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Heritage Impact Statement

Mid-Western LEP Listed Item: I151
64 Mortimer Street, Mudgee NSW 2850
Lot 17 DP 758721

Proposed Alterations & Additions to an Existing Dwelling
Prepared by Cameron Anderson Architects for Genevieve & Andrew Palmer

REVISION A
31st January 2024



REVISION	DATE
A	31.01.2024

00 INTRODUCTION

This report has been prepared for the submission of a Development Application with Mid-Western Regional Council for alterations and additions to single storey brick dwelling at 64 Mortimer Street Mudgee NSW 2850. The existing dwelling is listed on the local heritage register (I151). The proposal is to demolish the later extensions to the original building and replace them with a high-quality, contemporary addition which complements the original house.

Minor interior refurbishment works are proposed to the heritage item but the exterior character will be retained and a clear visual separation will be created between the original house and the proposed contemporary addition.

This application is made in accordance with the Mid-Western Regional Development Control Plan 2013 Amendment 5 and Mid-Western Local Environment Plan (2012).

01 THE HERITAGE ITEM

1.1 SITE DESCRIPTION

- 64 Mortimer Street Mudgee NSW 2850
- Lot 17/ DP 758721
- Local Government area of Mid-Western Regional Council
- The subject site is zoned as R3 Medium Density Residential Zone under the 2012 LEP
- The site is within the Mudgee Heritage Conservation Area
- The existing building is a local heritage item (no I151).
- The existing site area is approximately 2023m²
- The proposed works are permissible with Development Consent.
- The site contains an existing single-storey dwelling house & swimming pool.



Figure 01 – Subject Site_Source: [SIX Maps \(nsw.gov.au\)](https://six.maps.nsw.gov.au/)



HERITAGE ITEM

The subject site is a lot fronting onto Mortimer Street on the southern side. The subject site contains a locally listed heritage item, a brick dwelling with later rear additions. Notable features listed are; the roof form, the fence to Mortimer Street and the verandah



Figure 02 – Existing Dwelling

HERITAGE LISTINGS

LISTING TYPE	ITEM NAME & DOCUMENT DETAILS	LISTING NUMBER
LOCAL HERITAGE ITEM	64 MORTIMER STREET MID-WESTERN LEP 2012	I151
LOCAL HERITAGE CONSERVATION AREA	MUDGEES HERITAGE CONSERVATION AREA	–

SITE AND ITS CONTEXT

The surrounding area is predominantly medium density residential dwellings. The surrounding area is zoned R3 Medium Density Residential. The neighbouring dwellings are typically single storey houses. The site sits within the Mudgees Heritage Conservation Area.

THE PROPOSED WORKS AREA

The proposal is to demolish the later additions and carport to the north and west of the original house and to replace these with a single contemporary extension.

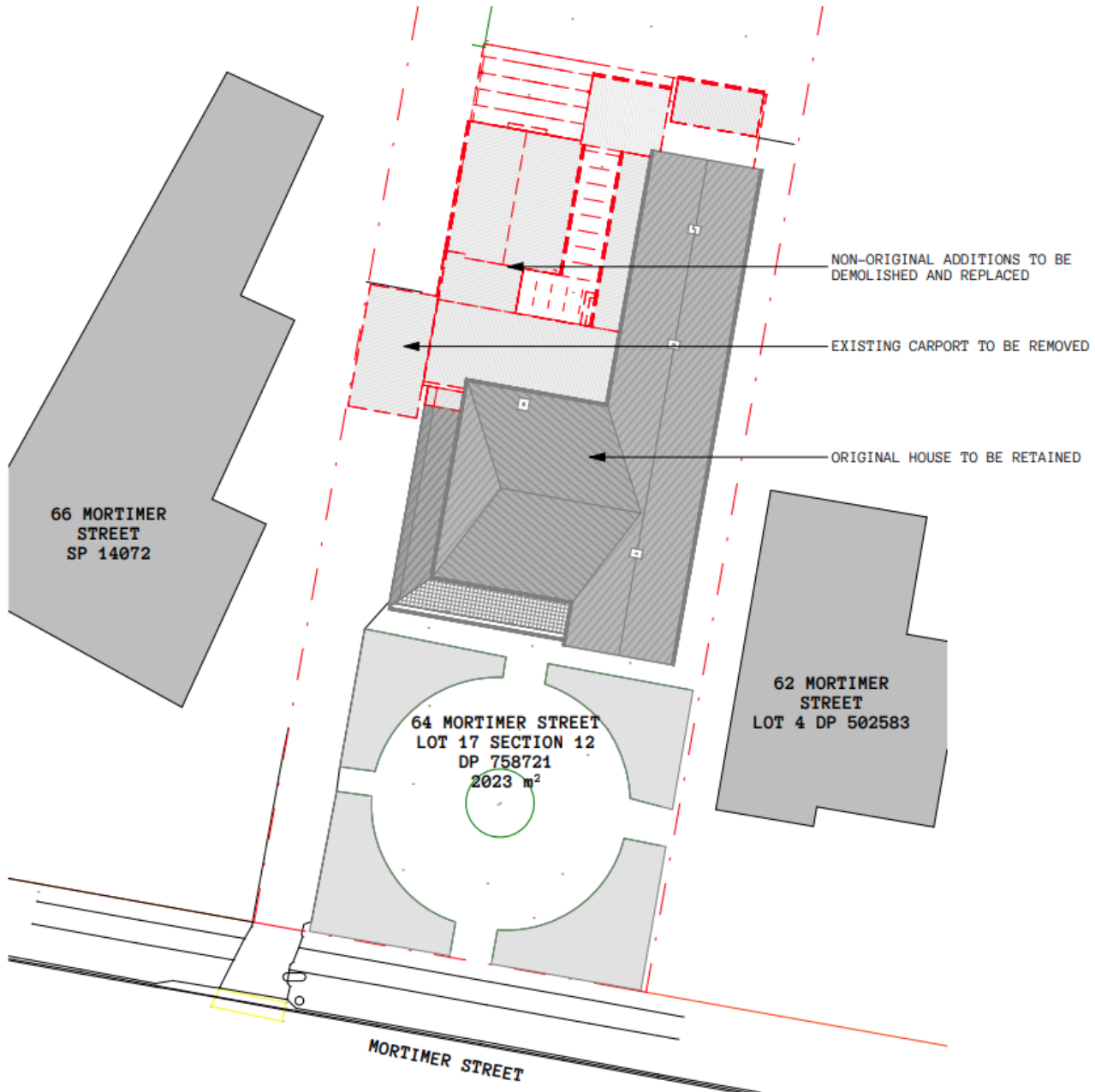


Figure 03 – Site plan showing proposed demolition of non-heritage additions



1.2 SITE SUMMARY HISTORY

DOCUMENTED HISTORY

The site is documented in the Mudgee Heritage Study from 1985. This estimates the construction date as approximately 1880 and describes the house as a *“fine example from the post gold rush expansion period”*.

PREVIOUS PHYSICAL CHANGES

The heritage study notes that the columns on the verandah are non-matching and so presumably are not original. As the current filigree ironwork columns and decorations on the verandah don't appear to be visible in the heritage study photos, these are assumed to be a later addition. The carport on the western side of the house and the various rear extensions and outbuildings are all non-original and have no heritage value.

1.3 PHYSICAL ANALYSIS

The original brown brick house is in generally good condition and the original appearance is well preserved when viewed from the street. There is a detached carport to the west of the original house. The weatherboard clad rear extension which somewhat muddies the legibility of the original house. Where this extension joins the original fabric some external walls and openings have become internal but details such as brick lintels are well preserved (see figure 08)..

02 SIGNIFICANCE ASSESSMENT

2.1 STATEMENT OF SIGNIFICANCE

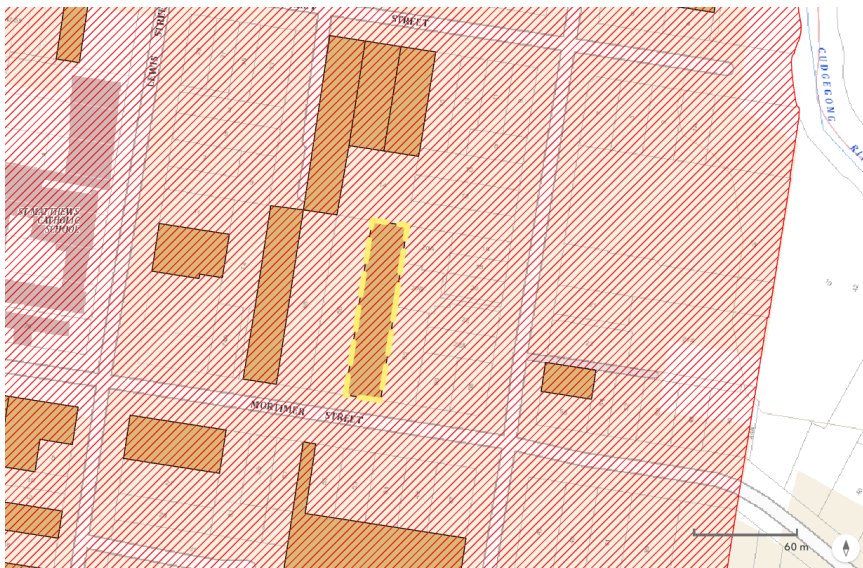


Figure 04 – NSW Planning Spatial Mapper showing the subject site (yellow outline), listed items (brown) and the Mudgee Heritage Conservation Area (red hatch)

As shown in the plan above, the site is a locally listed heritage item and sites within the Mudgee Heritage Conservation Area. The council heritage report estimates the construction date as C.1880 and describes the existing building as follows:



“Gothic Mid-Victorian house with projecting gabled front and abutting verandah which returns on west side and supported on timber posts (one flat cast iron column). The Verandah roof is of sloping bullnose corrugated iron. Four panel glazed entrance door and sidelights (etched glass) and fanlight. French door to verandah. Steep gable and hipped roof with fine fretwork bargeboards to gable end, double narrow windows (double hung sashes) to gable end with rendered arched label moulds. Vent slit in gable end. Fine fence with rendered masonry plinth and cast iron pickets, rails & gate. Also masonry end pillars, all of period.”

The heritage study (1985) lists the condition and integrity of the heritage elements as “good”. This remains a fair assessment of their current condition and integrity.

2.2 SIGNIFICANCE OF THE PROPOSED WORKS AREA

The proposed works are to the rear and western sides of the original house and involve the demolition and replacement of non-original items which are not referred to in the heritage listing. Since the proposed works are to the side and rear of the house, they will have limited visibility from the road and therefore are unlikely to have an impact on the wider conservation area.

03 PROPOSED WORKS

3.1 THE PROPOSAL

The proposal is to demolish the non-original additions, outbuildings and carport to the rear of the original house and replace them with a single extension and carport.

The original west-facing wall of the rear wing will remain but the existing doors will be removed and the openings infilled to form a solid wall to the new living space. The openings will be infilled with a lightweight construction.

Some internal works are proposed for the rear wing, namely the removal of two painted brick fireplaces in order to free up space in these rear rooms (refer to figure 09). The original chimneys will be supported and retained above so there will be no impact on the external appearance.

An east facing window opening is to be extended down to floor level to become a door to the new laundry. The width of the original and the brick lintel above will be retained.

A small portion of the bullnose verandah along the side of the house is to be removed to allow for a new connection to the existing building.

3.2 BACKGROUND

PRE LODGEMENT CONSULTATION

Pre-lodgement consultation was undertaken with MWRC’s heritage advisor. The heritage advisor was issued a set of preliminary DA drawings for review and attended the site on September 23 2022 for a tour of the existing buildings and discussion of the proposed works.

CONSIDERATION OF ALTERNATIVES

Retaining and extending the existing non-original additions was considered but dismissed as the existing additions are less sympathetic to the legibility of the original house than a new, more coherent proposal would be.



04 HERITAGE IMPACT ASSESSMENT

4.1 MATTERS FOR CONSIDERATION

FABRIC & SPATIAL ARRANGEMENTS

The demolition of the existing kitchen, dining, lounge and the small outbuilding (later additions) at the northern end will enhance the legibility of the original footprint. Replacing these outbuildings with a single, coherent extension will provide a clear contrast between the original building form and the new additions. There will be very limited impact on heritage fabric.

Some internal painted brick fireplaces will be demolished. These are already in a modified condition (refer to figure 09). The chimney stacks above these fireplaces will be supported within the roof space so that the external appearance is preserved.

Where existing internal doors are to be infilled, it is proposed to infill with a lightweight, contrasting material.

An existing east facing window opening is to be extended downwards to form a laundry door. The opening width and brick lintel will be preserved. Due to the location on a side elevation, facing a boundary fence, this is considered to have a very low impact on the heritage integrity of the house and no impact on the wider conservation area.

A small portion of the bullnose verandah along the side of the house is to be removed. This is to allow for the connection of the new extension and is considered minor works only.

The other heritage listed features of the existing brick house, such as the iron fretwork details and decorative windows and doors are not affected by the proposed works.

SETTING, VIEWS AND VISTAS

As shown in figure 11, the new additions will only be marginally visible when viewed from the street. The dark and contemporary building forms and massing of the extension is designed to recede and not detract from the heritage significance of the existing roof forms and brickwork in order to respect the heritage features of the existing building. It is considered that the impact on the heritage setting will be minimal.

LANDSCAPE

No changes are proposed to the front landscaping.

USE

No change of use is proposed. The proposed alterations and additions provide a large amount of additional amenity to the existing residence, making it a more usable and sustainable home for the future.

DEMOLITION

Demolition is proposed to non-original additions and some minor elements which are considered to have low heritage value. With the exception of the small portion of side facing bullnose verandah mentioned above, none of the key notable features highlighted in the heritage survey will be affected.

CURTILAGE

The proposals will replace existing additions and outbuildings so there will be no heritage impact on the curtilage.

MOVABLE HERITAGE (N/A)

ABORIGINAL CULTURAL HERITAGE (N/A)

HISTORICAL ARCHEOLOGY (N/A)

NATURAL HERITAGE (N/A)

CONSERVATION AREAS



The presence and character of the brick building will be retained respectfully for the future. The limited visibility and recessive nature of the proposed addition will minimise its impact upon the conservation area.

OTHER HERITAGE ITEMS IN THE VICINITY

There are no heritage items on the adjoining lots (figure 04). Given that the proposal is for a replacement of an existing addition, there is not expected to be any impact on other heritage items in the vicinity.

05 SUMMARY AND RECOMMENDATIONS

The original house is of heritage value, in particular the roof form, the front verandah and the fenceline to Mortimer street. The site itself is also valuable as it forms part of the Mudgee Heritage Conservation Area.

The proposed alterations and additions replace an unsympathetic rear extension and sit quietly behind the form of the heritage brick house, respecting its character. The interior refurbishment works to the heritage item will not have any impact on its heritage significance with all existing chimneys retained externally.

The proposed development is a sensitive design response and is a positive addition to the local built environment which is not considered to adversely impact upon the heritage significance of the site or the surrounding locality.



APPENDIX A – SITE PHOTOS



Figure 05 – Photograph of the house and fence from Mortimer Street



Figure 06 – Photograph of the original brick house (left) from the garden with later weatherboard additions and timber pergola.



APPENDIX B – PROPOSED IMAGES



Figure 10 – Artist's impression of the proposed works viewed from the front garden



Figure 11 – Artist's impression of the proposed works viewed from the driveway



Figure 12 – Artist's impression of the proposed works viewed from the rear garden



Figure 13 – Artist's impression of the proposed works viewed internally, showing the preservation of original brickwork and the interpretation of original brickwork openings.