

Issued For:

# CLIENT REVIEW & COORDINATION

Project Description:

Proposed New Single Storey Dual Occupancy &  
Torrens Title Sub-Division Located At:  
Lot 1 in DP 1297909 No.90 Douro Street, Mudgee. NSW

GENERAL NOTES:

- 1. STORM WATER DRAINAGE TO STREET STORMWATER SYSTEM & THE BASIX REPORT
- 2. SEWER DRAINAGE & WASTE WATER TO SYDNEY WATER SEWER MAIN
- 3. SEDIMENT CONTROL BARRIER TO COUNCIL SPECIFICATIONS DURING CONSTRUCTION
- 4. SURVEY LEVELS & CONTOURS TO AUSTRALIAN HEIGHT DATUM OR AS INDICATED ON SURVEY PLAN +-100mm
- 5. TERMITE CONTROL CHEMICAL OR PHYSICAL BARRIER TO BE INSTALLED IN ACCORDANCE WITH AS3660
- 6. VERIFY ALL DIMENSIONS, LEVELS & EXISTING CONDITION ON SITE PRIOR TO COMMENCEMENT OF WORK
- 7. ALL WORK & MATERIALS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT STANDARDS AUSTRALIA CODES
- 8. FIGURED DIMENSIONS TAKE PREFERENCE TO SCALE
- 9. ALL DIMENSIONS IN MILLIMETRES U.N.O.
- 10. DRIVEWAY GRADIENT TO COMPLY WITH COUNCIL REGULATIONS
- 11. DROP EDGE BEAMS TO ENGINEERS DETAILS IF REQUIRED
- 12. ALL STRUCTURAL BEAM SIZES & DETAILS TO ENGINEERS SPECIFICATIONS
- 13. ANY RETAINING WALL REQUIRED WILL BE CONSTRUCTED FROM COPPER LOGS OR MASONRY NOT EXCEEDING 600mm HIGH
- 14. AN ALL WEATHER ACCESS CONSISTING OF RECYCLED CONCRETE WILL BE PROVIDED
- 15. PERMANENT DRIVEWAY TO BE REINFORCED CONCRETE
- 16. ANY CONCRETE PATHS TO BE REINFORCED CONCRETE
- 17. SURFACE DRAINS WILL BE INCORPORATED IN THE LANDSCAPING TO REMOVE SURFACE WATER FROM GRASSED & CONCRETE AREAS
- 18. AGRICULTURAL DRAINS WILL BE APPLIED BEHIND ALL RETAINING WALLS & WILL BE CONNECTED INTO THE STORMWATER LINE
- 19. SURVEY DATA OBTAINED FROM SYDNEY REGISTERED SURVEYORS - PLAN REFERENCE 4980
- 20. CHILD PROOF SCREENS MUST BE FITTED TO FIRST FLOOR BEDROOM WINDOWS WHERE THE SILL IS LESS THAN 1.7M ABOVE FLOOR LEVEL, OR WINDOW OPENINGS TO BE RESTRICTED TO 125mm, IN ACCORDANCE WITH CLAUSE 3.9.2.6 OF THE NCC VOLUME 2

AUSTRALIAN STANDARD CODES

- AS 1288 Glazing
- AS 1684.4 Timber Framing
- AS 1728.1 Timber Structures Code
- AS 2857 Termite Protection
- AS 2878.1 Residential Slabs & Footings
- AS 3500 National Plumbing & Drainage
- AS 3600 Concrete Structures
- AS 3700 Masonry in Buildings
- AS 3786 Smoke Alarms
- AS 4100 Steel Structures

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			5	Sedimentaion & Waste Plan
			4	Stormwater Plan
			3	Site Plan
			2	Basix / Nathers
2	09.11.23	Client Review	1	Cover Sheet
Rev	Date	Amendment	Sheet	Description



RESIDENTIAL DESIGN & DRAFTING SERVICES  
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- 1. All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
- 2. All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
- 3. All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
- 4. Structural Engineer to check, detail and certify brickwork to garage area with a height greater than 3000mm between horizontal supports.
- 5. All brickwork to be constructed in accordance with the requirements of the Building Code of Australia.
- 6. Control joints in brickwork to be provided in accordance with the requirements of the Building Code of Australia.
- 7. Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.

Issue	Amendment	Date:
2	Client Review	09.11.23
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North:



Proposed: New Single Storey Dual Occupancy	Drawing Title: Cover Page	Revision: 2
Location: [Redacted]	L.G.A Mid-Western Regional	Design: CUSTOM
	Facade : CUSTOM	Date 09.11.23
	Scale	Sheet 1 of 11
		JR Job No: 2304

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the specifications set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Review Date of issue: Friday, 20 September 2023  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary			
Project name	Lot 1 Downs Street, Mudgee, NSW Dwelling A		
Street address	Downs Street Mudgee 2850		
Local Government Area	Mid-Western Regional Council		
Plan type and plan number	Deposited Plan 1237909		
Lot no.	1		
Section no.	-		
Project type	attached dwelling house		
No. of bedrooms	3		
Project score			
Water	✓ 39	Target 30	
Thermal Comfort	✓ Pass	Target Pass	
Energy	✓ 40	Target 40	

Certificate Prepared by	
Name / Company Name	JR Design & Drafting
ABN (if applicable)	6031988018

## Description of project

Project address		Assessor details and thermal loads	
Project name	Lot 1 Downs Street, Mudgee, NSW Dwelling A	Assessor number	n/a
Street address	N/A Downs Street Mudgee 2850	Certificate number	n/a
Local Government Area	Mid-Western Regional Council	Climatic zone	n/a
Plan type and plan number	Deposited Plan 1237909	Area adjusted cooling load (MJ/m <sup>2</sup> /year)	n/a
Lot no.	1	Area adjusted heating load (MJ/m <sup>2</sup> /year)	n/a
Section no.	-	Cooling fan in at least one bedroom	n/a
Project type	attached dwelling house	Cooling fan in at least one living room or other conditioned area	n/a
Project score			
No. of bedrooms	3	Water	✓ 39 Target 30
Site details		Thermal Comfort	✓ Pass Target Pass
Site area (m <sup>2</sup> )	281	Energy	✓ 40 Target 40
Roof area (m <sup>2</sup> )	165		
Conditioned floor area (m <sup>2</sup> )	108.78		
Unconditioned floor area (m <sup>2</sup> )	5.93		
Total area of garden and lawn (m <sup>2</sup> )	100		

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
<b>Features</b>			
The applicant must install showerheads with a minimum rating of 4 star (>4.5 but <= 6 Litres plus spray force and/or coverage) in accordance with the requirements of all applicable regulatory authorities.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	✓
Alternative water			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 165.3 square metres of the roof area of the development (including the area of the roof which drains to any rainwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:		✓	✓
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply)		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
<b>General features</b>			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mazzarone area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain fixed level habitable attic room.	✓	✓	✓
<b>Floor, walls and ceiling/roof</b>			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
<b>Construction</b>			
Roof - concrete slab on ground	Additional insulation required (R-Value)		Other specifications
external wall - brick veneer	n/a (or 2.00 including construction)		
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.00 including construction)		
external wall shared with garage - plasterboard	n/a		
ceiling and roof - flat ceiling / pitched roof	ceiling 4 (sq), roof full-sloping		
unventilated, medium (solar absorptance 0.475-0.70)			
<b>Note:</b> • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
<b>Note:</b> • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			

Thermal Comfort Commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant over-shading specifications must be satisfied for each window and glazed door. The dwelling may have 1 skylight (<5.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• For the following glass and frame types, the certifier check can be performed by visual inspection.			✓
- Aluminium single clear			✓
- Aluminium double (air) clear			✓
- TimberuPVC/Biflexglass single clear			✓
- TimberuPVC/Biflexglass double (air) clear			✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimensions within 10%)	Over-shading
East-facing					
001	1800	1210	aluminium, single, clear	solid overhang 750 mm, 0 mm above head of window or glazed door	not overshaded
002	1800	1210	aluminium, single, clear	wave 600 mm, 0 mm above head of window or glazed door	not overshaded
South-facing					
003	860	610	aluminium, single, clear	wave 600 mm, 0 mm above head of window or glazed door	not overshaded
004	1030	1810	aluminium, single, clear	wave 600 mm, 0 mm above head of window or glazed door	not overshaded
005	1030	1810	aluminium, single, clear	wave 600 mm, 0 mm above head of window or glazed door	not overshaded
006	1030	1810	aluminium, single, clear	wave 600 mm, 0 mm above head of window or glazed door	not overshaded

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Over-shading
West-facing					
001	2100	3610	aluminium, single, clear	wave 600 mm, 0 mm above head of window or glazed door	not overshaded

Energy Commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning. Energy rating: EER > 4.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase air conditioning. Energy rating: EER > 4.0		✓	✓
The cooling system must provide for daylight zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning. Energy rating: EER > 4.0		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase air conditioning. Energy rating: EER > 4.0		✓	✓
The heating system must provide for daylight zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust system in the development:			
At least 1 Bathroom: individual fan, ducted to lapside or roof. Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to lapside or roof. Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to lapside or roof. Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and above the work "tasklight" spaces, the fittings for these lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 3 of the bedrooms / study:		✓	✓

Energy Commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
• at least 1 of the living / dining rooms;			✓
• the kitchen;			✓
• all bathrooms/toilets;			✓
• the laundry;			✓
• all hallways;			✓
Natural lighting			
The applicant must install a window and/or skylight in 3 bathrooms/toilets in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas coolingp & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "u" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "u" in the "Show on CCODC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "u" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate/other interim or final for the development may be issued.

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## Description of project

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Local Government Area	Mid-Western Regional Council	Climatic zone	n/a
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The applicant must configure the rainwater tank to collect rain runoff from at least 165.3 square metres of the roof area of the development (including the area of the roof which drains to any rainwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:		✓	✓
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply)		✓	✓

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The dwelling must not contain fixed level habitable attic room.	✓	✓	✓
<b>Floor, walls and ceiling/roof</b>			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
<b>Construction</b>			
Roof - concrete slab on ground	Additional insulation required (R-Value)		Other specifications
external wall - brick veneer	n/a		
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.00 including construction)		
external wall shared with garage - plasterboard	n/a		
ceiling and roof - flat ceiling / pitched roof	ceiling 4 (sq), roof full-sloping		unventilated, medium (solar absorptance 0.475-0.70)
<b>Note:</b> • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
<b>Note:</b> • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			

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Energy Commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars.	✓	✓	

## SITE BENCHING NOTE:

FINISHED GROUND LEVELS ARE TO BE +/- 100MM FROM NOMINATED LEVEL, SUBJECT TO MAXIMUM DRIVEWAY GRADIENTS & FLOOD RELATED DEVELOPMENTS

## BEFORE ENTERING SITE

Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.

PLAN CHANGES & MODIFICATION ACKNOWLEDGEMENT: By signing and executing this agreement, the client acknowledges and agrees to the following:

- The Client has reviewed the attached plans in detail. By signing and initialing this document and the plans document, the Client acknowledges that the Client understands everything included on all pages of this document and the plans document and that any questions that the Client has, has been addressed by a The Vogue Group representative(s) and resolved.
- The Client also acknowledges that once the Agreement has been signed, no further design changes can occur unless due to Statutory requirements. If the Client insists on making any design change post signing the Agreement; there will be a \$5,000.00 administration and processing fee plus the cost to complete changes.

FULL NAME: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

FULL NAME: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

## CONSTRUCTION NOTES:

- Figured dimensions are to be taken in preference to scaling
- No allowance has been made for shrinkage or milling
- All Levels shown are approximate and should be verified on site during construction
- Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.
- Dimensions are to be verified on site by builder before the commencement of work
- All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
- Refer to the builders scope of works for inclusions & exclusions
- All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
- All service positions, air conditioning droppers, outlets, return air grills, manholes and bulkheads to be determined on site at supervisor / contractors discretion
- All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
- Termite protection in accordance with Australian Standards
- Refer to Basix Certificate for energy, water & thermal requirements
- All 1st floor windows with a sill height less than 1700mm to have a max opening width of 125mm
- Final Construction Joints, steel posts & Beams, Floor Joist to structural engineer plans
- Meter Box, Gas Meter to be confirmed with Builder on site.
- Downpipes to be confirmed with plumber on site.

## SEDIMENT CONTROL NOTES:

- ALL EROSION & SEDIMENT CONTROL MEASURES, INCLUDING REVEGETATION & STORAGE OF SOIL & TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED & STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS & TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL & TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES & AREA WHERE WATER MAY CONCENTRATE.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POSTS AT 2.0M CENTRES.
- FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- REFER TO PROPOSED SEDIMENT FENCE DETAIL.

## NOTE:

THIS DRAWING IS PRELIMINARY AND IS SUBJECT TO FINAL CONTOUR SURVEY & COUNCIL/CERTIFIER APPROVALSD JR DESIGN & DRAFTING RESERVES THE RIGHT TO CHANGE DESIGN BASED ON FINAL SURVEY.

## LEGEND:

	PROPOSED DRIVEWAY
	PRINCIPAL PRIVATE OPEN SPACE
	PROPOSED DWELLING
	ALL WEATHER ACCESS CROSSING BLUE METAL OR EQUIVALENT
	CONSTRUCTION STORAGE BIN/AREA

# D.A LODGEMENT

## SITE COVERAGE

SITE AREA	600.20m <sup>2</sup>
ALLOWED AS PER DCP 50% Site Area	300.10m <sup>2</sup>
PROPOSED AREA	282.04m <sup>2</sup>

## PRIVATE OPEN SPACE

REQUIRED BY DCP	80.00m <sup>2</sup>
PROPOSED AREA DWELLING A	80.00m <sup>2</sup>
PROPOSED AREA DWELLING B	81.15m <sup>2</sup>

MINIMUM 2.5M X 2.5M	YES
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	PRINCIPAL PRIVATE OPEN SPACE 24.00m <sup>2</sup> MINIMUM 6M X 4M	YES
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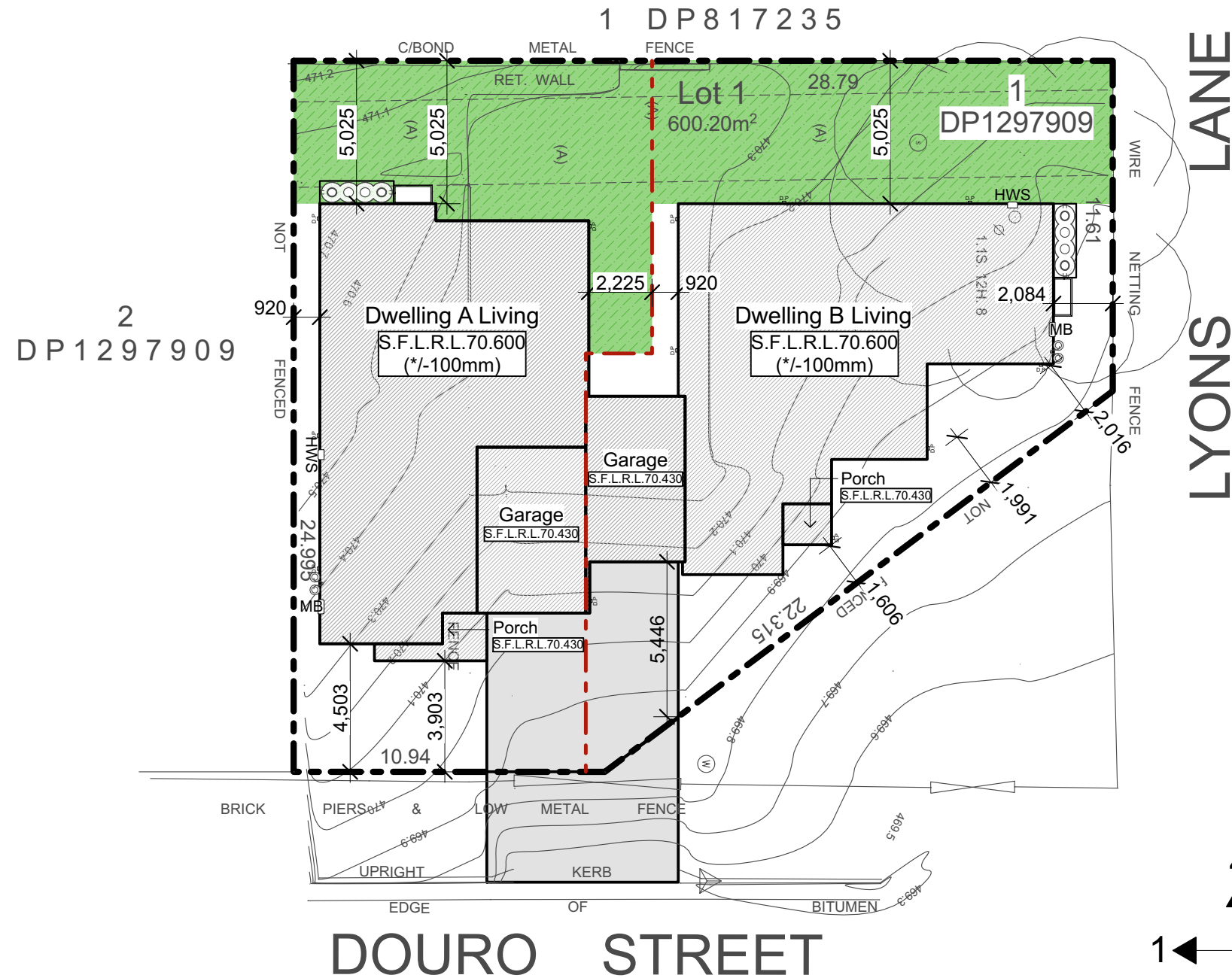
## DRIVEWAY / PATHWAY AREAS

DRIVEWAY CROSSOVER AREA:	TBCm <sup>2</sup>
DRIVEWAY AREA:	TBCm <sup>2</sup>
PATHWAY AREA:	N/A

## COMPLIANCE TABLE

### MID-WESTERN REGIONAL DEVELOPMENT CONTROL PLAN

CRITERIA	ALLOWED/ REQUIRED	PROPOSED
FRONT SETBACK:	4.5M	4.5M
ARTICULATION ZONE:	3.5M	3.90M
GARAGE SETBACK:	5.5M	5.58M
REAR SETBACK:	0.9M	5.025M
GF SIDE SETBACK (A):	0.9M	1.5M
GF SIDE SETBACK (B):	0.9M	2.07M
LANEWAY SETBACK:	2.0M	2.07
FF SIDE SETBACK (B):	N/A	N/A
BUILDING HEIGHT:	8.5M	TBC
CAR PARKING SPACES:	2 SPACES	2 SPACES
DRIVEWAY WIDTH:	N/A	4.5M



## Proposed Site Plan

scale 1:200

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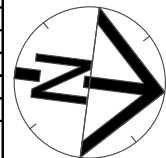
Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003  
Email: jr.design.drafting@gmail.com  
Address: Suite 304 No. 447 Victoria Street, Wetherill Park, NSW 2164

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7. Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.

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North:



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Proposed:  
New Single Storey Dual Occupancy

Location:

[Redacted location information]

Drawing Title:  
Proposed Site Plan /  
Concept Drainage Plan

L.G.A

Mid-Western Regional

Facade : CUSTOM Date 09.11.23

Scale 1:200 Sheet 3 of 11

Revision:

2

Design:

CUSTOM

JR Job No:

2304





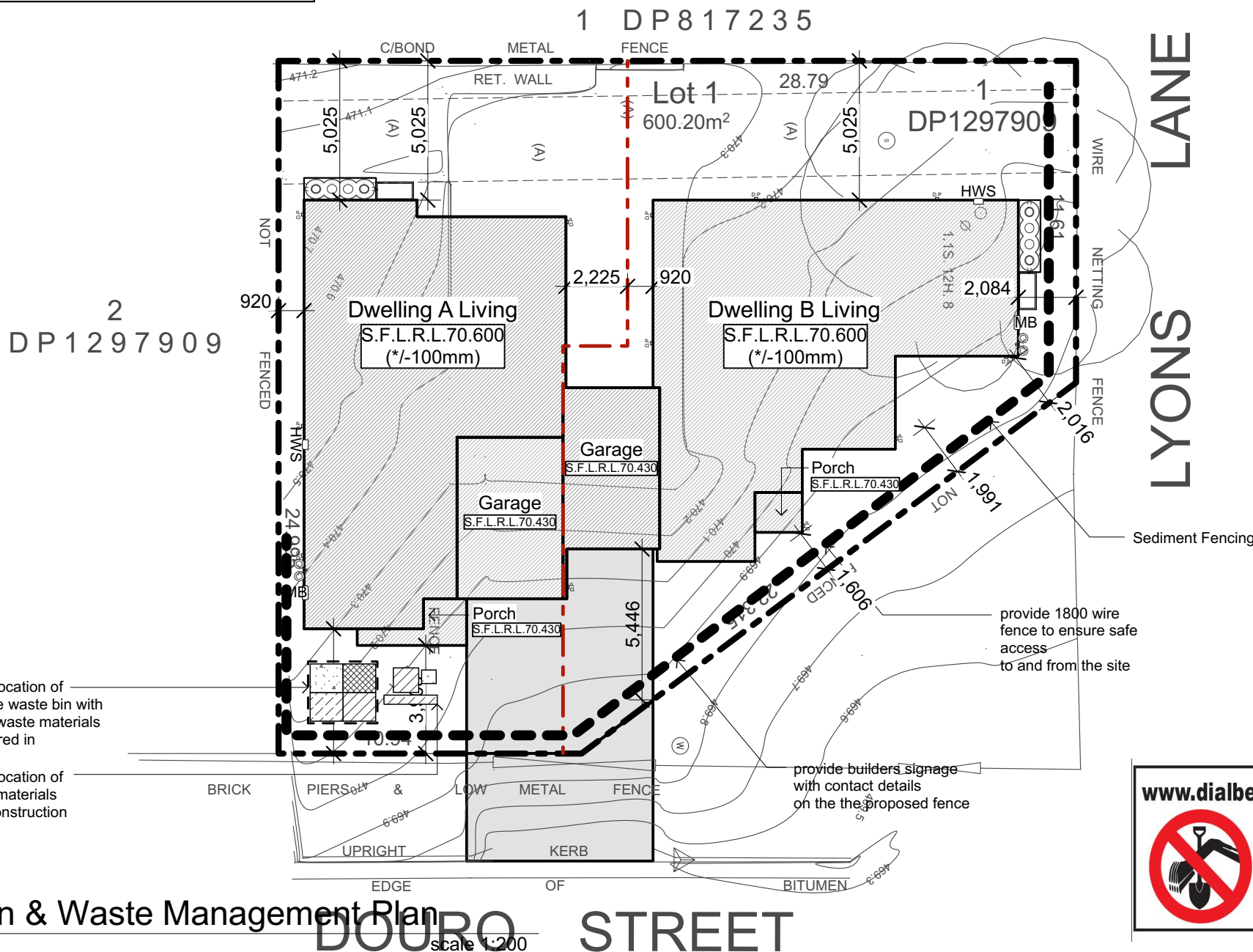
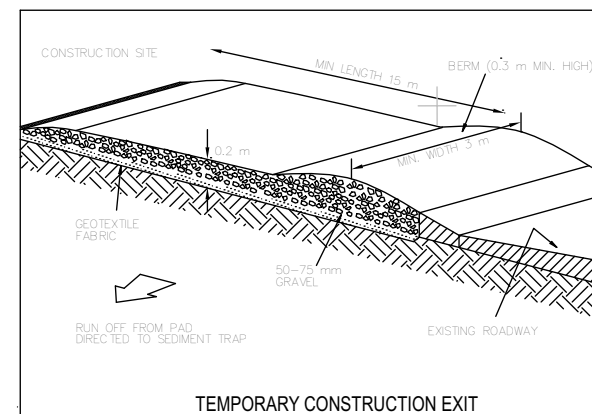
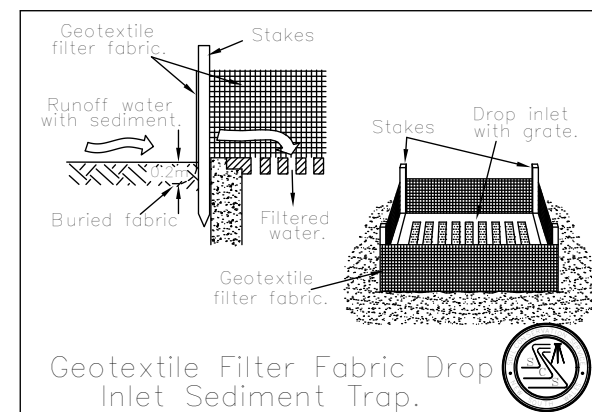
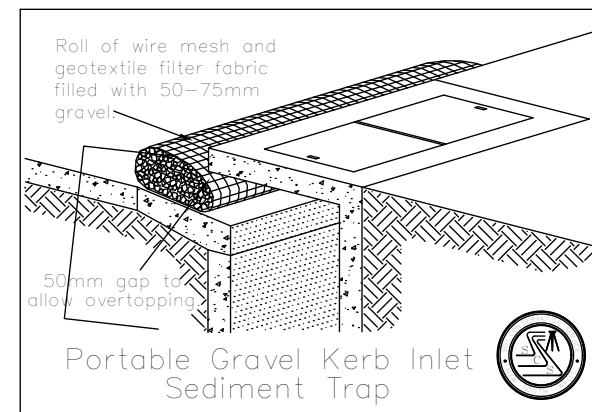
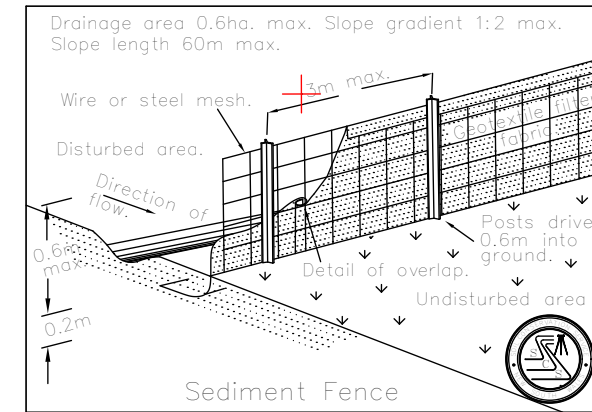
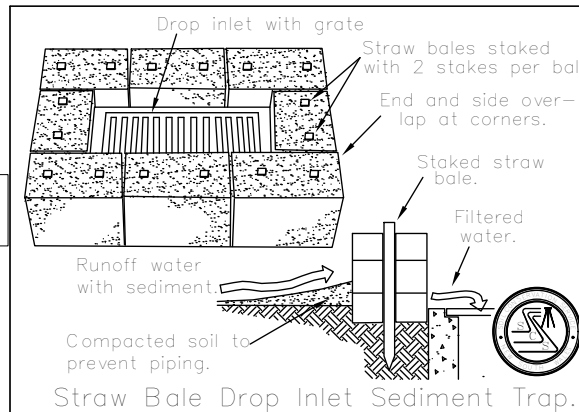
### SEDIMENT CONTROL NOTES:

1. ALL EROSION & SEDIMENT CONTROL MEASURES, INCLUDING REVEGETATION & STORAGE OF SOIL & TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED & STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS & TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL & TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES & AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POSTS AT 2.0M CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. REFER TO PROPOSED SEDIMENT FENCE DETAIL.

### Erosion Control

Temporary sediment and erosion control and measures are to be installed prior to commencement of any works on the site. these measures must be maintained in working order during construction works up to completion. All sediment traps must be cleared on a regular basis and after major storm and/or as directed by the Principal Certifying Authority and Council officers.

PROOF OF EXISTENCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. CURRENT "DIAL BEFORE YOU DIG" SERVICES PLANS MUST BE OBTAINED PRIOR TO COMMENCING ANY EXCAVATION.

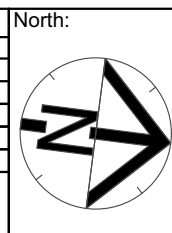


## Sedimentation & Waste Management Plan

scale 1:200

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Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003  
Email: jr.design.drafting@gmail.com  
Address: Suite 304 No. 447 Victoria Street, Wetherill Park, NSW 2164

Issue	Amendment	Date:
2	Client Review	09.11.23



**JR Design & Drafting**  
RESIDENTIAL DESIGN & DRAFTING SERVICES

Proposed:	New Single Storey Dual Occupancy
Location:	

Drawing Title:	Soil Sedimentation & Waste Management	Revision:	2
	L.G.A		
	Mid-Western Regional	Design:	CUSTOM
Facade :	CUSTOM	Date	09.11.23
Scale	1:200	Sheet	5 of 11
		JR Job No:	2304

Window Schedule Dwelling A

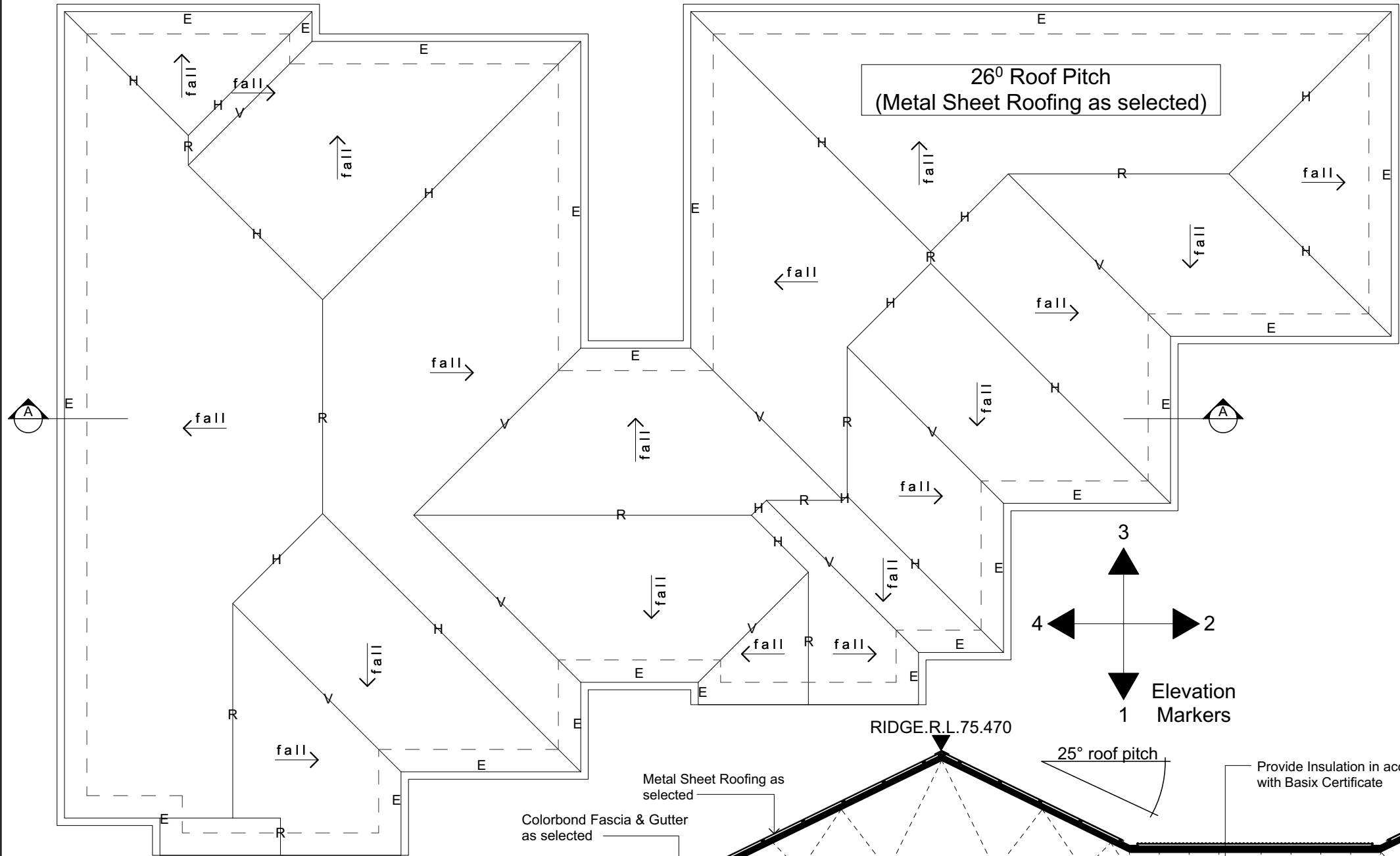
WINDOW NUMBER	HEIGHT (mm)	WIDTH (mm)	COMMENT	REVEAL
W1	1800	1210	Aluminium Double Hung	Cladding
W2	1800	1210	Aluminium Double Hung	Cladding
W3	860	610	Aluminium Sliding Obscure	Brick Veneer
W4	1030	1810	Aluminium Sliding	Brick Veneer
W5	1030	1810	Aluminium Sliding Obscure	Brick Veneer
W6	1030	1810	Aluminium Sliding	Brick Veneer
W7	1030	850	Aluminium Sliding	Brick Veneer
W8	1030	850	Aluminium Sliding	Brick Veneer
SD1	2100	3610	Aluminium Sliding Door	Brick Veneer

**Note:** \* All Windows are to Standard Windows Spec.  
\* All Windows to be counted & checked Before Ordering  
\* Frame Stud Openings to be:  
-Window Width + 70mm  
-Window Height + 60mm  
Note:  
\* All Bedroom Windows with a floor level more than 2 meters from natural ground level must be fitted with a device to restrict the window opening, or a suitable screen, so a 125mm diameter sphere cannot pass through. The device of screen must also be able to withstand an outward horizontal force of 250 N. ALL FIRST FLOOR WINDOWS TO BE FITTED WITH RESTRICTORS

Window Schedule Dwelling B

WINDOW NUMBER	HEIGHT (mm)	WIDTH (mm)	COMMENT	REVEAL
W1	1800	2650	Aluminium Double Hung	Cladding
W2	600	1570	Aluminium Sliding	Brick Veneer
W3	600	1570	Aluminium Sliding	Brick Veneer
W4	1800	1210	Aluminium Double Hung	Brick Veneer
W5	1800	1210	Aluminium Double Hung	Brick Veneer
W6	860	610	Aluminium Sliding Obscure	Brick Veneer
W7	1030	1810	Aluminium Sliding	Brick Veneer
W8	1030	1570	Aluminium Sliding Obscure	Brick Veneer
W9	1800	1210	Aluminium Sliding	Brick Veneer
SD1	2100	3610	Aluminium Sliding Door	Brick Veneer

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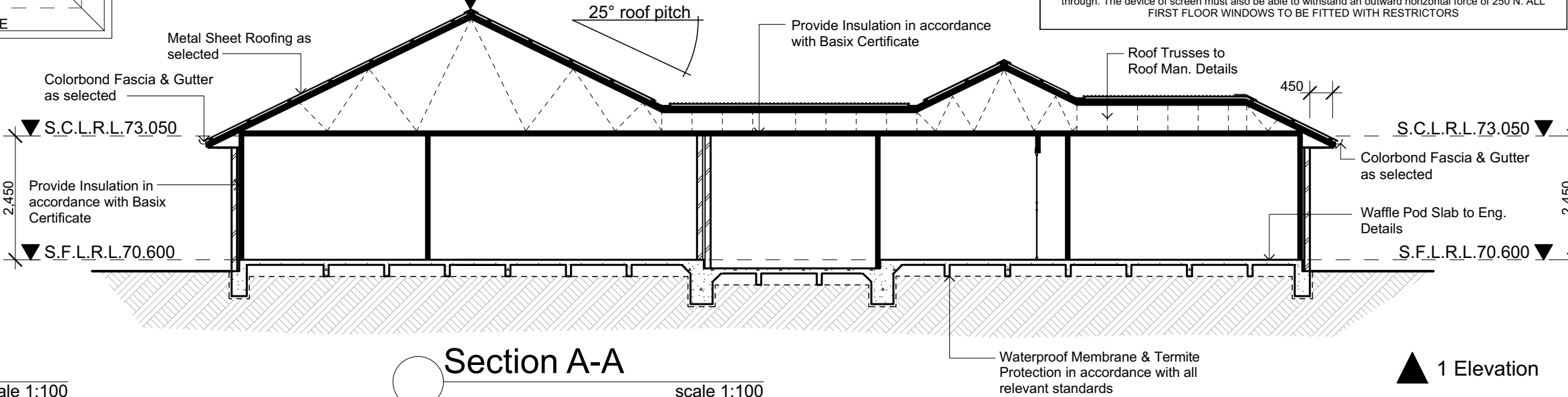
- LEGEND:**
- fall → - DIRECTION OF FALL PROPOSED ROOF
  - E - EAVES LINE
  - R - RIDGE
  - H - HIP
  - V - VALLEY

Proposed Roof Plan

scale 1:100

Section A-A

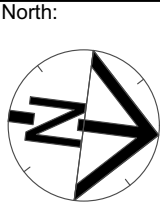
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hinges to allow the door to be removed from the outside when the door is closed.

Issue	Amendment	Date:
2	Client Review	09.11.23
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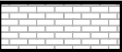
Proposed:  
New Single Storey Dual Occupancy





Drawing Title: Roof Plan, Section A-A & Window Schedule L.G.A	Revision: <b>2</b>
Mid-Western Regional	Design: CUSTOM
Facade : CUSTOM	Date 09.11.23
Scale 1:100	Sheet 7 of 11
JR Job No: 2304	




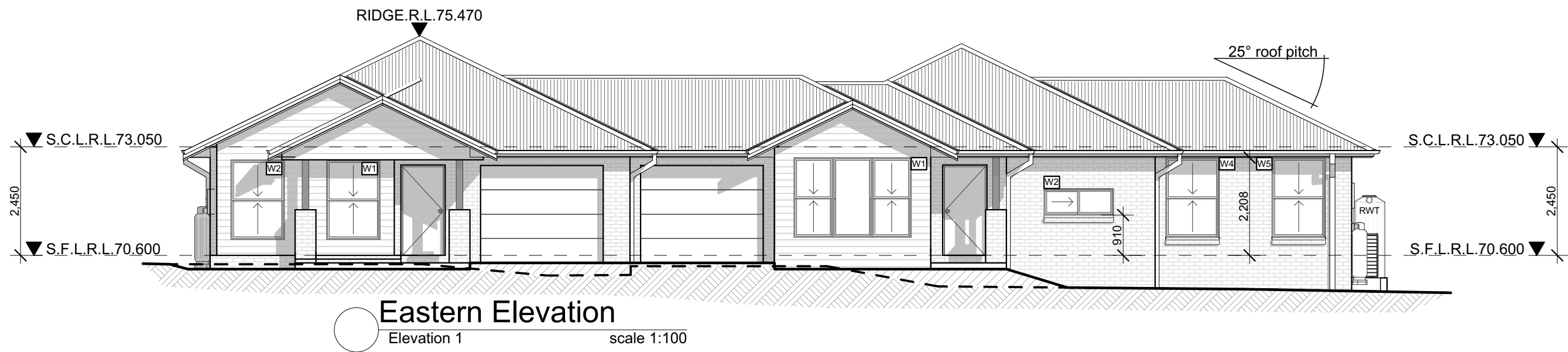
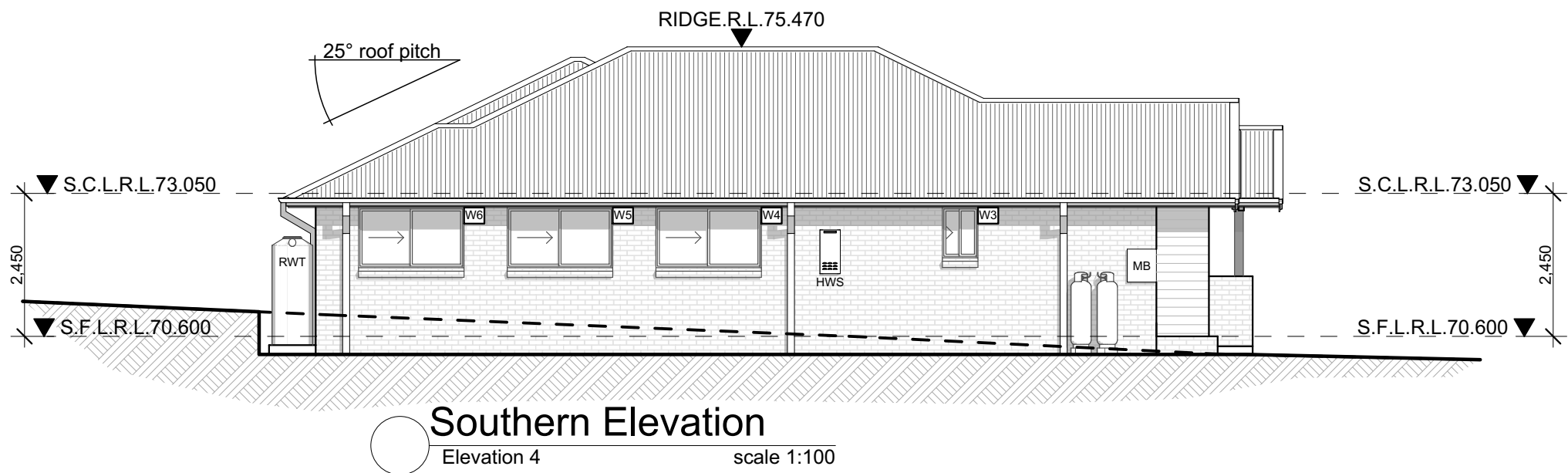
**MATERIALS LEGEND:**  
Note: All materials on plan are to be confirmed with the associated building tender/selections document. Where a discrepancy occurs, the building tender/selections document takes precedence.

FACE BRICKWORK

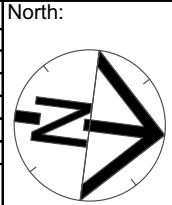
TIMBER POSTS PAINTED FINISH

FIBRE CEMENT CLADDING TO AS 2908.2

METAL ROOF SHEETING



Issue	Amendment	Date:
2	Client Review	09.11.23
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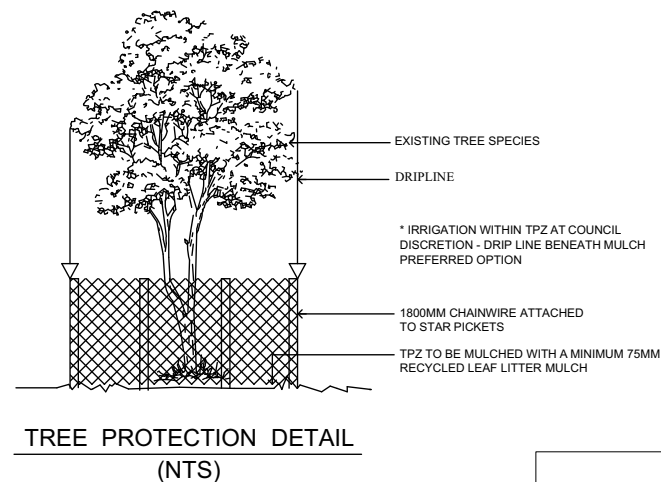
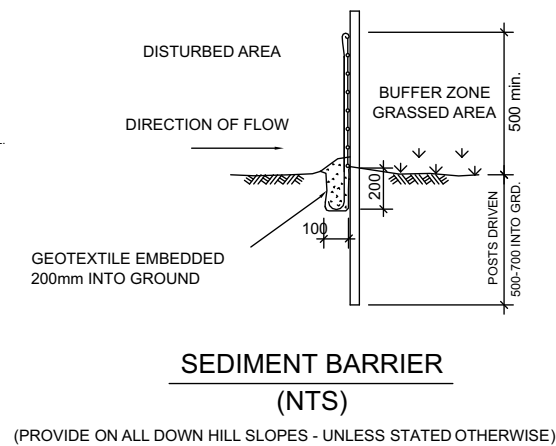
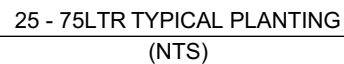
Proposed:
New Single Storey Dual Occupancy

Drawing Title:
Elevations
L.G.A
Mid-Western Regional
Facade : CUSTOM
Date 09.11.23
Scale 1:100
Sheet 8 of 11

Revision:
2
Design:
CUSTOM
JR Job No:
2304

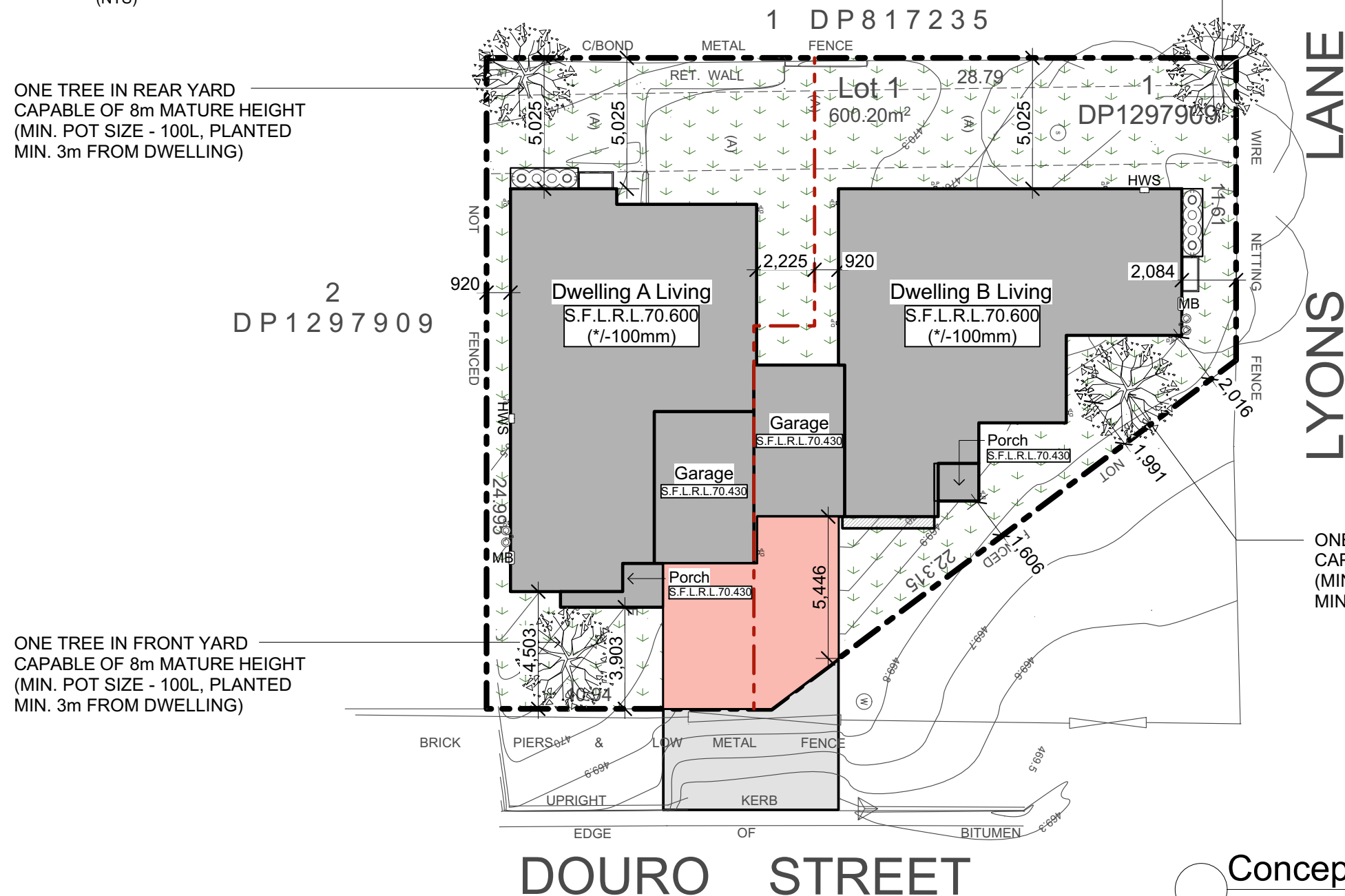
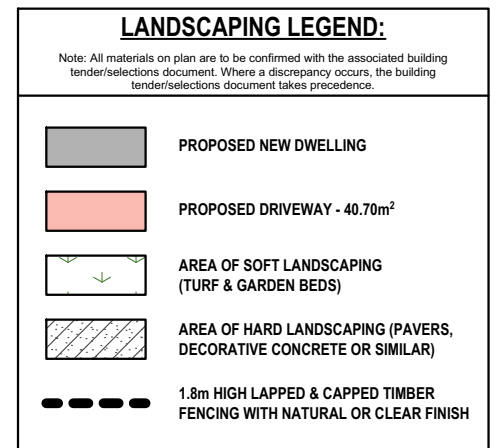






- GENERAL NOTES**

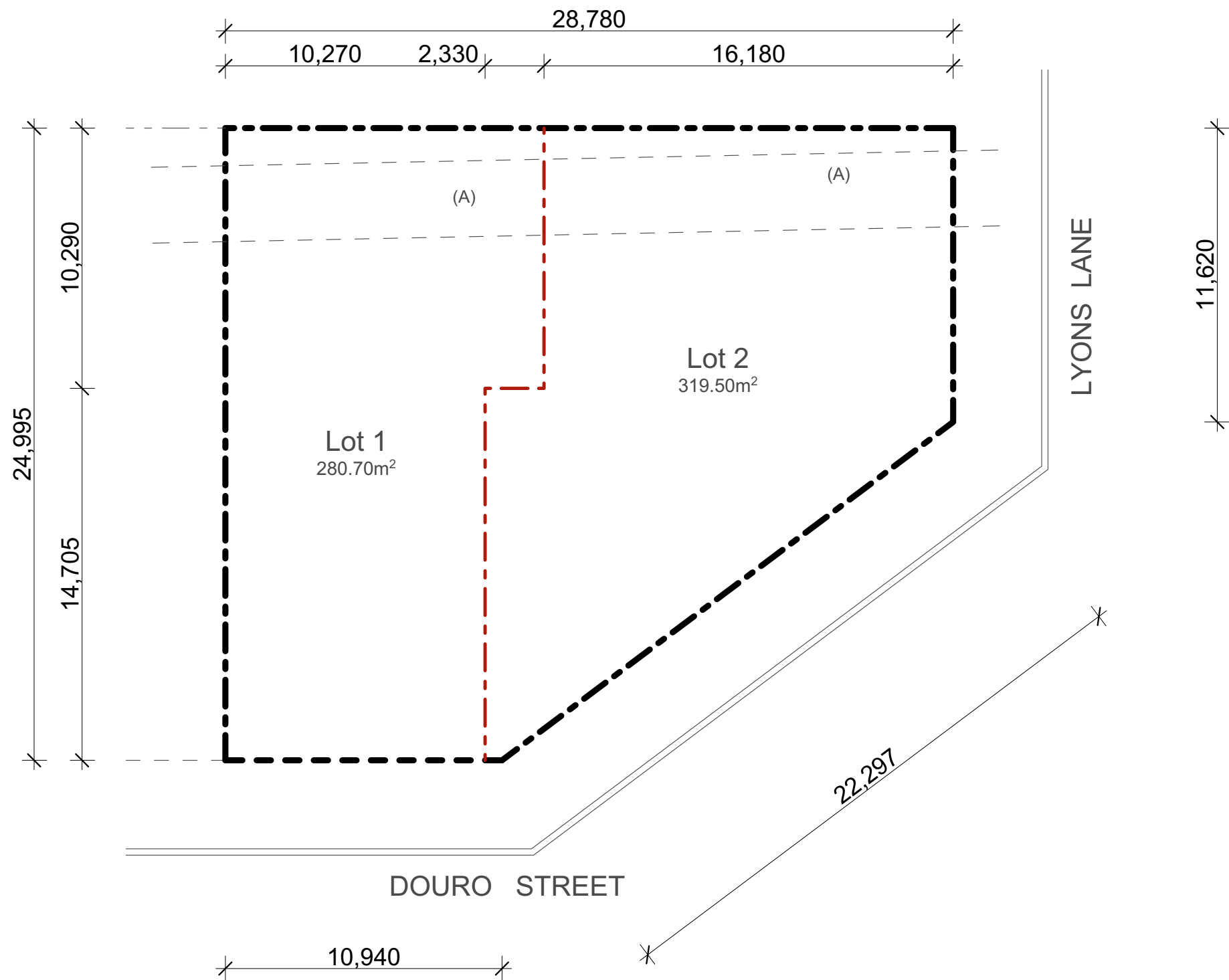
  - DRIVEWAYS ARE TO BE CONSTRUCTED OF A SINGLE-COLOUR CONCRETE OR PAVER.  
THE COLOUR OF THE DRIVEWAY MUST BE A GREY TONE
  - DRIVEWAY CROSSOVERS ARE TO BE CONSTRUCTED USING THE MATERIAL, COLOUR AND GRADES SPECIFIED IN COUNCIL'S INVERT AND CROSSOVER DETAILS
  - SIDE GATES MAY BE PROVIDED FOR SECURITY, GATES MUST BE ALUMINIUM STEEL BATTENS WITH 20MM GAP IN THE COLOUR GREY RIDGE.
  - LETTER BOX MUST BE CONSTRUCTED OUT OF SANDSTONE, RENDERED OR MASONRY MATERIALS IN A COLOUR OR TONE THAT COMPLEMENTS THE COLOUR OF THE DRIVEWAY AND/OR HOUSE.



## Concept Landscaping Plan / Site Coverage Plan

scale 1:200

 <p><b>JR Design &amp; Drafting</b> RESIDENTIAL DESIGN &amp; DRAFTING SERVICES</p> <p>Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003 Email: jr.design.drafting@gmail.com Address: Suite 304 No. 447 Victoria Street, Wetherill Park, NSW 2164</p> <p><small>1. All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority. 2. All timber framing to be carried out to the requirements of Australian Standards (as 1984) as a minimum. 3. All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details. 4. Structural Engineer to check, detail and certify brickwork to garage area with a height greater than 3000mm between horizontal supports. 5. All brickwork to be constructed in accordance with the requirements of the Building Code of Australia. 6. Control joints in brickwork to be provided in accordance with the requirements of the Building Code of Australia. 7. Downway openings with inward swinging doors to meet containing labels which are closer than 1200mm to the toilet are to be filled with *Agree to release liability to be retained from the parties when the final client.</small></p>	Issue	Amendment	Date:	North: 	 <p><b>JR Design &amp; Drafting</b> RESIDENTIAL DESIGN &amp; DRAFTING SERVICES</p>	Proposed:	Drawing Title:	Revision:
	2	Client Review	09.11.23			New Single Storey Dual Occupancy Location: [REDACTED] C [REDACTED]	Concept Landscape / Site Coverage Plan L.G.A Mid-Western Regional Facade : CUSTOM Date 09.11.23 Scale 1:200 Sheet 10 of 11	2 Design: CUSTOM JR Job No: 2304

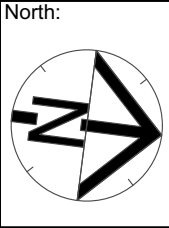


Proposed Sub-Division Plan  
scale 1:200

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2	Client Review	09.11.23
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Proposed: New Single Storey Dual Occupancy
Location: [REDACTED]
[REDACTED]

Drawing Title: Proposed Sub-Division Plan	
L.G.A.  Mid-Western Regional	
Facade : CUSTOM	Date 09.11.23
Scale 1:200	Sheet 11 of 11

Revision: 2
Design: CUSTOM
JR Job No: 2304