

SITE BENCHING NOTE:

FINISHED GROUND LEVELS ARE TO BE +/- 100MM FROM NOMINATED LEVEL, SUBJECT TO MAXIMUM DRIVEWAY GRADIENTS & FLOOD RELATED DEVELOPMENTS

BEFORE ENTERING SITE

Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.

PLAN CHANGES & MODIFICATION ACKNOWLEDGEMENT: By signing and executing this agreement, the client acknowledges and agrees to the following:

- The Client has reviewed the attached plans in detail. By signing and initialing this document and the plans document, the Client acknowledges that the Client understands everything included on all pages of this document and the plans document and that any questions that the Client has, has been addressed by a The Vogue Group representative(s) and resolved.
- The Client also acknowledges that once the Agreement has been signed, no further design changes can occur unless due to Statutory requirements. If the Client insists on making any design change post signing the Agreement; there will be a \$5,000.00 administration and processing fee plus the cost to complete changes.

FULL NAME: _____ SIGNATURE: _____ DATE: _____

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CONSTRUCTION NOTES:

- Figured dimensions are to be taken in preference to scaling
- No allowance has been made for shrinkage or milling
- All Levels shown are approximate and should be verified on site during construction
- Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.
- Dimensions are to be verified on site by builder before the commencement of work
- All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
- Refer to the builders scope of works for inclusions & exclusions
- All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
- All service positions, air conditioning droppers, outlets, return air grills, manholes and bulkheads to be determined on site at supervisor / contractors discretion
- All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
- Termite protection in accordance with Australian Standards
- Refer to Basix Certificate for energy, water & thermal requirements
- All 1st floor windows with a sill height less than 1700mm to have a max opening width of 125mm
- Final Construction Joints, steel posts & Beams, Floor Joist to structural engineer plans
- Meter Box, Gas Meter to be confirmed with Builder on site.
- Downpipes to be confirmed with plumber on site.

SEDIMENT CONTROL NOTES:

- ALL EROSION & SEDIMENT CONTROL MEASURES, INCLUDING REVEGETATION & STORAGE OF SOIL & TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED & STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS & TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL & TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES & AREA WHERE WATER MAY CONCENTRATE.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POSTS AT 2.0M CENTRES.
- FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- REFER TO PROPOSED SEDIMENT FENCE DETAIL.

NOTE:

THIS DRAWING IS PRELIMINARY AND IS SUBJECT TO FINAL CONTOUR SURVEY & COUNCIL/CERTIFIER APPROVALS
JR DESIGN & DRAFTING RESERVES THE RIGHT TO CHANGE DESIGN BASED ON FINAL SURVEY.

LEGEND:

	PROPOSED DRIVEWAY
	PRINCIPAL PRIVATE OPEN SPACE
	PROPOSED DWELLING
	ALL WEATHER ACCESS CROSSING BLUE METAL OR EQUIVALENT
	CONSTRUCTION STORAGE BIN/AREA

D.A LODGEMENT

SITE COVERAGE

SITE AREA	600.20m ²
ALLOWED AS PER DCP 50% Site Area	300.10m ²
PROPOSED AREA	282.04m ²

PRIVATE OPEN SPACE

REQUIRED BY DCP	80.00m ²
PROPOSED AREA DWELLING A	80.00m ²
PROPOSED AREA DWELLING B	81.15m ²

MINIMUM 2.5M X 2.5M	YES
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PRINCIPAL PRIVATE OPEN SPACE 24.00m ² MINIMUM 6M X 4M	YES
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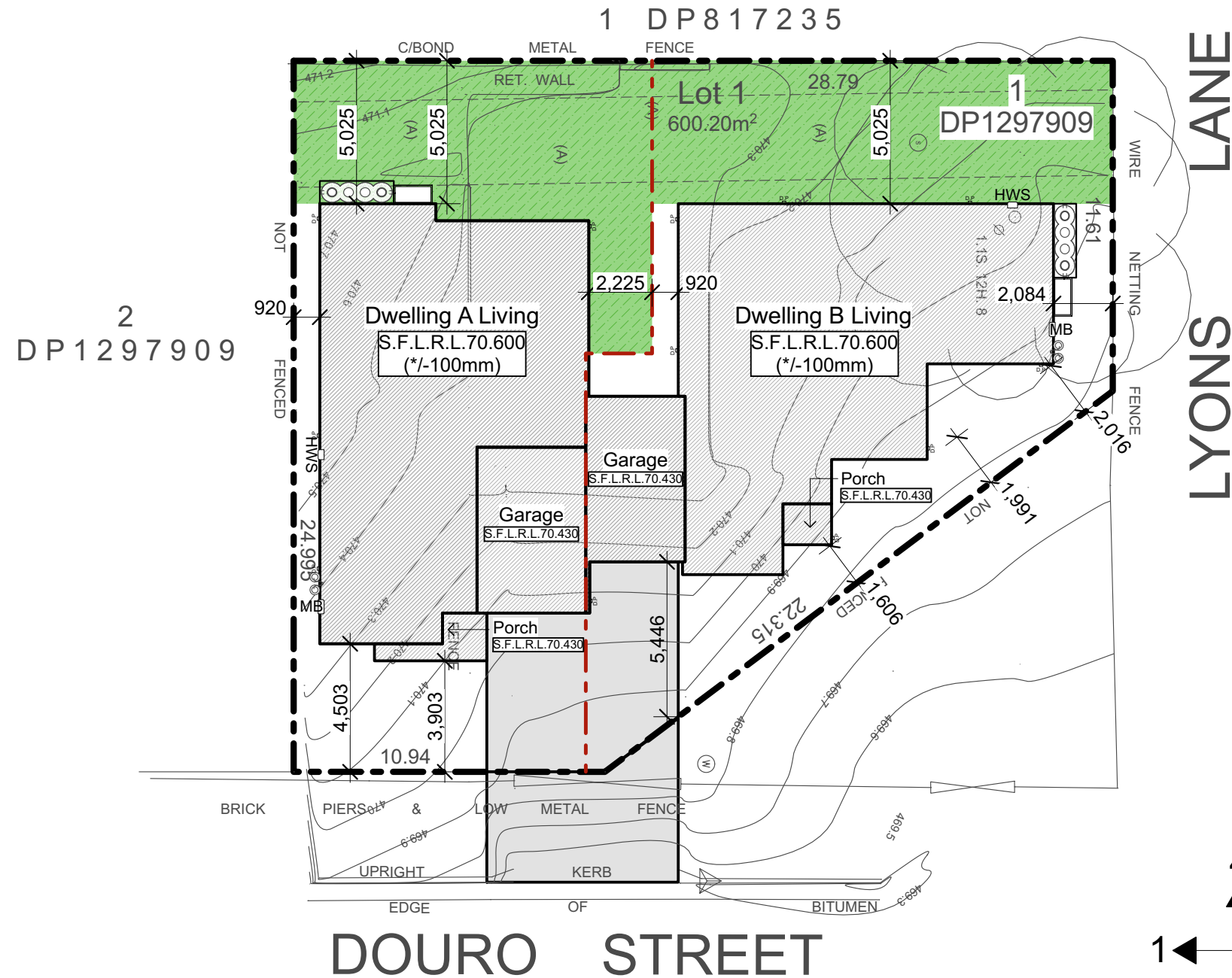
DRIVEWAY / PATHWAY AREAS

DRIVEWAY CROSSOVER AREA:	TBCm ²
DRIVEWAY AREA:	TBCm ²
PATHWAY AREA:	N/A

COMPLIANCE TABLE

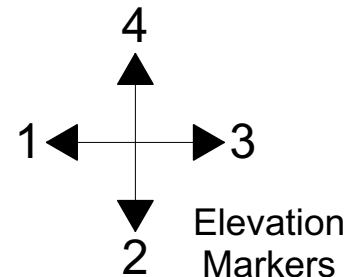
MID-WESTERN REGIONAL DEVELOPMENT CONTROL PLAN

CRITERIA	ALLOWED/ REQUIRED	PROPOSED
FRONT SETBACK:	4.5M	4.5M
ARTICULATION ZONE:	3.5M	3.90M
GARAGE SETBACK:	5.5M	5.58M
REAR SETBACK:	0.9M	5.025M
GF SIDE SETBACK (A):	0.9M	1.5M
GF SIDE SETBACK (B):	0.9M	2.07M
LANEWAY SETBACK:	2.0M	2.07
FF SIDE SETBACK (B):	N/A	N/A
BUILDING HEIGHT:	8.5M	TBC
CAR PARKING SPACES:	2 SPACES	2 SPACES
DRIVEWAY WIDTH:	N/A	4.5M



Proposed Site Plan

scale 1:200

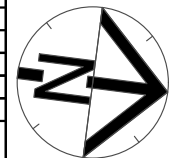


JR Design & Drafting
RESIDENTIAL DESIGN & DRAFTING SERVICES

Issue	Amendment	Date:
2	Client Review	09.11.23

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North:



JR Design & Drafting
RESIDENTIAL DESIGN & DRAFTING SERVICES

Proposed:
New Single Storey Dual Occupancy

Location:

Client:

Drawing Title:
Proposed Site Plan /
Concept Drainage Plan

L.G.A

Mid-Western Regional

Facade : CUSTOM Date 09.11.23

Scale 1:200 Sheet 3 of 11

Revision:

2

Design:

CUSTOM

JR Job No:
2304

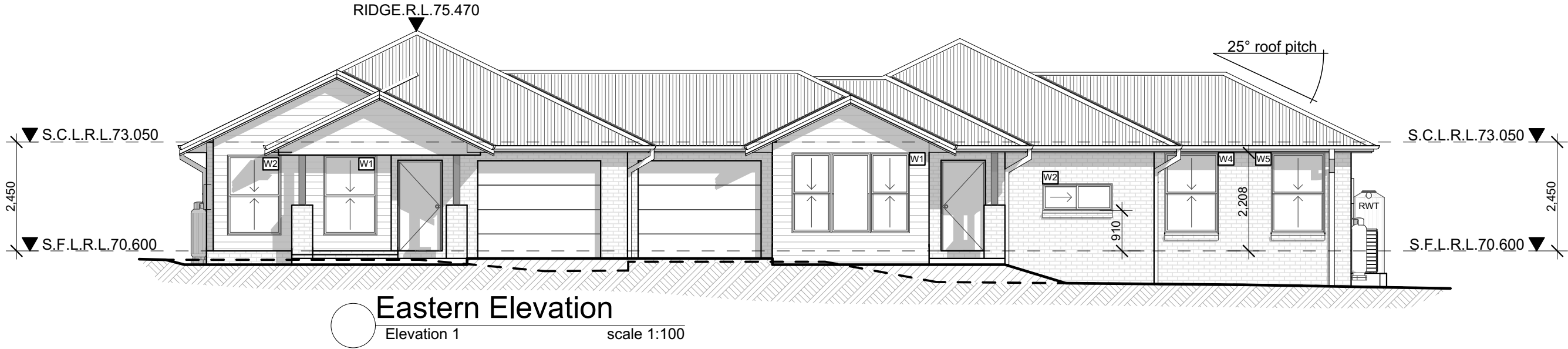
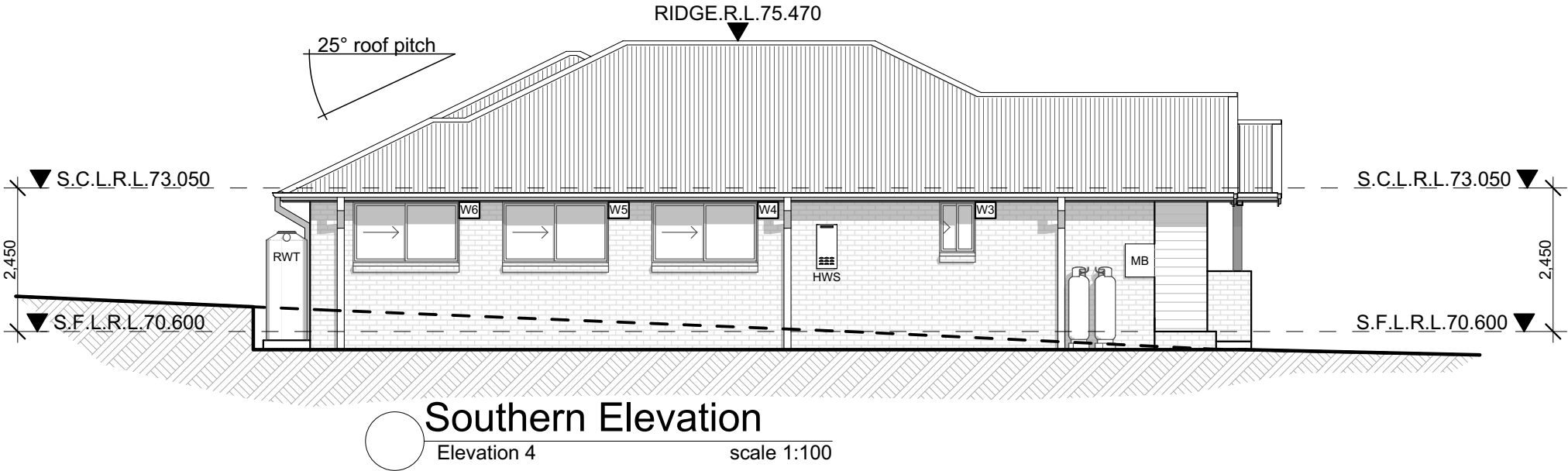
FACE BRICKWORK

TIMBER POSTS PAINTED FINISH

FIBRE CEMENT CLADDING TO AS 2908.2

METAL ROOF SHEETING

Note: All materials on plan are to be confirmed with the associated building tender/selections document. Where a discrepancy occurs, the building tender/selections document takes precedence.



JR Design & Drafting

RESIDENTIAL DESIGN & DRAFTING SERVICES

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Email: jr.design.drafting@gmail.com

Address: Suite 304 No. 447 Victoria Street, Wetherill Park, NSW 2164

General Notes:

1. All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.

2. All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.

3. All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.

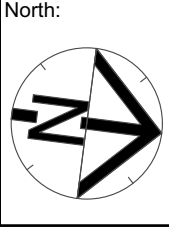
4. Structural Engineer to check, detail and certify brickwork to garage area with a height greater than 3000mm between horizontal supports.

5. All brickwork to be constructed in accordance with the requirements of the Building Code of Australia.

6. Control joints in brickwork to be provided in accordance with the requirements of the Building Code of Australia.

7. Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.

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2	Client Review	09.11.23
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RESIDENTIAL DESIGN & DRAFTING SERVICES

Proposed:	New Single Storey Dual Occupancy		
Location:	[REDACTED]		
Client:	[REDACTED]		

Drawing Title:	Elevations		Revision:	2
L.G.A.	Mid-Western Regional		Design:	
Facade :	CUSTOM	Date	09.11.23	CUSTOM
Scale	1:100	Sheet	8 of 11	JR Job No: 2304

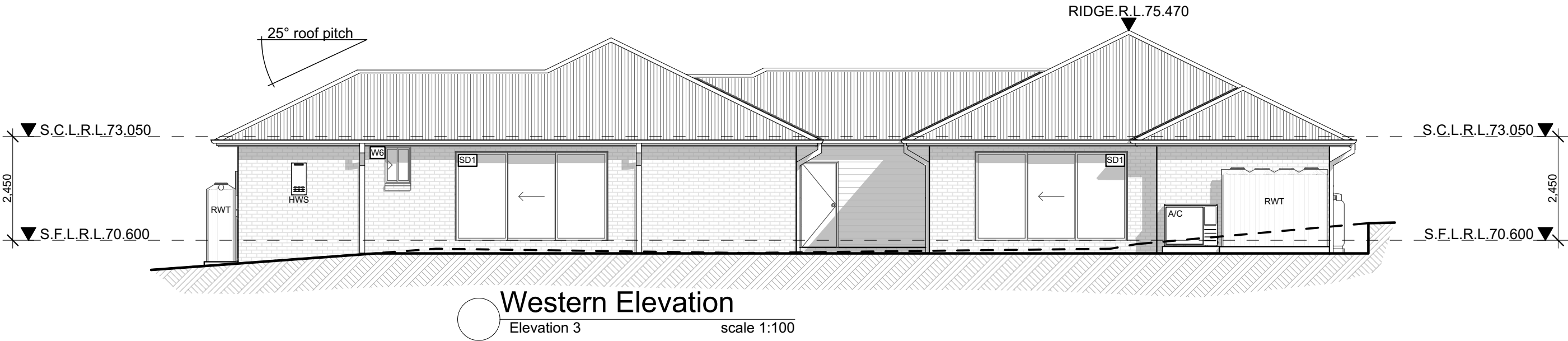
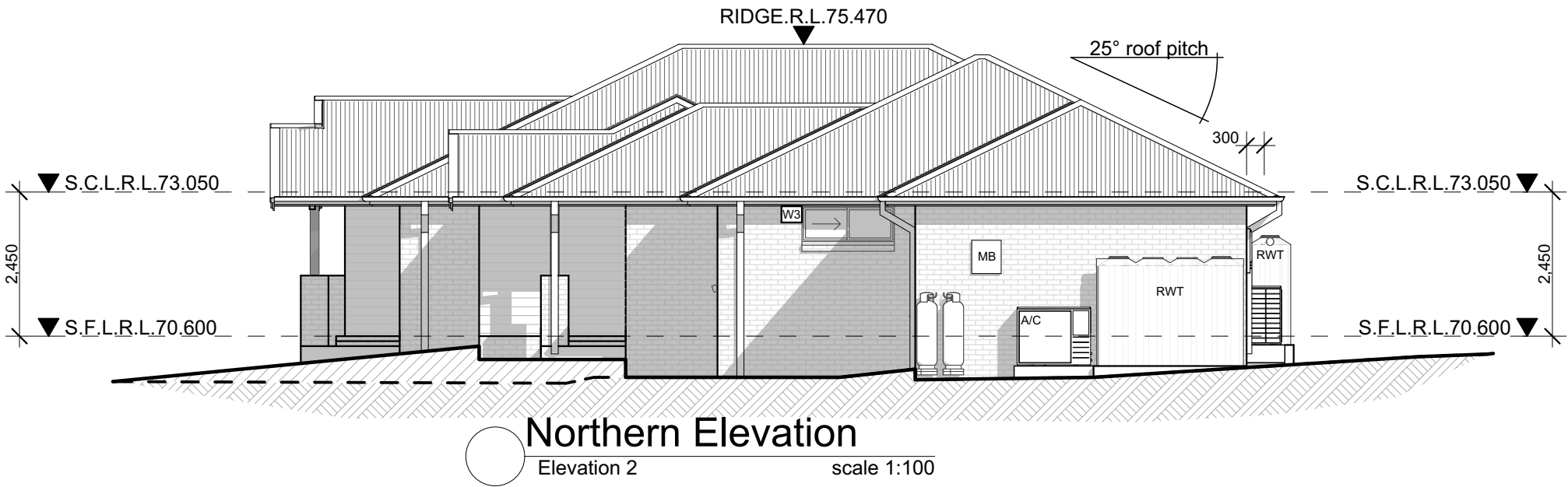
FACE BRICKWORK

TIMBER POSTS PAINTED FINISH

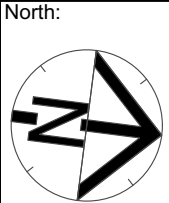
FIBRE CEMENT CLADDING TO AS 2908.2

METAL ROOF SHEETING

Note: All materials on plan are to be confirmed with the associated building tender/selections document. Where a discrepancy occurs, the building tender/selections document takes precedence.



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2	Client Review	09.11.23
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Proposed: New Single Storey Dual Occupancy	Drawing Title: Elevations	Revision: 2
Location: [REDACTED]	L.G.A. Mid-Western Regional	Design: CUSTOM
Client: [REDACTED]	Facade : CUSTOM Scale 1:100	Date 09.11.23 Sheet 9 of 11 JR Job No: 2304