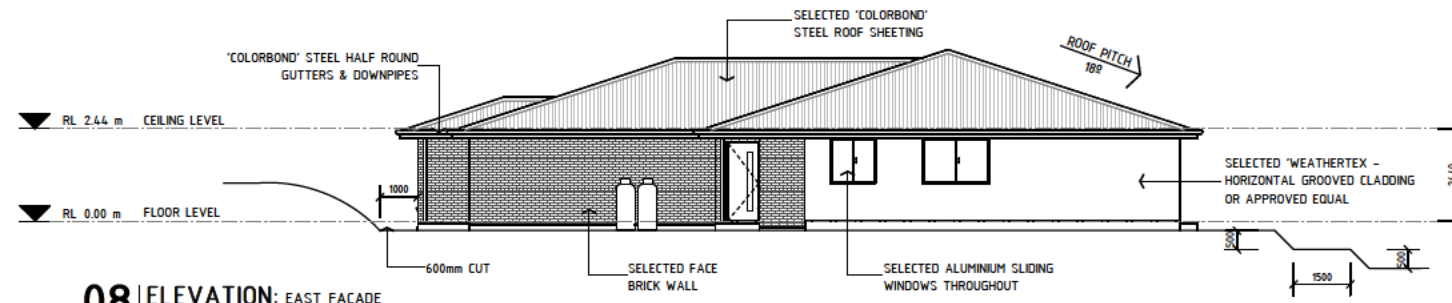
Drawing Status
ISSUED FOR CDC APPLICATION
Sheet 03 of 08
Drawing Number
24587 - A03

Revision
0

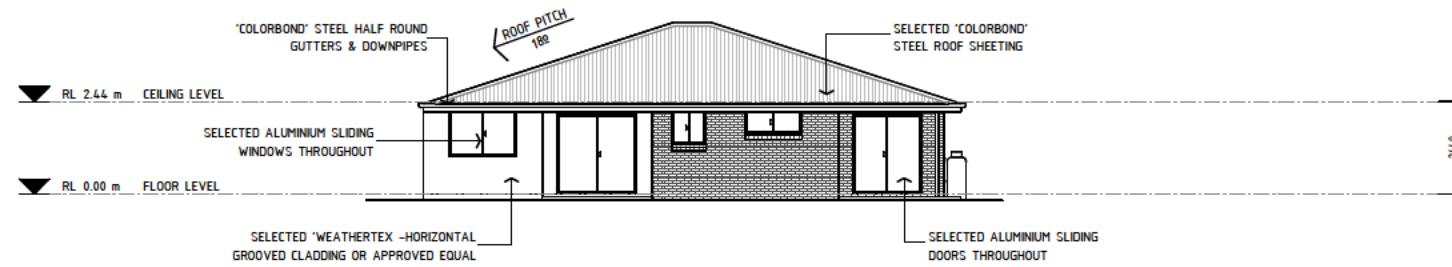
This drawing is to be read in conjunction with general building drawings, specifications and other consultant's drawings applicable to this project. All signed documents are to be checked prior to the commencement of work. Immediately notify Barnson Pty Ltd of any discrepancies. © Barnson Pty Ltd 2016. Confidential. Subject to the Barnson terms of engagement.



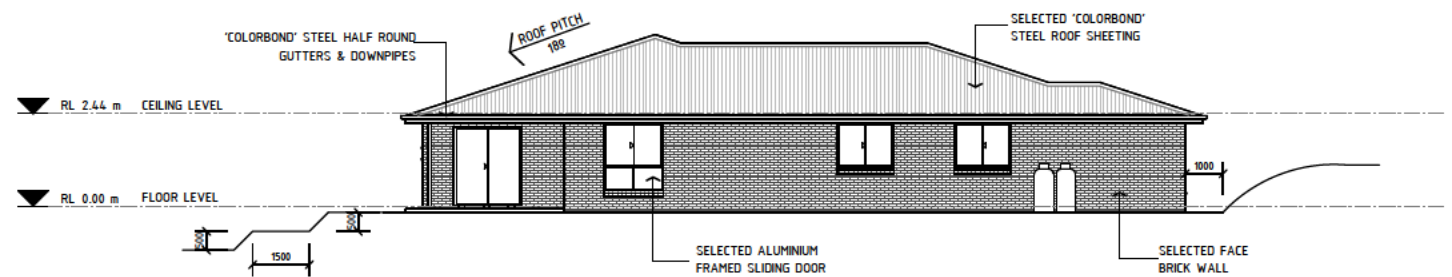
07 ELEVATION: SOUTH FACADE
SCALE: 1 : 100 (A1) 1 : 200 (A3)



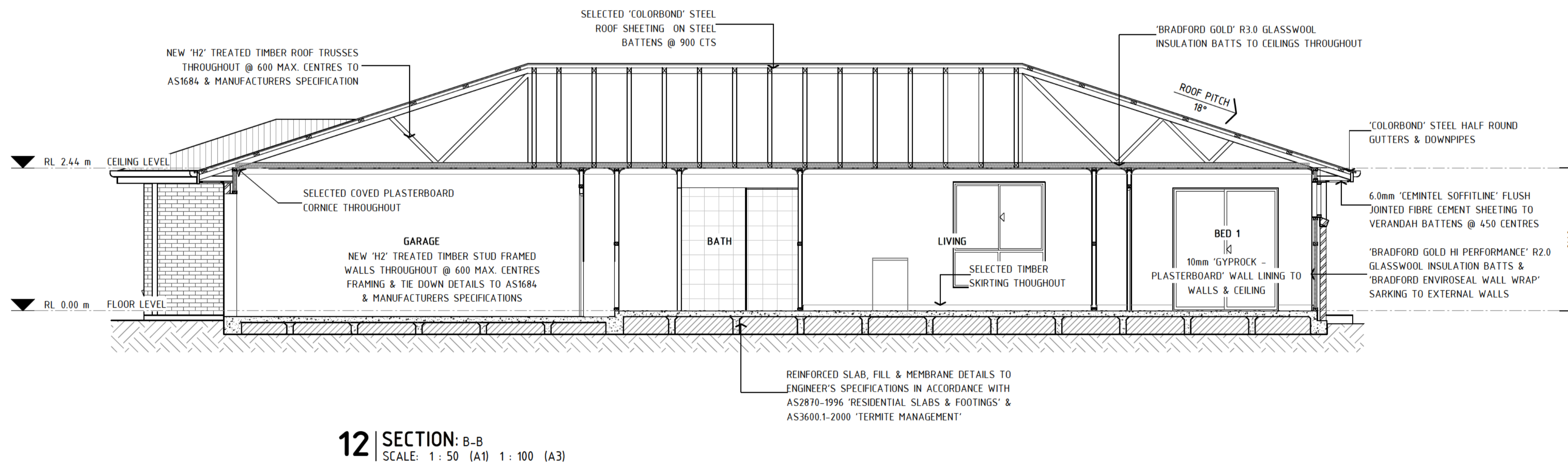
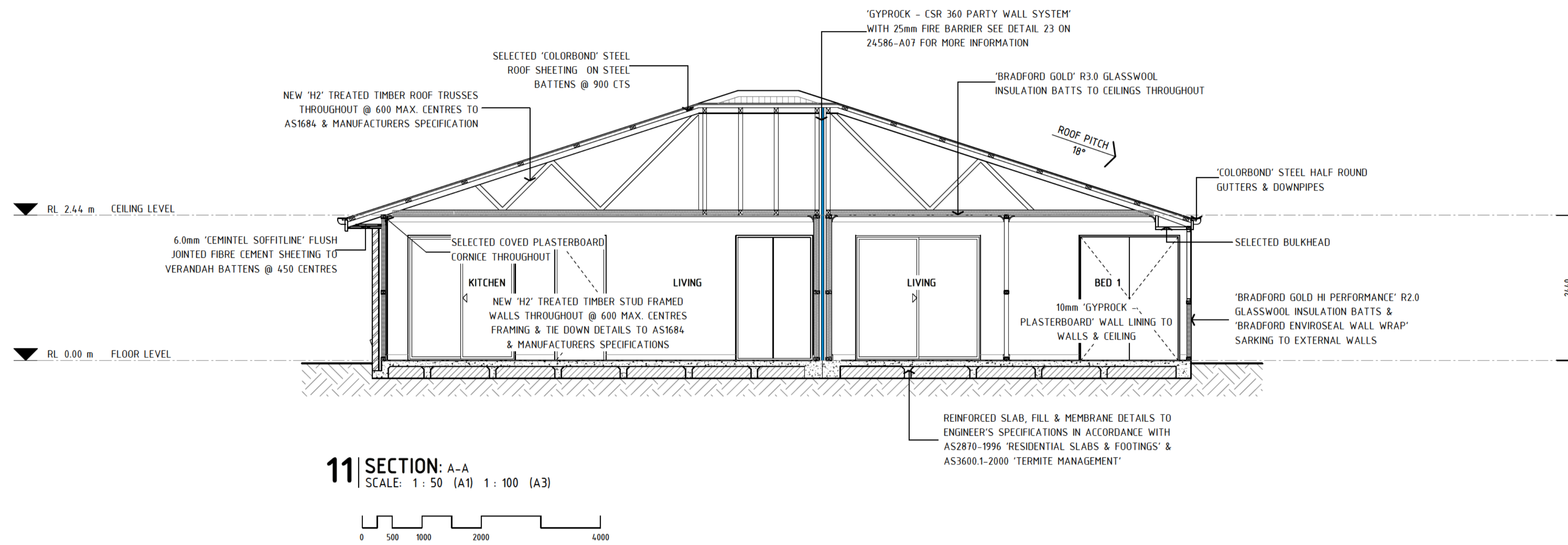
08 ELEVATION: EAST FACADE
SCALE: 1 : 100 (A1) 1 : 200 (A3)

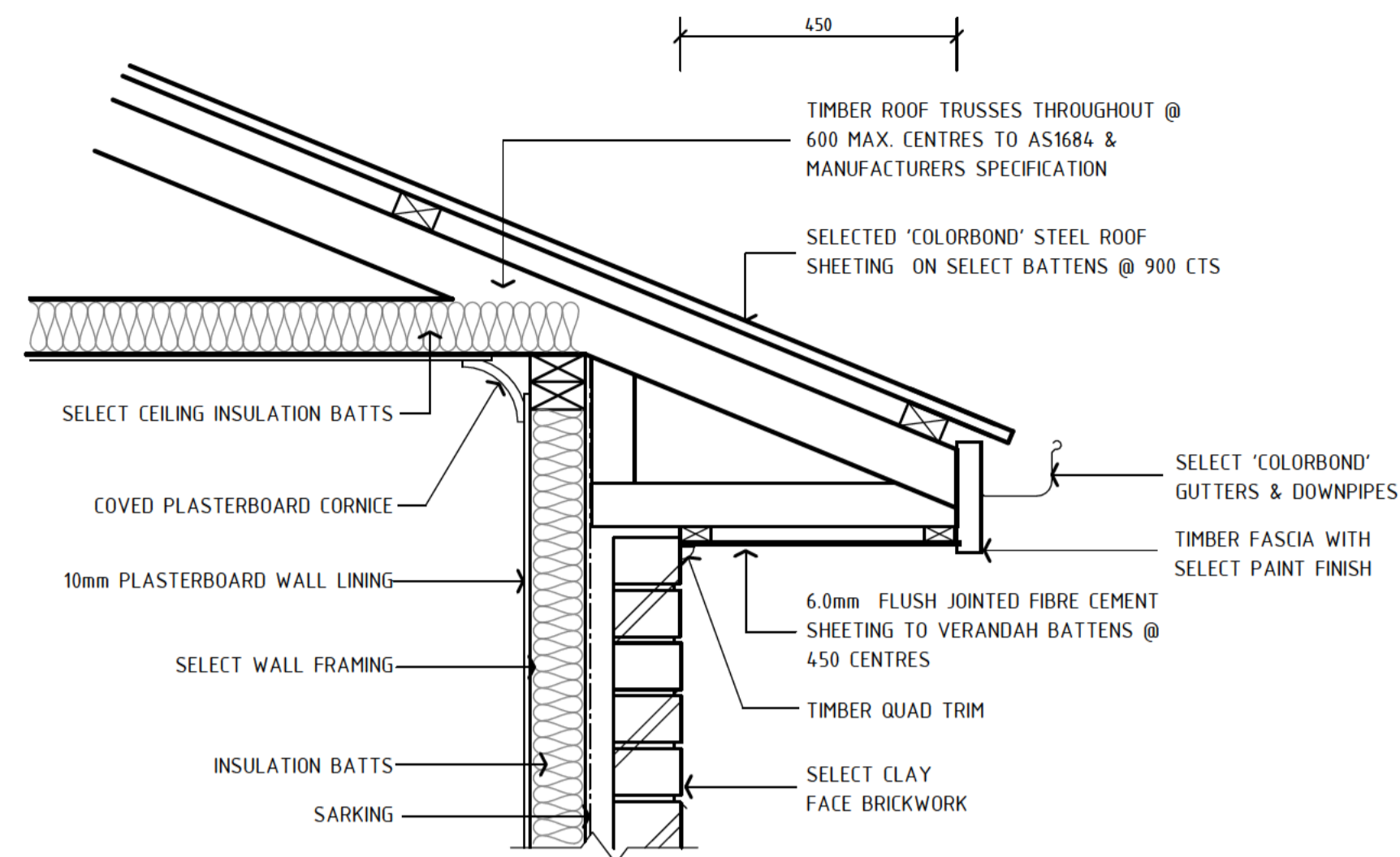


09 ELEVATION: NORTH FACADE
SCALE: 1 : 100 (A1) 1 : 200 (A3)

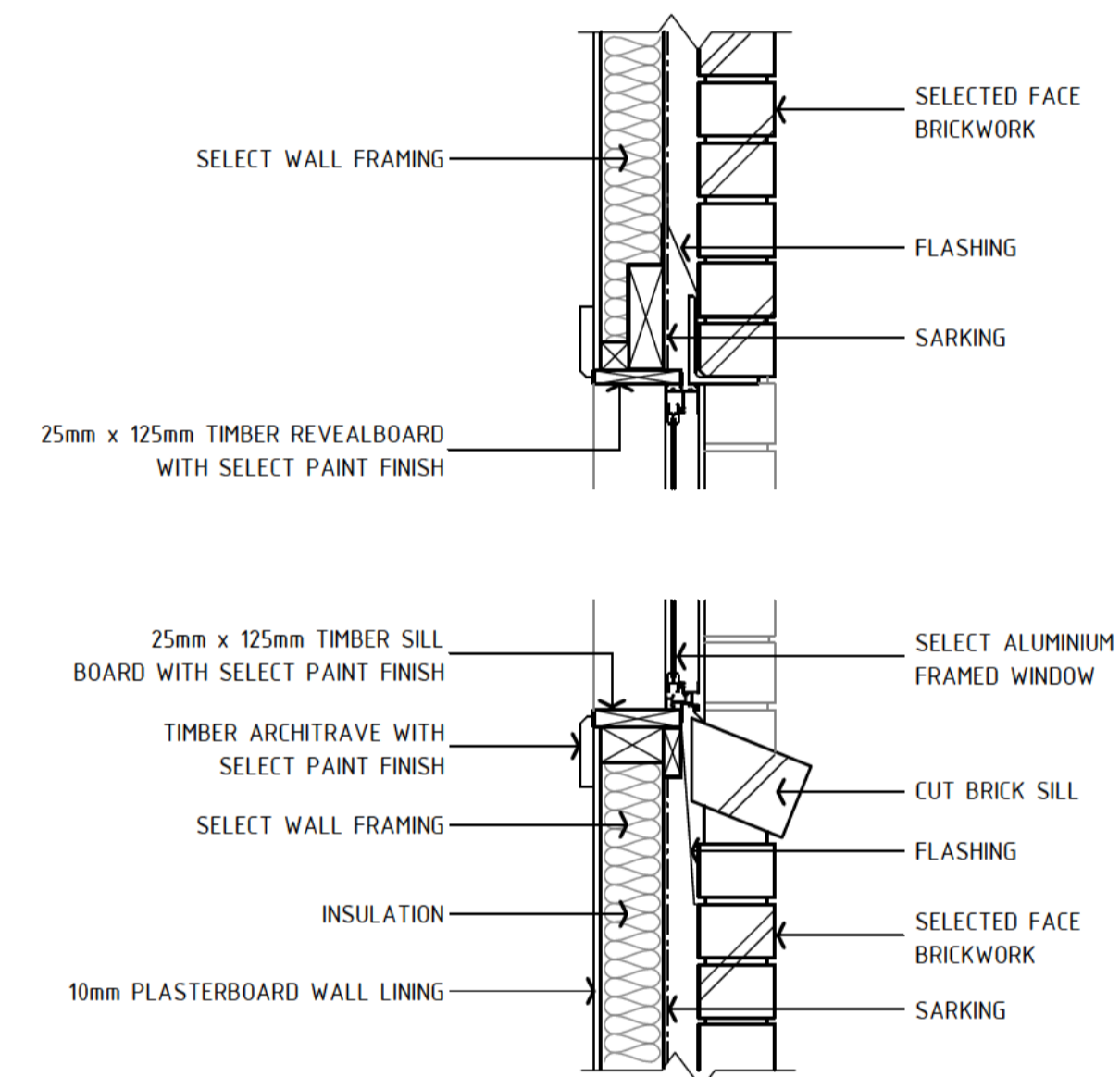


10 ELEVATION: WEST FACADE
SCALE: 1 : 100 (A1) 1 : 200 (A3)



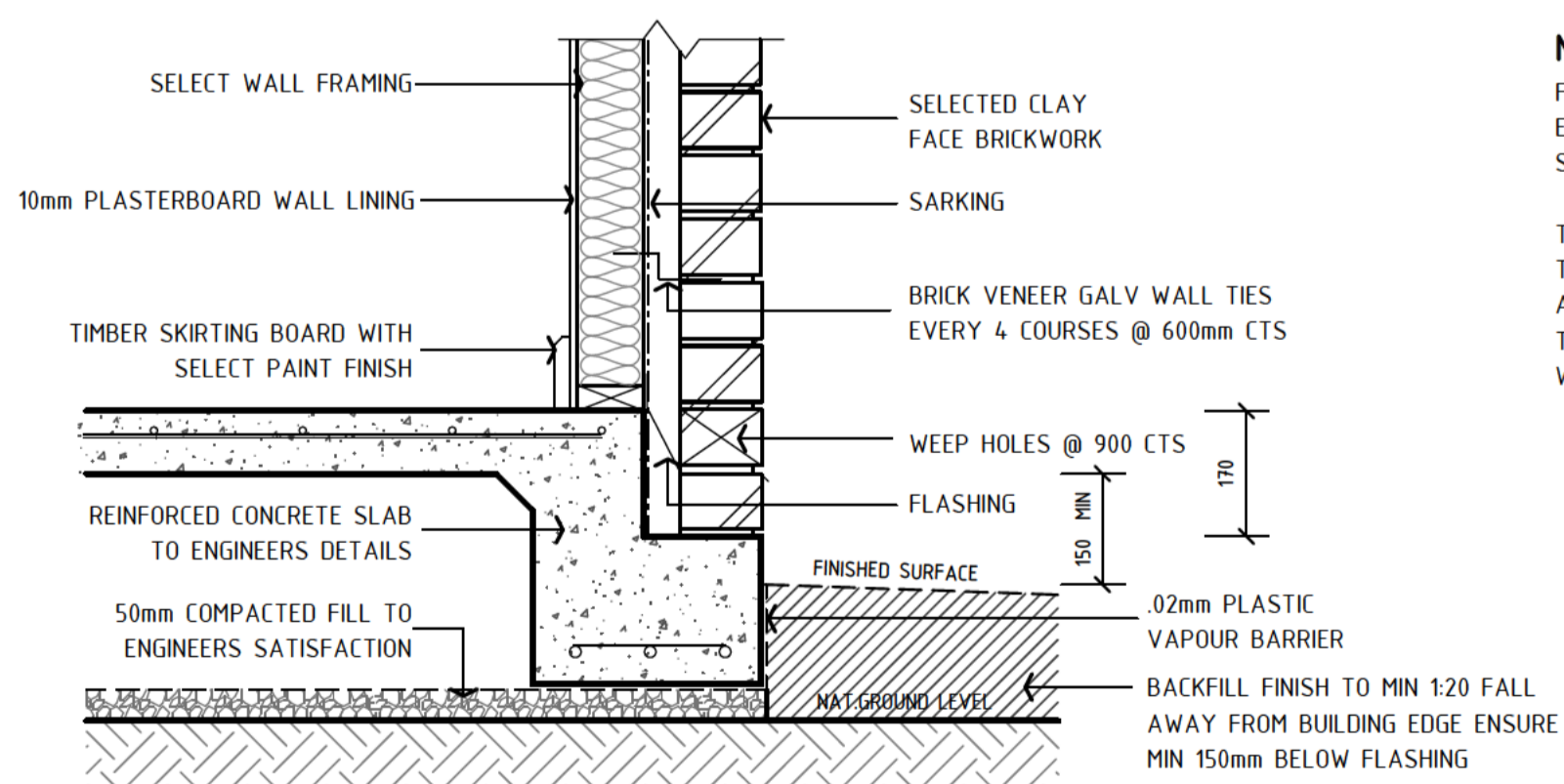


13 | BRICK - 450mm EAVE DETAIL
SCALE: 1 : 10 (A1) or 1 : 20 (A3)

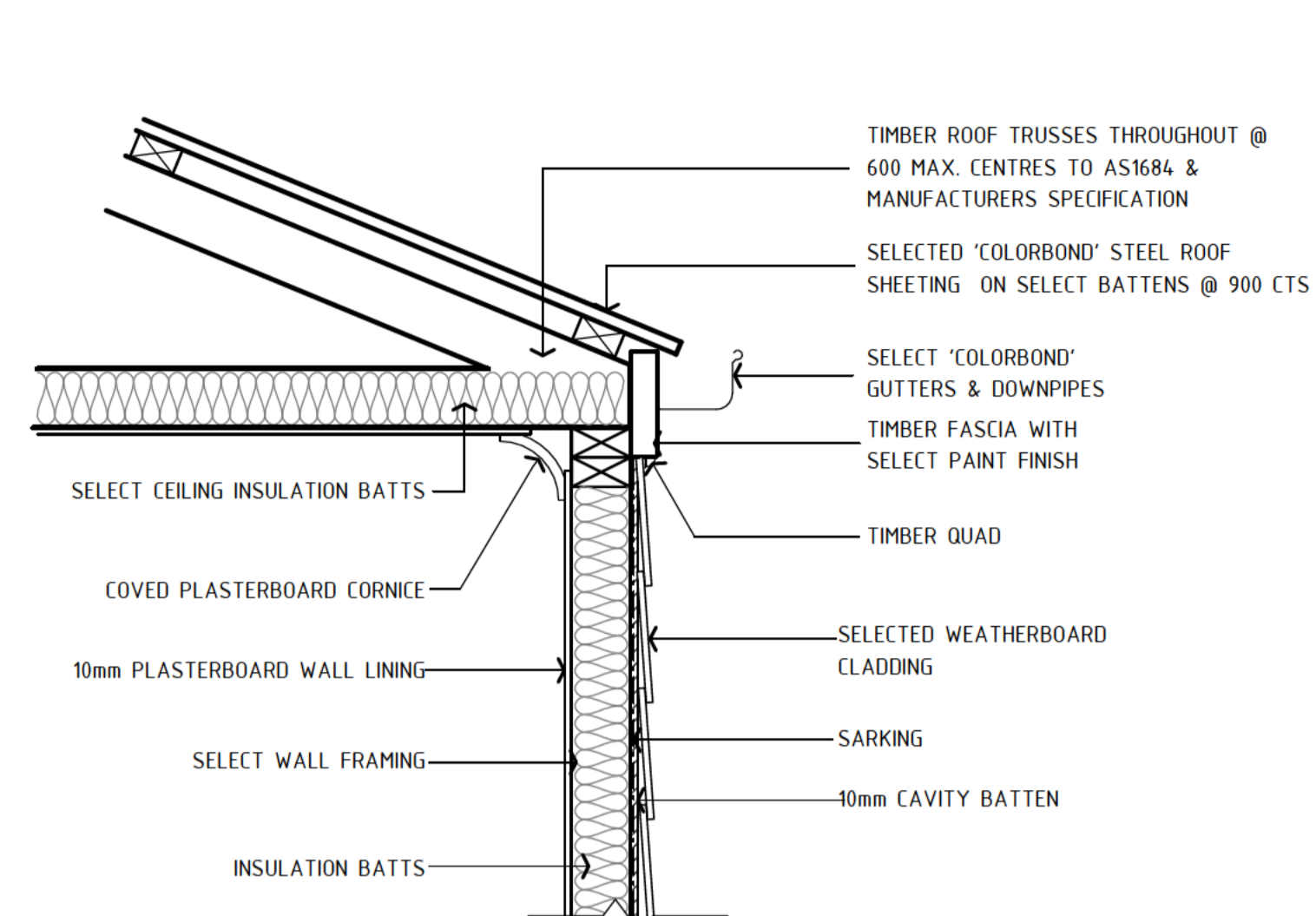


14 | BRICK - WINDOW SECTION DETAIL
SCALE: 1 : 10 (A1) or 1 : 20 (A3)

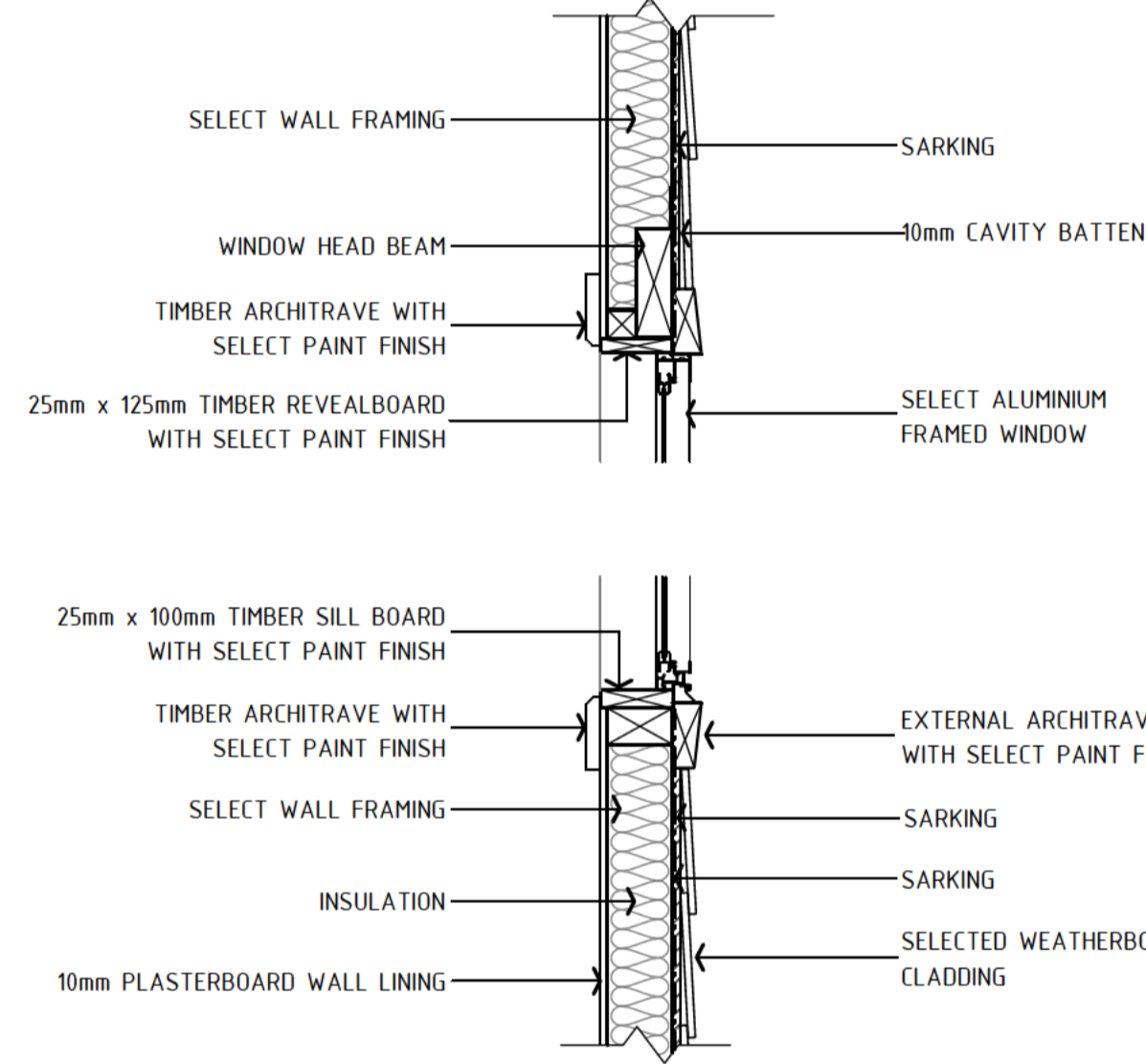
NOTES:
FOR SLAB DETAILS REFER TO ENGINEERS DESIGN AND SPECIFICATION
THE FOUNDATION SHALL BE TREATED TO PROTECT AGAINST INFESTATION BY TERMITES IN ACCORDANCE WITH AS 3660.1-2000



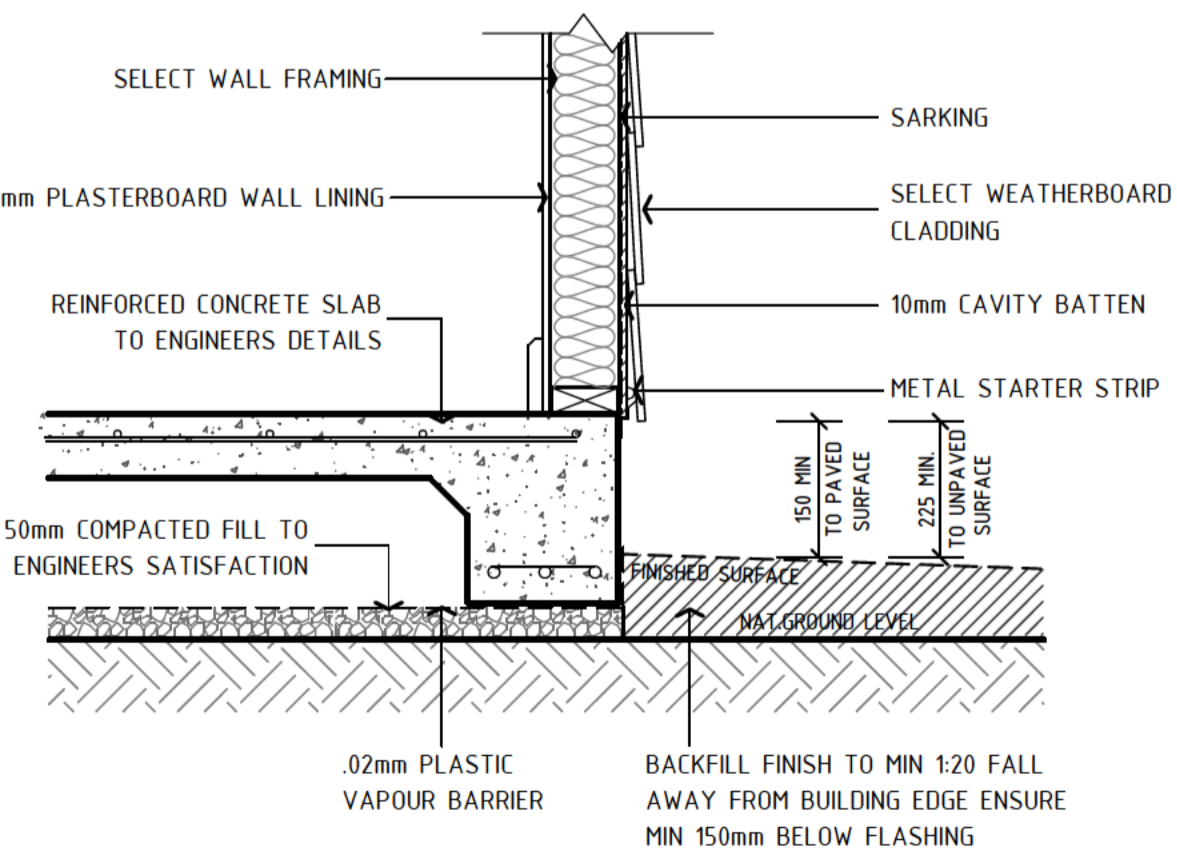
15 | BRICK - SLAB EDGE DETAIL
SCALE: 1 : 10 (A1) or 1 : 20 (A3)



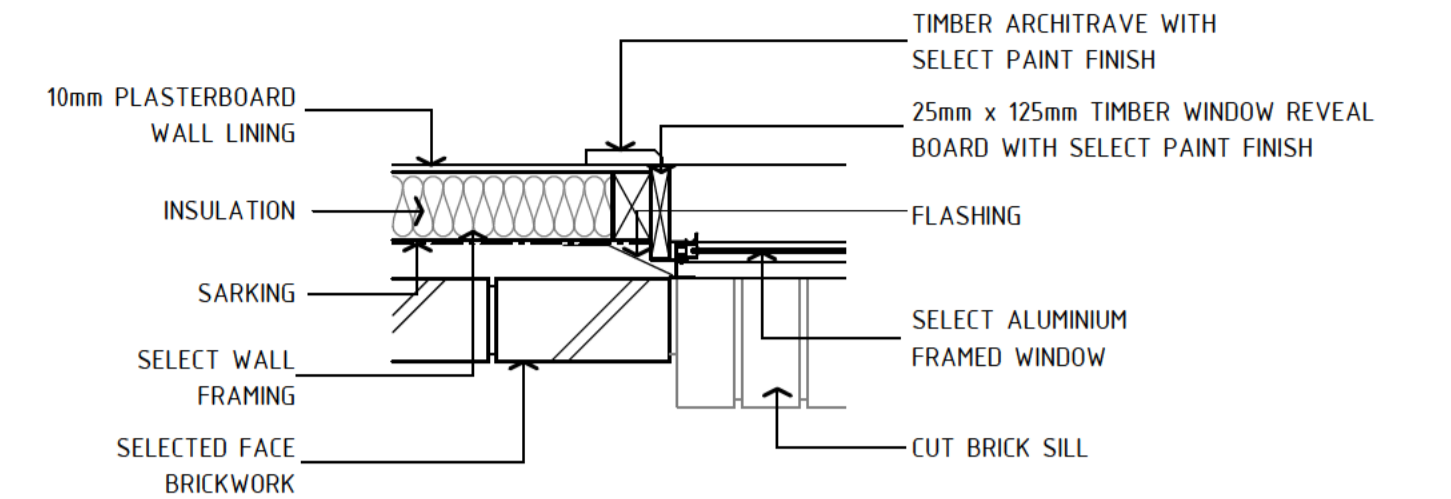
16 | STUD - ZERO EAVE DETAIL
SCALE: 1 : 10 (A1) or 1 : 20 (A3)



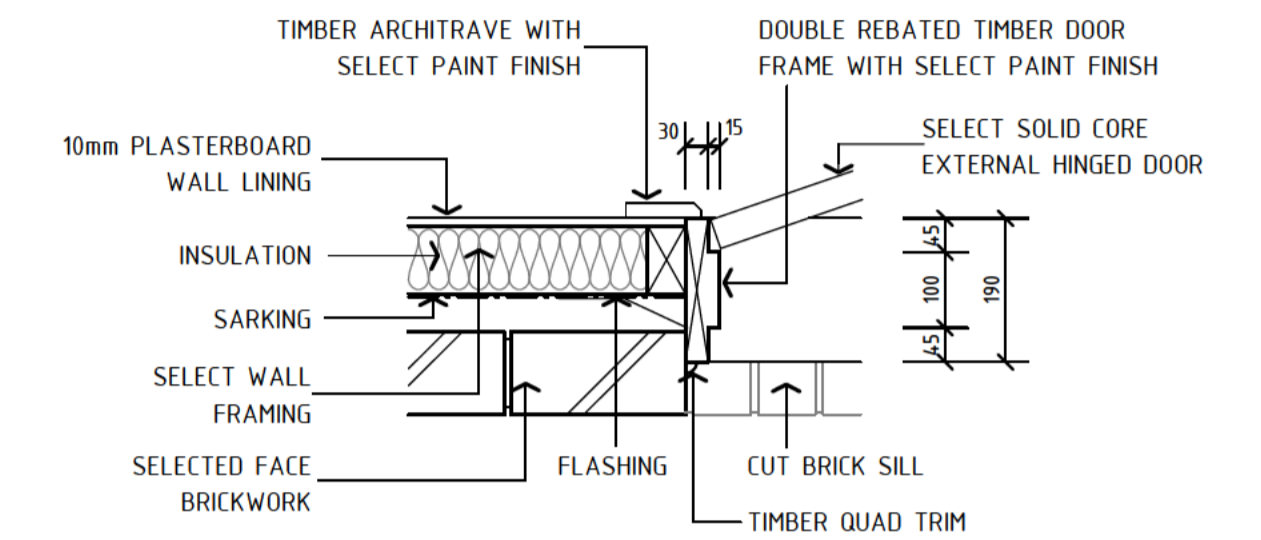
17 | STUD - WINDOW SECTION DETAIL
SCALE: 1 : 10 (A1) or 1 : 20 (A3)



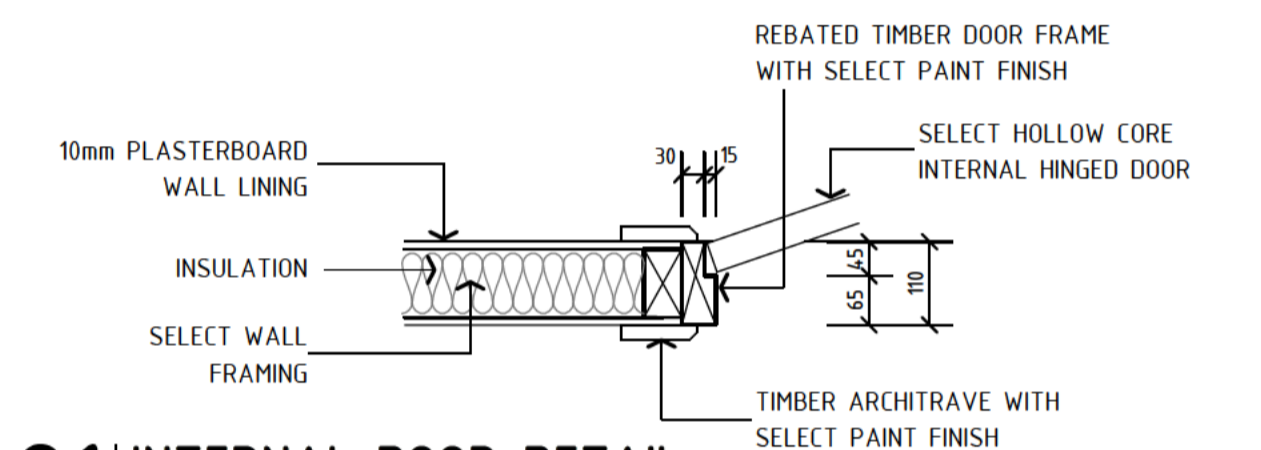
18 | STUD - SLAB EDGE DETAIL
SCALE: 1 : 10 (A1) or 1 : 20 (A3)



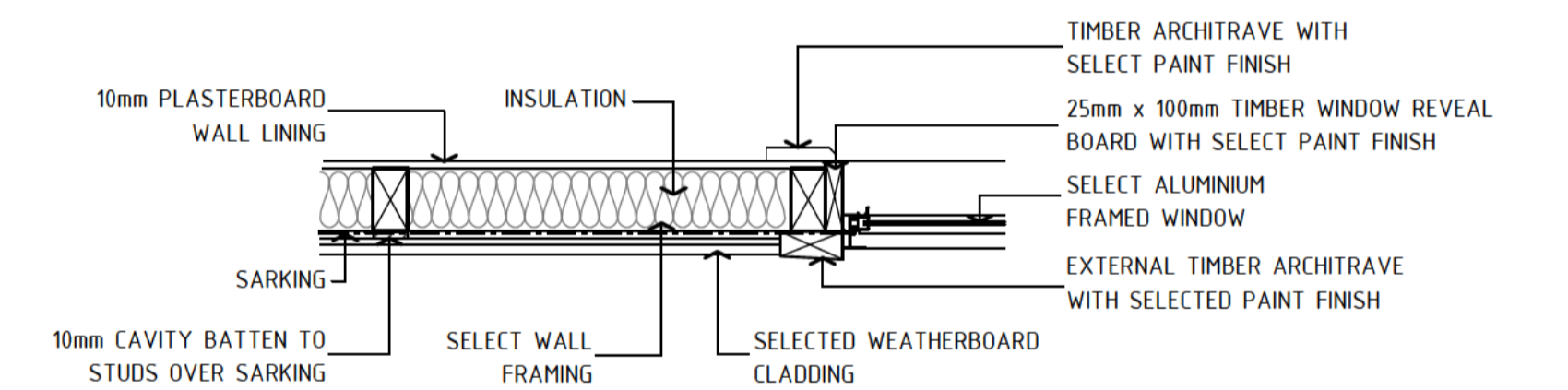
19 | BRICK - WINDOW PLAN DETAIL
SCALE: 1 : 10 (A1) or 1 : 20 (A3)



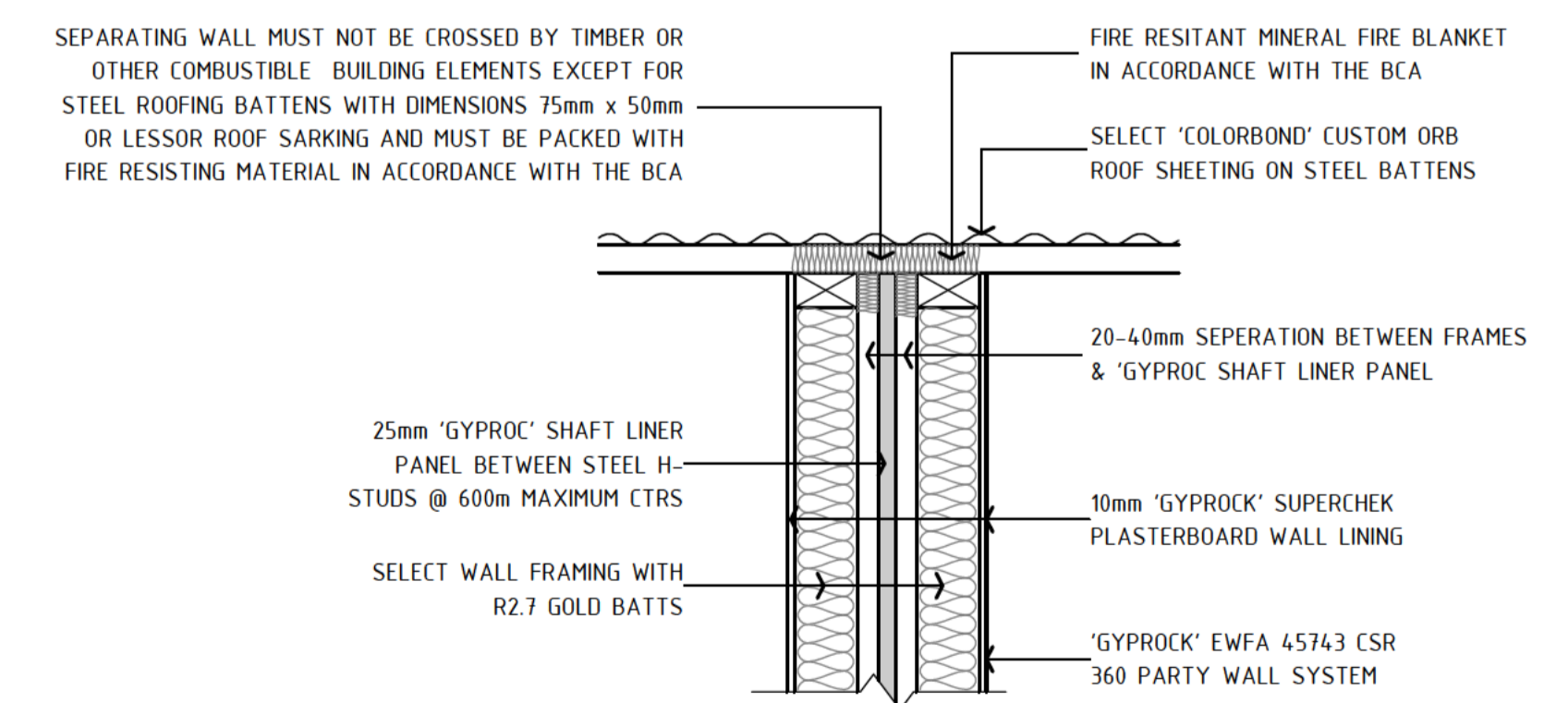
20 | BRICK - EXTERNAL DOOR DETAIL
SCALE: 1 : 10 (A1) or 1 : 20 (A3)



21 | INTERNAL DOOR DETAIL
SCALE: 1 : 10 (A1) or 1 : 20 (A3)

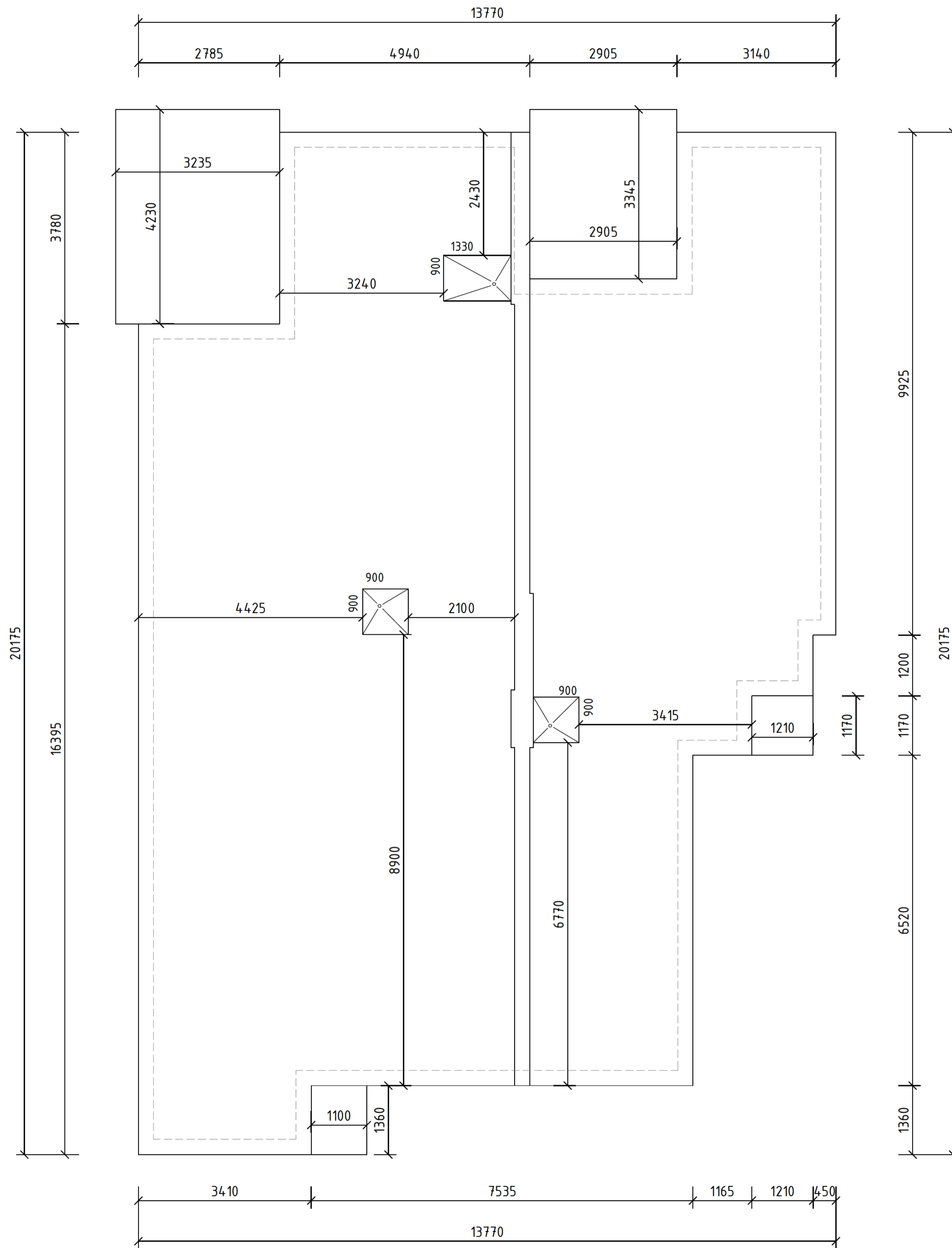


22 | STUD - WINDOW PLAN DETAIL
SCALE: 1 : 10 (A1) or 1 : 20 (A3)

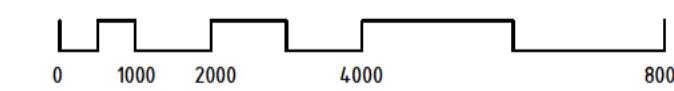


23 | PARTY WALL DETAIL
SCALE: 1 : 10 (A1) or 1 : 20 (A3)

NOTES:
FOR SLAB DETAILS REFER TO ENGINEERS DESIGN AND SPECIFICATION
THE FOUNDATION SHALL BE TREATED TO PROTECT AGAINST INFESTATION BY TERMITES IN ACCORDANCE WITH AS 3660.1-2000



24 DETAIL PLAN: SLAB SETOUT
 SCALE: 1 : 50 (A1) or 1 : 100 (A3)



APPENDIX D

Subdivision Sketch Plan



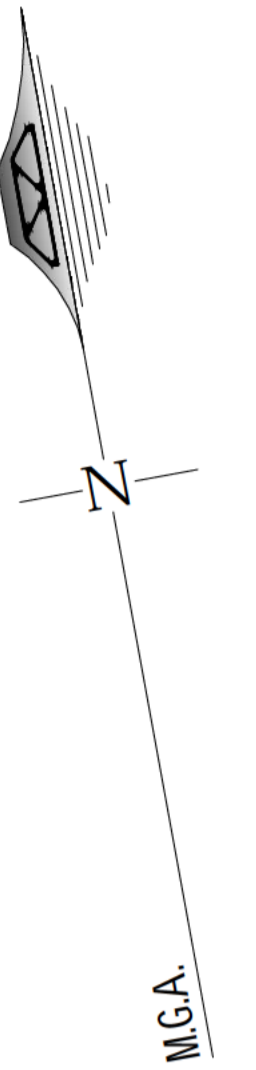
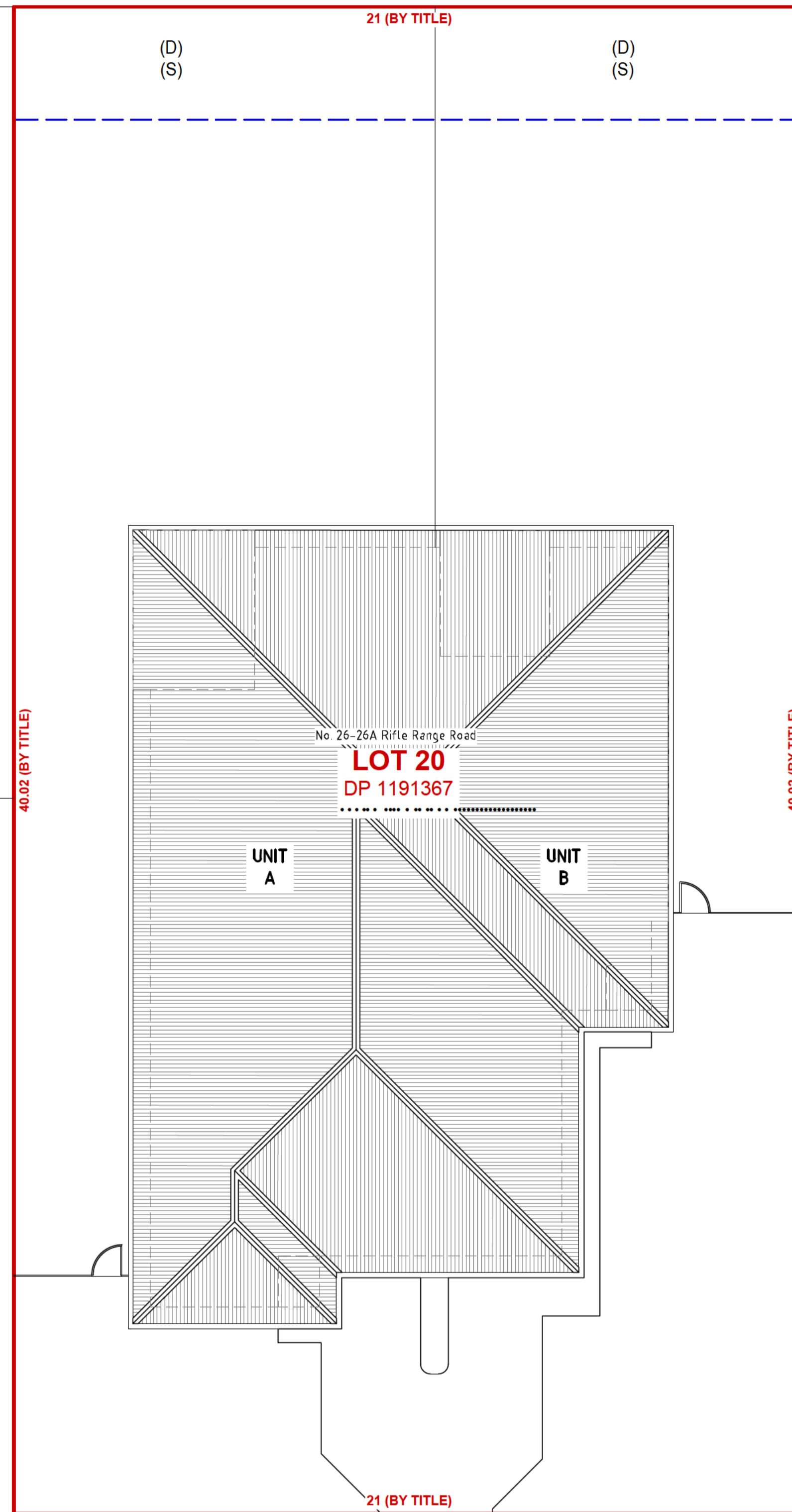
LOT 2
DP 1238910

LOT 27
DP 1191367

LOT 2
DP 1226031

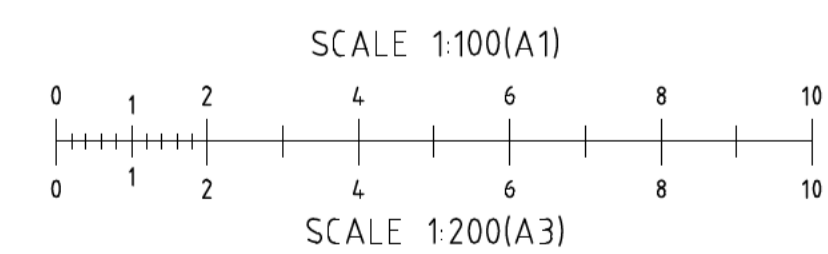
LOT 1
DP 1226031

LOT 21
DP 1191367



RIFLE RANGE ROAD

EXISTING SITE PLAN
REDUCTION RATIO 1:100 @ A1
1:200 @ A3



- (D) EASEMENT TO DRAIN WATER 3 WIDE AND VARIABLE WIDTH (VIDE DP 1191367)
- (S) EASEMENT TO DRAIN SEWAGE 3 WIDE AND VARIABLE WIDTH (VIDE DP 1021684)

ISSUED TO CLIENT



BARNSON PTY LTD

phone 1300 BARNSON (1300 227 676)
email generalenquiry@barnson.com.au
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| Rev | Date | Description |
|-----|------------|------------------|
| A | 08-03-2024 | ISSUED TO CLIENT |

Project
PROPOSED SUBDIVISION OF LOT 20 IN DP 1191367
 Site Address
 26-26A RIFLE RANGE ROAD
 MUDGEES NSW 2850
 Client
 JACQUELINE DONALDSON

Drawing Title
EXISTING SITE PLAN

Survey RB
Drawn JS
Check RB

Original Sheet Size
Revision

A1
A

Certification
Project No
Drawing No

43133
L01



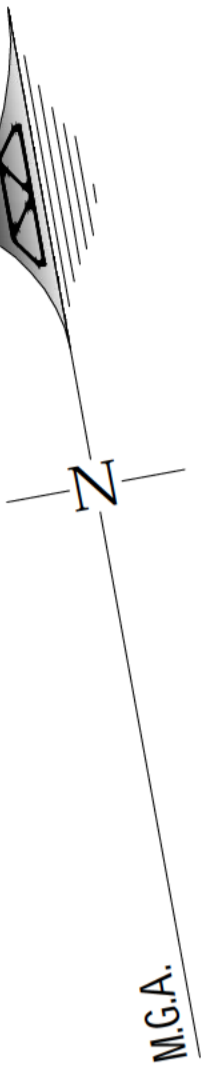
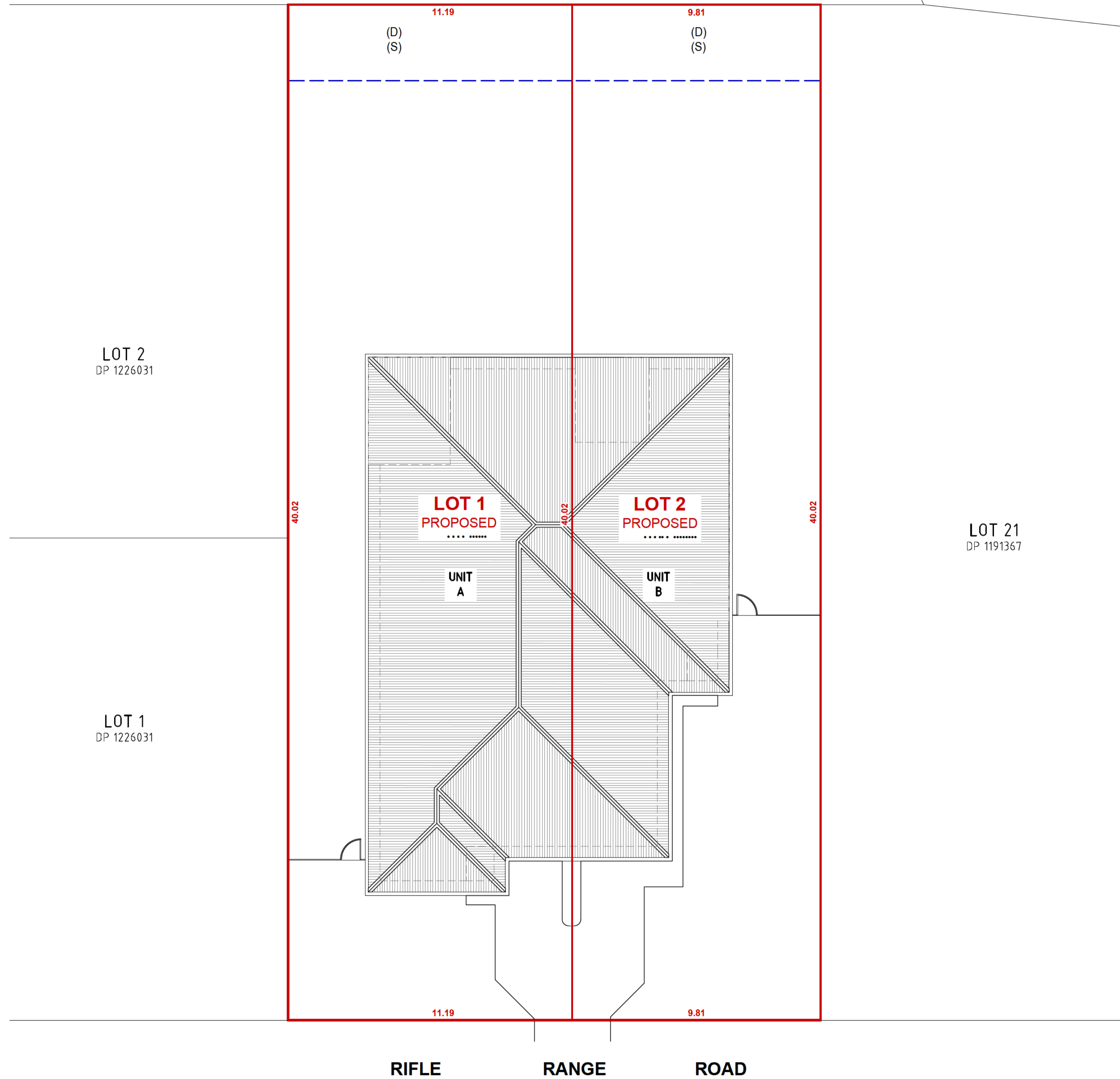
LOT 2
DP 1238910

LOT 27
DP 1191367

LOT 2
DP 1226031

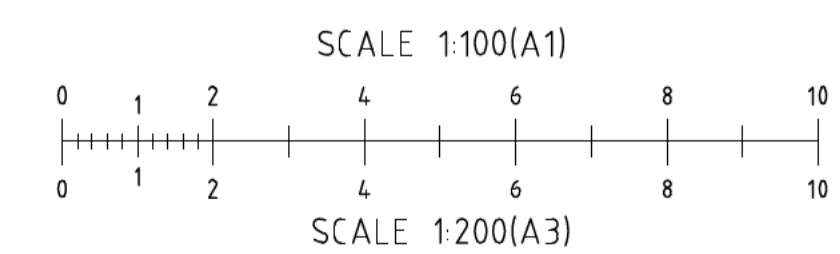
LOT 1
DP 1226031

LOT 21
DP 1191367



PROPOSED SITE PLAN

REDUCTION RATIO 1:100 @ A1
1:200 @ A3



- (D) EASEMENT TO DRAIN WATER 3 WIDE AND VARIABLE WIDTH (VIDE DP 1191367)
- (S) EASEMENT TO DRAIN SEWAGE 3 WIDE AND VARIABLE WIDTH (VIDE DP 1021684)

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| Rev | Date | Description |
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| A | 08-03-2024 | ISSUED TO CLIENT |

Project
PROPOSED SUBDIVISION OF LOT 20 IN DP 1191367
Site Address
26-26A RIFLE RANGE ROAD
MUDGEES NSW 2850
Client
JACQUELINE DONALDSON

| Drawing Title | | Certification | |
|---------------------------|----|---------------------|----|
| PROPOSED SITE PLAN | | A1 | |
| Survey | RB | Original Sheet Size | A1 |
| Drawn | JS | Revision | A |
| Check | RB | | |

Project No
Drawing No

43133
L02