



PO BOX 156
MUDGEES NSW 2850

86 Market Street MUDGEES
109 Herbert Street GULGONG
77 Louee Street RYLSTONE

Ph: 1300 765 002 or (02) 6378 2850
Fax: (02) 6378 2815

email: council@midwestern.nsw.gov.au

MLyndon: as DA0129/2015 P221

18 December 2014

Meinhardt Australia Pty Ltd
Level 4
66 Clarence Street
SYDNEY NSW 2000



Dear Sir/Madam

DEVELOPMENT APPLICATION DA0129/2015 – DEMOLITION AND RECONSTRUCTION OF EXISTING BP SERVICE STATION INCLUDING NEW SHOP BUILDING, NEW CANOPY AND SIGNAGE, REPLACEMENT OF FUEL TANKS AND UPGRDING OF FORECOURT AREA AT L41 DP998528 - 77 CHURCH STREET MUDGEES NSW 2850

I am pleased to advise that your application has been approved by Council.

Attached is Council's formal Development Consent No. DA0129/2015.

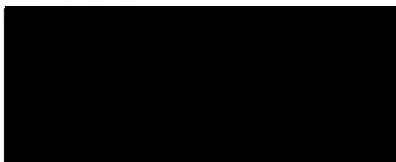
It is important that you read the consent and understand the requirements of any conditions imposed. Certain requirements may need to be satisfied prior to proceeding with the development.

The consent is a legal document and should be kept for your future reference as the development proceeds. It should be noted that commencement of the development implies your acceptance of the conditions of consent.

Please Note: No work can commence until a Construction Certificate has been issued, a Principal Certifying Authority (PCA) appointed and Council notified of commencement of work at least 2 days in advance.

Should you have any query regarding the consent or associated conditions, do not hesitate to contact myself or the appropriate Council officer.

Yours faithfully



**GARY BRUCE
MANAGER STATUTORY PLANNING
DEVELOPMENT**



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Notice of Determination of a Development Application

Issued under the *Environmental Planning and Assessment Act 1979* Section 81(1)(a)

Our Ref:	MLyndon: as DA0129/2015	DA No:	DA0129/2015
Applicant:	Meinhardt Australia Pty Ltd Level 4 66 Clarence Street SYDNEY NSW 2000	Land to be Developed:	Lot 41 DP 998528 BP Service Station 77 Church Street MUDGEE NSW 2850
Proposed Development:	Demolition and reconstruction of existing BP service station including new shop building, new canopy and signage, replacement of fuel tanks and upgrading of forecourt area		Building Code of Australia Classification:
Date of Determination:	17 December 2014		
Determination:	CONSENT GRANTED subject to conditions set out below		
Consent to operate from:	18 December 2014	Consent to lapse on:	18 December 2019

CONDITIONS

APPROVED PLANS

- Development is to be carried out generally in accordance with stamped plans identified in the table below and the Application received by Council on 17 October 2014 except as varied by the conditions listed herein. Any minor modification to the approved plans will require the lodgement and consideration by Council of amended plans. Major modifications will require the lodgement of a new development application.

PLAN DESCRIPTION	DRAWING NO.	REVISION	DRAWN BY	DATED
Existing Site Plan	SK-08933-A001	A	Meinhardt Australia Pty Ltd	23.09.14
Demolition Plan	SK-08933-A002D	A	Meinhardt Australia Pty Ltd	30.10.14
Proposed Site Plan	SK-08933-A003	A	Meinhardt Australia Pty Ltd	03.10.14
Proposed Elevations A & B	SK-08933-A004	A	Meinhardt Australia Pty Ltd	30.09.14
Proposed Elevations C & D	SK-08933-A005	A	Meinhardt Australia Pty Ltd	30.09.14
Signage Details	SK-08933-A006	A	Meinhardt Australia Pty Ltd	30.09.14
BP Shop Plan & Elevations	SK-08933-A007	A	Meinhardt Australia Pty Ltd	23.09.14
19m B-Double Tanker Path	SK-08933-A008	A	Meinhardt Australia Pty Ltd	30.09.14
Garbage Truck & Car Turning Path	SK-08933-A009	A	Meinhardt Australia Pty Ltd	30.09.14
Sedimentation & Erosion Control Plan	SK-08933-A010	A	Meinhardt Australia Pty Ltd	30.09.14
Drainage Plan	SK-08933-A011	A	Meinhardt Australia Pty Ltd	30.09.14

GENERAL CONDITIONS

2. Plant species used in the landscaping in the north-east corner appropriately advanced trees and shrubs, be drought/frost tolerant and generally endemic to the Mid-Western region. The landscaping is to be established prior to occupation.
3. This approval does not provide any indemnity to the owner or applicant under the Disability Discrimination Act 1992 with respect to the provision of access and facilities for people with disabilities.
4. For every 12 month period after the issue of the Final Fire Safety Certificate the owner/agent of the building must provide the Council and the Commissioner of NSW Fire Brigades with a copy of an Annual Fire Safety Statement Certifying that each specified fire safety measure is capable of performing to its specification.
5. The air conditioning unit/s must be operated in accordance with the requirements of the Protection of the Environmental Operations Act (Noise Control) Regulation 2008.
6. All vehicles are required to enter and leave the site in a forward direction at all times. Signage to this effect is to be appropriately located within the site.
7. All loading and unloading in connection with the premises shall be carried out wholly within the site.
8. All exterior lighting associated with the development shall be designed and installed so that no obtrusive light will be cast onto any adjoining property or roadways, in accordance with Australian Standard 4282 "Control of the Obtrusive Effects of Outdoor Lighting".
9. No display or sale of goods is to take place from public areas or footpaths fronting the premises.
10. All waste generated by the proposed development shall be disposed of to an approved location in accordance with the Waste Minimization & Management Act 1995.
11. There being no interference with the amenity of the neighbourhood by reason of the emission of any "offensive noise", vibration, smell, fumes, smoke, vapour, steam, soot, ash or dust, or otherwise as a result of the proposed development.
12. The signage is to be securely affixed and is not to flash, move or be objectionably glaring.
13. Illumination of the canopy fascia is not permitted under this consent.
14. The boundary fence proposed along the eastern boundary of the site (adjoining Lot 1 DP 199187) is to be solid (i.e. no gaps), 1.8 metres in height and constructed of either colorbond steel or be lapped and capped timber fencing.
15. The removal and installation of the underground petroleum storage tanks is to be carried out as per the requirements of the Protection of the Environment Operation (Underground Petroleum Storage Systems) Regulation 2008.
16. As the existing premises with a refuelling point will be refurbished, in accordance with the NSW Office of Waters' requirements, the discharge from this area must be disconnected from Council's sewerage system. Where the premises do not have other trade waste discharges (eg. from a restaurant, vehicle wash, mechanical workshop), trade waste fees and charges would no longer apply.

17. A Notice of Completion for the remediation work is to be provided to Council within 30 days after the completion of work and shall include the following details prescribed by State Environmental Planning Policy 55 – Remediation of Land:
- a) be in writing prepared and signed by the person who carried out the work, and
 - b) provide the person's name, address and business telephone number, and
 - c) provide details of the person's qualifications to carry out the work, and
 - d) specify, by reference to its property description and street address (if any), the land on which the work was carried out, and
 - e) provide a map of the location of the land, and
 - f) state when the work was completed, and
 - g) specify the uses of the land, and the substances, that contaminated it in such a way as to present a risk of harm to human health or some other aspect of the environment, and
 - h) specify the uses of the land immediately before the work started, and
 - i) briefly describe the method of remediation used in the work, and
 - j) specify the guidelines that were complied with in the work, and
 - k) specify the standard of remediation achieved (in the light of the use proposed for the land), and
 - l) show in what manner the work (if a category 1 remediation work) complied with the conditions of the relevant development consent, and
 - m) state what action must be maintained in relation to the land after the completion of the remediation work if the standard of remediation achieved is to be maintained.
18. Closed-Circuit Television (CCTV) cameras are to be installed around the site in locations that are able to capture the registration plates of all vehicle entering and exiting the site. The cameras should provide adequate coverage of the premises and forecourt areas.
19. Independent security officers are to be employed by the operators of the service station between the hours of 12am till 5am Saturday and Sunday.

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

20. Development Consent number DA 0504/2013 is to be surrendered to Council in accordance with clause 97 of the Environmental Planning & Assessment Regulation 2000 prior to the issue of a Construction Certificate.
21. A floor plan of the control building, including floor layout, internal partitioning, room sizes and intended uses for each part of the building, is to be submitted to Council for approval prior to the issue of a Construction Certificate.
22. The applicant is to submit a Drainage Report prepared in accordance with the Institution of Engineers publication Australian Rainfall and Run-off to the Principal Certifying Authority for approval prior to the release of the Construction Certificate. The report must demonstrate that stormwater runoff from the site is not increased beyond the existing undeveloped state up to and including a 1.5 year event. All storm water detention details including analysis shall be included with the drainage report.
23. A Traffic Control Plan (TCP) completed by a "Certified Person" for implementation during works is to be submitted to Mid-Western Regional Council prior to any work commencing.
24. A copy of the Contractor's public liability insurance cover for a minimum of \$20,000,000 (Twenty million dollars) is to be provided to Mid-Western Regional Council. Mid-Western Regional Council is to be indemnified against any works carried out by the contractor.
25. A registered Surveyors Certificate showing the boundaries of the site and the proposed building plotted thereon being submitted to the Principal Certifying Authority before construction is commenced.

26. Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Mid-Western Regional Council.

PRIOR TO THE COMMENCEMENT OF WORKS

27. No work shall commence until a Construction Certificate has been issued and the applicant has notified Council of:
- a) the appointment of a Principal Certifying Authority and
 - b) the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

28. The site shall be provided with a waste enclosure (minimum 1800mm X 1800mm X 1200mm) that has a lid or secure covering for the duration of the construction works to ensure that all wastes are contained on the site. The receptacle is to be emptied periodically to reduce the potential for rubbish to leave the site. Council encourages the separation and recycling of suitable materials.

NOTE: ALL WASTE GENERATED FROM THE CONSTRUCTION PROCESS IS TO BE CONTAINED ON-SITE

29. Prior to the commencement of works on site, the applicant shall advise Council's Development and Community Services Department, in writing, of any existing damage to Council property.

ENGINEERING CONSTRUCTION

30. The developer must install sewer chambers where the current sewer line intersects the north and south of the property boundary. The current vitrified clay pipe must be replaced with class 8 uPVC of at least equal internal diameter. The replacement pipe must be concrete encased as per WSAA 02-2002 drawing SEW-1205. Saw cuts must be provided 1.5m either side of the replacement pipe within the proposed concrete area.

NOTE: Any work on live sewer mains must be done by Council.

31. Raised kerbing is to be constructed around the site, as per the approved site plan, to separate pedestrian traffic from vehicles manoeuvring within the forecourt area.
32. Car parking spaces are to be provided within the site, as per the approved plans, and comply with AS 2890.1: 2004 and the following requirements:
- a) Each parking space is to have minimum dimensions of 5.5m x 2.4m;
 - b) Each disabled car parking space is to be in accordance with the provisions of AS 2890.6: 2009.
 - c) All car parking spaces are to be line-marked and provided with a hard standing, all weather compacted gravel surface and must be maintained in a satisfactory condition at all times;
 - d) Off street parking is to be encouraged by the placement of prominent signs indicating the availability of parking.
33. All public footways, foot paving, kerbs, gutters and road pavement damaged during the works are to be restored to match existing conditions at the Developer's/Demolisher's expense.

34. All stormwater is to discharge to the street with the use of non-flexible kerb adaptors. Please note this can be achieved by connecting to existing stormwater lines.

BUILDING CONSTRUCTION

35. All building work is to comply with the requirements of the Access to Premises Standard
36. All building work must be carried out in accordance with the provisions of the National Construction Code, the Environmental Planning & Assessment Act 1979 and Regulations and all relevant Australian Standards.
37. All plumbing and drainage work must be carried out by a licensed plumber and drainer and must comply with the Plumbing Code of Australia.
38. Construction work noise that is audible at other premises is to be restricted to the following times:
Monday to Saturday - 7.00am to 5.00pm

No construction work noise is permitted on Sundays or Public Holidays.

39. All mandatory inspections required by the Environmental Planning & Assessment Act and any other inspections deemed necessary by the Principal Certifying Authority being carried out during the relevant stage of construction.
40. The licensed demolition contractor and/or principal contractor must comply with the following specific requirements in respect of the proposed demolition works:-

- a) Demolition work is not be undertaken until:

Council has been provided with a copy of any required Hazardous Substances Management Plan;

The licensed demolition contractor and/or principal contractor has inspected the site and is satisfied that all measures are in place to comply with the provisions of such Plan;

- b) The removal, handling and disposal of any asbestos material (in excess of 10m²) is to be undertaken only by an asbestos removal contractor who holds the appropriate class of Asbestos Licence, issued by WorkCover NSW, and in accordance with the requirements of WorkCover NSW, the Work Health and Safety Act 2011 and Australian Standard 2601-2001
- c) All asbestos and other hazardous materials are to be appropriately contained and disposed of at a facility holding the appropriate license issued by the NSW Environmental Protection Agency;
- d) Seven working days notice in writing is to be given to Council prior to the commencement of any demolition works. Such written notice is to include the date demolition will commence and details of the name, address, contact telephone number and licence details (type of licences held and licence numbers) of any asbestos removal contractor and demolition contractor.

41. The development site is to be managed for the entirety of work in the following manner:

- a) Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
- b) Appropriate dust control measures;
- c) Construction equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained;
- d) Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.

42. The strength of the concrete used for the reinforced concrete floor slab must be a minimum 25Mpa
43. If the work involved in the erection/demolition of the building;
 - a) is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
 - b) building involves the enclosure of a public place
44. A hoarding or fence must be erected between the work site and the public place. If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place. Any such hoarding, fence or awning is to be removed when the work has been completed.
45. The placing of building materials or the carrying out of building operations upon or from Council's footway or roadway is prohibited unless prior consent in writing is obtained from Council.
46. A sign must be erected in a prominent position on any work site on which involved in the erection or demolition of a building is carried out;
 - a) stating that unauthorised entry to the work site is prohibited, and
 - b) showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours.
 - c) the name, address and telephone number of the principal certifying authority for the work,
 - d) The sign shall be removed when the erection or demolition of the building has been completed.

PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE

47. Prior to the occupation of a new building, or occupation or use of an altered portion of, or an extension to an existing building, an Occupation Certificate is to be obtained from the Principal Certifying Authority appointed for the erection of the building.
48. All car parking and associated forecourt works are to be completed prior to occupation of the development.
49. Prior to occupation or the issue of the Occupation Certificate (or Interim Occupation Certificate) the owner of the building must cause the Principal Certifying Authority to be given a fire safety certificate (or interim fire safety certificate in the case of a building or part of a building occupied before completion) in accordance with Clause 153 of the Environmental Planning and Assessment Regulation 2000 for each measure listed in the schedule. The certificate must only be in the form specified by Clause 174 of the Regulation. A copy of the certificate is to be given to the Commissioner of the New South Wales Fire Brigade and a copy is to be prominently displayed in the building.

OTHER APPROVALS

Not Applicable

ADVISORY NOTES

- 1 The removal of trees within any road reserve requires the separate approval of Council in accordance with the policy "Tree Removal and Pruning – Public Places".

- 2 The land upon which the subject building is to be constructed may be affected by restrictive covenants. This approval is issued without enquiry by Council as to whether any restrictive covenant affecting the land would be breached by the construction of the building, the subject of this approval. Persons to whom this approval is issued must rely on their own enquiries as to whether or not the building breaches any such covenant.
- 3 Section 82A of the Environmental Planning and Assessment Act (EP&A Act) gives you the ability to seek a review of the determination. This request is made to Council and must be made within 6 months after the date on which you receive this notice. The request must be made in writing and lodged with the required fee; please contact Council's Planning and Development Department for more information or advice.
- 4 If you are dissatisfied with this decision section 97 of the EP&A Act 1979 gives you the right to appeal to the Land and Environment Court within 6 months after the date on which you receive this notice.
- 5 To ascertain the date upon which the consent becomes effective, refer to Section 83 of the EP&A Act.
- 6 To ascertain the extent to which the consent is liable to lapse, refer to Section 95 of the EP&A Act.

Signed on behalf of Mid-Western Regional Council by:



GARY BRUCE
MANAGER STATUTORY PLANNING
DEVELOPMENT
18 DECEMBER 2014



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HD:kb:DA0129/2015

27 May 2015

Meinhardt Australia Pty Ltd
Level 4
66 Clarence Street
SYDNEY NSW 2000

Dear Sir/Madam

**SECTION 96 APPLICATION NO: MA0052/2015 – ALTERATIONS & ADDITIONS- LOT 41
DP 998528- BP SERVICE STATION 77 CHURCH STREET MUDGEE NSW 2850**

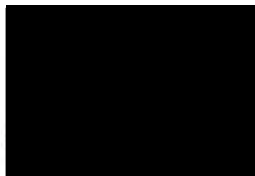
Reference is made to the original development application (DA0129/2015) approved by Council on 17 December 2014.

An amended development consent No. MA0052/2015 is now attached.

The consent is a legal document and should be kept for your future reference as the development proceeds. It should be noted that commencement of the development implies your acceptance of the conditions of consent.

Should you have any query regarding the consent or associated conditions, do not hesitate to contact myself or the appropriate Council officer.

Yours faithfully



**CATHERINE VAN LAEREN
DIRECTOR DEVELOPMENT**



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Notice of Amended Determination of a Development Application
Issued under the *Environmental Planning and Assessment Act 1979* Section 96 (2))

Our Ref: HD:kb:DA0129/2015	Sec 96 No: MA0052/2015
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Applicant: Meinhardt Australia Pty Ltd Level 4 66 Clarence Street SYDNEY NSW 2000	Land to be Developed: Lot 41 DP 998528
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Proposed Development: Alterations & Additions	Building Code of Australia Classification: -
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Date of Determination:	26 May 2015
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Determination:	CONSENT GRANTED subject to conditions set out below
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Consent to operate from: 18 December 2014	Consent to lapse on: 18 December 2019
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Original DA No: DA0129/2015
Section 96 No: MA0052/2015 - increase building footprint

CONDITIONS

APPROVED PLANS

1a. Development is to be carried out generally in accordance with stamped plans identified in the table below and the Application received by Council on 17 October 2014 except as varied by the conditions listed herein. Any minor modification to the approved plans will require the lodgement and consideration by Council of amended plans. Major modifications will require the lodgement of a new development application.

PLAN DESCRIPTION	DRAWING NO.	REVISION	DRAWN BY	DATED
Existing Site Plan	SK-10442-A001	A	Meinhardt Australia Pty Ltd	23.09.14
Demolition Plan	SK-10442-A002D	A	Meinhardt Australia Pty Ltd	30.10.14
Proposed Site Plan	SK-10442-A003	B	Meinhardt Australia Pty Ltd	16.05.15
Proposed Elevations A & B	SK-10442-A004	B	Meinhardt Australia Pty Ltd	16.04.15
Proposed Elevations C & D	SK-10442-A005	B	Meinhardt Australia Pty Ltd	16.04.15
Signage Details	SK-10442-A006	A	Meinhardt Australia Pty Ltd	30.09.14

BP Shop Plan & Elevations	SK-10442-A007	B	Meinhardt Ltd	Australia	Pty	16.04.15
19m B-Double Tanker Path	SK-10442-A008	B	Meinhardt Ltd	Australia	Pty	16.04.15
Garbage Truck & Car Turning Path	SK-10442-A009	B	Meinhardt Ltd	Australia	Pty	16.04.15
Sedimentation & Erosion Control Plan	SK-10442-A010	B	Meinhardt Ltd	Australia	Pty	16.04.15
Drainage Plan	SK-10442-A011	B	Meinhardt Ltd	Australia	Pty	16.04.15

GENERAL CONDITIONS

2. Plant species used in the landscaping in the north-east corner appropriately advanced trees and shrubs, be drought/frost tolerant and generally endemic to the Mid-Western region. The landscaping is to be established prior to occupation.
3. This approval does not provide any indemnity to the owner or applicant under the Disability Discrimination Act 1992 with respect to the provision of access and facilities for people with disabilities.
4. For every 12 month period after the issue of the Final Fire Safety Certificate the owner/agent of the building must provide the Council and the Commissioner of NSW Fire Brigades with a copy of an Annual Fire Safety Statement Certifying that each specified fire safety measure is capable of performing to its specification.
5. The air conditioning unit/s must be operated in accordance with the requirements of the Protection of the Environmental Operations Act (Noise Control) Regulation 2008.
6. All vehicles are required to enter and leave the site in a forward direction at all times. Signage to this effect is to be appropriately located within the site.
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9. No display or sale of goods is to take place from public areas or footpaths fronting the premises.
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 - c) provide details of the person's qualifications to carry out the work, and
 - d) specify, by reference to its property description and street address (if any), the land on which the work was carried out, and
 - e) provide a map of the location of the land, and
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 - i) briefly describe the method of remediation used in the work, and
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 - l) show in what manner the work (if a category 1 remediation work) complied with the conditions of the relevant development consent, and
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24. A copy of the Contractor's public liability insurance cover for a minimum of \$20,000,000 (Twenty million dollars) is to be provided to Mid-Western Regional Council. Mid-Western Regional Council is to be indemnified against any works carried out by the contractor.
25. A registered Surveyors Certificate showing the boundaries of the site and the proposed building plotted thereon being submitted to the Principal Certifying Authority before construction is commenced.
26. Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Mid-Western Regional Council.

PRIOR TO THE COMMENCEMENT OF WORKS

27. No work shall commence until a Construction Certificate has been issued and the applicant has notified Council of:
 - a) the appointment of a Principal Certifying Authority and
 - b) the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

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NOTE: ALL WASTE GENERATED FROM THE CONSTRUCTION PROCESS IS TO BE CONTAINED ON-SITE

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ENGINEERING CONSTRUCTION

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NOTE: Any work on live sewer mains must be done by Council.

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 - b) Each disabled car parking space is to be in accordance with the provisions of AS 2890.6: 2009.
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34. All stormwater is to discharge to the street with the use of non-flexible kerb adaptors. Please note this can be achieved by connecting to existing stormwater lines.

BUILDING CONSTRUCTION

35. All building work is to comply with the requirements of the Access to Premises Standard
36. All building work must be carried out in accordance with the provisions of the National Construction Code, the Environmental Planning & Assessment Act 1979 and Regulations and all relevant Australian Standards.
37. All plumbing and drainage work must be carried out by a licensed plumber and drainer and must comply with the Plumbing Code of Australia.
38. Construction work noise that is audible at other premises is to be restricted to the following times:
Monday to Saturday - 7.00am to 5.00pm
- No construction work noise is permitted on Sundays or Public Holidays.
39. All mandatory inspections required by the Environmental Planning & Assessment Act and any other inspections deemed necessary by the Principal Certifying Authority being carried out during the relevant stage of construction.

40. The licensed demolition contractor and/or principal contractor must comply with the following specific requirements in respect of the proposed demolition works:-
- a) Demolition work is not be undertaken until:

Council has been provided with a copy of any required Hazardous Substances Management Plan;
The licensed demolition contractor and/or principal contractor has inspected the site and is satisfied that all measures are in place to comply with the provisions of such Plan;
 - b) The removal, handling and disposal of any asbestos material (in excess of 10m²) is to be undertaken only by an asbestos removal contractor who holds the appropriate class of Asbestos Licence, issued by WorkCover NSW, and in accordance with the requirements of WorkCover NSW, the Work Health and Safety Act 2011 and Australian Standard 2601-2001
 - c) All asbestos and other hazardous materials are to be appropriately contained and disposed of at a facility holding the appropriate license issued by the NSW Environmental Protection Agency;
 - d) Seven working days notice in writing is to be given to Council prior to the commencement of any demolition works. Such written notice is to include the date demolition will commence and details of the name, address, contact telephone number and licence details (type of licences held and licence numbers) of any asbestos removal contractor and demolition contractor.
41. The development site is to be managed for the entirety of work in the following manner:
- a) Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
 - b) Appropriate dust control measures;
 - c) Construction equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained;
 - d) Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
42. The strength of the concrete used for the reinforced concrete floor slab must be a minimum 25Mpa
43. If the work involved in the erection/demolition of the building;
- a) is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
 - b) building involves the enclosure of a public place
44. A hoarding or fence must be erected between the work site and the public place. If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place. Any such hoarding, fence or awning is to be removed when the work has been completed.
45. The placing of building materials or the carrying out of building operations upon or from Council's footway or roadway is prohibited unless prior consent in writing is obtained from Council.

46. A sign must be erected in a prominent position on any work site on which involved in the erection or demolition of a building is carried out;
- a) stating that unauthorised entry to the work site is prohibited, and
 - b) showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours.
 - c) the name, address and telephone number of the principal certifying authority for the work,
 - d) The sign shall be removed when the erection or demolition of the building has been completed.

PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE

47. Prior to the occupation of a new building, or occupation or use of an altered portion of, or an extension to an existing building, an Occupation Certificate is to be obtained from the Principal Certifying Authority appointed for the erection of the building.
48. All car parking and associated forecourt works are to be completed prior to occupation of the development.
49. Prior to occupation or the issue of the Occupation Certificate (or Interim Occupation Certificate) the owner of the building must cause the Principal Certifying Authority to be given a fire safety certificate (or interim fire safety certificate in the case of a building or part of a building occupied before completion) in accordance with Clause 153 of the Environmental Planning and Assessment Regulation 2000 for each measure listed in the schedule. The certificate must only be in the form specified by Clause 174 of the Regulation. A copy of the certificate is to be given to the Commissioner of the New South Wales Fire Brigade and a copy is to be prominently displayed in the building.

OTHER APPROVALS

DA0129/2015

ADVISORY NOTES

- 1 The removal of trees within any road reserve requires the separate approval of Council in accordance with the policy "Tree Removal and Pruning – Public Places".
- 2 The land upon which the subject building is to be constructed may be affected by restrictive covenants. This approval is issued without enquiry by Council as to whether any restrictive covenant affecting the land would be breached by the construction of the building, the subject of this approval. Persons to whom this approval is issued must rely on their own enquiries as to whether or not the building breaches any such covenant.
- 3 Section 82A of the Environmental Planning and Assessment Act (EP&A Act) gives you the ability to seek a review of the determination. This request is made to Council and must be made within 6 months after the date on which you receive this notice. The request must be made in writing and lodged with the required fee; please contact Council's Planning and Development Department for more information or advice.

- 4 If you are dissatisfied with this decision section 97 of the EP&A Act 1979 gives you the right to appeal to the Land and Environment Court within 6 months after the date on which you receive this notice.
- 5 To ascertain the date upon which the consent becomes effective, refer to Section 83 of the EP&A Act.
- 6 To ascertain the extent to which the consent is liable to lapse, refer to Section 95 of the EP&A Act.

Other Approvals:

DA0129/2015

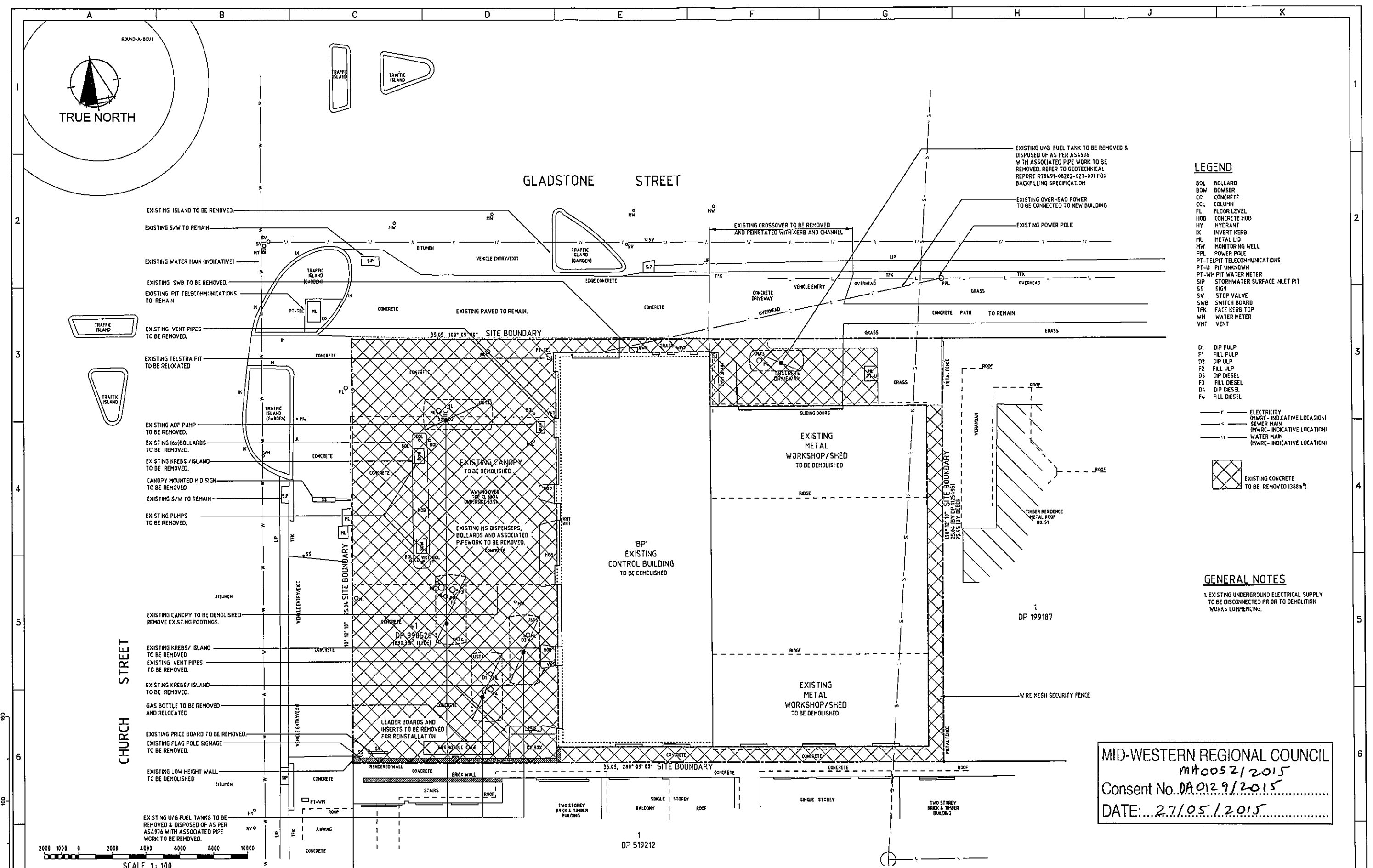
Signed on behalf of Mid-Western Regional Council by:



CATHERINE VAN LAEREN
DIRECTOR DEVELOPMENT
27 May 2015

Notes:

1. *The amendment of this development consent does not extend the date from which approval is current.*
2. *If you are dissatisfied with this decision section 97 of the Environmental Planning and Assessment Act 1979 gives you the right to appeal to the Land and Environment Court within 6 months after the date on which you receive this notice.*
3. *To ascertain the date upon which the consent becomes effective, refer to Section 83 of the Act.*
4. *To ascertain the extent to which the consent is liable to lapse, refer to Section 95 of the Act.*



- LEGEND**
- BOL BOLLARD
 - BOW BOWSER
 - CO CONCRETE
 - COL COLUMN
 - FL FLOOR LEVEL
 - HOB CONCRETE HOB
 - HY HYDRANT
 - IK INVERT KERB
 - ML METAL LID
 - MW MONITORING WELL
 - PPL POWER POLE
 - PT-T TELPIT TELECOMMUNICATIONS
 - PT-U PIT UNKNOWN
 - PT-WH PIT WATER METER
 - SIP STORMWATER SURFACE INLET PIT
 - SS SIGN
 - SV STOP VALVE
 - SWB SWITCH BOARD
 - TFK FACE KERB TOP
 - WH WATER METER
 - VNT VENT
-
- D1 DIP PULP
 - F1 FILL PULP
 - D2 DIP ULP
 - F2 FILL ULP
 - D3 DIP DIESEL
 - F3 FILL DIESEL
 - DL DIP DIESEL
 - F4 FILL DIESEL
-
- ELECTRICITY
 - (HWR) - INDICATIVE LOCATION
 - (SWM) - INDICATIVE LOCATION
 - (W) - INDICATIVE LOCATION
 - (M) - INDICATIVE LOCATION
-
- [Cross-hatched box] EXISTING CONCRETE TO BE REMOVED (388m²)

GENERAL NOTES

1. EXISTING UNDERGROUND ELECTRICAL SUPPLY TO BE DISCONNECTED PRIOR TO DEMOLITION WORKS COMMENCING.

MID-WESTERN REGIONAL COUNCIL
M#0052/2015
Consent No. DA0129/2015
DATE: 27/05/2015

ISSUED FOR DEVELOPMENT APPROVAL

THIRD PARTY	PRINT NAME	SIGNATURE

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REV	DATE	AMENDMENTS	DRN	DSW
A	30.10.14	ISSUED FOR DA	AWH	

DIMENSIONS IN MM
DO NOT SCALE

DRAWING PRACTICE TO AS1100

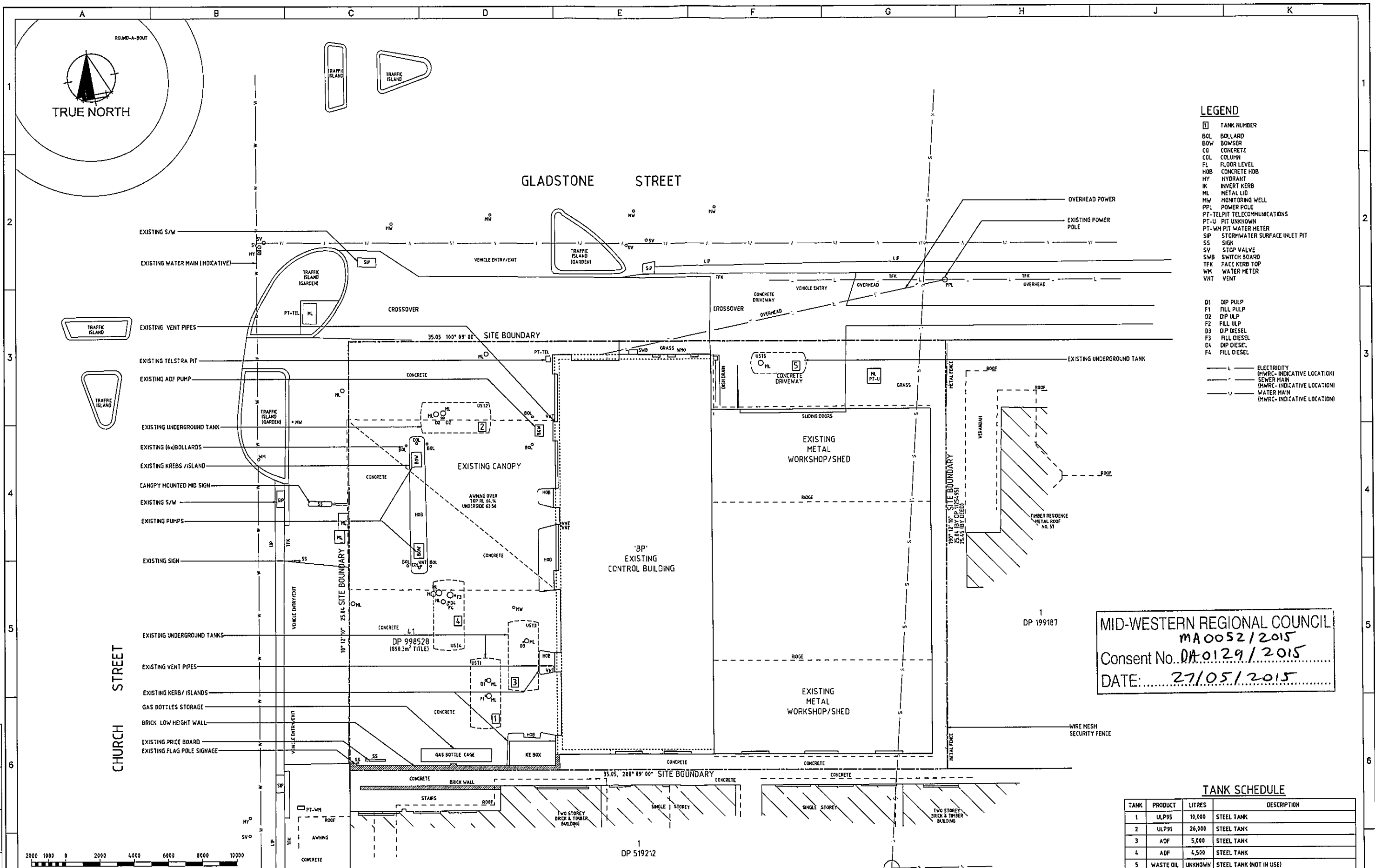
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BP MUDGEES
77 CHURCH STREET, MUDGEES, NSW - LOT 41 IN DP 998528
RAZE AND REBUILD
DEMOLITION PLAN

DRAWN AWH DATE 30.10.14 DWG No **SK-10442-A002D** REV A



MID-WESTERN REGIONAL COUNCIL
MA0052/2015
Consent No. DA-0129/2015
DATE: 27/05/2015

ISSUED FOR DEVELOPMENT APPROVAL

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REV	DATE	AMENDMENTS	DRN	DSW
A	23.09.14	ISSUED FOR DA	AWM	

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BP MUDGEE
77 CHURCH STREET, MUDGEE, NSW - LOT 41 IN DP 998528
RAZE AND REBUILD
EXISTING SITE PLAN

DRAWN AWM DATE 23.09.14
SCALE 1:100 SHEET A1
DWG No **SK-10442-A001**

MID-WESTERN REGIONAL COUNCIL
MA 0052/2015
Consent No. DA 0129/2015
DATE: 27/05/2015

CONCRETE SCHEDULE

LEGEND

- ⊙ BOLLARD
 - ⊙ COLUMN
 - ③ DISPENSER NUMBER
 - IK INVERT KERB
 - ML METAL LID
 - MW MONITORING WELL
 - PPL POWER POLE
 - PT-TEL TELECOMMUNICATIONS
 - PT-U PIT UNKNOWN
 - PT-WM PIT WATER METER
 - SIP STORMWATER SURFACE INLET PIT
 - SS SIGN
 - ☐ STORM WATER PIT
 - SWB SWITCH BOARD
 - 1 TANK NUMBER
 - TFK FACE KERB TOP
 - WM WATER METER
 - VNT VENT
- ELECTRICITY (MWRC - INDICATIVE LOCATION)
--- SEWER MAIN (MWRC - INDICATIVE LOCATION)
--- WATER MAIN (MWRC - INDICATIVE LOCATION)
- ☐ PROPOSED NEW CONCRETE (APPROX. 720m²)

GENERAL NOTES

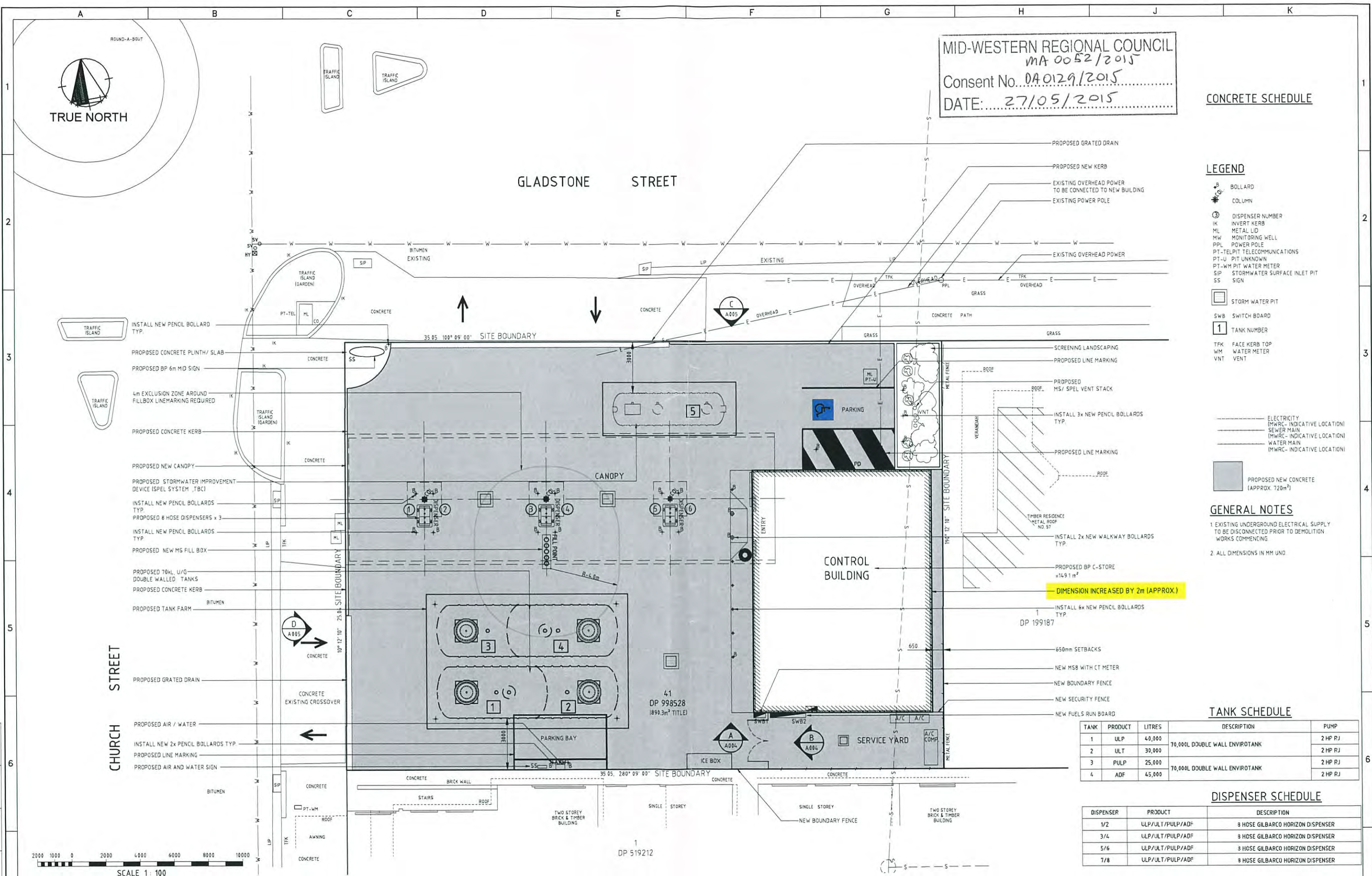
1. EXISTING UNDERGROUND ELECTRICAL SUPPLY TO BE DISCONNECTED PRIOR TO DEMOLITION WORKS COMMENCING.
2. ALL DIMENSIONS IN MM UNDO.

TANK SCHEDULE

TANK	PRODUCT	LITRES	DESCRIPTION	PUMP
1	ULP	40,000	70,000L DOUBLE WALL ENVIROTANK	2 HP PJ
2	ULT	30,000	70,000L DOUBLE WALL ENVIROTANK	2 HP PJ
3	PULP	25,000	70,000L DOUBLE WALL ENVIROTANK	2 HP PJ
4	ADF	45,000	70,000L DOUBLE WALL ENVIROTANK	2 HP PJ

DISPENSER SCHEDULE

DISPENSER	PRODUCT	DESCRIPTION
1/2	ULP/ULT/PULP/ADF	8 HOSE GILBARCO HORIZON DISPENSER
3/4	ULP/ULT/PULP/ADF	8 HOSE GILBARCO HORIZON DISPENSER
5/6	ULP/ULT/PULP/ADF	8 HOSE GILBARCO HORIZON DISPENSER
7/8	ULP/ULT/PULP/ADF	8 HOSE GILBARCO HORIZON DISPENSER



ISSUED FOR DEVELOPMENT APPROVAL

THIRD PARTY	PRINT NAME	SIGNATURE

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REV	DATE	AMENDMENTS	DRN	DSM
B	16/04/15	RE-ISSUED FOR DA - BUILDING SIZE AMENDED	AB	
A	03/10/14	ISSUED FOR DA	AWM	

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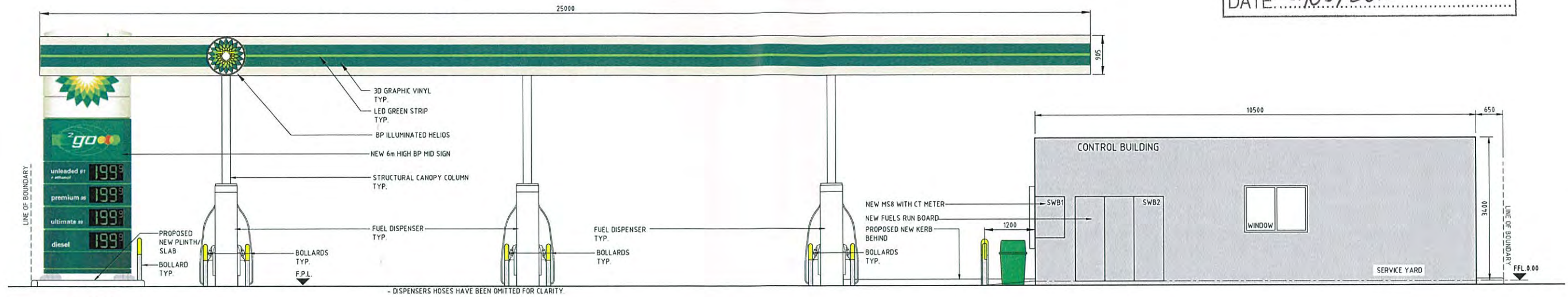
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BP MUDGEE
77 CHURCH STREET, MUDGEE, NSW - LOT 41 IN DP 998528
RAZE AND REBUILD
PROPOSED SITE PLAN

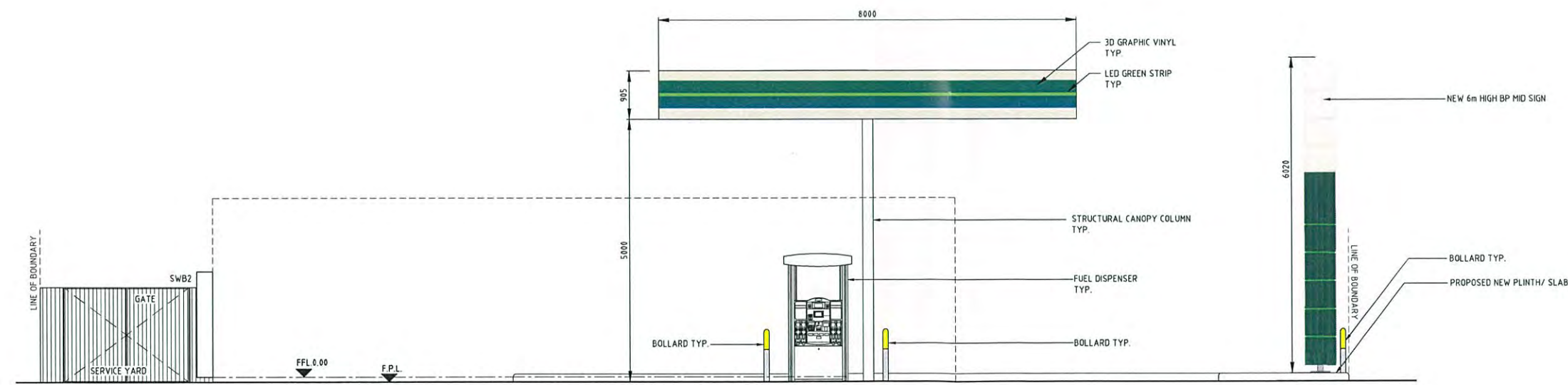
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SCALE 1:100 SHEET A1

MID-WESTERN REGIONAL COUNCIL
MA 0052/2015
Consent No. DA0129/2015
DATE: 27/05/2015



ELEVATION A
SCALE 1:50
A003



ELEVATION B
SCALE 1:50
A003

- LEGEND:**
- BP PEARL - RAL 1013
ICI A0083, "INDIAN LEGEND"
 - BP RETAIL GREEN
PMS 348C
 - CENTRAL HELIOS
WHITE
 - BP RETAIL BRIGHT GREEN
PMS 375C
 - BP YELLOW
PMS 109C

- NOTES:**
1. ALL DIMENSIONS IN MM UNO.
 2. FOR BP COLORS REFER TO BP RESELLER VISUAL STANDARDS MANUAL.
 3. ALL DIMENSIONS SHALL BE SITE CHECKED PRIOR TO FABRICATION AND INSTALLATION.



ISSUED FOR DEVELOPMENT APPROVAL		
THIRD PARTY	PRINT NAME	SIGNATURE

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http://www.meinhardtgroup.com
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REV	DATE	AMENDMENTS	DRN	DSM
B	16/04/15	RE-ISSUED FOR DA - BUILDING SIZE AMENDED		RN
A	30.09.14	ISSUED FOR DA		AWM

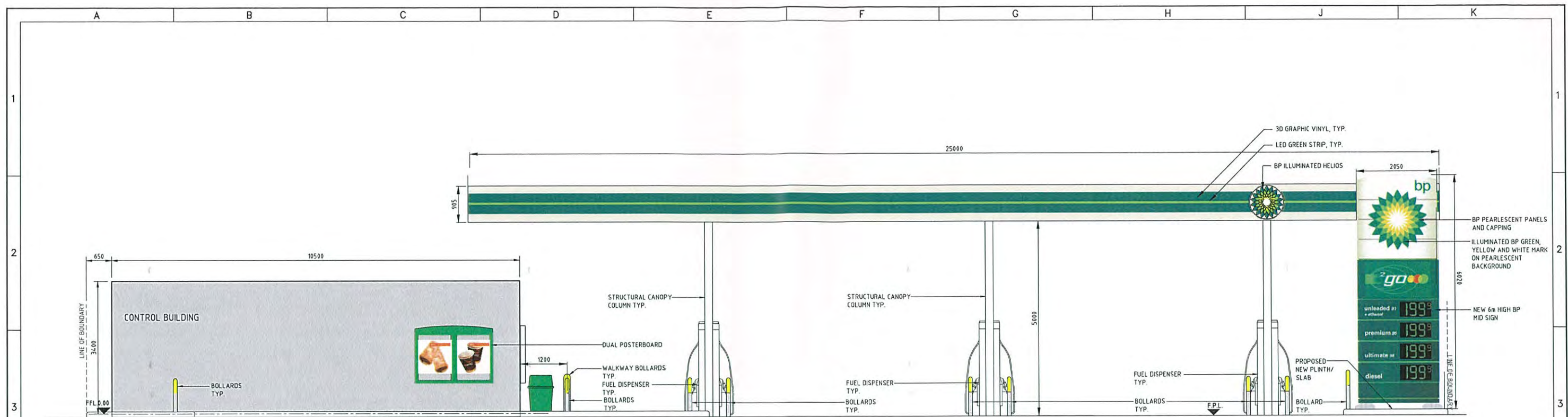
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GPO Box 3222, MELBOURNE VIC 3001
ABN 51 004 885 616
TEL (03) 9288 4111



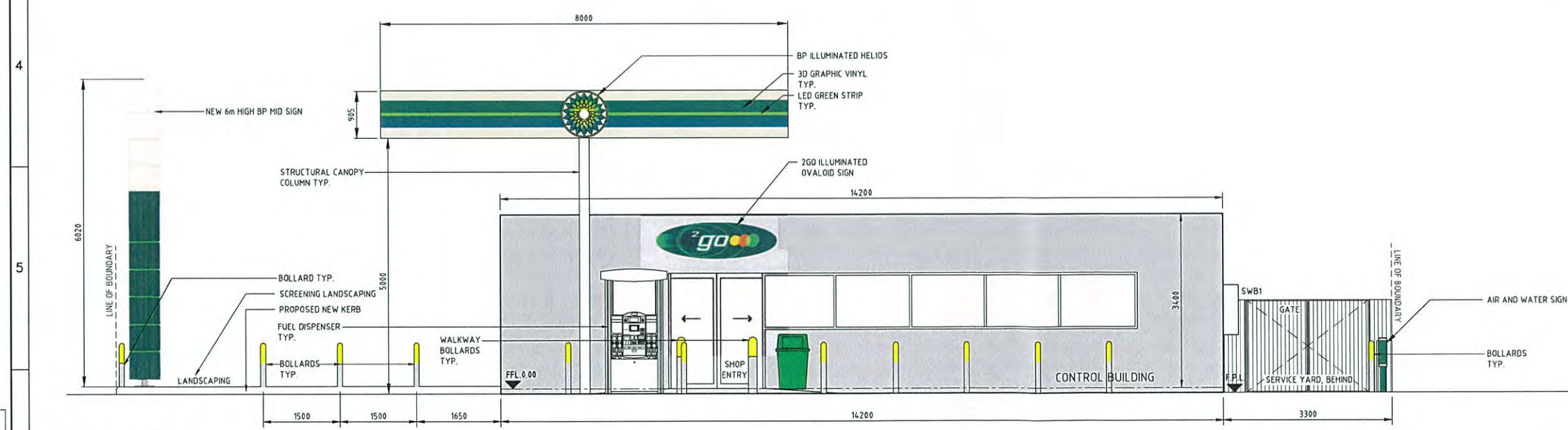
BP MUDGEES
77 CHURCH STREET, MUDGEES, NSW - LOT 41 IN DP 998528
RAZE AND REBUILD
PROPOSED ELEVATIONS A & B

DRAWN	AWM	DATE	30.09.14	DWG No	SK-10442-A004	REV	B
SCALE	1:50	SHEET	A1				



ELEVATION C
SCALE 1:50

MID-WESTERN REGIONAL COUNCIL
MA 0052/2015
Consent No... DA 0129/2015.....
DATE: 27/05/2015



ELEVATION D
SCALE 1:50

- LEGEND:**
- BP PEARL - RAL 1013
IC11A0083, "INDIAN LEGEND"
 - BP RETAIL GREEN
PMS 348C
 - CENTRAL HELIOS
WHITE
 - BP RETAIL BRIGHT GREEN
PMS 375C
 - BP YELLOW
PMS 109C

- NOTES:**
1. ALL DIMENSIONS IN MM UNO.
 2. FOR BP COLORS REFER TO BP RESELLER VISUAL STANDARDS MANUAL.
 3. ALL DIMENSIONS SHALL BE SITE CHECKED PRIOR TO FABRICATION AND INSTALLATION.



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THIRD PARTY	PRINT NAME	SIGNATURE		REV	DATE	AMENDMENTS	DRN	DSM	DRAWN	AWM	DATE	30.09.14	DWG No	SK-10442-A005	REV



PROPOSED BP 6m MID SIGN

MID-WESTERN REGIONAL COUNCIL
MA0052/2015
Consent No. DA0129/2015
DATE: 27/05/2015

NOTES:

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2. FOR BP COLORS REFER TO BP RESELLER VISUAL STANDARDS MANUAL.
3. ALL DIMENSIONS SHALL BE SITE CHECKED PRIOR TO FABRICATION AND INSTALLATION.



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http://www.meinhardtgroup.com
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REV	DATE	AMENDMENTS	DRN	DSM
A	30.09.14	ISSUED FOR DA	AWM	

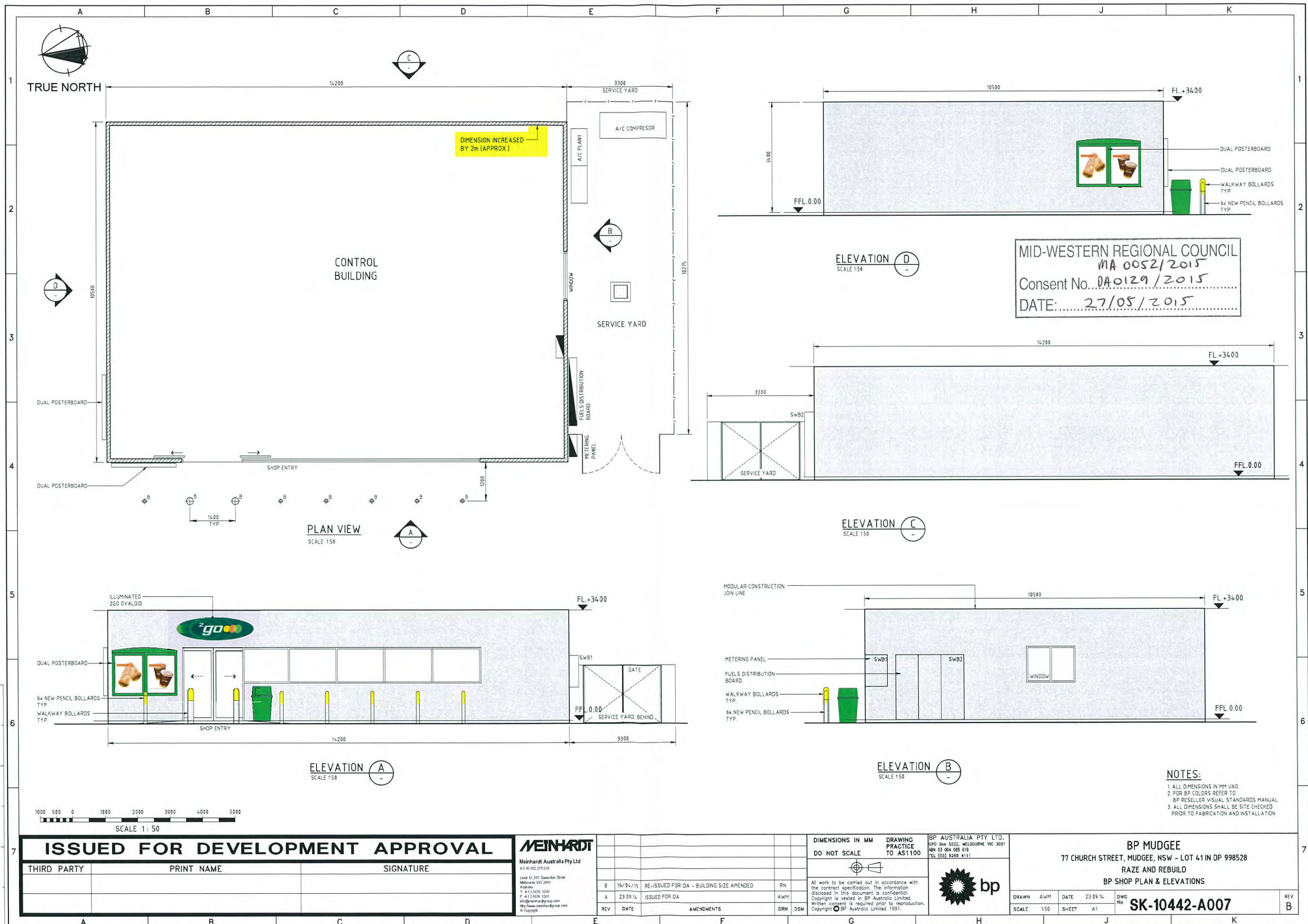
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TEL (03) 9268 4111



BP MUDGEE		77 CHURCH STREET, MUDGEE, NSW - LOT 41 IN DP 998528		RAZE AND REBUILD		SIGNAGE DETAILS	
DRAWN	AWM	DATE	30.09.14	DWG No	SK-10442-A006		REV
SCALE	1:20	SHEET	A1				A



MID-WESTERN REGIONAL COUNCIL
MA 0052/2015
Consent No. DA0129/2015
DATE: 27/05/2015

- NOTES:**
1. ALL DIMENSIONS IN MM UNDO.
 2. FOR BP COLORS REFER TO BP RESELLER VISUAL STANDARDS MANUAL.
 3. ALL DIMENSIONS SHALL BE SITE CHECKED PRIOR TO FABRICATION AND INSTALLATION.

ISSUED FOR DEVELOPMENT APPROVAL

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REV	DATE	AMENDMENTS	DRN	DSM
B	16/04/15	RE-ISSUED FOR DA - BUILDING SIZE AMENDED	RN	
A	23/09/14	ISSUED FOR DA	AWM	

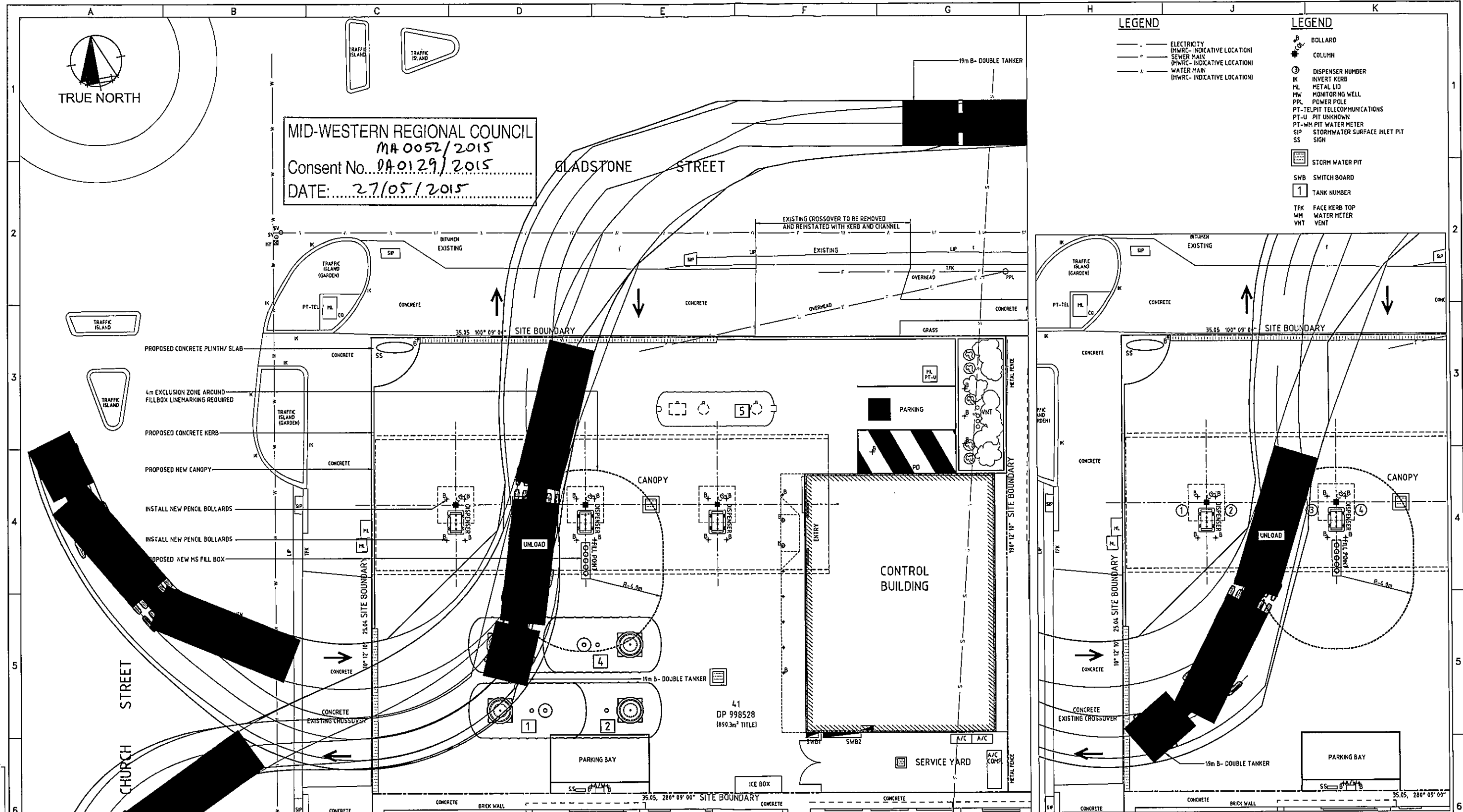
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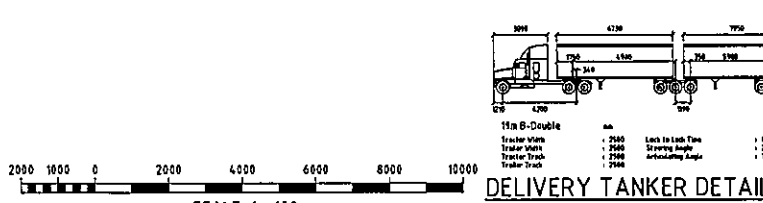


BP MUDGEES
77 CHURCH STREET, MUDGEES, NSW - LOT 41 IN DP 998528
RAZE AND REBUILD
BP SHOP PLAN & ELEVATIONS

DRAWN	AWM	DATE	23/09/14	DWG No	SK-10442-A007	REV	B
SCALE	1:50	SHEET	A1				



- LEGEND**
- ELECTRICITY (HWRC - INDICATIVE LOCATION)
 - SEWER MAIN (HWRC - INDICATIVE LOCATION)
 - WATER MAIN (HWRC - INDICATIVE LOCATION)
 - ⊙ BOLLARD
 - ⊙ COLUMN
 - ⊙ DISPENSER NUMBER
 - IK INVERT KERB
 - HL METAL LID
 - MW MONITORING WELL
 - PPL POWER POLE
 - PT-TEL TELECOMMUNICATIONS
 - PT-U PIT UNKNOWN
 - PT-WM PIT WATER METER
 - SIP STORMWATER SURFACE INLET PIT
 - SS SIGN
 - ☐ STORM WATER PIT
 - SWB SWITCH BOARD
 - 1 TANK NUMBER
 - TFK FACE KERB TOP
 - WM WATER METER
 - VNT VENT



BP LOGISTICS SIGN OFF BOX

NAME	SIGNATURE	DATE

TANK SCHEDULE

TANK	PRODUCT	LITRES	DESCRIPTION	PUMP
1	ULP	40,000	70,000L DOUBLE WALL ENVIROTANK	2 HP RJ
2	ULT	30,000	70,000L DOUBLE WALL ENVIROTANK	2 HP RJ
3	PULP	25,000	70,000L DOUBLE WALL ENVIROTANK	2 HP RJ
4	ADF	45,000	70,000L DOUBLE WALL ENVIROTANK	2 HP RJ

DISPENSER SCHEDULE

DISPENSER	PRODUCT	DESCRIPTION
1/2	ULP/ULT/PULP/ADF	8 HOSE GILBARCO HORIZON DISPENSER
3/4	ULP/ULT/PULP/ADF	8 HOSE GILBARCO HORIZON DISPENSER
5/6	ULP/ULT/PULP/ADF	8 HOSE GILBARCO HORIZON DISPENSER
7/8	ULP/ULT/PULP/ADF	8 HOSE GILBARCO HORIZON DISPENSER

ISSUED FOR DEVELOPMENT APPROVAL

THIRD PARTY	PRINT NAME	SIGNATURE

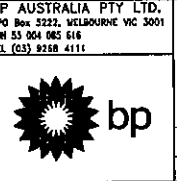
MEINHARDT
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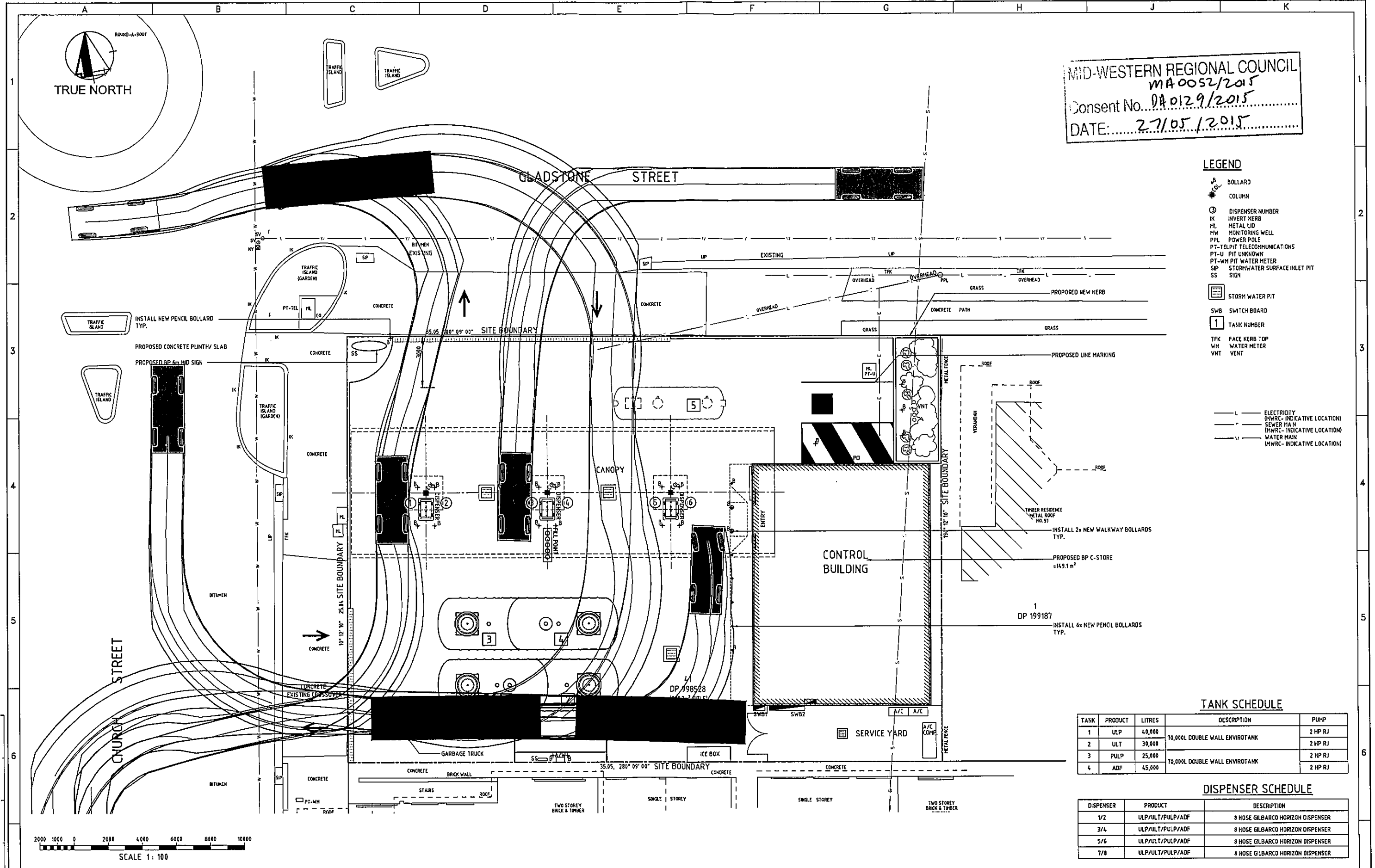
REV	DATE	AMENDMENTS	DRN	DSM
B	16/04/15	RE-ISSUED FOR DA - BUILDING SIZE AMENDED	RN	
A	30.09.14	ISSUED FOR DA	AWM	



BP MUDGEE
 77 CHURCH STREET, MUDGEE, NSW - LOT 41 IN DP 998528
 RAZE AND REBUILD
 19m B- DOUBLE TANKER PATH

DRAWN: AWM DATE: 30.09.14 DWG No: SK-10442-A008
 SCALE: 1:100 SHEET: A1 REV: B

MID-WESTERN REGIONAL COUNCIL
MA0052/2015
Consent No. DA 0129/2015
DATE: 27/05/2015



ISSUED FOR DEVELOPMENT APPROVAL

THIRD PARTY	PRINT NAME	SIGNATURE

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REV	DATE	AMENDMENTS	DRN	DSM
B	16/04/15	RE-ISSUED FOR DA - BUILDING SIZE AMENDED		
A	30.05.14	ISSUED FOR DA	AWM	

DIMENSIONS IN MM
OO NOT SCALE
DRAWING PRACTICE TO AS1100

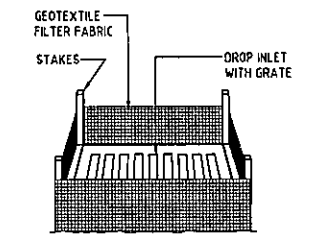
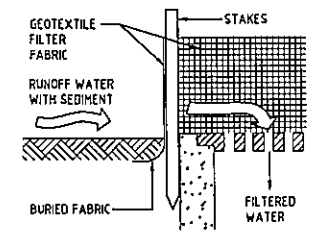
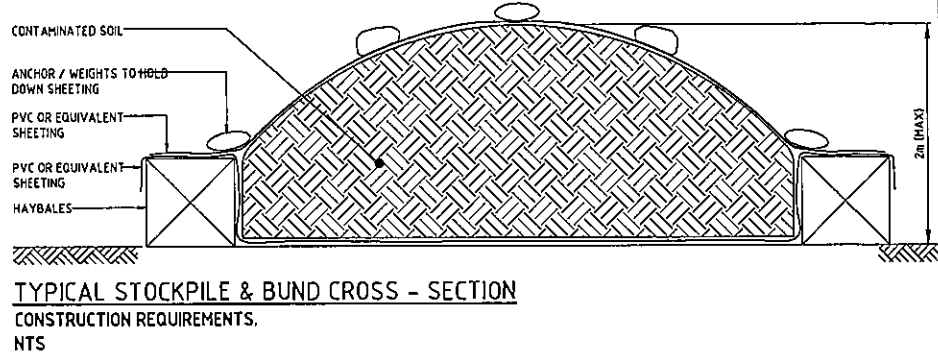
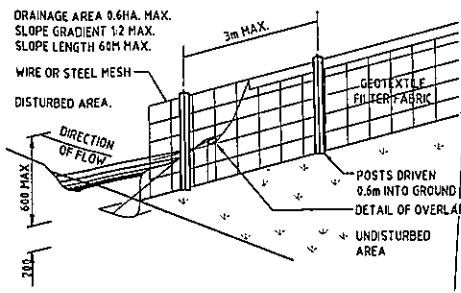
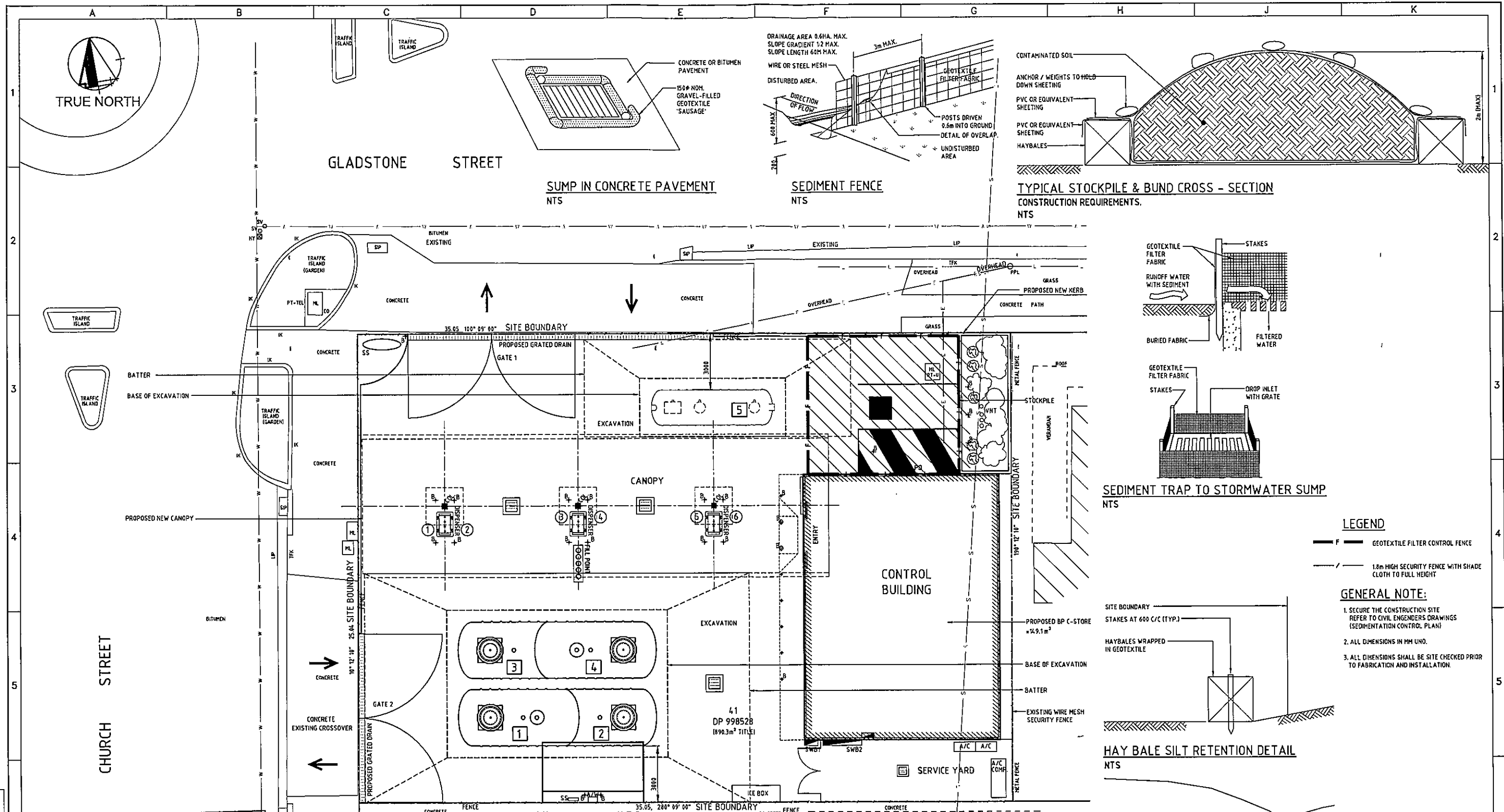
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BP MUDGEE
77 CHURCH STREET, MUDGEE, NSW - LOT 41 IN DP 998528
RAZE AND REBUILD
GARBAGE TRUCK & CAR TURNING PATH

BP AUSTRALIA PTY LTD.
GPO Box 5222, MELBOURNE VIC 3001
ABN 53 004 085 616
TEL (03) 9288 4111

bp

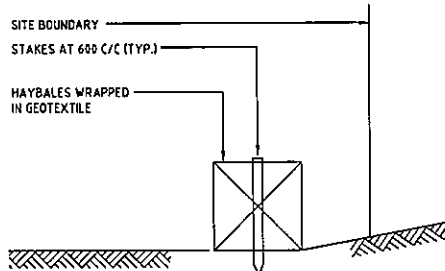
DRAWN	AWM	DATE	30.09.14	DWG No	SK-10442-A009	REV	B
SCALE	1:100	SHEET	A1	No			



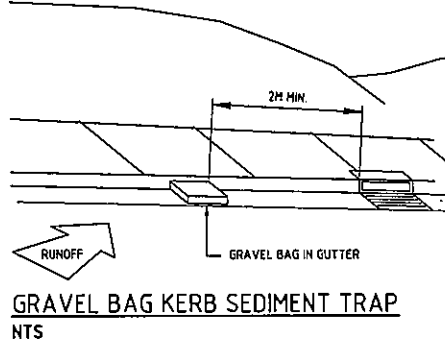
SEDIMENT TRAP TO STORMWATER SUMP NTS

LEGEND
 - F - GEOTEXTILE FILTER CONTROL FENCE
 - / - 1.8m HIGH SECURITY FENCE WITH SHADE CLOTH TO FULL HEIGHT

GENERAL NOTE:
 1. SECURE THE CONSTRUCTION SITE REFER TO CIVIL ENGINEERS DRAWINGS (SEDIMENTATION CONTROL PLAN)
 2. ALL DIMENSIONS SHALL BE IN MM UNO.
 3. ALL DIMENSIONS SHALL BE SITE CHECKED PRIOR TO FABRICATION AND INSTALLATION.



HAY BALE SILT RETENTION DETAIL NTS



GRAVEL BAG KERB SEDIMENT TRAP NTS

WESTERN REGIONAL COUNCIL
 MA 0052/2015
 Consent No. DA 0129/2015
 DATE 27/05/2015

NOTE:
SEDIMENT FENCE
 DEMOLITION CONTRACTOR TO PROVIDE SEDIMENT FENCING TO THE LOW SIDE OF THE SITE AROUND THE WORKS AREA TO PREVENT POTENTIAL SEDIMENT RUN-OFF FROM THE SITE FROM TEMPORARY SOIL STOCKPILES. SEDIMENT FENCE TO CONSIST OF AN APPROVED FILTER FABRIC ATTACHED TO WIRE OR WIRE MESH FENCES SHALL BE INSPECTED AT THE END OF EACH WORKING DAY FOR BREAKAGES, SAGGING, UNDERMINING, ETC. SEDIMENT TO BE REMOVED BEFORE IT CLOSSES THE FABRIC.

DRAINAGE PIT CONTROL
 ANY EXISTING DRAINAGE PITS ON THE SITE OR DIRECTLY ADJACENT TO THE SITE ARE TO BE COVERED OR PROTECTED WITH WIRE MESH & GRAVEL INLET FILTERS. REMOVE SEDIMENT AFTER EACH RAIN EVENT OR BUILD UP IN GUTTER.

STOCKPILES
 SOIL THAT ARE TO BE CLASSIFIED FOR RE-USE OR OFF-SITE DISPOSAL ARE TO BE LOCATED ON SITE IN THE DESIGNATED STOCKPILE AREA (AS SHOWN ON THE DRAWING). STOCKPILES ARE TO BE PLACED WITHIN A BUND THAT CONSISTS OF PVC OR EQUIVALENT SHEETING ON THE GROUND AND OVER HAY/STRAW BALES TO CREATE A POOL THAT WILL PREVENT ANY SEDIMENT RUN-OFF. STOCKPILES SHOULD NOT EXCEED 2m IN HEIGHT. STOCKPILES ARE TO BE COVERED BY PVC OR EQUIVALENT SHEETING TO PREVENT RAINWATER INGRESS WHICH IS ANCHORED DOWN TO RESIST DISTURBANCE FROM WIND. ROUTINELY CHECK THAT THE STOCKPILED MATERIAL IS COMPLETELY COVERED AND THAT THERE IS NO SEDIMENT RUN-OFF FROM THE STOCKPILES.

GRATED DRAINS
 COVER ALL GRATED DRAINS WITH GEOTEXTILE & SURROUND WITH HAY BALES AND SAUSAGES AS REQUIRED.

EROSION AND SEDIMENTATION CONTROL NOTES

- BUILDER SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO THE LOW SIDE BOUNDARIES. TIE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (E.G. HUES PROPEX SILT STOP) STANDING 300 ABOVE GROUND AND EXTENDING 150 BELOW GROUND. EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.
- NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
- GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.
- ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICAL.
- PROVIDE SEDIMENT FENCE TO PERIMETER OF EXCAVATION STOCKPILE.

ISSUED FOR DEVELOPMENT APPROVAL		
THIRD PARTY	PRINT NAME	SIGNATURE

MEINHARDT
 Meinhardt Australia Pty Ltd
 A.C.N. 092 275 530
 Level 12, 801 Swanston Street
 Melbourne VIC 3000
 Australia
 T: +61 3 9478 1200
 F: +61 3 9478 1201
 W: www.meinhardtgroup.com
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REV	DATE	AMENDMENTS	DRN	DSM
B	16/04/15	RE-ISSUED FOR DA - BUILDING SIZE AMENDED		
A	30.09.14	ISSUED FOR DA		

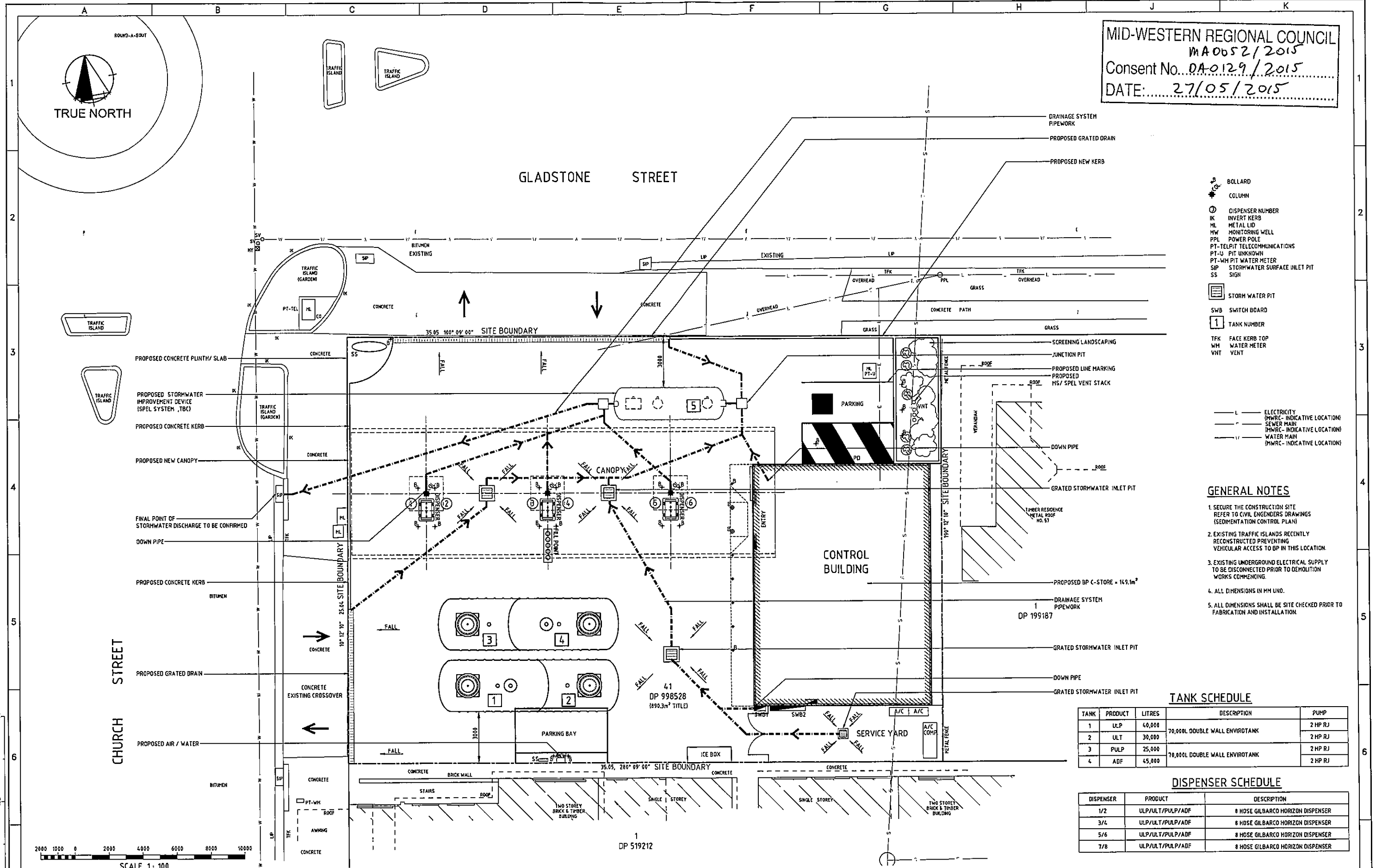
DIMENSIONS IN MM
 DO NOT SCALE
 DRAWING PRACTICE TO AS1100

BP AUSTRALIA PTY LTD.
 GPO Box 3222, MELBOURNE VIC 3001
 JAN 51 2014 085 616
 TEL (03) 9268 4111

BP MUDGEE
 77 CHURCH STREET, MUDGEE, NSW - LOT 41 IN DP 998528
 RAZE AND REBUILD
 SEDIMENTATION AND EROSION CONTROL PLAN

DRAWN: AWH DATE: 30.09.14
 SCALE: 1:100 SHEET: A1
 OGW No: SK-10442-A010
 REV: B

MID-WESTERN REGIONAL COUNCIL
MA 0652/2015
Consent No. DA-0129/2015
DATE: 27/05/2015



- LEGEND**
- ⊙ BOLLARD
 - ⊙ COLUMN
 - ⊙ DISPENSER NUMBER
 - IK INVERT KERB
 - ML METAL LID
 - MW MONITORING WELL
 - PPL POWER POLE
 - PT-TCL TELECOMMUNICATIONS
 - PT-U PIT UNKNOWN
 - PT-WM PIT WATER METER
 - SIP STORMWATER SURFACE INLET PIT
 - SS SIGN
 - SWB SWITCH BOARD
 - 1 TANK NUMBER
 - TFK FACE KERB TOP
 - WM WATER METER
 - VNT VENT
- GENERAL NOTES**
1. SECURE THE CONSTRUCTION SITE REFER TO CIVIL ENGINEERS DRAWINGS (SEDIMENTATION CONTROL PLAN)
 2. EXISTING TRAFFIC ISLANDS RECENTLY RECONSTRUCTED PREVENTING VEHICULAR ACCESS TO BP IN THIS LOCATION.
 3. EXISTING UNDERGROUND ELECTRICAL SUPPLY TO BE DISCONNECTED PRIOR TO DEMOLITION WORKS COMMENCING.
 4. ALL DIMENSIONS IN MM UNO.
 5. ALL DIMENSIONS SHALL BE SITE CHECKED PRIOR TO FABRICATION AND INSTALLATION.

TANK SCHEDULE

TANK	PRODUCT	LITRES	DESCRIPTION	PUMP
1	ULP	40,000	70,000L DOUBLE WALL ENVIRO TANK	2 HP RJ
2	ULT	30,000	70,000L DOUBLE WALL ENVIRO TANK	2 HP RJ
3	PULP	25,000	70,000L DOUBLE WALL ENVIRO TANK	2 HP RJ
4	ADF	45,000	70,000L DOUBLE WALL ENVIRO TANK	2 HP RJ

DISPENSER SCHEDULE

DISPENSER	PRODUCT	DESCRIPTION
1/2	ULP/ULT/PULP/ADF	8 HOSE GILBARCO HORIZON DISPENSER
3/4	ULP/ULT/PULP/ADF	8 HOSE GILBARCO HORIZON DISPENSER
5/6	ULP/ULT/PULP/ADF	8 HOSE GILBARCO HORIZON DISPENSER
7/8	ULP/ULT/PULP/ADF	8 HOSE GILBARCO HORIZON DISPENSER

ISSUED FOR DEVELOPMENT APPROVAL

THIRD PARTY	PRINT NAME	SIGNATURE

MEINHARDT
Meinhardt Australia Pty Ltd
A.C.N. 002 279 030
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Melbourne VIC 3000
Australia
T: +61 3 8676 1200
F: +61 3 8676 1201
info@meinhardtgroup.com
http://www.meinhardtgroup.com
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REV	DATE	AMENDMENTS	DRN	DSM
B	16/04/15	RE-ISSUED FOR DA - BUILDING SIZE AMENDED		RN
A	30.09.14	ISSUED FOR DA		AWH

DIMENSIONS IN MM
DO NOT SCALE
DRAWING PRACTICE TO AS1100
BP AUSTRALIA PTY LTD.
GPO Box 5232, MELBOURNE VIC 3001
MHN 53 004 085 616
TEL (03) 9268 4111

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BP MUDGEE
77 CHURCH STREET, MUDGEE, NSW - LOT 41 IN DP 998528
RAZE AND REBUILD
DRAINAGE PLAN

bp

DRAWN	AWM	DATE	30.09.14	DWG No	SK-10442-A011	REV	B
SCALE	1:100	SHEET	A1				

DEVELOPMENT APPLICATION
PLANNING ASSESSMENT REPORT

PROPOSAL BP service station – alterations and additions

SITE Lot 41 DP 998528
BP Service Station 77 Church Street MUDGEES NSW
2850

REFERENCE \\mwrcprod\T1\pro1\data\proprod\T1_PropertyRating\Pr
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cation No. DALAssReMa 905654.docx

RESPONSIBLE OFFICER Heath Dennerley

DATE 25 May 2015

FILE NUMBER DA0129/2015

APPLICATION NUMBER MA0052/2015

POLITICAL DECLARATION *Has there been a declaration of political donation in accordance with the
Election Funding & Disclosures Act 1981*
No

PROPOSED DEVELOPMENT:

The proposed modification relates to the increase in floor area of the control building approved under DA0126/2015. Specifically, the amendment seeks to increase the building footprint from 122.4m² (12m x 10.2m) to 149.1m² (14.2m x 10.5m). Accordingly, Condition 1 is proposed to be modified to include the amended plans as follows:

APPROVED PLANS

1. Development is to be carried out generally in accordance with stamped plans identified in the table below and the Application received by Council on 17 October 2014 except as varied by the conditions listed herein. Any minor modification to the approved plans will require the lodgement and consideration by Council of amended plans. Major modifications will require the lodgement of a new development application.

PLAN DESCRIPTION	DRAWING NO.	REVISION	DRAWN BY	DATED
Existing Site Plan	SK-10442-A001	A	Meinhardt Australia Pty Ltd	23.09.14
Demolition Plan	SK-10442-A002D	A	Meinhardt Australia Pty Ltd	30.10.14
Proposed Site Plan	SK-10442-A003	B	Meinhardt Australia Pty Ltd	16.05.15
Proposed Elevations A & B	SK-10442-A004	B	Meinhardt Australia Pty Ltd	16.04.15
Proposed Elevations C & D	SK-10442-A005	B	Meinhardt Australia Pty Ltd	16.04.15
Signage Details	SK-10442-A006	A	Meinhardt Australia Pty Ltd	30.09.14
BP Shop Plan & Elevations	SK-10442-A007	B	Meinhardt Australia Pty Ltd	16.04.15
19m B-Double Tanker Path	SK-10442-A008	B	Meinhardt Australia Pty Ltd	16.04.15
Garbage Truck & Car Turning Path	SK-10442-A009	B	Meinhardt Australia Pty Ltd	16.04.15
Sedimentation & Erosion Control Plan	SK-10442-A010	B	Meinhardt Australia Pty Ltd	16.04.15
Drainage Plan	SK-10442-A011	B	Meinhardt Australia Pty Ltd	16.04.15

ASSESSMENT:

The proposed modification has been lodged pursuant to Section 96 – Modification Generally, of the Environmental Planning and Assessment Act 1979. The relevant section is attached below,

(1A) Modifications involving minimal environmental impact

A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if:

- a) it is satisfied that the proposed modification is of minimal environmental impact, and*
- b) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all), and*
- c) it has notified the application in accordance with:*
 - i. the regulations, if the regulations so require, or*
 - ii. a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and*
- d) it has considered any submissions made concerning the proposed modification within any period prescribed by the regulations or provided by the development control plan, as the case may be.*

Subsections (1), (2) and (5) do not apply to such a modification.

(3) In determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in section 79C (1) as are of relevance to the development the subject of the application.

Comment: The proposal is to amend DA0126/2015 approved plans to increase the floor area of the control building to assist in providing a more OHS friendly environment for staff. As such, the proposal is essentially the same development and will not alter onsite impacts beyond what was envisaged for the original consent. The modification is not considered to be of substantial environmental impact and can be considered as a modification of the original development consent DA0171/2014.

The increase in building footprint will result in a small decrease in the size of the rear service yard; however, the proposal remains consistent with setback requirements.

It is considered that due to the minor environmental impact of the amendment, the modification can be approved under delegation and is not required to be reported to Council.

2. IMPACT OF DEVELOPMENT

The proposal will not alter on-site impacts beyond what was envisaged for original consent.

3. SUITABILITY OF SITE FOR DEVELOPMENT

The suitability of the site remains.

4. SUBMISSIONS MADE IN ACCORDANCE WITH ACT OR REGULATIONS

The modification was notified for a period of 14 days. No submissions were received.

5. THE PUBLIC INTEREST

(a) Federal, State and local government interests and community interests

N/A

6. CONSULTATIONS

(a) Health & Building.

N/A

(b) Technical Services

N/A

(c) Heritage Advisor

N/A

RECOMMENDATION:

The proposal has been considered in the terms of S96 and is considered acceptable. Therefore, approval is recommended subject to the modified condition 1a below:

CONDITIONS

APPROVED PLANS

- 1a. Development is to be carried out generally in accordance with stamped plans identified in the table below and the Application received by Council on 17 October 2014 except as varied by the conditions listed herein. Any minor modification to the approved plans will require the lodgement and consideration by Council of amended plans. Major modifications will require the lodgement of a new development application.

PLAN DESCRIPTION	DRAWING NO.	REVISION	DRAWN BY	DATED
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Drainage Plan	SK-10442-A011	B	Meinhardt Australia Pty Ltd	16.04.15

GENERAL CONDITIONS

2. Plant species used in the landscaping in the north-east corner appropriately advanced trees and shrubs, be drought/frost tolerant and generally endemic to the Mid-Western region. The landscaping is to be established prior to occupation.

3. This approval does not provide any indemnity to the owner or applicant under the Disability Discrimination Act 1992 with respect to the provision of access and facilities for people with disabilities.
4. For every 12 month period after the issue of the Final Fire Safety Certificate the owner/agent of the building must provide the Council and the Commissioner of NSW Fire Brigades with a copy of an Annual Fire Safety Statement Certifying that each specified fire safety measure is capable of performing to its specification.
5. The air conditioning unit/s must be operated in accordance with the requirements of the Protection of the Environmental Operations Act (Noise Control) Regulation 2008.
6. All vehicles are required to enter and leave the site in a forward direction at all times. Signage to this effect is to be appropriately located within the site.
7. All loading and unloading in connection with the premises shall be carried out wholly within the site.
8. All exterior lighting associated with the development shall be designed and installed so that no obtrusive light will be cast onto any adjoining property or roadways, in accordance with Australian Standard 4282 "Control of the Obtrusive Effects of Outdoor Lighting".
9. No display or sale of goods is to take place from public areas or footpaths fronting the premises.
10. All waste generated by the proposed development shall be disposed of to an approved location in accordance with the Waste Minimization & Management Act 1995.
11. There being no interference with the amenity of the neighbourhood by reason of the emission of any "offensive noise", vibration, smell, fumes, smoke, vapour, steam, soot, ash or dust, or otherwise as a result of the proposed development.
12. The signage is to be securely affixed and is not to flash, move or be objectionably glaring.
13. Illumination of the canopy fascia is not permitted under this consent.
14. The boundary fence proposed along the eastern boundary of the site (adjoining Lot 1 DP 199187) is to be solid (i.e. no gaps), 1.8 metres in height and constructed of either colorbond steel or be lapped and capped timber fencing.
15. The removal and installation of the underground petroleum storage tanks is to be carried out as per the requirements of the Protection of the Environment Operation (Underground Petroleum Storage Systems) Regulation 2008.
16. As the existing premises with a refuelling point will be refurbished, in accordance with the NSW Office of Waters' requirements, the discharge from this area must be disconnected from Council's sewerage system. Where the premises do not have other trade waste discharges (eg. from a restaurant, vehicle wash, mechanical workshop), trade waste fees and charges would no longer apply.
17. A Notice of Completion for the remediation work is to be provided to Council within 30 days after the completion of work and shall include the following details prescribed by State Environmental Planning Policy 55 – Remediation of Land:
 - a) be in writing prepared and signed by the person who carried out the work, and
 - b) provide the person's name, address and business telephone number, and

- c) provide details of the person's qualifications to carry out the work, and
 - d) specify, by reference to its property description and street address (if any), the land on which the work was carried out, and
 - e) provide a map of the location of the land, and
 - f) state when the work was completed, and
 - g) specify the uses of the land, and the substances, that contaminated it in such a way as to present a risk of harm to human health or some other aspect of the environment, and
 - h) specify the uses of the land immediately before the work started, and
 - i) briefly describe the method of remediation used in the work, and
 - j) specify the guidelines that were complied with in the work, and
 - k) specify the standard of remediation achieved (in the light of the use proposed for the land), and
 - l) show in what manner the work (if a category 1 remediation work) complied with the conditions of the relevant development consent, and
 - m) state what action must be maintained in relation to the land after the completion of the remediation work if the standard of remediation achieved is to be maintained.
18. Closed-Circuit Television (CCTV) cameras are to be installed around the site in locations that are able to capture the registration plates of all vehicle entering and exiting the site. The cameras should provide adequate coverage of the premises and forecourt areas.
19. Independent security officers are to be employed by the operators of the service station between the hours of 12am till 5am Saturday and Sunday.

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

20. Development Consent number DA 0504/2013 is to be surrendered to Council in accordance with clause 97 of the Environmental Planning & Assessment Regulation 2000 prior to the issue of a Construction Certificate.
21. A floor plan of the control building, including floor layout, internal partitioning, room sizes and intended uses for each part of the building, is to be submitted to Council for approval prior to the issue of a Construction Certificate.
22. The applicant is to submit a Drainage Report prepared in accordance with the Institution of Engineers publication Australian Rainfall and Run-off to the Principal Certifying Authority for approval prior to the release of the Construction Certificate. The report must demonstrate that stormwater runoff from the site is not increased beyond the existing undeveloped state up to and including a 1.5 year event. All storm water detention details including analysis shall be included with the drainage report.
23. A Traffic Control Plan (TCP) completed by a "Certified Person" for implementation during works is to be submitted to Mid-Western Regional Council prior to any work commencing.
24. A copy of the Contractor's public liability insurance cover for a minimum of \$20,000,000 (Twenty million dollars) is to be provided to Mid-Western Regional Council. Mid-Western Regional Council is to be indemnified against any works carried out by the contractor.
25. A registered Surveyors Certificate showing the boundaries of the site and the proposed building plotted thereon being submitted to the Principal Certifying Authority before construction is commenced.
26. Prior to release of the Construction Certificate, approval pursuant to Section 68 of the Local Government Act, 1993 to carry out water supply, stormwater and sewerage works is to be obtained from Mid-Western Regional Council.

PRIOR TO THE COMMENCEMENT OF WORKS

27. No work shall commence until a Construction Certificate has been issued and the applicant has notified Council of:
- a) the appointment of a Principal Certifying Authority and
 - b) the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

28. The site shall be provided with a waste enclose (minimum 1800mm X 1800mm X 1200mm) that has a lid or secure covering for the duration of the construction works to ensure that all wastes are contained on the site. The receptacle is to be emptied periodically to reduce the potential for rubbish to leave the site. Council encourages the separation and recycling of suitable materials.

NOTE: ALL WASTE GENERATED FROM THE CONSTRUCTION PROCESS IS TO BE CONTAINED ON-SITE

29. Prior to the commencement of works on site, the applicant shall advise Council's Development and Community Services Department, in writing, of any existing damage to Council property.

ENGINEERING CONSTRUCTION

30. The developer must install sewer chambers where the current sewer line intersects the north and south of the property boundary. The current vitrified clay pipe must be replaced with class 8 uPVC of at least equal internal diameter. The replacement pipe must be concrete encased as per WSAA 02-2002 drawing SEW-1205. Saw cuts must be provided 1.5m either side of the replacement pipe within the proposed concrete area.

NOTE: Any work on live sewer mains must be done by Council.

31. Raised kerbing is to be constructed around the site, as per the approved site plan, to separate pedestrian traffic from vehicles manoeuvring within the forecourt area.
32. Car parking spaces are to be provided within the site, as per the approved plans, and comply with AS 2890.1: 2004 and the following requirements:
- a) Each parking space is to have minimum dimensions of 5.5m x 2.4m;
 - b) Each disabled car parking space is to be in accordance with the provisions of AS 2890.6: 2009.
 - c) All car parking spaces are to be line-marked and provided with a hard standing, all weather compacted gravel surface and must be maintained in a satisfactory condition at all times;
 - d) Off street parking is to be encouraged by the placement of prominent signs indicating the availability of parking.
33. All public footways, foot paving, kerbs, gutters and road pavement damaged during the works are to be restored to match existing conditions at the Developer's/Demolisher's expense.
34. All stormwater is to discharge to the street with the use of non-flexible kerb adaptors. Please note this can be achieved by connecting to existing stormwater lines.

BUILDING CONSTRUCTION

35. All building work is to comply with the requirements of the Access to Premises Standard
36. All building work must be carried out in accordance with the provisions of the National Construction Code, the Environmental Planning & Assessment Act 1979 and Regulations and all relevant Australian Standards.
37. All plumbing and drainage work must be carried out by a licensed plumber and drainer and must comply with the Plumbing Code of Australia.
38. Construction work noise that is audible at other premises is to be restricted to the following times:
Monday to Saturday - 7.00am to 5.00pm

No construction work noise is permitted on Sundays or Public Holidays.
39. All mandatory inspections required by the Environmental Planning & Assessment Act and any other inspections deemed necessary by the Principal Certifying Authority being carried out during the relevant stage of construction.
40. The licensed demolition contractor and/or principal contractor must comply with the following specific requirements in respect of the proposed demolition works:-
 - a) Demolition work is not be undertaken until:

Council has been provided with a copy of any required Hazardous Substances Management Plan;
The licensed demolition contractor and/or principal contractor has inspected the site and is satisfied that all measures are in place to comply with the provisions of such Plan;
 - b) The removal, handling and disposal of any asbestos material (in excess of 10m²) is to be undertaken only by an asbestos removal contractor who holds the appropriate class of Asbestos Licence, issued by WorkCover NSW, and in accordance with the requirements of WorkCover NSW, the Work Health and Safety Act 2011 and Australian Standard 2601-2001
 - c) All asbestos and other hazardous materials are to be appropriately contained and disposed of at a facility holding the appropriate license issued by the NSW Environmental Protection Agency;
 - d) Seven working days notice in writing is to be given to Council prior to the commencement of any demolition works. Such written notice is to include the date demolition will commence and details of the name, address, contact telephone number and licence details (type of licences held and licence numbers) of any asbestos removal contractor and demolition contractor.
41. The development site is to be managed for the entirety of work in the following manner:
 - a) Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
 - b) Appropriate dust control measures;
 - c) Construction equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained;
 - d) Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
42. The strength of the concrete used for the reinforced concrete floor slab must be a minimum 25Mpa

43. If the work involved in the erection/demolition of the building;
 - a) is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
 - b) building involves the enclosure of a public place
44. A hoarding or fence must be erected between the work site and the public place. If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place. Any such hoarding, fence or awning is to be removed when the work has been completed.
45. The placing of building materials or the carrying out of building operations upon or from Council's footway or roadway is prohibited unless prior consent in writing is obtained from Council.
46. A sign must be erected in a prominent position on any work site on which involved in the erection or demolition of a building is carried out;
 - a) stating that unauthorised entry to the work site is prohibited, and
 - b) showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours.
 - c) the name, address and telephone number of the principal certifying authority for the work,
 - d) The sign shall be removed when the erection or demolition of the building has been completed.

PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE

47. Prior to the occupation of a new building, or occupation or use of an altered portion of, or an extension to an existing building, an Occupation Certificate is to be obtained from the Principal Certifying Authority appointed for the erection of the building.
48. All car parking and associated forecourt works are to be completed prior to occupation of the development.
49. Prior to occupation or the issue of the Occupation Certificate (or Interim Occupation Certificate) the owner of the building must cause the Principal Certifying Authority to be given a fire safety certificate (or interim fire safety certificate in the case of a building or part of a building occupied before completion) in accordance with Clause 153 of the Environmental Planning and Assessment Regulation 2000 for each measure listed in the schedule. The certificate must only be in the form specified by Clause 174 of the Regulation. A copy of the certificate is to be given to the Commissioner of the New South Wales Fire Brigade and a copy is to be prominently displayed in the building.

OTHER APPROVALS

Not Applicable

ADVISORY NOTES

- 1 The removal of trees within any road reserve requires the separate approval of Council in accordance with the policy "Tree Removal and Pruning – Public Places".
- 2 The land upon which the subject building is to be constructed may be affected by restrictive covenants. This approval is issued without enquiry by Council as to whether any restrictive covenant affecting the land would

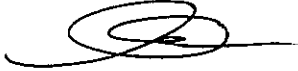
be breached by the construction of the building, the subject of this approval. Persons to whom this approval is issued must rely on their own enquiries as to whether or not the building breaches any such covenant.

- 3 Section 82A of the Environmental Planning and Assessment Act (EP&A Act) gives you the ability to seek a review of the determination. This request is made to Council and must be made within 6 months after the date on which you receive this notice. The request must be made in writing and lodged with the required fee; please contact Council's Planning and Development Department for more information or advice.
- 4 If you are dissatisfied with this decision section 97 of the EP&A Act 1979 gives you the right to appeal to the Land and Environment Court within 6 months after the date on which you receive this notice.
- 5 To ascertain the date upon which the consent becomes effective, refer to Section 83 of the EP&A Act.
- 6 To ascertain the extent to which the consent is liable to lapse, refer to Section 95 of the EP&A Act.

Decision
Development Application 0129/2015

Pursuant to the provisions of Section 80 of the Environmental Planning and Assessment Act 1979, and in accordance with the delegated authority issued by the General Manager – Mid-Western Regional Council dated 11 December 2008 Development Application No.0129/2015 is determined by way of consent subject to the conditions of consent.

Officer Heath Dennerley
Position Town planner

 . 26/5/15
Date 25/05/2015



HDraپر; ZS DA0227/2023

21 April 2023

TFA Group
166 Knapp Street
FORTITUDE VALLEY QLD 4006

Dear Sir/Madam

**DEVELOPMENT APPLICATION DA0227/2023 - SIGNAGE AND BUILDING
REFURBISHMENT - LOT 41 DP 998528 - BP SERVICE STATION 77 CHURCH STREET
MUDGEE NSW 2850**

I am pleased to advise that your application has been approved by Council.

Attached is Council's formal Development Consent No. DA0227/2023.

It is important that you read the consent and understand the requirements of any conditions imposed. Certain requirements may need to be satisfied prior to proceeding with the development.

The consent is a legal document and should be kept for your future reference as the development proceeds. It should be noted that commencement of the development implies your acceptance of the conditions of consent.

Please Note: No work can commence until a Construction Certificate has been issued, a Principal Certifying Authority (PCA) appointed and Council notified of commencement of work at least 2 days in advance.

Should you have any query regarding the consent or associated conditions, do not hesitate to contact myself or the appropriate Council officer.

Yours faithfully

A handwritten signature in black ink, appearing to read "I. Susnja", is written over a light blue horizontal line.

**ILIJA SUSNJA
DUTY TOWN PLANNER
DEVELOPMENT**

Notice of Determination of a Development Application

Issued under the *Environmental Planning and Assessment Act 1979* Section 4.16(1)(a)

Our Ref: HDraper; ZS DA0227/2023	DA No: DA0227/2023
---	---------------------------

Applicant: TFA Group 166 Knapp Street FORTITUDE VALLEY QLD 4006	Land to be Developed: Lot 41 DP 998528 BP Service Station 77 Church Street MUDGEE NSW 2850
--	--

Proposed Development: Signage and Building Refurbishment	Building Code of Australia Classification: -
--	--

Date of Determination:	21 April 2023
-------------------------------	---------------

Determination:	CONSENT GRANTED subject to conditions set out below
-----------------------	--

Consent to operate from: 21 April 2023	Consent to lapse on: 21 April 2028
--	--

CONDITIONS

APPROVED PLANS

- The development is to be carried out in accordance with the following plans endorsed with Council's Stamp as well as the documentation listed below, except as varied by the conditions listed herein and/or any plan notations.

Title / Name:	Drawing No / Document Ref	Revision / Issue	Date:	Prepared by:
Site Plan	22347-MUD-DA00, Sheet A1	D	28/03/2023	TSA Project Group
Existing Floor Plan	22347-MUD-DA01, Sheet A1	A	12/12/2022	TSA Project Group
Proposed Floor Plan	22347-MUD-DA03, Sheet A1	A	12/12/2022	TSA Project Group
Signage Plan and Building Elevations	22347-MUD-DA07, Sheet A1	D	29/03/2023	TSA Project Group

GENERAL

- For clarity, this development consent provides approval for signage and building refurbishment, only.
- All building work must be carried out in accordance with the *Building Code of Australia*.

4. Costs associated with all development works including any necessary alteration, relocation of services, public utility mains or installations must be met by the developer. The developer is responsible to accurately locate all existing services before any development works commence to satisfy this condition.
5. Any damage which is caused to Council's infrastructure as a result of the proposed development must be repaired immediately to Council's satisfaction and at no cost to Council.
6. All demolition works are to be carried out in accordance with AS 2601-2001 "Demolition of structures", with all waste being removed from the site. Hazardous waste such as asbestos cement sheeting etc, shall be handled, conveyed and disposed of in accordance with guidelines and requirements from SafeWork NSW. Disposal of asbestos material at Council's Waste Depot requires prior arrangement for immediate landfilling.
7. All public footways, foot paving, kerbs, gutters and road pavement damaged during the works are to be restored to match existing conditions at the developer's/demolisher's expense.

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

8. Pursuant to Section 64 of the Environmental Planning and Assessment Regulation 2021, the existing buildings are to be brought into conformity with the following Performance Requirements of the BCA, Volume 1.
 - **DP6** – So that occupants can safely evacuate the building, paths of travel to exits must have dimensions appropriate to the number, mobility and other characteristics of occupants; and the function or use of the building.
 - **EP1.2** – Fire extinguishers must be installed to the degree necessary to allow occupants to undertake initial attack on a fire appropriate to the function or use of the building; and, any other fire safety systems installed in the building; and, the fire hazard.

Plans and specifications demonstrating compliance are to be submitted to and approved by the Certifier prior to the issue of a Construction Certificate.

PRIOR TO THE COMMENCEMENT OF WORKS

9. No work shall commence until a Construction Certificate has been issued and the applicant has notified Council of:
 - a) the appointment of a Principal Certifying Authority and
 - b) the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

10. The site shall be provided with a waste enclosure (minimum 1800mm X 1800mm X 1200mm) that has a lid or secure covering for the duration of the construction works to ensure that all wastes are contained on the site. The receptacle is to be emptied periodically to reduce the potential for rubbish to leave the site. Council encourages the separation and recycling of suitable materials.

NOTE: ALL WASTE GENERATED FROM THE CONSTRUCTION PROCESS IS TO BE CONTAINED ON-SITE

11. A sign must be erected in a prominent position on any work site on which the erection or demolition of a building is carried out:
 - a) stating that unauthorised entry to the work site is prohibited;

- b) showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours;
- c) the name, address and telephone number of the principal certifying authority for the work; and
- d) the sign shall be removed when the erection or demolition of the building has been completed.

12. If the work involved in the erection/demolition of the building;

- a) is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient; or
- b) building involves the enclosure of a public place.

A hoarding or fence must be erected between the work site and the public place. If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place. Any such hoarding, fence or awning is to be removed when the work has been completed.

13. The development site is to be managed for the entirety of work in the following manner:

- a) Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation;
- b) Appropriate dust control measures;
- c) Construction equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained;
- d) Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.

BUILDING CONSTRUCTION

14. All building work must be carried out in accordance with the provisions of the National Construction Code, the Environmental Planning & Assessment Act 1979 and Regulations and all relevant Australian Standards.

15. All plumbing and drainage work must be carried out by a licensed plumber and drainer and must comply with the Plumbing Code of Australia.

16. Construction work noise that is audible at other premises is to be restricted to the following times:

- Monday to Saturday - 7.00am to 5.00pm

No construction work noise is permitted on Sundays or Public Holidays.

17. All mandatory inspections required by the Environmental Planning & Assessment Act and any other inspections deemed necessary by the Principal Certifying Authority being carried out during the relevant stage of construction.

18. This approval does not provide any indemnity to the owner or applicant under the Disability Discrimination Act 1992 with respect to the provision of access and facilities for people with disabilities.

19. All building work is to comply with the requirements of the Access to Premises Standard.

20. The list of measures contained in the schedule attached to the Construction Certificate are required to be installed in the building or on the land to ensure the safety of persons in the

event of fire in accordance with Section 78 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021.

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE

21. Prior to the occupation of a new building, or occupation or use of an altered portion of, or an extension to an existing building, an Occupation Certificate is to be obtained from the Principal Certifying Authority appointed for the erection of the building.
22. Prior to occupation or the issue of the Occupation Certificate the owner of the building must cause the Principal Certifier to be given a fire safety certificate (or interim fire safety certificate in the case of a building or part of a building occupied before completion) in accordance with Section 41 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021 for each measure listed in the schedule. The certificate must only be in the form specified by Section 86 of the Regulation. A copy of the certificate is to be given to the Commissioner of the New South Wales Fire Brigade and a copy is to be prominently displayed in the building.

ONGOING/OPERATIONAL

23. For every 12 month period after the issue of the Final Fire Safety Certificate the owner/agent of the building must provide the Council and the Commissioner of NSW Fire Brigades with a copy of an Annual Fire Safety Statement certifying that each specified fire safety measure is capable of performing to its specification.
24. Where any essential services are installed in the building a copy of the final Fire Safety Certificate (together with a copy of the current fire safety schedule) is to be given to the Commissioner of NSW Fire Brigades and Council. A further copy of the Certificate (together with a copy of the current fire safety schedule) is to be prominently displayed in the building.

SIGNAGE

25. The approved signage and related components are to be maintained in a clean, tidy and structurally sound manner, at all times.
26. The signage is to be securely affixed and is not to flash, move or be objectionably glaring.
27. Any further signage proposed on the site is subject to a separate Development Application, if the additional signage is not exempt development.
28. Any illumination of signage is to comply with the following requirements:
 - a) Illumination (including cabling) of signs is to be:
 - (i) concealed; or
 - (ii) integral with the sign; or
 - (iii) internally illuminated; or
 - (iv) provided by means of carefully designed and located remote or spot baffled lamps.
 - b) Lighting must comply with Australian Standard AS 4282:1997 – Control of the Obtrusive Effects of Outdoor Lighting.
29. The property owner or tenant shall remove and clean any graffiti attacks on the approved signage and related components as soon as practicable, in order to deter future attacks.

ADVISORY NOTES

1. The removal of trees within any road reserve requires the separate approval of Council in accordance with the policy "Tree Removal and Pruning - Public Places".
2. The land upon which the subject building is to be constructed may be affected by restrictive covenants. This approval is issued without enquiry by Council as to whether any restrictive covenant affecting the land would be breached by the construction of the building, the subject of this approval. Persons to whom this approval is issued must rely on their own enquiries as to whether or not the building breaches any such covenant.
3. Division 8.2 of the Environmental Planning and Assessment Act 1979 (EP&A Act) gives you the ability to seek a review of the determination. This request is made to Council and must be made within 6 months after the date on which you receive this notice. The request must be made in writing and lodged with the required fee; please contact Council's Development Department for more information or advice.
4. If you are dissatisfied with this decision section 8.7 of the EP&A Act gives you the right to appeal to the Land and Environment Court within 6 months after the date on which you receive this notice, pursuant to section 8.10(1)(b).
5. To ascertain the extent to which the consent is liable to lapse, refer to Section 4.53 of the EP&A Act.

STATEMENT OF REASONS

The determination decision was reached for the following reasons:

1. The proposed development complies with the requirements of the applicable environmental planning instruments and Mid-Western Regional Development Control Plan 2013.
2. The proposed development is considered to be satisfactory in terms of the matters identified in Section 4.15 of the Environmental Planning & Assessment Act 1979.
3. No submissions were received during public exhibition.

OTHER APPROVALS

N/A

Signed on behalf of Mid-Western Regional Council by:



ILIJA SUSNJA
DUTY TOWN PLANNER
DEVELOPMENT
21 APRIL 2023

RPD
 LOT : 41
 Plan : DP998528
 LGA : MID-WESTERN REGIONAL COUNCIL
 ZONE : COMMERCIAL CORE (B3)
 SITE AREA : 877 m²
 (APPROX.)

- NOTES:
1. DEVELOPMENT APPLICATION ONLY.
 2. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION & FABRICATION OF SIGNAGE.
 3. ALL EXTERNAL WALLS TO BE REPAINTED TO BP STANDARD PAINT FINISH - REFER TO BP STANDARD FINISHES SCHEDULE.
 4. LOCATION OF MID & SITE FEATURES, INCLUDING DIMENSIONS & SETBACKS SUBJECT TO SURVEY.
 5. ALL SITE BOUNDARIES, DIMENSIONS & STRUCTURES (INCLUDING LOCATION) ARE SUBJECT TO SURVEY.

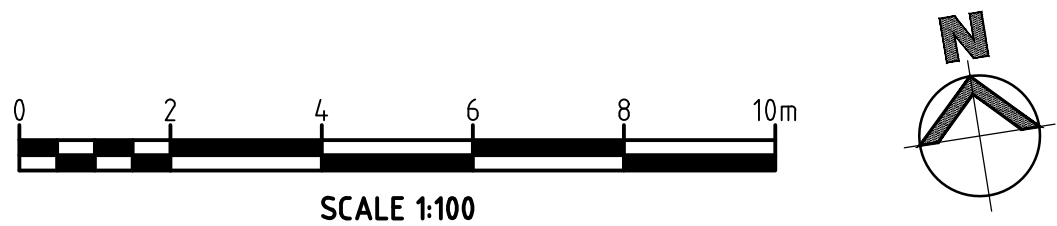
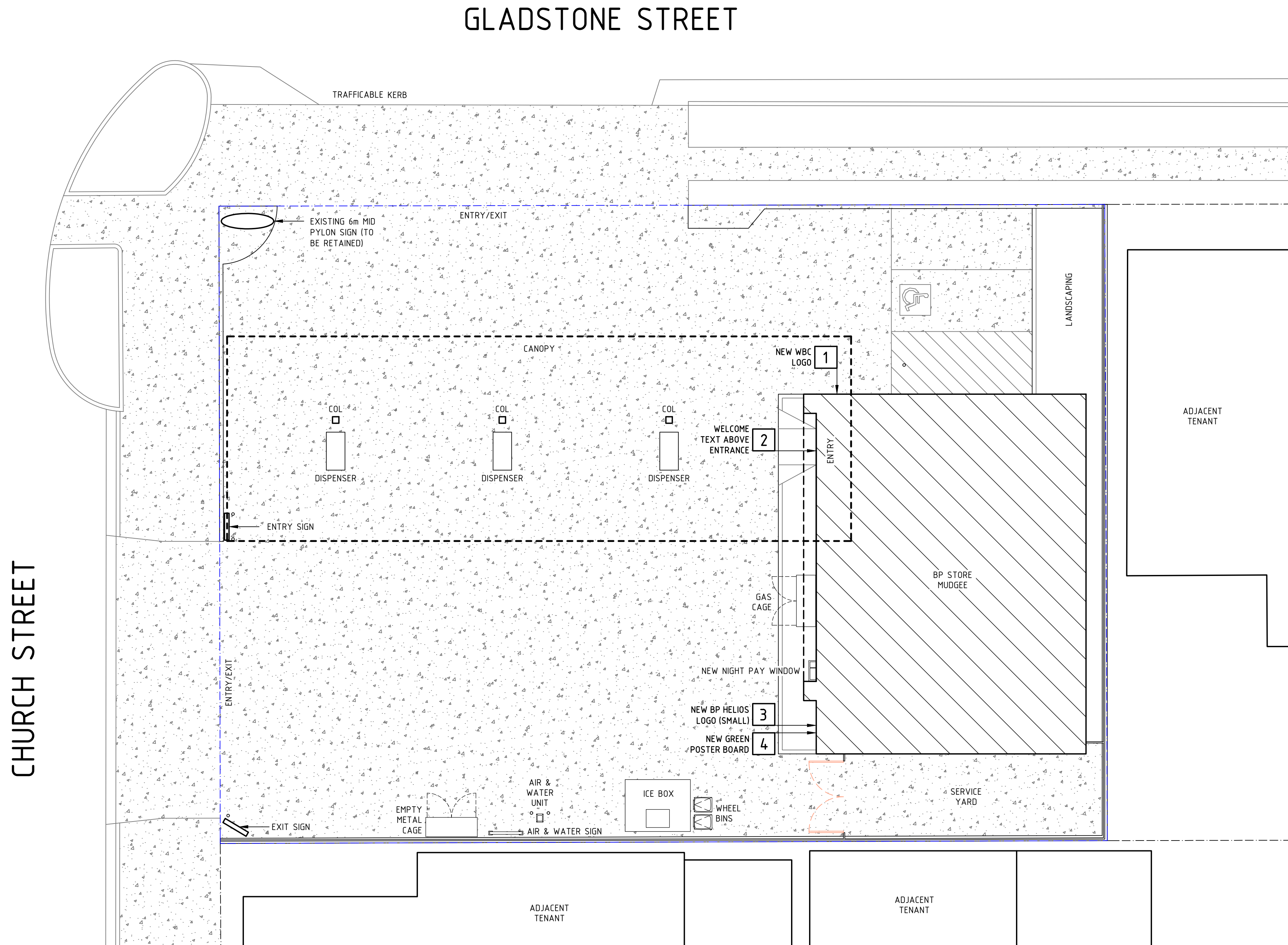
APPLICATION NO:
DA0227/2023

SIGNED:
Hannah Draper

DATE: 21/04/2023

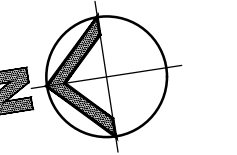


APPROVED PLAN



BOARD OF ARCHITECTS OF QUEENSLAND : 4650
NSW ARCHITECTS REGISTRATION BOARD : 10787


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		SIGNATURE:		C	28.03.22	AW	ISSUED FOR INFORMATION					
		Head office - Brisbane Ph: 61 7 3854 2900 166 Knapp Street, Fortitude Valley QLD 4006 Australia Email: enquiry@tfa.com.au Aust Wide: 1300 794 300		D	28.03.23	AW	ISSUED FOR INFORMATION					



APPLICATION NO:
DA0227/2023

SIGNED:
Hannah Draper

DATE: 21/04/2023



APPROVED
PLAN

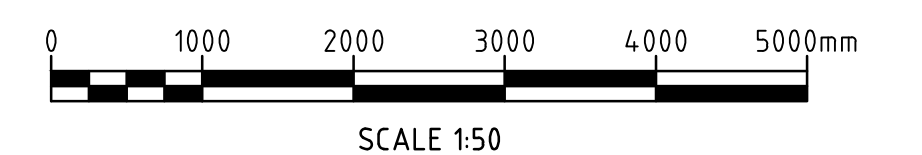


LEGEND

- - - - DENOTES EXISTING WALLS, DOORS, CABINETS & GLAZING TO BE REMOVED &/OR REPLACED.
- - - - DENOTES EQUIPMENT OR FURNITURE TO BE RELOCATED.

NOTES:

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4. ALL WALLS, DIMENSIONS & STRUCTURES (INCLUDING LOCATION) ARE SUBJECT TO SURVEY.



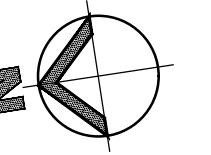

BOARD OF ARCHITECTS OF QUEENSLAND : 4650

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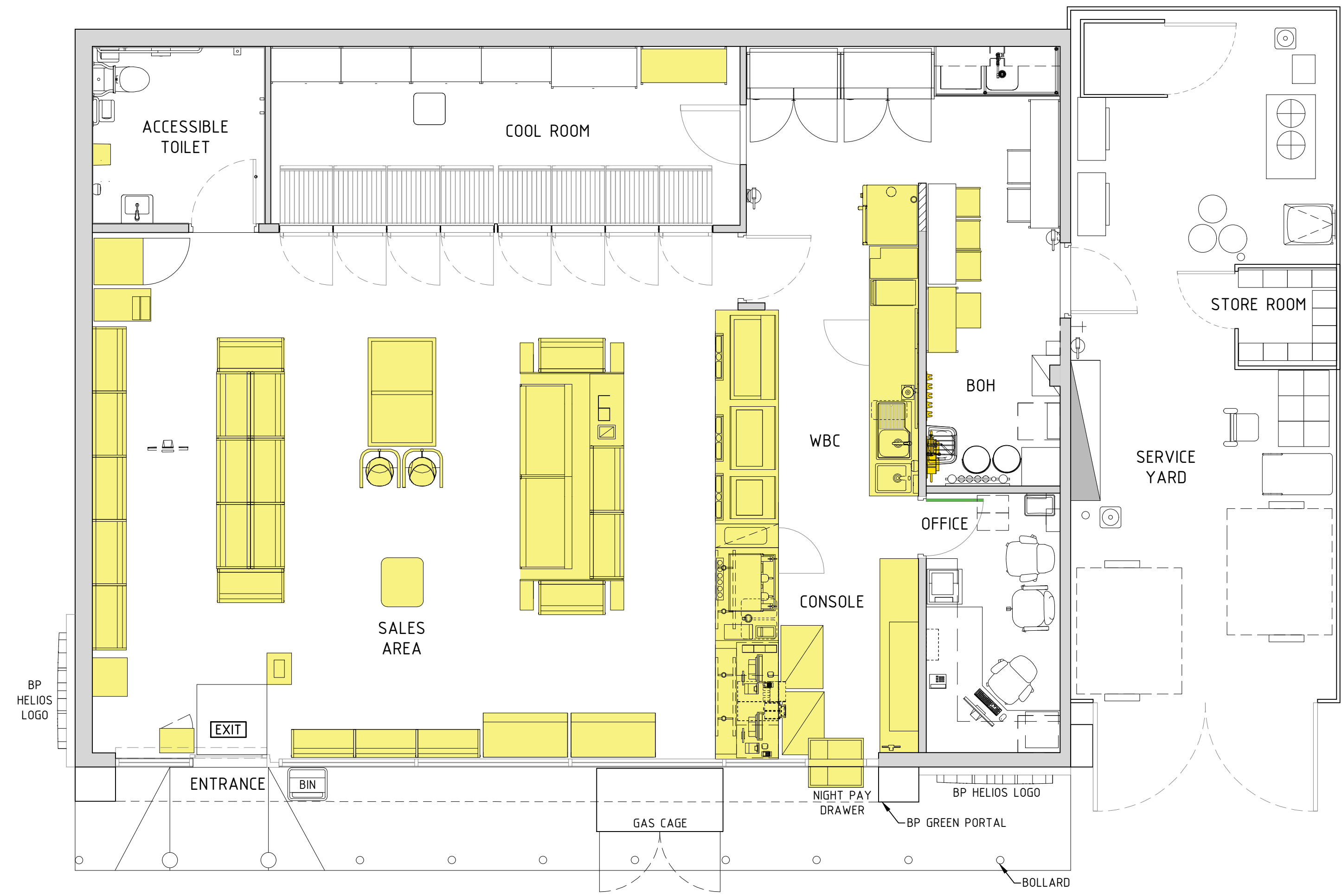


APPLICATION NO:
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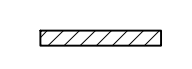
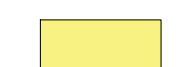
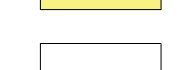
SIGNED:
Hannah Draper

DATE: 21/04/2023

APPROVED PLAN

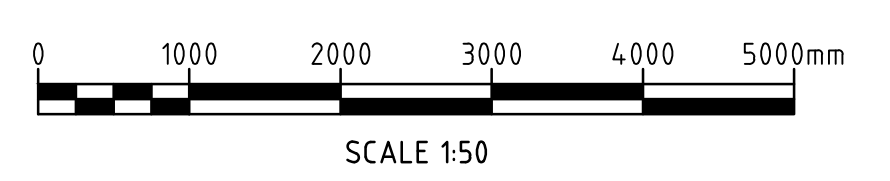



LEGEND

-  DENOTES NEW WALLS
-  DENOTES EQUIPMENT OR FURNITURE (NEW & RELOCATED)
-  DENOTES FOR EXISTING EQUIPMENT OR FURNITURE

NOTES:

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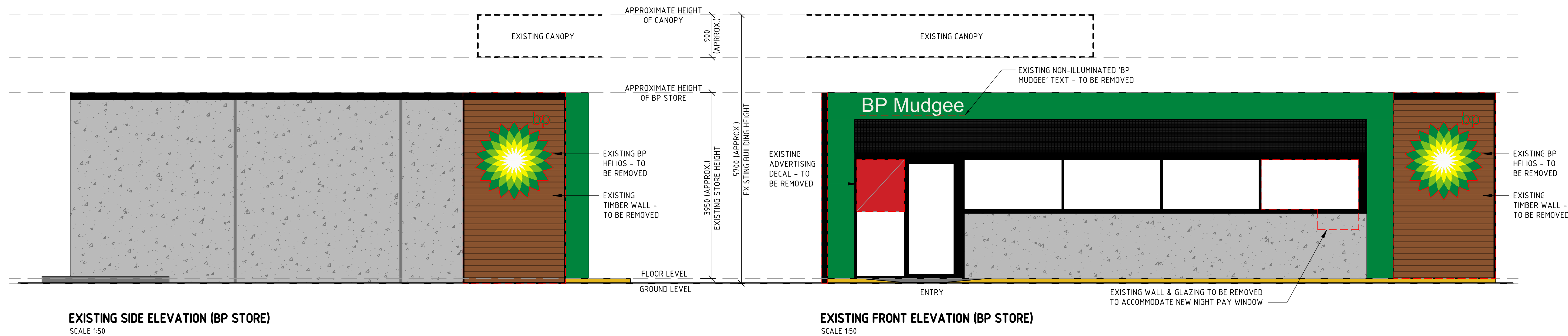
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PROJECT MANAGERS | PLANNERS | DESIGNERS | ENGINEERS



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PROFESSIONAL QUALIFICATION:	SIGNATURE:									DATE CREATED: 12.12.22 ORIGINAL SCALE: 1:50 SHEET: A1
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EXISTING SIDE ELEVATION (BP STORE)
SCALE 1:50

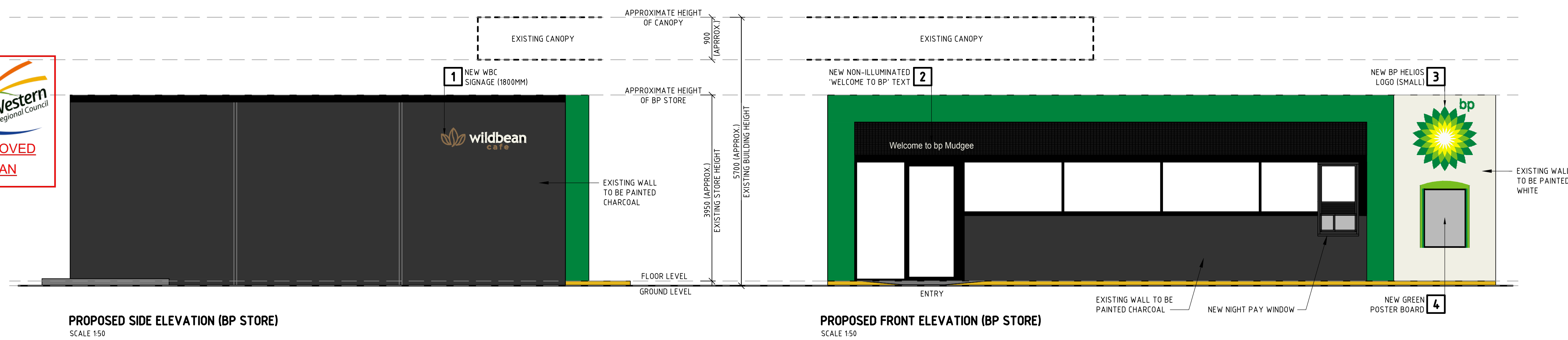
EXISTING FRONT ELEVATION (BP STORE)
SCALE 1:50

APPLICATION NO:
DA0227/2023

SIGNED:
Hannah Draper

DATE: 21/04/2023

APPROVED PLAN



PROPOSED SIDE ELEVATION (BP STORE)
SCALE 1:50

PROPOSED FRONT ELEVATION (BP STORE)
SCALE 1:50

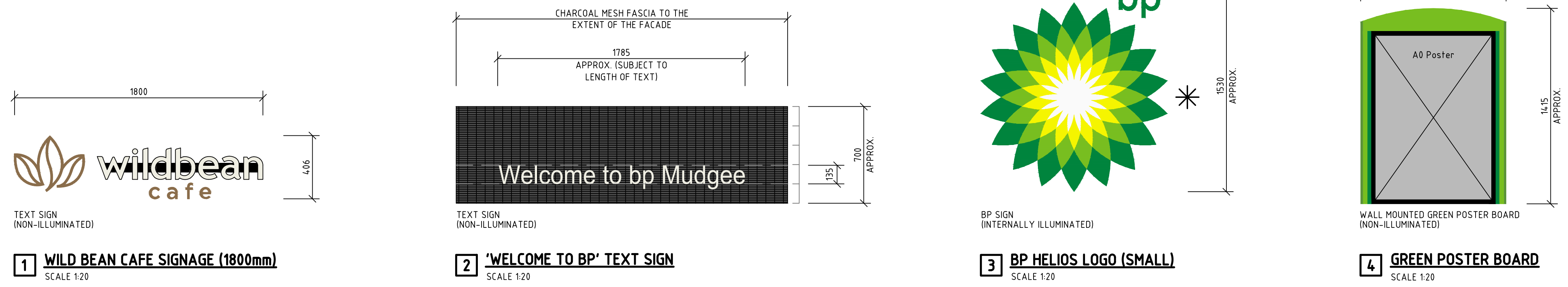
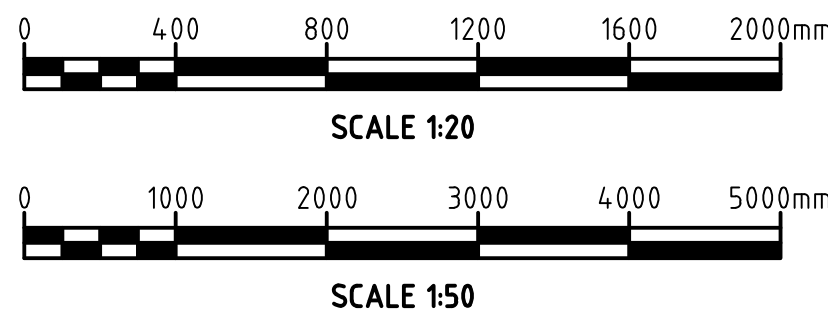
LEGEND

--- DENOTES EXISTING GLAZING, SIGNAGE OR FITTINGS TO BE REMOVED &/OR REPLACED.

* DENOTES ILLUMINATED SIGNAGE.

NOTES:

- COUNCIL REVIEW ONLY.
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