

STATEMENT OF ENVIRONMENTAL EFFECTS



Artistic Impression of Proposed development

PROPOSED NEW RESIDENCE

LOT 150 DP756894 68 HENRY BAYLY DRIVE MUDGEE NSW 2850

APPLICANT: DOUG SMITH

DECEMBER 2023

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1. INTRODUCTION

This statement of environmental effects accompanies a development application for a proposed a new environmentally sustainable 5 bedroom residential house Mudgee NSW. It is intended to elaborate, where necessary, on aspects covered in the drawings as well as to provide additional information where required. The information following is provided to detail the merit of the above development in relation to the objective performance criteria and provisions set out in the Mudgee Mid-Western Regional Council Development Control Plan – residential design, Relevant state environmental planning policies and the local environmental plan. It also provides an assessment of the likely environmental impacts in accordance with section 79C of the Environmental Planning and Assessment Act 1979.

2. SUBJECT SITE AND LAND

The subject site is located at **LOT 150 DP756894 68 HENRY BAYLY DRIVE MUDGEES NSW 2850**. The general locality of the site is depicted in Figure 01 & 02.

The site has an area of **52864m²** and is located on the outskirts of Mudgee off Henry Bayly Drive. It is a large lot over 5 Hectares and backs onto hills and bushland. Unknown previous use of site, may have had horses or stock at some stage. Unknown history of heritage or any other aspect on the site.

The lot has very little established vegetation and is generally cleared grassland. Native trees have been planted within 80m on the East side of the proposed and existing building to create a privacy screen.

Main vehicle access is off Henry Bayly Drive.

There are existing services located on the site including water, telephone, NBN and power.

The site is zoned R2 low density residential and the proposed residential dwelling is permitted on the site.

There are some natural stormwater flow areas over the site. The residence will be located above any pooling or runoff areas on an existing flat area and would suit the conditions and stormwater flows. There is a dam located at the lowest elevation on the North side of the block.

A 25,000 litre water tank is connected to the shed and lean-to and is used to water existing trees and garden. A 110,000 litre water tank will be connected to the New Residence and will be used to supply the home with water. Overflow from both tanks drain into the existing natural water course eliminating any negative impacts on neighbouring properties. Mains water supply is also located within 50m of the water tanks and would be used to top up water tanks if required during any long periods of drought.

Nil negative visual effects on locality. Some properties in the vicinity have buildings of similar or larger size using similar building materials. To minimise visual impact the colour of building will be considered to compliment the land and neighbours' buildings. Building will be located at a minimum of 160m from Henry Bayly Drive. The building will not obstruct views over Mudgee for neighbours due to site location and elevation/height of the block.

Building will be at ground level for any disabled access.

No social or economic effects.



Figure 1: Locality – 68 Henry Bayly Drive

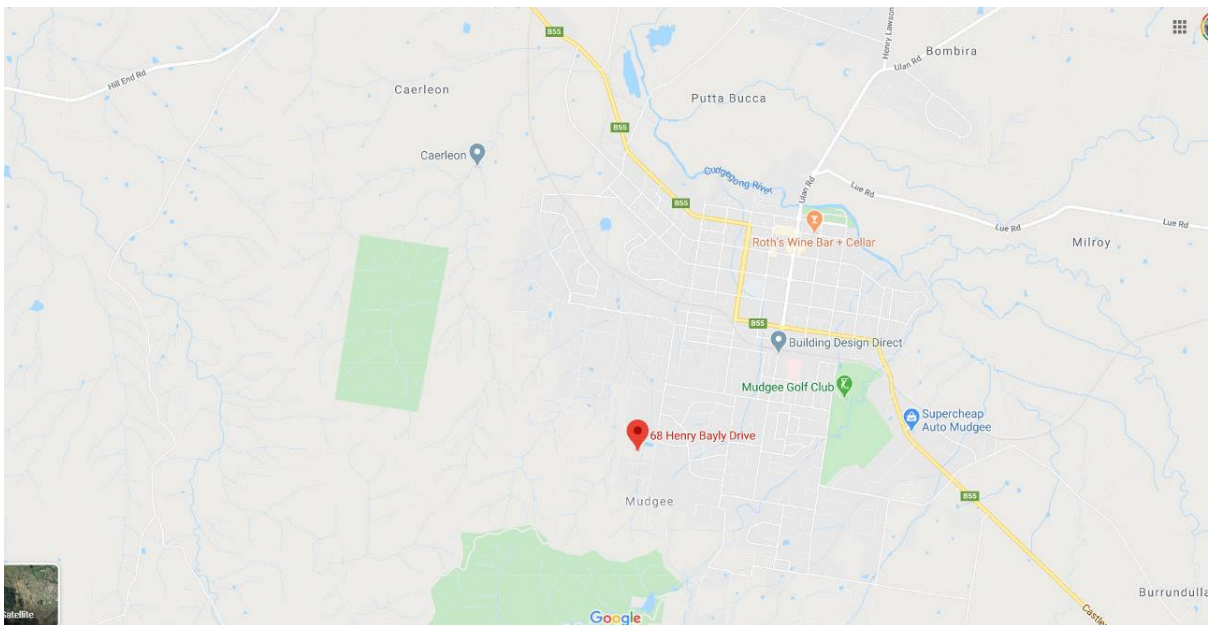


Figure 2: Locality – 68 Henry Bayly Drive

Property Report

68 HENRY BAYLY DRIVE MUDGEE 2850



Property Details

Address: 68 HENRY BAYLY DRIVE MUDGEE 2850
Lot/Section /Plan No: 150/-/DP756894
Council: MID-WESTERN REGIONAL COUNCIL

Summary of planning controls

Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

Local Environmental Plans	Mid-Western Regional Local Environmental Plan 2012 (pub. 10-8-2012)
Land Zoning	R2 - Low Density Residential: (pub. 10-8-2012)
Height Of Building	8.5 m
Floor Space Ratio	NA
Minimum Lot Size	2 ha
Heritage	NA
Land Reservation Acquisition	NA
Foreshore Building Line	NA
Local Provisions	Refer to Clause 4.2A Visually Sensitive Land
Terrestrial Biodiversity	High Biodiversity

Detailed planning information

State Environmental Planning Policies which apply to this property

State Environmental Planning Policies can specify planning controls for certain areas and/or types of development. They can also identify the development assessment system that applies and the type of environmental assessment that is required.

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)

3. DESCRIPTION OF PROPOSAL

It is proposed to construct a new 5-bedroom residence on the vacant lot at **LOT 150 DP756894 68 HENRY BAYLY DRIVE MUDGEES NSW 2850**

The House will consist:

1. 5 Bedrooms
2. Bathrooms and ensuites
3. Living areas
4. Laundry
5. Storage
6. Sheltered outdoor areas

The house will be constructed with:

1. Raked ceilings in some rooms
3. Aluminium windows and doors
4. Brick veneer and vertical clad exterior
5. Concrete flooring

House Colours:

1. Brick
2. Varying light and dark greys

The house presents a modern architectural home that is designed to maximise natural light and enjoy the views around the property.

The design has simple elegant modern lines that present a quality architectural appearance. The raked ceilings in the main living area further enhances the idea of space and light creating a light and bright healthy home.

The windows are located to allow for natural lighting with large amounts of glass to not receive direct sunlight. Smaller windows are positioned to allow natural ventilation and reduce direct sunlight into the house.

The house uses a simple combination of materials and colours to create a subtle elegant appearance and not to be too bold or expressive to the streetscape.

The proposed residence is constructed from brick veneer and vertical cladding and will be a low energy use sustainable home.

The new home will be a quality design and present well to the landscape enhancing the built character of the area.

4. GOVERNMENT REGULATION AND CONTROLS

SECTION 79C

The proposal has been assessed having regard to the relevant matters for consideration under Section 79c of the Environmental Planning and Assessment Act 1979. The Matters are assessed under the following sections.

SECTION 79C(1)(a)(i) – ENVIRONMENTAL PLANNING INSTRUMENTS

Mid Western Local Environmental Plan 2013

The Mid Western Local Environmental Plan 2012(LEP 2012) applies to the subject site.
The site is Zoned R2 (Low Density Residential) The proposal is permissible with Councils consent.

State Environmental Planning Policy 60 (SEPP 60) – Exempt and Complying Development

State Environmental Planning Policy BASIX (SEPP BASIX) – Building Sustainability Index

SECTION 79C (1) (a) (ii) – ANY DRAFT ENVIRONMENTAL PLANNING INSTRUMENT

No drafts

SECTION 79C(1)(a)(iii) – ANY DEVELOPMENT CONTROL PLANS

Mid Western Council Development Control Plan 2013 – Residential Chapter – Design Criteria

The Mid Western Development Control Plan – Residential Chapter – Design Criteria applies to the subject site. An assessment of the proposal against the relevant provisions contained in the DCP is provided in the table on the following pages.

Mid-Western Council Development Control Plan –

PART 3 DISCRETIONARY DEVELOPMENT STANDARDS

Provisions	Assessment	Compliance
3.1 RESIDENTIAL DEVELOPMENT IN URBAN AREAS (SINGLE DWELLINGS AND DUAL-OCCUPANCIES)		✓
Building Setbacks	<p>Front Setback 205m from Henry Bayly Drive to East Side setbacks: over 78m to the north, 65m to the south Rear Setback and over 74m to the west</p> <p>Garage area setback more than 5500mm from street boundary.</p> <p>Setbacks are consistent with adjacent setbacks as indicated on setback diagram</p> <p>Side and rear setbacks are in excess to 900mm</p>	✓
Building Height	<p>Building has been designed to at best maintain a maximum height of 4200mm to the ridgeline which is standard residential building height. This is well below the 8.5m max height.</p> <p>The house is on a large lot and features setbacks in excess to the requirements. The proposed residence will not overshadow or adversely affect any neighbours or surrounding properties.</p>	✓
Site Coverage	<p>The proposed residence is on a large lot and there is ample area for stormwater saturation.</p> <p>The proposed residence, is of a bulk scale and finish similar to many residences in the surrounding area.</p> <p>Site coverage does not exceed 50% of site. Site coverage is 0.5%</p>	✓
Solar Access	<p>All areas of house have excellent access to natural light and solar penetration. Appropriate roofs and awnings have been included to reduce negative sun impacts on the proposed residence.</p> <p>Living areas have been positioned to the north and north east to allow for northern light and views. Windows and sized appropriately to allow excellent light penetration.</p> <p>Solar panels will be installed on adjacent shed/lean-to.</p> <p>Sun shadow diagrams are not required as the house is</p>	✓

	<p>single storey, has setbacks in excess to the requirements and is well below the 8.5m height max limit.</p> <p>The house has been designed to minimise negative summer sun from penetrating into the home. However the design allows winter sun deep into the building.</p>	
Privacy	The house is on a large lot and due to the large setbacks will not have any privacy concerns with surrounding lots.	✓
Parking	<p>Proposed residence has an existing shed and car parking areas there is also ample space for many visitor car parks.</p> <p>Additional 2 x car parking will be provided at the proposed residence.</p> <p>Gravel driveway provided from Henry Bayly Drive</p>	✓
Landscaping	<p>No landscape plan provided.</p> <p>Owner wishes to maintain a simple native grass appearance.</p>	✓
Private Open Space	Proposed residence is on a large block and has in excess to the 80m ² requirement of private open space.	✓
Fencing	Existing rural fencing provided to the site	✓
Infrastructure	Garbage bins are located well behind the building line and far from the view on the street.	✓
Development near ridge line	n/a	✓
Slopes	The proposed house deals with the mild undulating nature of the site by utilising a mostly level area with less than 600mm cut/fill. The approach allows the existing conditions of the site to be better maintained.	✓
Access	All weather access is provided to site via a crossover from Henry Bayly Drive and a gravel driveway.	✓
Design principles	<p>The proposed design has excellent surveillance of the surrounding area</p> <p>The proposed residence is a modern home that is of a style, bulk, scale and finish similar to many new homes in the surrounding area and across Mudgee.</p> <p>The proposed new residence is well proportioned and highly articulated through subtle colour and building material variation. The overall design is a high quality architectural</p>	✓

	<p>finish which will enhance the built character of the surrounding areas.</p> <p>Density for the proposed residence is suitable to the existing large residential lot.</p> <p>Proposed residence has been designed to maximise natural lighting and orientation to reduce energy consumption and promote a healthy living environment.</p>	
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SECTION 79C(1)(a)(iiia) – PLANNING AGREEMENTS

There are no planning agreements.

SECTION 79C (1)(a)(iv) – REGULATIONS

There are no matters prescribed by the regulations for the proposal.

SECTION 79C(1)(b) – LIKELY IMPACTS

The proposed development will have no adverse impact.

SECTION 79C(1)(c) – SUITABILITY OF THE SITE FOR DEVELOPMENT

The proposed residential dwelling is entirely suitable for the site due to its location.

SECTION 79C(1)(d) – ANY SUBMISSIONS

To be considered by Council should notification be required.

SECTION 79C(1)(e) – THE PUBLIC INTEREST

For reasons set out in this statement. It is considered that there will be no public interest in the proposed, given the absence of any demonstrable adverse impacts.

5.CONCLUSION

The proposal satisfies the relevant matters for consideration under Section 79C of the Environmental Planning and Assessment Act 1979 and the provisions set out in the Mid-Western Council Development Control Plan – Residential Chapter – Design Criteria.

The proposal is well designed and finished. The design will bring an interesting and high quality home to the Mudgee area contributing to the overall quality of the built environment.

The design is well designed and suited the site, requiring minimal impact and disturbance the site and surrounding area.

The design makes reference to contemporary and historical Australian rural/residential architecture and in that sense should merge into and become a distinct part of the Mudgee urban landscape.

The proposed residence features the latest in environmentally sustainable design principles to reduce the homes impact on the environment and reduce its reliance on local water and power services. The house utilizes well orientated roofs, roofs and awnings to create a comfortable residence that requires minimal heating cooling.

The residence is a high quality architectural home bringing modern ideas and finishes; coupling them with some traditional elements to create a design that will merge into the surrounding built landscape.

It is therefore recommended that council grant consent to the development application.