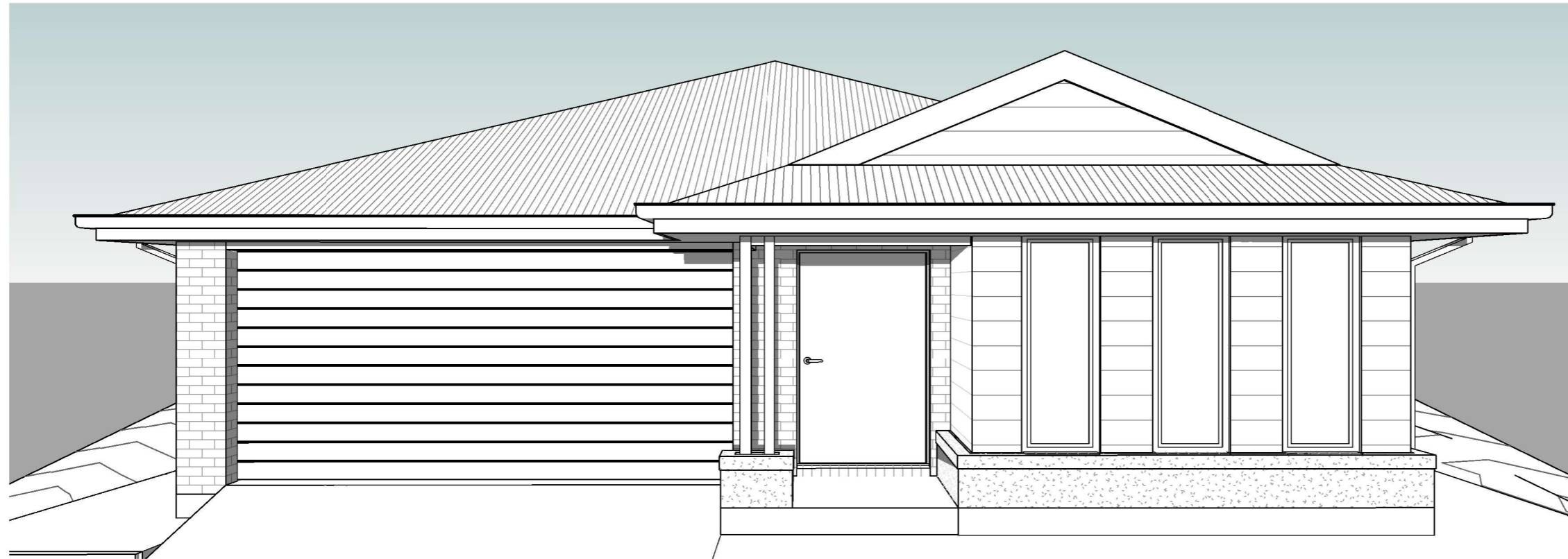


PROPOSED NEW RESIDENCE FOR:

GAI DOBSON

LOT 6 DP793799,
11 COOMBER STREET,
RYLSTONE, NSW 2849



SPECIFICATIONS

- GENERAL**
- IT IS RESPONSIBILITY OF BUILDER TO VERIFY ALL DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY
 - PLANS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS WHERE APPLICABLE
 - NCC - NATIONAL CONSTRUCTION CODE - VOLUME 2 - HOUSING PROVISIONS
- STATUTORY REQUIREMENTS**
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC CONDITIONS IMPOSED BY LOCAL AUTHORITY, & COMMITMENTS NOTED IN RELEVANT BASIX CERTIFICATE
 - THE BUILDER IS TO COMPLY WITH REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER BUILDING WORKS AND PROVISIONS OF THE HOME BUILDING ACT.
 - BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF THE SUBCONTRACTORS
- NCC REQUIREMENTS**
- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.1.1 OF NCC. ALL EXCAVATIONS & UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.2.2 OF NCC
 - PRIMARY BUILDING ELEMENTS TO BE PROTECTED FROM SUBTERRANEAN TERMITES IN ACCORDANCE WITH PART 3.1.4 OF NCC
 - PROVIDE ADEQUATE CROSS VENTILATION TO SPACE UNDER SUSPENDED GROUND FLOORS IN ACCORDANCE WITH PART 3.4.1 OF NCC
 - STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3 OF NCC
 - ALL TIMBER FRAMEWORK SHALL COMPLY WITH PART 3.4.1 OF NCC OR AS1684
 - ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS1720 & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
 - STRIP & SHEET FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS1684
 - STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & PART 3.4.2 OF NCC
 - ALL ROOF CLADDING SHALL COMPLY WITH PART 3.5.1 OF NCC, & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
 - GUTTERS & DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.3 OF NCC
 - SARKING SHALL COMPLY WITH AS/NZS4200.1 & 2
 - FLASHING SHALL COMPLY WITH EITHER AS4773 OR AS3700
 - CLAY BRICK WORK SHALL COMPLY WITH EITHER AS4773 OR AS3700
 - CONCRETE BLOCK WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
 - AUTOCLAVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AS 5416.1
 - DAMP PROOF COURSES & CAVITY VENTILATION SHALL COMPLY WITH EITHER AS4773 OR AS3700
 - MORTAR & JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH EITHER AS4773 OR AS3700
 - MASONRY ACCESSORIES SHALL COMPLY WITH EITHER AS4773 OR AS3700 APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS
 - LINTELS USED TO SUPPORT BRICKWORK OVER OPENINGS & BE PROTECTED FROM CORROSION SHALL COMPLY WITH EITHER AS4773 OR AS3700
 - MASONRY VENEER SHALL COMPLY WITH PART 3.3.5 OF NCC
 - ENGAGED PIERS IN SINGLE LEAF MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
 - INTERNAL WET AREAS & BALCONIES OVER HABITABLE ROOMS TO BE WATERPROOFED IN ACCORDANCE WITH PART 3.8.1 OF NCC. WET AREA WALL LINING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
 - ALL TIMBER DOOR & DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS2688 & AS2689 UNLESS NOTED OTHERWISE IN THE SCHEDULE OF WORKS
 - WINDOWS & DOORS SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS 2047
 - ALL GLAZING SHALL COMPLY WITH PART 3.6 OF NCC
 - STAIR & RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 3.9.1 OF NCC
 - BALUSTRADES SHALL BE IN ACCORDANCE WITH PART 3.9.2 OF NCC
 - ALL PLUMBING SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3500, & BE CARRIED OUT BY A LICENSED PLUMBER
 - ALL ELECTRICAL WORK SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3000 & BE CARRIED OUT BY LICENSED ELECTRICIAN
 - ALL GAS INSTALLATIONS SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY, & BE CARRIED OUT BY A LICENSED GAS FITTER
 - PROVIDE & INSTALL HARD WIRED SMOKE ALRAMS IN ACCORDANCE WITH AS3786 & PART 3.7.5 OF NCC
 - INSTALLATION OF WALL & FLOOR TILES SHALL BE IN ACCORDANCE WITH AS3958.1
 - BUILDING TO BE SEALED TO THE REQUIREMENTS OF PART 3.12.3 OF NCC, INCLUDING CHIMNEYS, FLUES, ROOF LIGHTS, EXTERNAL WINDOWS & DOORS, EXHAUST FANS, ROOF, WALLS, & FLOORS.
 - SERVICES ARE TO BE INSTALLED TO THE REQUIREMENTS OF QLD PART 3.12.5 OF BCA, INCLUDING HOT WATER SUPPLY, INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING, HEATING & COOLING DUCTWORK
 - MECHANICAL VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF NCC
 - INWARD SWINGING WC DOORS ARE TO BE FITTED WITH LIFT OFF HINGES TO COMPLY WITH PART 3.8.3.3 OF NCC
 - CONDENSATION MANAGEMENT TO COMPLY WITH PART 3.8.7 OF NCC
 - FIRE HAZARD PROPERTIES TO COMPLY WITH PART 3.7.1.2 OF NCC
 - WALL CLADDING TO COMPLY WITH PART 3.5.4 OF NCC

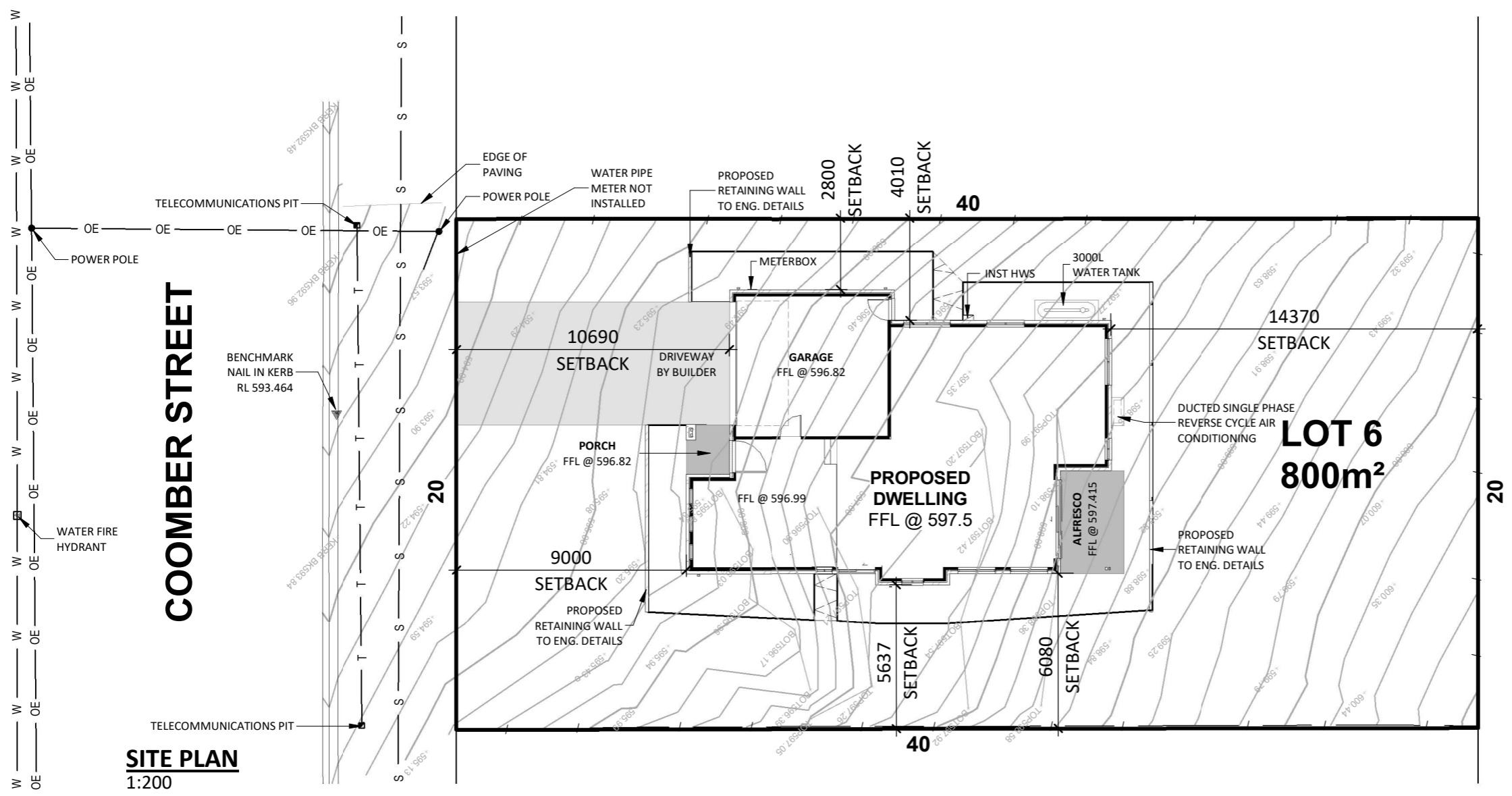
SHEET LIST

SHEET NUMBER	SHEET NAME
00	COVER SHEET
01	SITE PLAN
02	FLOOR PLAN
03	ELEVATIONS
04	SECTIONS
05-1	BRICKWORK SETOUT
05-2	SLAB LAYOUT
06	PERSPECTIVES
07	ELECTRICAL PLAN
08	KITCHEN DETAILS
09-1	WET AREA DETAILS
09-2	WET AREA DETAILS

				CLIENT		PROPOSED NEW RESIDENCE FOR GAI DOBSON		PLAN		SCALE															
				DATE		AT		LOT 6 DP793799, 11 COOMBER STREET, RYLSTONE, NSW 2849		APSLEY 162 MOD.		SHEET SIZE A3													
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Rev	Amendment	Drawn	Date																						
				DATE				COVER SHEET		JOB No. 00-000		DWG No. 00													

- STANDARD NOTES
1. ALL WRITTEN DIMENSION TAKE PRECEDENCE OVER SCALE.
 2. ALL ROOF BEAMS, LINTELS AND BRICKWORK ANGLES TO TRUSS/WALL FRAME MANUFACTURER'S SPECIFICATIONS AND ENGINEERS VERIFICATION.
 3. WC DOORS TO COMPLY WITH BCA VOL 2 PT 3.8.3.3.
 4. ALL WET AREAS TO BE COMPLETED IN ACCORDANCE WITH BCA VOL 2 PT 3.8.1.
 5. ENGINEER DESIGNED - PREFABRICATED STEEL ROOF TRUSSES AS PER MANUFACTURER'S SPECIFICATIONS. (600 CTS UNLESS NOTED OTHERWISE).
 6. 90mm PREFABRICATED STEEL WALL FRAMES AS PER MANUFACTURER'S SPECIFICATIONS, U.N.O.
 7. BUILDER & TRADES ARE TO CONFIRM ALL MEASUREMENTS, DETAILS & SPECIFICATIONS PRIOR TO SET-OUT BE ORDERING OF MATERIALS.
 8. REPORT ANY ERRORS FOR CLARIFICATION/CORRECTION AS NO RESPONSIBILITY WILL BE TAKEN AFTER CONSTRUCTION HAS COMMENCED.
 9. ALL ELECTRICAL APPLIANCE & PLUMBING SYMBOLS ARE DIAGRAMMATIC ONLY. REFER TO BUILDERS SPECIFICATION FOR DETAILS OF ALL FIXTURES.
 10. SIZE AND LOCATION OF DOWNPIPES TO BE CONFIRMED ON SITE BY BUILDER.
 11. ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT TRADE AND TECHNICAL MANUALS.

NOTE:
 - ALL LEVELS SHOWN ARE NOMINAL
 - FINAL LEVELS ARE TO BE DETERMINED ON-SITE TO BEST SUIT GRADE & FALLS

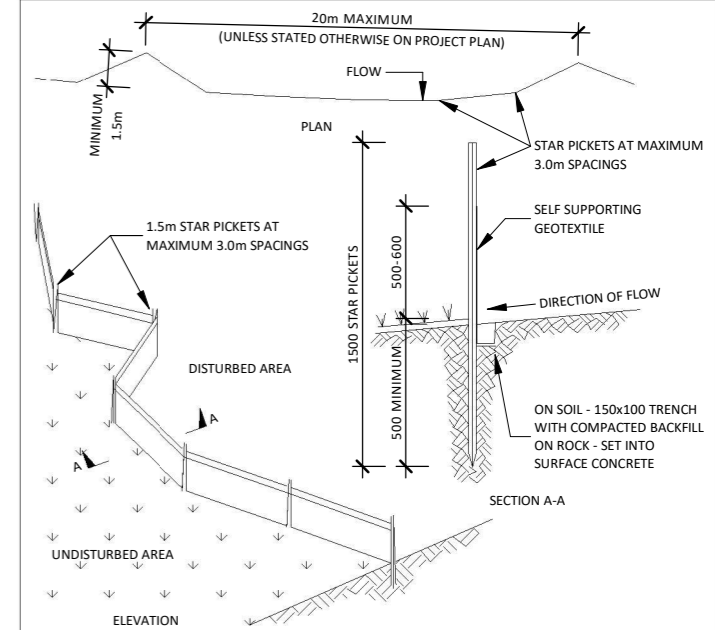


SITE PLAN
1:200

AREAS	
Location	Area (m²)
RESIDENCE	119.42
GARAGE	36.05
PORCH	3.28
ALFRESCO	10.08
	168.83
ROOF AREAS (COLORBOND)	
AREA [m² ON THE FLAT]	191.27
AREA [m² ON THE RAKE]	207.03

LEGEND	
— / —	EXISTING FENCE LINE
— OE —	EXISTING OVERHEAD ELECTRICITY CABLES
— W —	EXISTING UNDERGROUND WATER MAIN - APPROX.
— T —	EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
— S —	EXISTING UNDERGROUND SEWER PIPE - COUNCIL

Site Area		
Name	Area	Percentage Of Area Used
BUILT AREA (HOUSE, PORCH, GARAGE, & ALFRESCO)	168.83 m²	21.10%
DRIVEWAY	51.42 m²	6.43%
SITE REMAINING	579.75 m²	72.47%
Grand total: 3	800.00 m²	100.00%



- Construction Notes**
1. Construct sediment fence as close as possible to parallel with the contours of the site.
 2. Drive 1.5m long star pickets into ground, 3.0m apart.
 3. Dig a 150mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
 4. Backfill trench over base of fabric.
 5. Fix self-supporting geotextile to upslope side of posts with wire ties or as recommended by geotextile manufacturer.
 6. Join sections of fabric at support posts with a 150mm overlap.

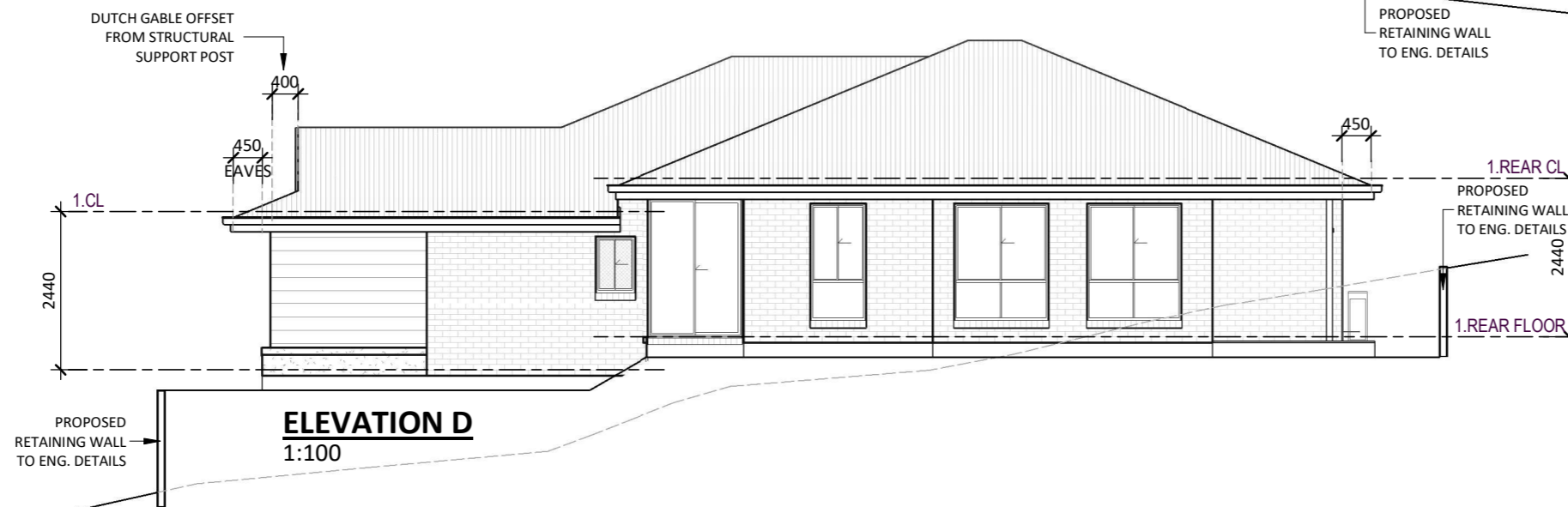
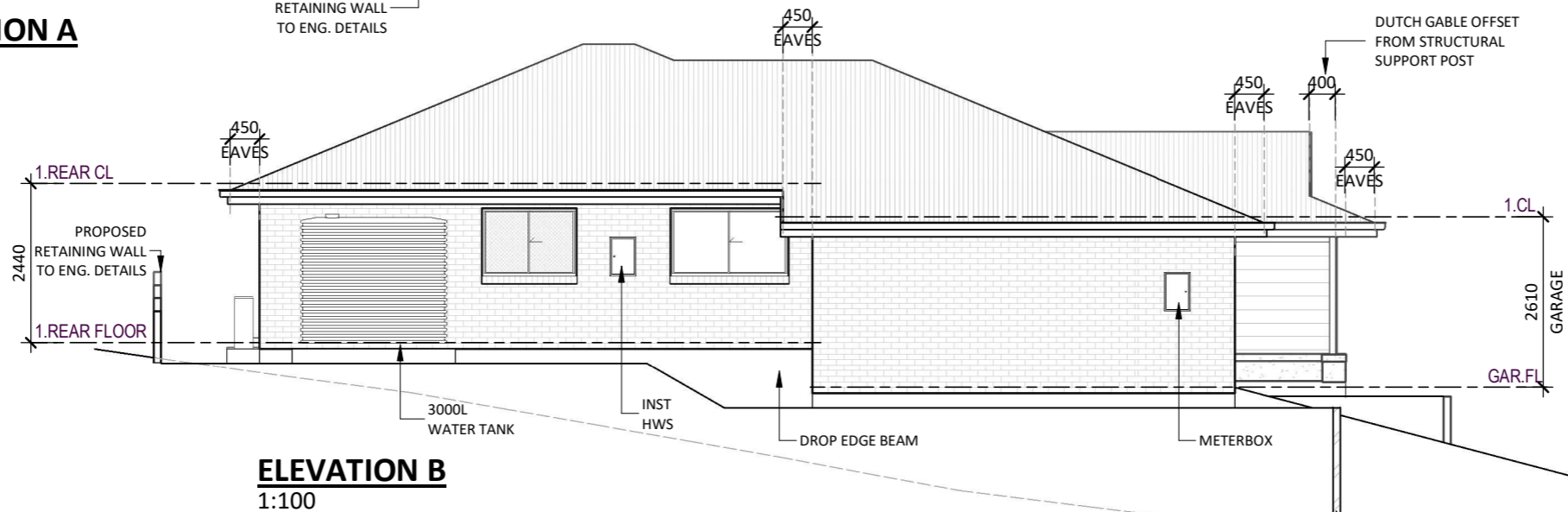
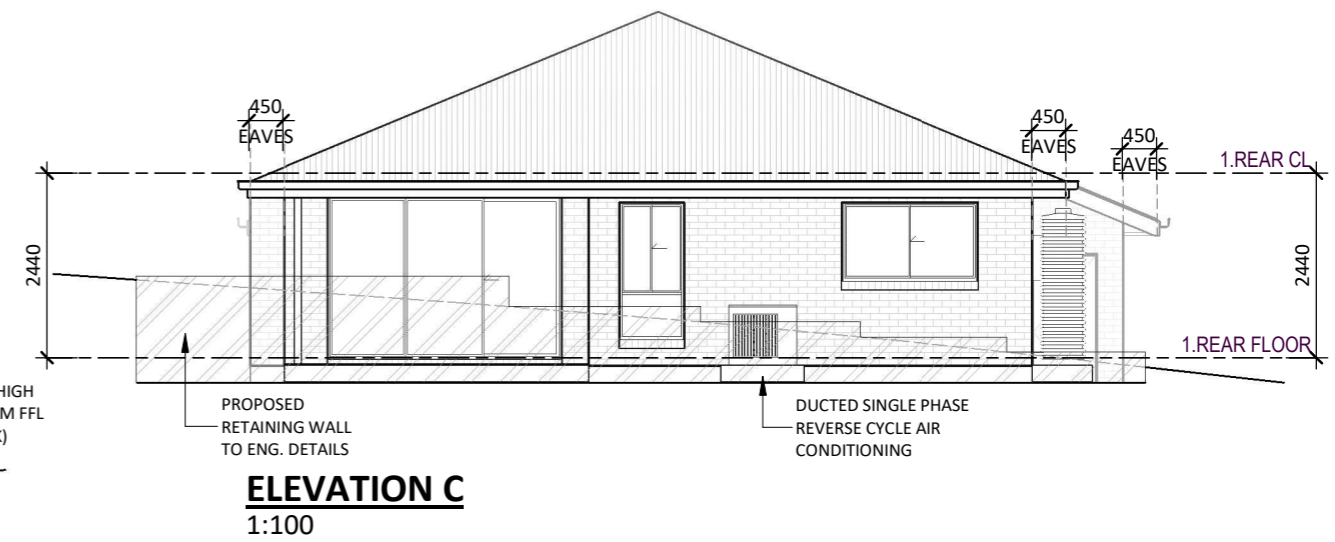
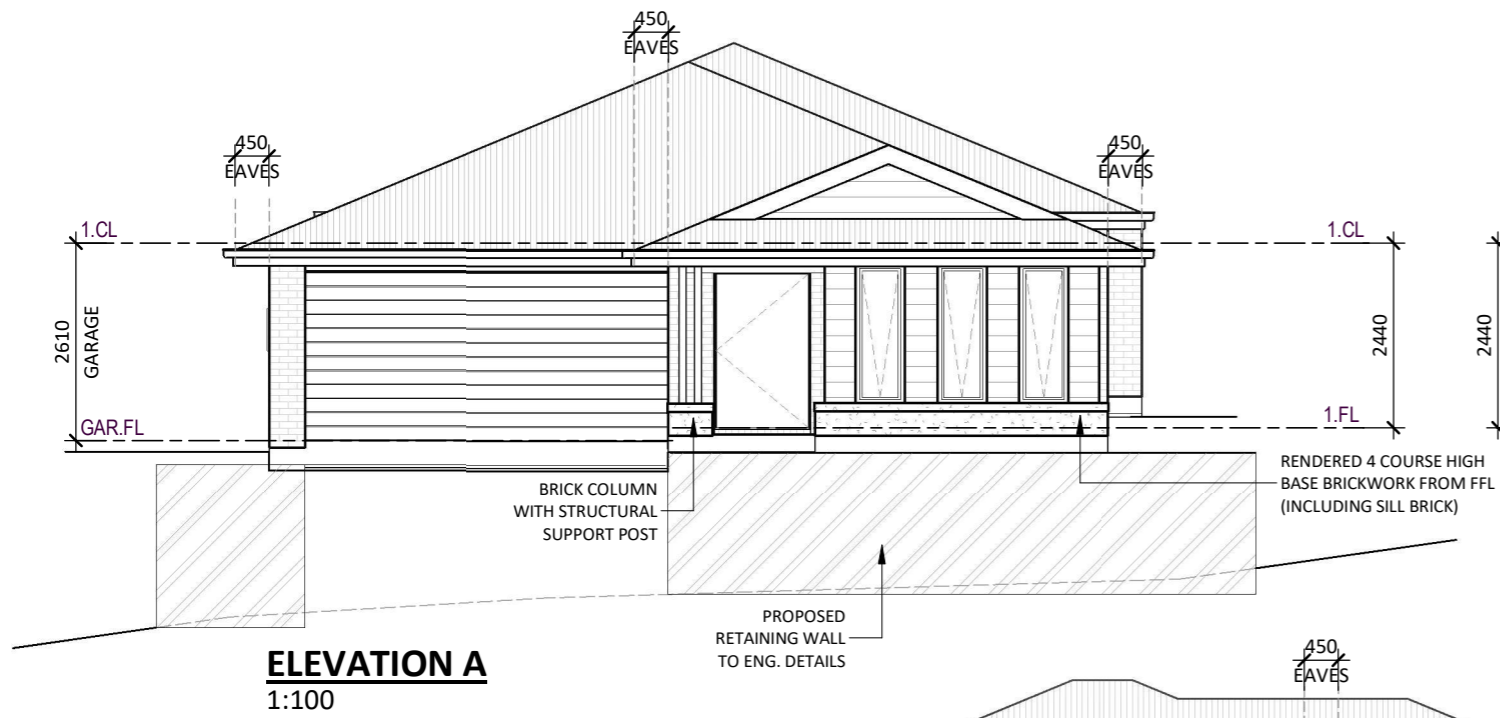
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










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 BUILDER
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PROPOSED NEW RESIDENCE FOR
GAI DOBSON
 AT
 LOT 6 DP793799,
 11 COOMBER STREET,
 RYLSTONE, NSW 2849

PLAN		SCALE	1 : 200
FACADE	THEO	APSLEY 162 MOD.	SHEET SIZE A3
TITLE	SITE PLAN	BASIX CERT. No. PRELIMINARY	DATE 12/01/24
			DRAWN VN-JE
			JOB No. 00-000
			DWG No. 01



LEGEND

-  SELECTED FACE BRICK
-  SELECTED ROOF TILE AT 22.5 PITCH
-  JAMES HARDIE HARDIPLANK SMOOTH 230
-  OBSCURE GLAZING
-  FRONT ENTRY DOOR REFER STANDARD INCLUSIONS
-  GARAGE DOOR REFER TO STANDARD INCLUSIONS
-  SELECTED JAMES HARDIE FC SHEET IN FILL ABOVE GARAGE DOOR
-  SELECTED ALUMINIUM WINDOWS REFER TO STANDARD INCLUSIONS
-  SELECTED JAMES HARDIE FC SHEET IN FILL ABOVE ALL WINDOWS & DOORS UNLESS NOTED OTHERWISE
-  BRICKWORK ABOVE FRONT ENTRY DOOR & WINDOWS TO FRONT FACADE ONLY
-  COLORBOND FASCIA & GUTTER

ALL GROUND FLOOR EXTERNAL WINDOWS & DOORS TO HAVE A NOMINAL HEAD HEIGHT OF 2100mm FROM FINISHED FLOOR LEVEL UNLESS NOTED OTHERWISE

B	AMENDMENTS	VN-JE	12/01/24
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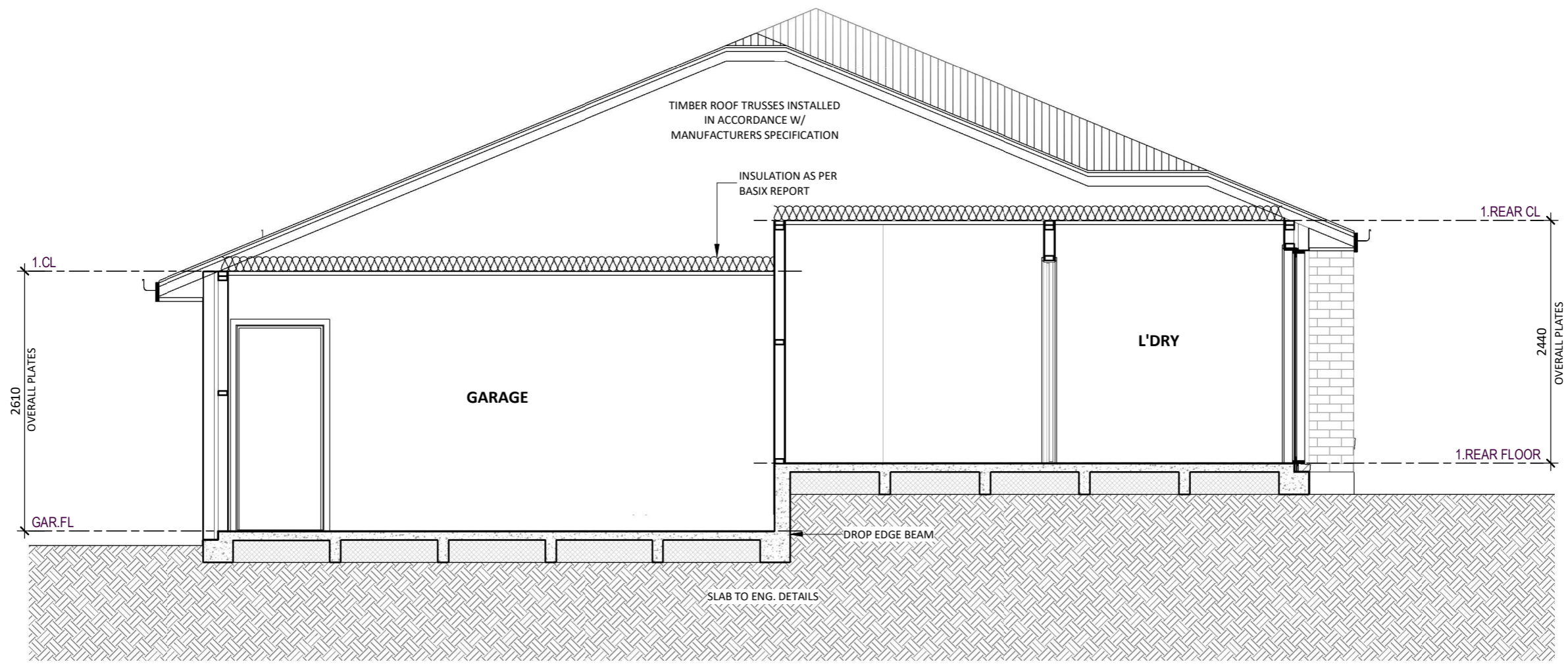
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PROPOSED NEW RESIDENCE FOR
GAI DOBSON

AT
 LOT 6 DP793799,
 11 COOMBER STREET,
 RYLSTONE, NSW 2849

PLAN	APSLEY 162 MOD.		SCALE	1 : 100
FACADE	THEO	BASIX CERT. No.	SHEET SIZE	A3
TITLE	PRELIMINARY		DATE	12/01/24
	ELEVATIONS		DRAWN	VN-JE
			JOB No.	DWG No.
			00-000	03



SECTION A
SCALE 1:50

LEGEND

REFER TO APPROVED BUILDING PERMIT DRAWINGS FOR ALL FINAL SPECIFICATIONS

- ROOF TRUSSES AT 22.5° TO MANUFACTURERS SPECIFICATION
- SELECTED COLORBOND FASCIA & GUTTER
- CONCRETE SLAB TO ENGINEERS SPECIFICATION
- PLASTERBOARD LINING TO ALL CEILINGS AND WALLS

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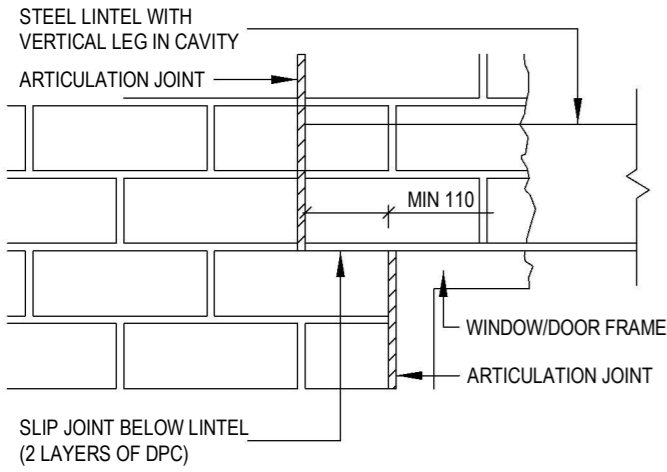
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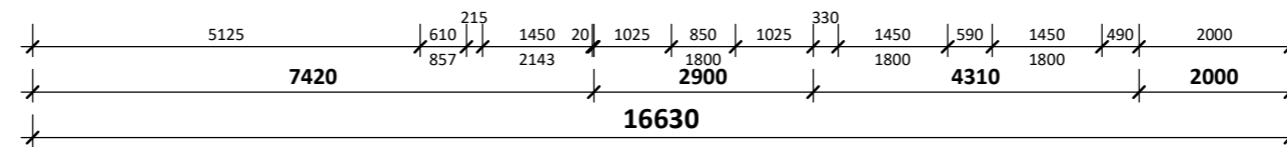
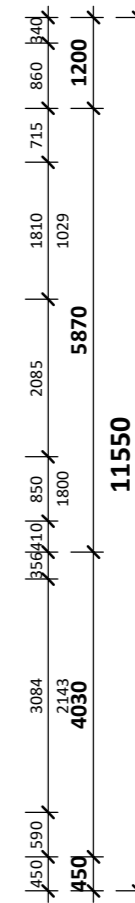
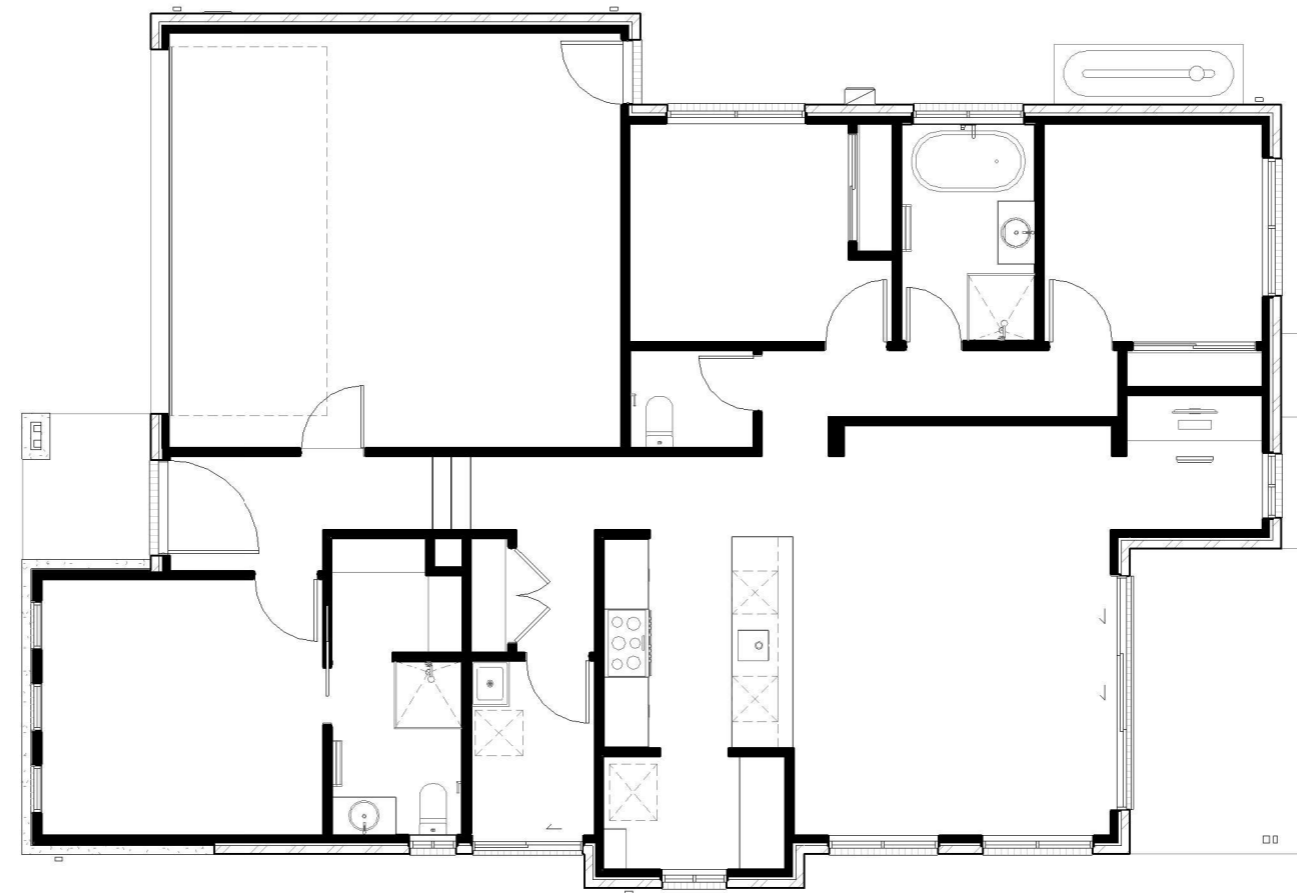
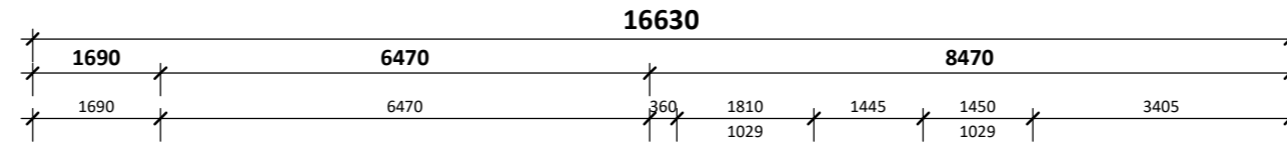
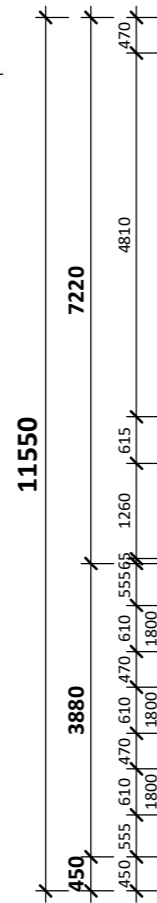
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AT
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11 COOMBER STREET,
RYLSTONE, NSW 2849

PLAN	APSLEY 162 MOD.		SCALE	1 : 50
FACADE	THEO	BASIX CERT. No.	SHEET SIZE	A3
TITLE	PRELIMINARY		DATE	12/01/24
	SECTIONS		DRAWN	VN-JE
			JOB No.	DWG No.
			00-000	04



BRICKWORK ARTICULATION OVER WINDOW OR DOOR



LEGEND	
	BRICKWORK ARTICULATION

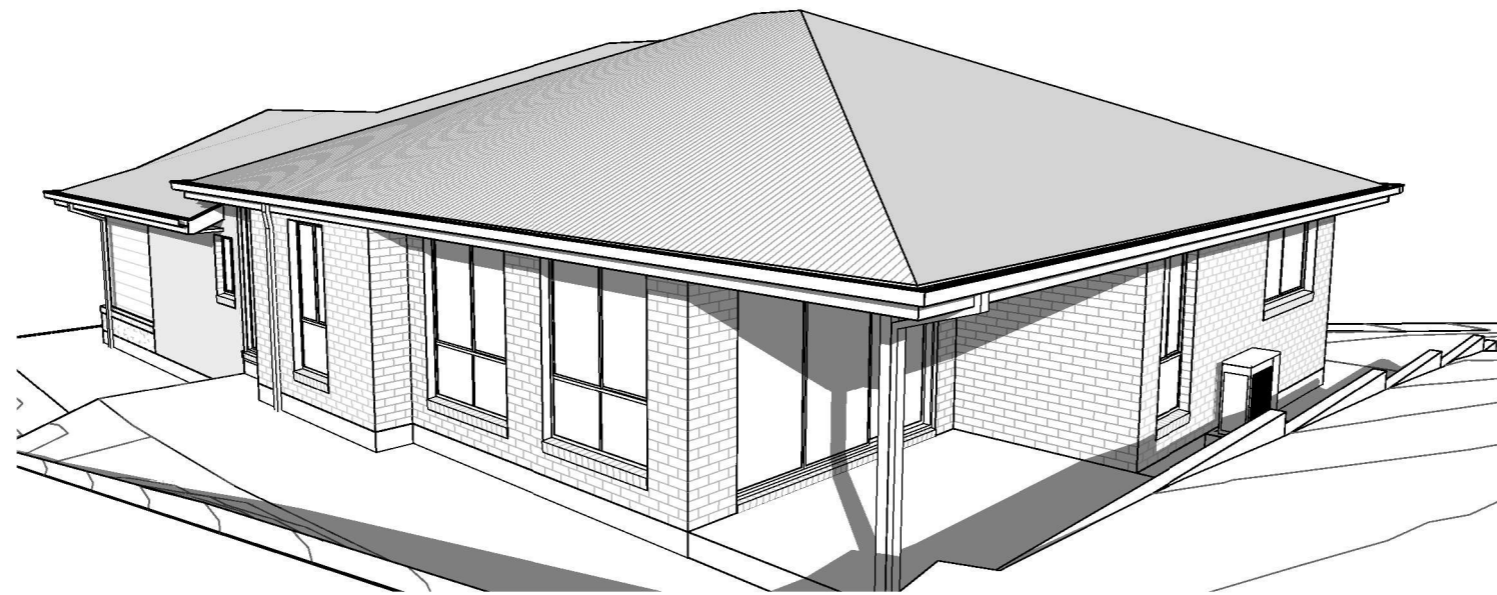
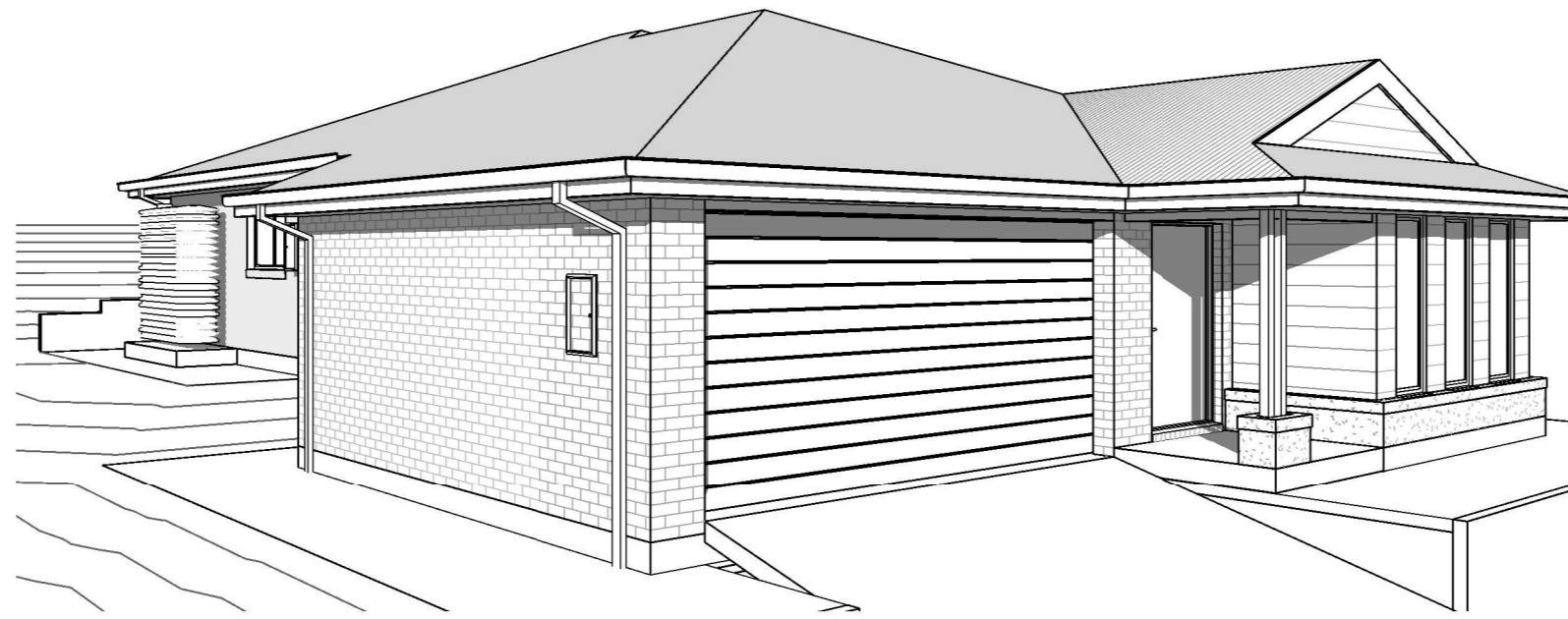
BRICKWORK ARTICULATION JOINTS

- In straight, continuous walls having no openings, at no more than 7.0m.
- Where the height of the wall changes by more 20%, at the position of change in height; and
- Where openings more than 900x900mm occur, at not more than 5m centre and positioned in line with one edge of the opening; and
- Where walls change thickness; and
- At control or construction joints in footing slab; and
- At junctions of walls constructed of different masonry materials; and
- At a distance from all corners between 2m-4.5m.

BRICKWORK VERTICAL ARTICULATION JOINTS SCHEDULE

1:100

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FACADE THEO		BASIX CERT. No. PRELIMINARY	SHEET SIZE	A3															
TITLE BRICKWORK SETOUT		JOB No.	00-000	DATE	12/01/24														
		DRAWN	VN-JE	DWG No.	05-1														



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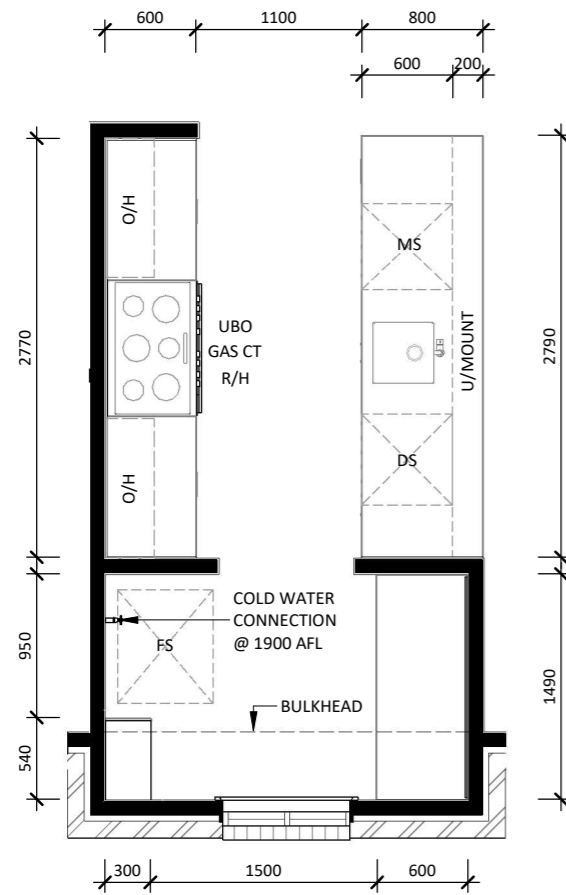
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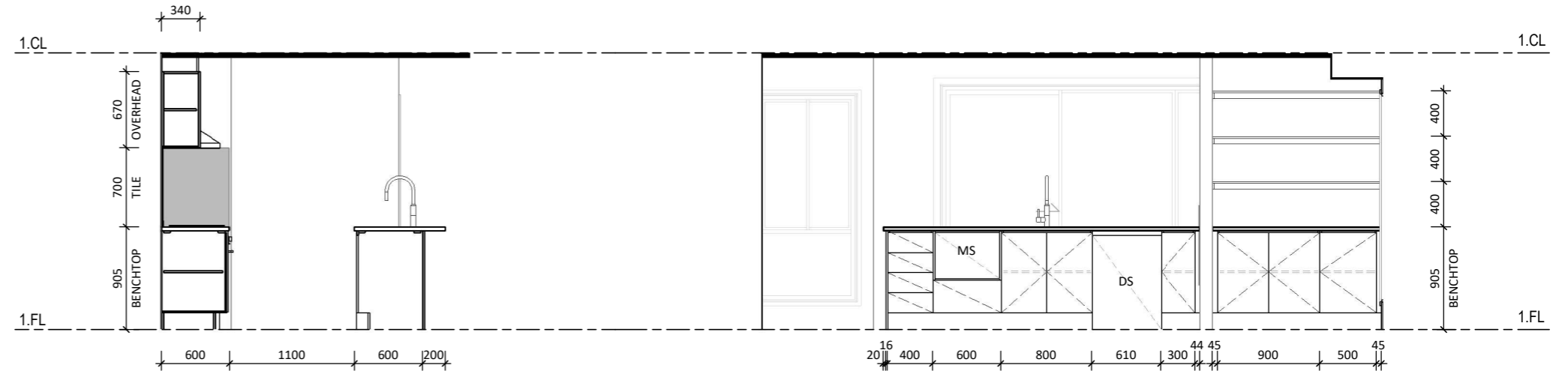
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THEO		PRELIMINARY		DATE	12/01/24
TITLE		PERSPECTIVES		DRAWN	VN-JE
				JOB No.	DWG No.
				00-000	06

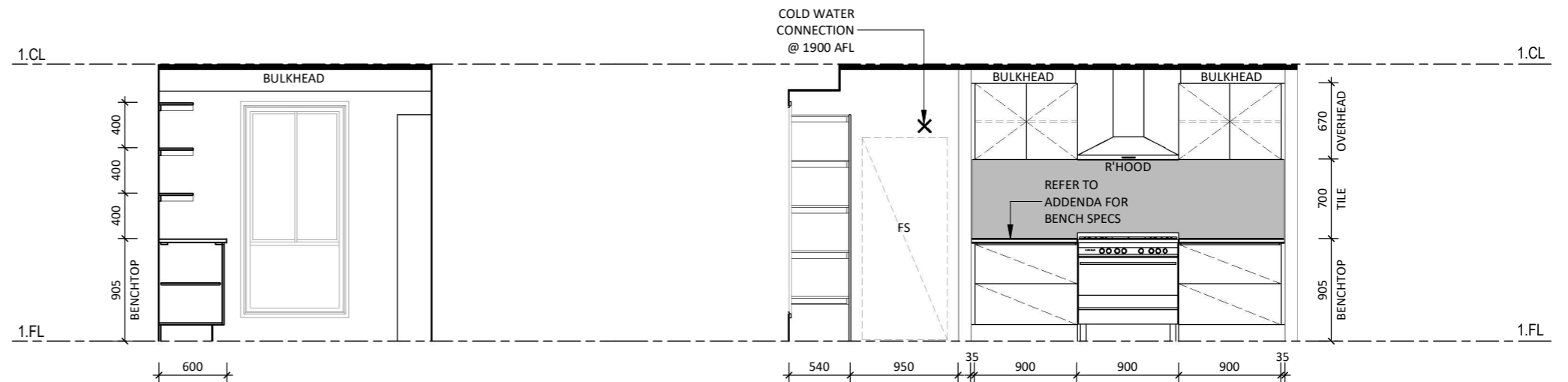


FLOOR PLAN
 KITCHEN



ELEVATION A
KITCHEN

ELEVATION B
KITCHEN



ELEVATION C
KITCHEN

ELEVATION D
KITCHEN

MS - MICROWAVE SPACE
DS - DISHWASHER SPACE
RS - REFRIGERATOR SPACE
WS - WASHING MACHINE SPACE

ALL BULKHEADS ABOVE CABINETRY BY
 CABINET MANUFACTURER UNLESS NOTED
 OTHERWISE

ALL MEASUREMENTS ON INTERNAL
 SHEETS ARE DIMENSIONED FROM
 PLASTER

REFER TO RELEVANT SPECIFIC STATE /
 REGION STANDARD INCLUSIONS
 DOCUMENT FOR ALL STANDARD
 INCLUSIONS

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HOTONDO HOMES

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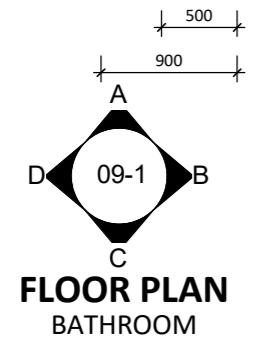
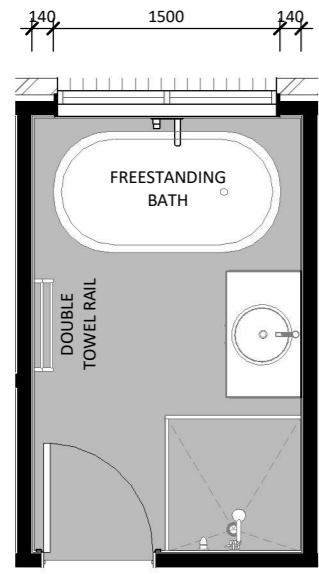
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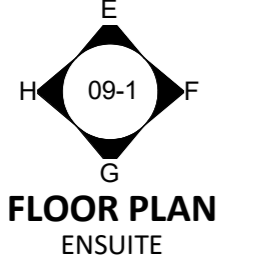
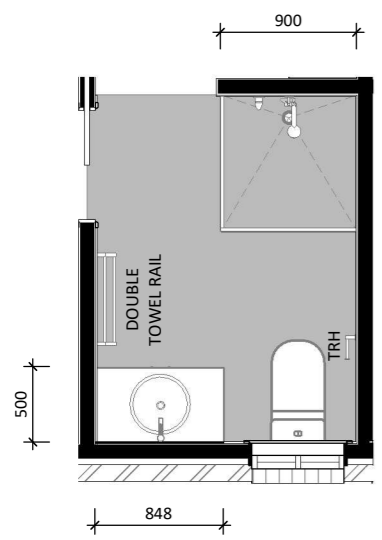
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PLAN
APSLEY 162 MOD.
 FACADE
THEO
 TITLE
KITCHEN DETAILS

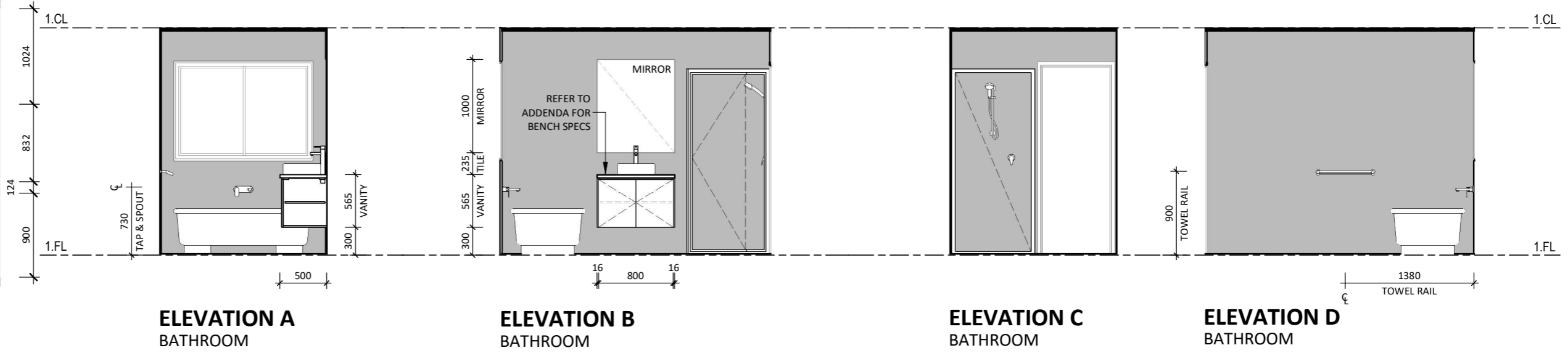
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12/01/24
 DRAWN
VN-JE
 JOB No.
00-000
 DWG No.
08



FLOOR PLAN BATHROOM



FLOOR PLAN ENSUITE

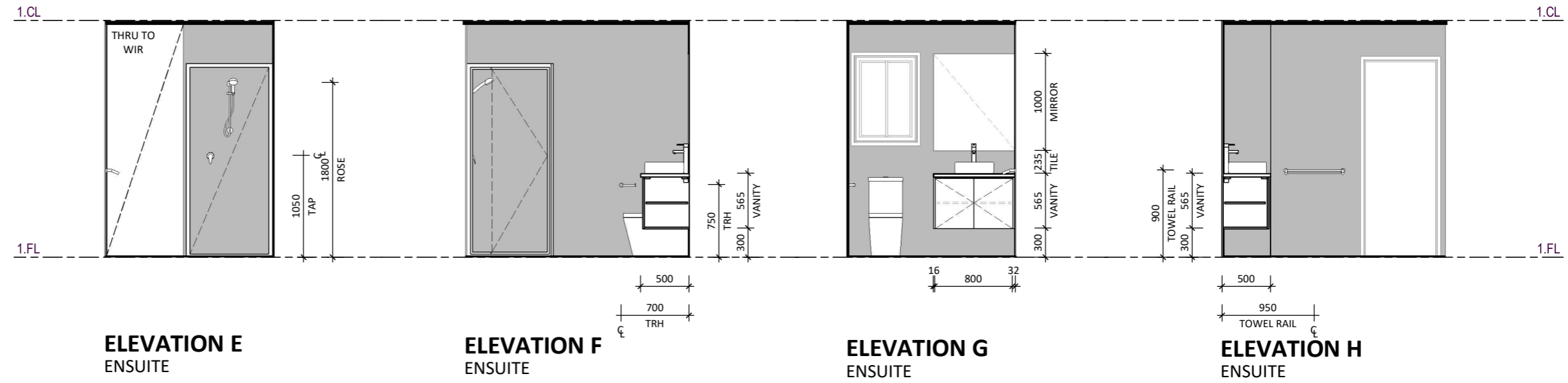


ELEVATION A BATHROOM

ELEVATION B BATHROOM

ELEVATION C BATHROOM

ELEVATION D BATHROOM



ELEVATION E ENSUITE

ELEVATION F ENSUITE

ELEVATION G ENSUITE

ELEVATION H ENSUITE

- FULL HEIGHT TILING TO ENSUITE & BATHROOM
- 1200mm OF FULL HEIGHT TILING AT CLIENT'S EXPENSE

ALL MEASUREMENTS ON INTERNAL SHEETS ARE DIMENSIONED FROM PLASTER

REFER TO RELEVANT SPECIFIC STATE / REGION STANDARD INCLUSIONS DOCUMENT FOR ALL STANDARD INCLUSIONS

B	AMENDMENTS	VN-JE	12/01/24
A	WORKING DRAWINGS	VN-JE	12/12/23
Rev	Amendment	Drawn	Date

HOTONDO HOMES
FOREVER RETREAT
Forever part of your journey.

CLIENT

DATE

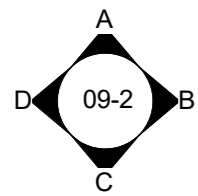
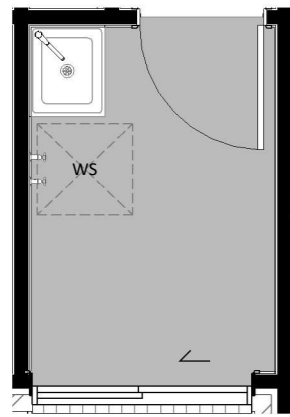
BUILDER

DATE

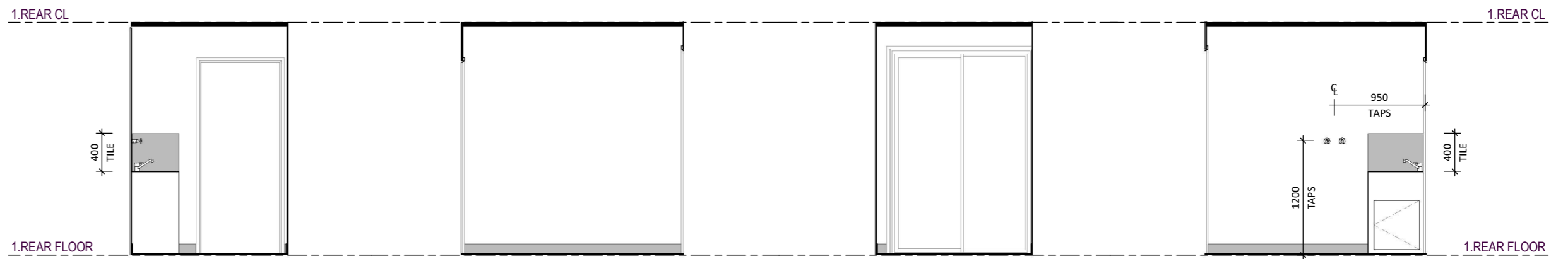
PROPOSED NEW RESIDENCE FOR
GAI DOBSON

AT
LOT 6 DP793799,
11 COOMBER STREET,
RYLSTONE, NSW 2849

PLAN	APSLEY 162 MOD.		SCALE	1 : 50
FACADE	THEO	BASIX CERT. No.	SHEET SIZE	A3
TITLE	PRELIMINARY		DATE	12/01/24
	WET AREA DETAILS		DRAWN	VN-JE
			JOB No.	DWG No.
			00-000	09-1



FLOOR PLAN
LAUNDRY

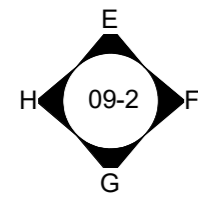
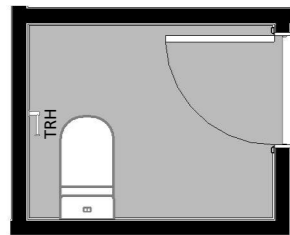


ELEVATION A
LAUNDRY

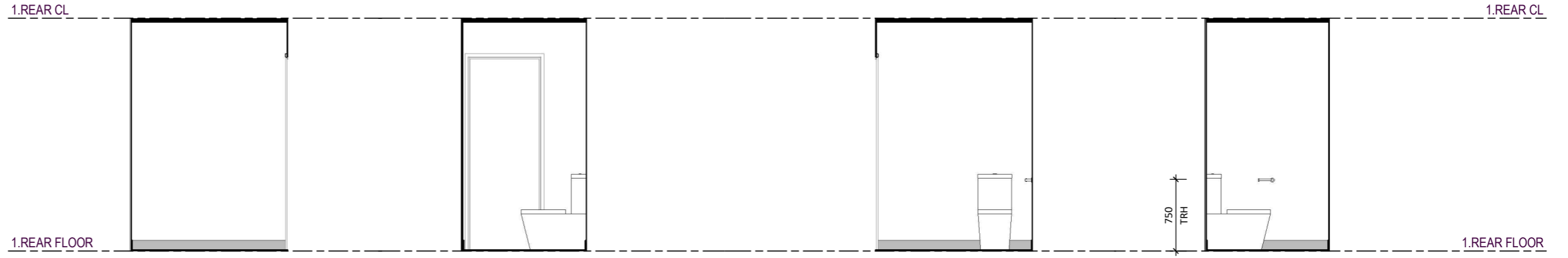
ELEVATION B
LAUNDRY

ELEVATION C
LAUNDRY

ELEVATION D
LAUNDRY



FLOOR PLAN
WC



ELEVATION E
WC

ELEVATION F
WC

ELEVATION G
WC

ELEVATION H
WC

MS - MICROWAVE SPACE
DS - DISHWASHER SPACE
RS - REFRIGERATOR SPACE
WS - WASHING MACHINE SPACE

ALL MEASUREMENTS ON INTERNAL SHEETS ARE DIMENSIONED FROM PLASTER

REFER TO RELEVANT SPECIFIC STATE / REGION STANDARD INCLUSIONS DOCUMENT FOR ALL STANDARD INCLUSIONS

B	AMENDMENTS	VN-JE	12/01/24
A	WORKING DRAWINGS	VN-JE	12/12/23
Rev	Amendment	Drawn	Date

HOTONDO HOMES
FOREVER RETREAT
Forever part of your journey.

CLIENT

DATE

BUILDER

DATE

PROPOSED NEW RESIDENCE FOR
GAI DOBSON

AT
LOT 6 DP793799,
11 COOMBER STREET,
RYLSTONE, NSW 2849


PLAN	APSLEY 162 MOD.		SCALE	1 : 50
FACADE	THEO	BASIX CERT. No.	SHEET SIZE	A3
TITLE	PRELIMINARY		DATE	12/01/24
	WET AREA DETAILS		DRAWN	VN-JE
			JOB No.	DWG No.
			00-000	09-2

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 80 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> all toilets in the development the cold water tap that supplies each clothes washer in the development at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) all hot water systems in the development 		✓	✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
W01	2100	3000	aluminium, single, clear	eave 2000 mm, 90 mm above head of window or glazed door	not overshadowed
W02	1800	900	aluminium, single, clear	eave 450 mm, 90 mm above head of window or glazed door	not overshadowed
W03	1000	1800	aluminium, single, clear	eave 450 mm, 90 mm above head of window or glazed door	not overshadowed
East facing					
W04	1000	1500	aluminium, single, clear	eave 450 mm, 90 mm above head of window or glazed door	not overshadowed
W05	1000	1800	aluminium, single, clear	eave 450 mm, 90 mm above head of window or glazed door	not overshadowed
South facing					

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door: <ul style="list-style-type: none"> For the following glass and frame types, the certifier check can be performed by visual inspection. <ul style="list-style-type: none"> Aluminium single clear Aluminium double (air) clear Timber/uPVC/fibreglass single clear Timber/uPVC/fibreglass double (air) clear 	✓	✓	✓


Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W06	1800	2100	aluminium, single, clear	eave 450 mm, 90 mm above head of window or glazed door	not overshadowed
West facing					
W07	900	600	aluminium, single, clear	eave 450 mm, 90 mm above head of window or glazed door	not overshadowed
W08	2100	1500	aluminium, single, clear	eave 450 mm, 90 mm above head of window or glazed door	not overshadowed
W09	1800	900	aluminium, single, clear	eave 450 mm, 90 mm above head of window or glazed door	not overshadowed
W10	1800	1500	aluminium, single, clear	eave 450 mm, 90 mm above head of window or glazed door	not overshadowed
W11	1800	1500	aluminium, single, clear	eave 450 mm, 90 mm above head of window or glazed door	not overshadowed

				CLIENT DATE BUILDER DATE	PROPOSED NEW RESIDENCE FOR GAI DOBSON AT LOT 6 DP793799, 11 COOMBER STREET, RYLSTONE, NSW 2849	PLAN APSLEY 162 MOD. FACADE THEO TITLE WET AREA DETAILS	SCALE 1 : 50 SHEET SIZE A3 DATE 12/01/24 DRAWN VN-JE JOB No. 00-000 DWG No. 10
B	AMENDMENTS	VN-JE	12/01/24				
A	WORKING DRAWINGS	VN-JE	12/12/23				
Rev	Amendment	Drawn	Date				

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 4.5 Star (old label)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 4.5 Star (old label)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 4.5 Star (old label)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 4.5 Star (old label)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 4 of the bedrooms / study; dedicated		✓	✓
• at least 2 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

				CLIENT DATE BUILDER DATE	PROPOSED NEW RESIDENCE FOR GAI DOBSON AT LOT 6 DP793799, 11 COOMBER STREET, RYLSTONE, NSW 2849	PLAN APSLEY 162 MOD. FACADE THEO TITLE WET AREA DETAILS	SCALE 1 : 50 SHEET SIZE A3 DATE 12/01/24 DRAWN VN-JE JOB No. 00-000 DWG No. 11
B	AMENDMENTS	VN-JE	12/01/24				
A	WORKING DRAWINGS	VN-JE	12/12/23				
Rev	Amendment	Drawn	Date				