

# AMIATO PTY LTD

## PROPOSED RESIDENCE WITH ATTACHED GRANNY FLAT

12 SHEARMAN STREET (LOT 906)  
CAERLEON, NSW, 2850

### DRAWING SCHEDULE

0506-A 01	TITLE SHEET & 3D PERSPECTIVE
0506-A 02	SITE & LOCATION PLAN
0506-A 03	FLOOR PLAN
0506-A 04	ELEVATIONS
0506-A 05	ELEVATIONS
0506-A 06	SECTION & GENERAL NOTES
0506-A 07	ELECTRICAL & MECHANICAL PLAN
0506-A 08	BASIX CERTIFICATE COMMITMENTS

DA UPDATES

Rev	Date	Description
A	4/09/23	ISSUED FOR REVIEW
B	11/09/23	ISSUED FOR REVIEW
C	25/09/23	DA/CC SUBMISSION
D	16/11/23	DA UPDATES

#### NOTE:

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- SEPERATE SPECIFICATION DOCUMENTS
- STRUCTURAL ENGINEERS DOCUMENTATION
- PCA DOCUMENTS (WHERE APPLICABLE)
- BASIX CERTIFICATE
- ALL RELEVANT CODES, STANDARDS & APPROVALS



LYNCH BUILDING GROUP

Client: AMIATO PTY LTD

Project: HOUSE & ATTACHED GRANNY  
FLAT AT 12 SHEARMAN STREET,  
CAERLEON (LOT 906)



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Mudgee NSW 2850

#### CONTACT US:

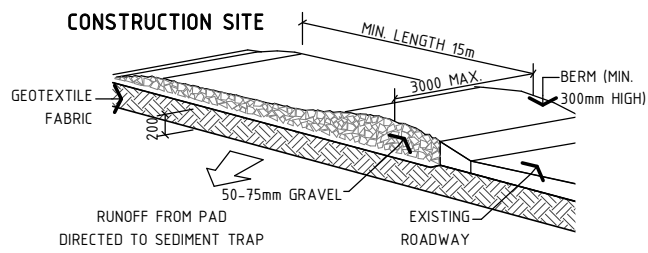
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Drawing Title: TITLE SHEET & 3D PERSPECTIVE

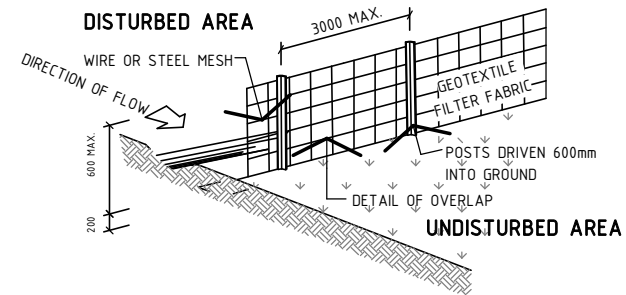
Design LBG  
Drawn G.HACKETT  
Check J.LYNCH

Sheet 01 of 08  
Drawing Number  
0506 - A01

Revision  
D



**DETAIL PLAN: CONSTRUCTION ENTRY / EXIT**  
NOT TO SCALE



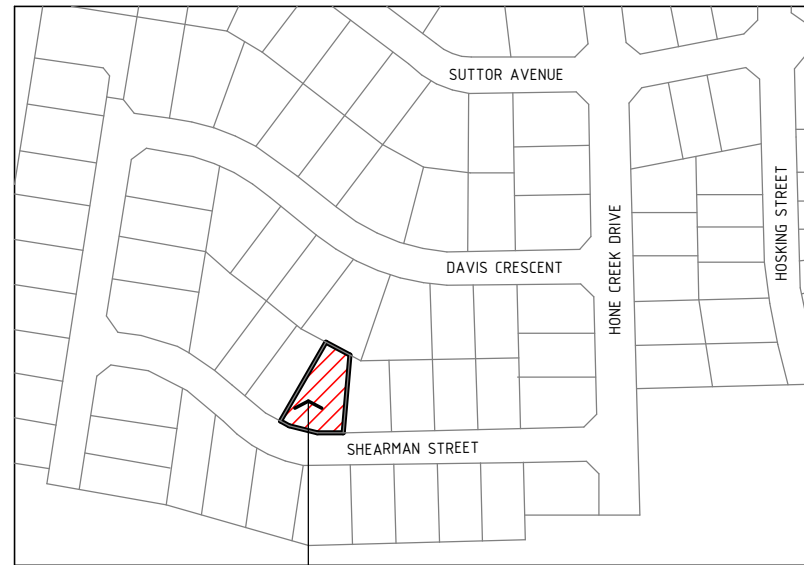
**DETAIL PLAN: SEDIMENT FENCE**  
NOT TO SCALE

#### EROSION & SEDIMENT CONTROL NOTES:

1. ALL EROSION & SEDIMENT CONTROL STRUCTURES ARE TO BE INSTALLED PRIOR TO SITE DISTURBANCE.
2. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED & MAINTAINED BY THE BUILDER AT LEAST WEEKLY. IF STRUCTURES ARE TO BE REMOVED, THEY ARE TO BE REINSTALLED & INSPECTED BY THE BUILDER.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY & SPREAD ON DISTURBED AREA.
4. ACCESS TO SITE IS TO BE THROUGH USE OF THE ENTRY/EXIT SHOWN
5. ALL VEGETATION OUTSIDE OF THE CONSTRUCTION AREA IS TO BE RETAINED WHERE POSSIBLE (VEGETATION BUFFER)
6. STOCKPILES OF ERODIBLE BUILDING MATERIALS INCLUDING SAND & SOIL MUST BE LOCATED WITHIN THE DESIGNATED MATERIAL STOCKPILE AREA (MSA) & PROTECTED WITH SEDIMENT FENCE OR STRAW BALE SEDIMENT FILTERS. THE BUILDER MAY NOMINATE FURTHER STORAGE AREAS WITHIN THE SITE.
7. NO STORAGE OF MATERIALS OR VEHICLE MOVEMENTS ARE TO OCCUR OUTSIDE THE SITE BOUNDARIES.

#### SITWORK NOTES:

1. CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK
2. THIS PLAN DOES NOT PROVIDE SPECIFIC LANDSCAPE PLANTING LOCATIONS
3. THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
4. THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED.
5. BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.



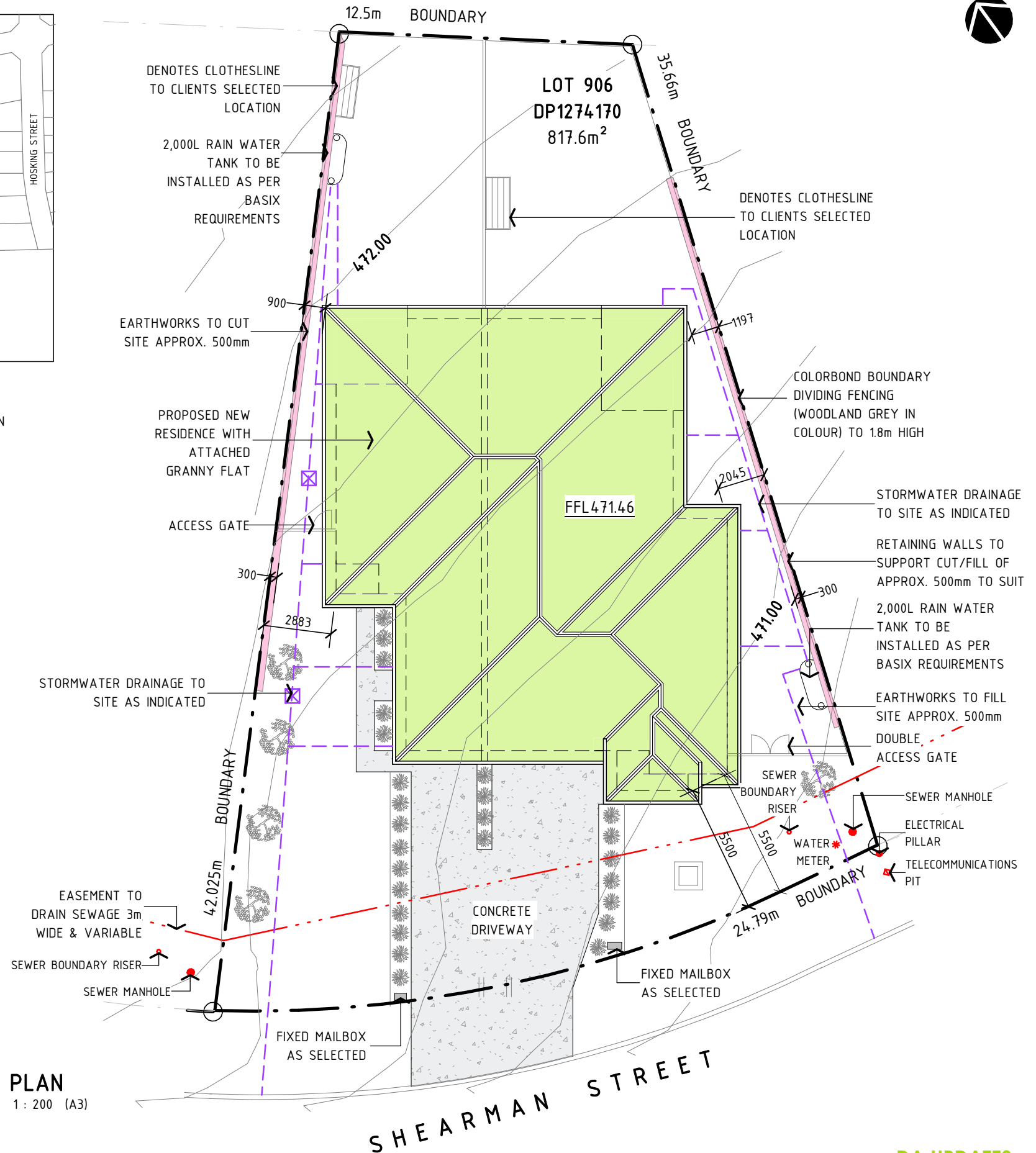
SITE LOCATION  
12 SHEARMAN STREET, CAERLEON  
LOT 906 - DP1274170

## 01 | LOCALITY PLAN

NOT TO SCALE

#### LEGEND:

- TEMPORARY SITE MATERIAL DISPOSAL AREA DURING CONSTRUCTION. TO BE PROTECTED BY A SEDIMENT FENCE OR STRAW BALE FILTER.
- SITE ACCESS DURING CONSTRUCTION



## 02 | SITE PLAN

SCALE: 1 : 200 (A3)

DA UPDATES

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A	4/09/23	ISSUED FOR REVIEW
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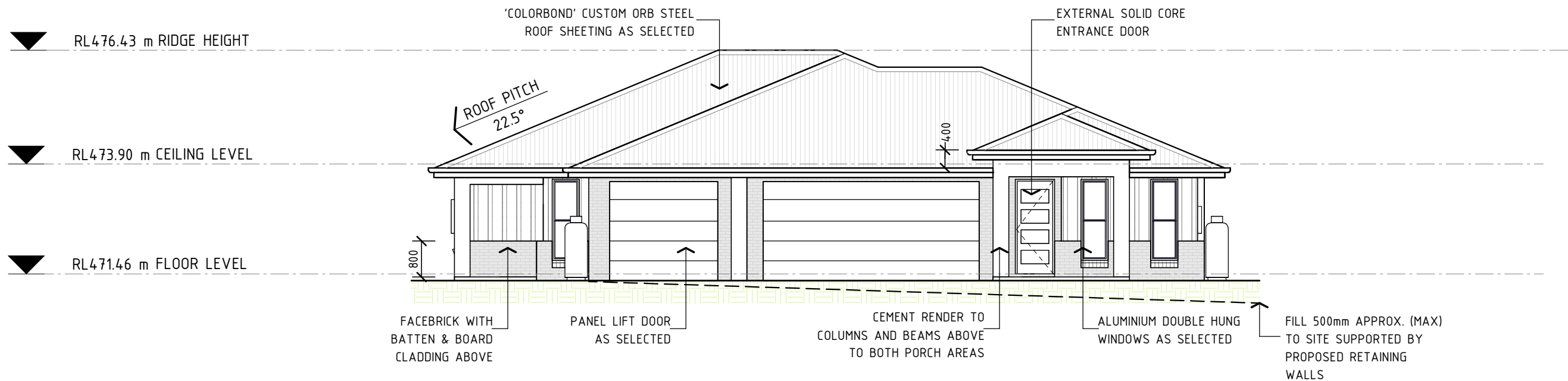
LYNCH BUILDING GROUP  
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Project: HOUSE & ATTACHED GRANNY FLAT AT 12 SHEARMAN STREET, CAERLEON (LOT 906)



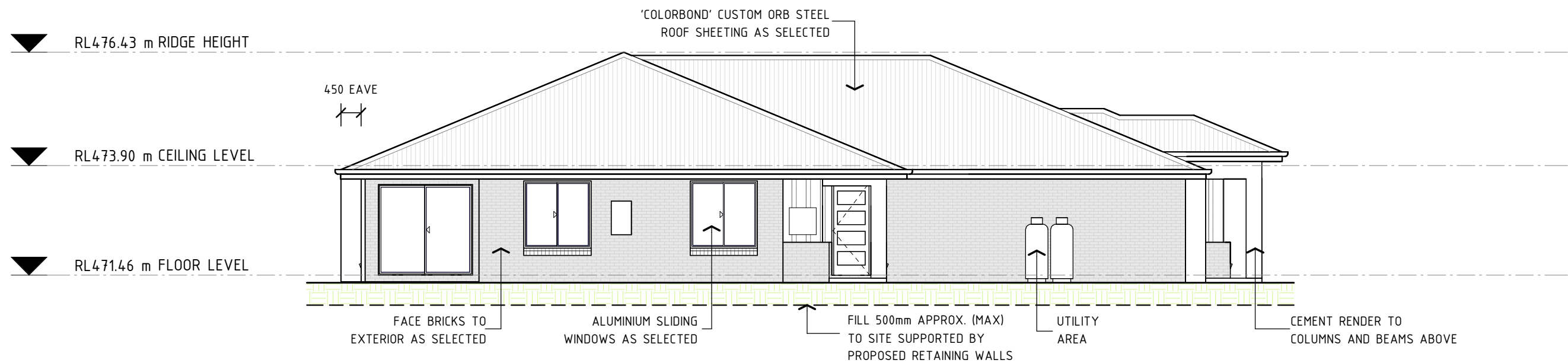
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Drawing Title: SITE & LOCATION PLAN

Design	LBG	Sheet 02 of 08	Revision
Drawn	G.HACKETT	Drawing Number	
Check	J.LYNCH	0506 - A02	D



**04 | ELEVATION: SOUTH FACADE**  
SCALE: 1 : 100 (A3)



**05 | ELEVATION: WEST FACADE**  
SCALE: 1 : 100 (A3)

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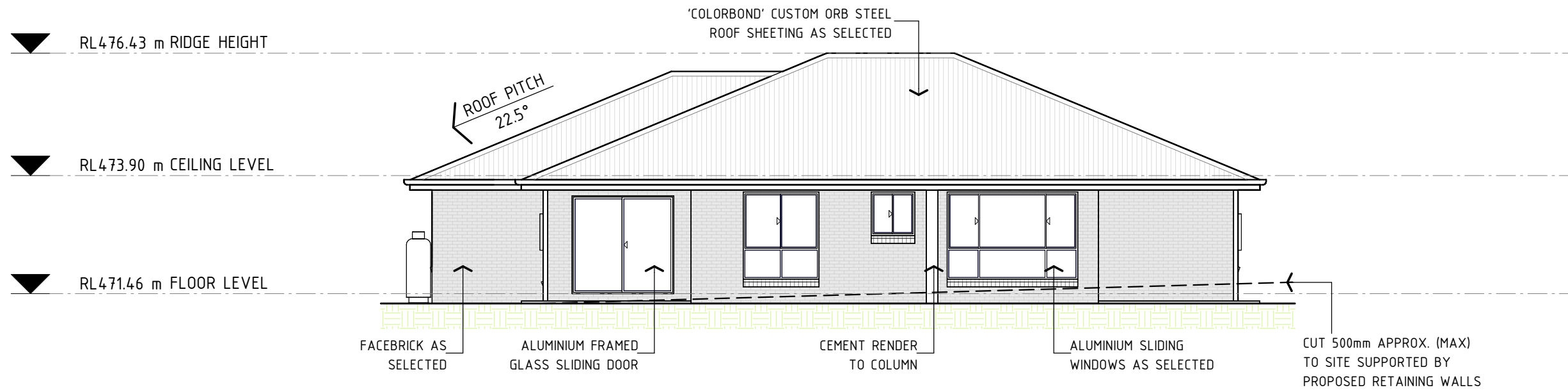


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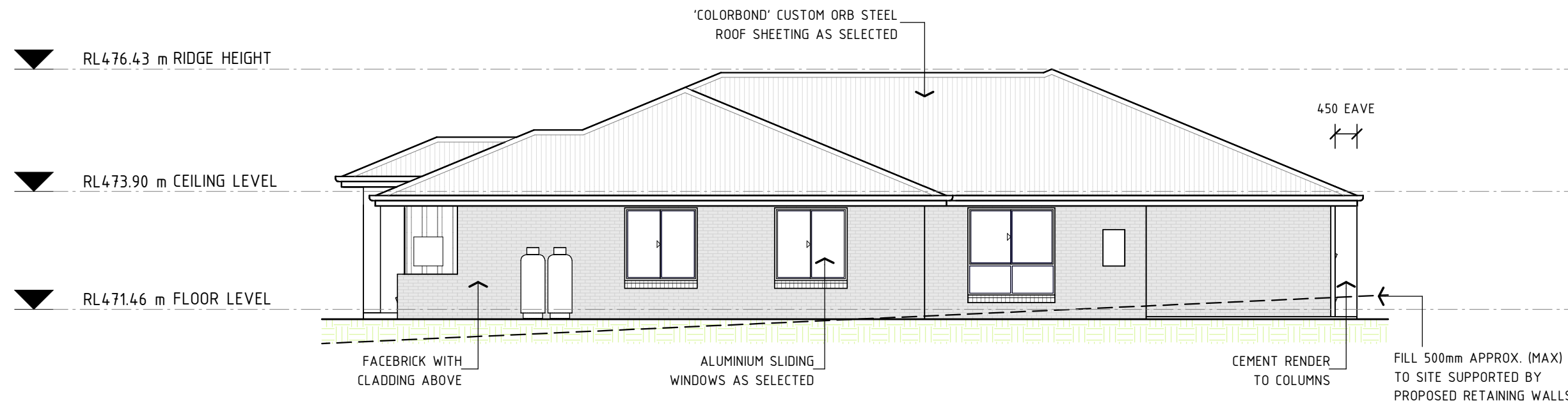


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Drawing Title: ELEVATIONS  
Design: LBG  
Drawn: G.HACKETT  
Check: J.LYNCH  
Sheet 04 of 08  
Drawing Number: 0506 - A04  
Revision: D



06 | ELEVATION: NORTH FACADE  
SCALE: 1 : 100 (A3)



07 | ELEVATION: EAST FACADE  
SCALE: 1 : 100 (A3)

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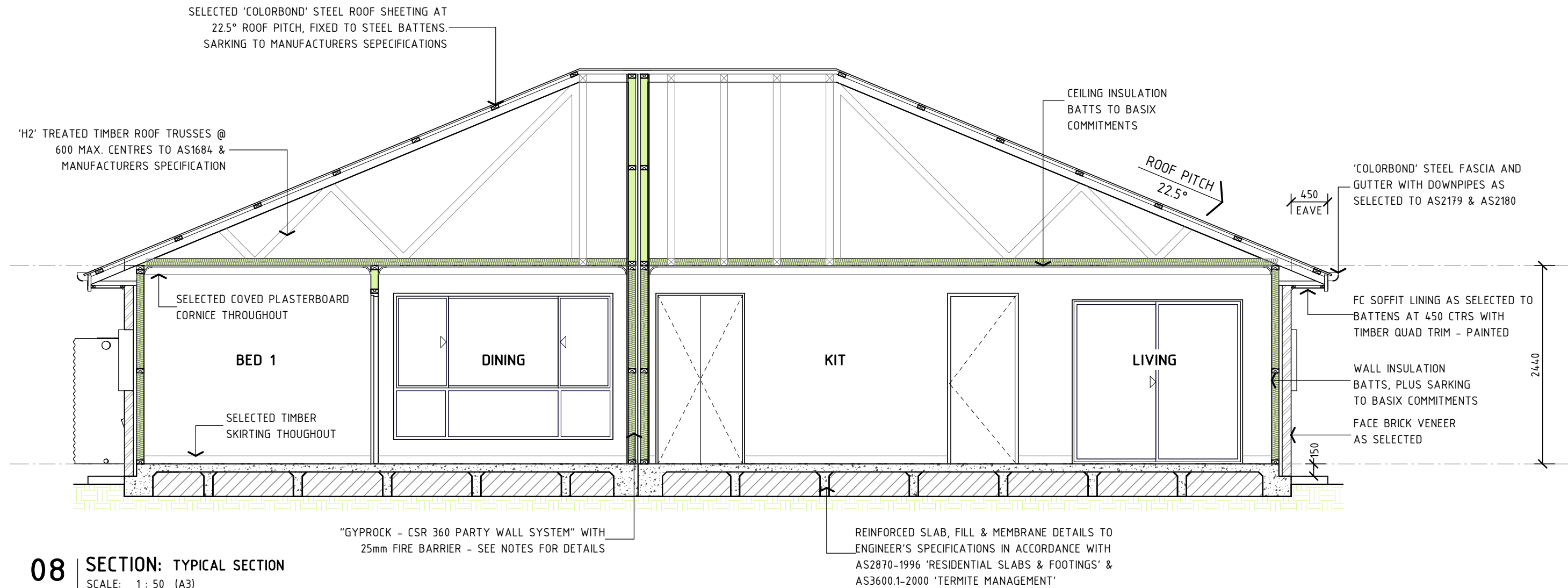
Drawing Title: ELEVATIONS

Design LBG  
Drawn G.HACKETT  
Check J.LYNCH

Sheet 05 of 08  
Drawing Number 0506 - A05

Revision D





08 | SECTION: TYPICAL SECTION  
SCALE: 1 : 50 (A3)

GENERAL NOTES:

1. PLANS DOCUMENTED FOR THE EXCLUSIVE USE OF THE NOTES CLIENTS BELOW ONLY & SUBJECT TO COPYRIGHT LAWS.

2. ALL DIMENSIONS & INFORMATION WITHIN THESE SET OF PLANS ARE DOCUMENTED DUE TO CARE.

3. ALL DRAWINGS WITHIN THIS SET OF PLANS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS, DESIGNS & SPECIFICATIONS & WITH OTHER WRITTEN INSRUCTIONS ISSUED DURING ESTIMATIONS & CONSTRUCTION WITH SELECTED BUILDER.

4. ALL DISCREPANCIES SHALL BE REFERRED TO, IN WRITING TO LYNCH BUILDING GROUP FOR A DECISION BEFORE PROCEEDING WITH THE WORK.

5. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. DIMENSIONS ARE TO STRCUTURAL ELEMENTS OF THE DRAWING & NOT TO FINISHED SURFACES IE. TILING, PLASTERBOARD ETC.

6. ALL RELEVANT DIMENSIONS ARE TO BE CONFIRMED BY THE CONCTRACTOR PRIOR TO CONSTRUCTION & FABRICATION WITH REGARDS TO ONSITE & OFF SITE REQUIREMENTS & WORK

7. TERMITE PROTECTION SHALL BE IN ACCORDANCE WITH AS3660.
8. THE RELEVANT SERVICE AUTHORITIES SHALL BE CONSULTED IN REGARDS TO CONFIRMING / CHECKING ALL DIMENSIONS, LEVELS, SERVICES & SITE CONDITIONS PRIOR TO CONSTRUCTION.

9. THE RELEVANT STATUTORY AUTHORITIES SHALL BE NOTIFIED & APPROVAL SORT FROM / OBTAINED PRIOR TO CONSTRUCTION, IF & WHEN NECESSARY.

10. STUD WALL & TRUSSED ROOF DESIGN, BRACING & TIE DOWN TO SELECTED FRAME & TRUSS MANUFACTURERS ENGINEERED SPECIFICATIONS TO AS1684 WHERE APPLICABLE.

11. SHALL NO WIND CLASSIFICATION BE NOTED, CLIEMT TO BE ADVISED BY PCA OR ENGEERING CONSULTANT.

12. SITE CLASSIFICATION TO BE DETERMINED BY QUALIFIED GEOTECHNICAL ENGINEER & ALL REINFORCED CONCRETE FOOTINGS & SLABS TO BE CONSTRUCTED TO AS2870.

13. ALL STORMWATER FROM ROOF TO BE DISPURSED TO REQUIRED DOWNPIPES & TO STREET/RAIN WATER TANK TO AUSTALIAN STANDARDS & PCA REQUIREMENTS.

14. A MINIMUM WATER ALLOWANCE SHALL BE PROVIDED FOR RURAL PROPERTIES FOR FIRE FIGHTING PURPOSES AS SPECIFIED BY PCA.
15. WHERE A SITE REQUIRES CUT & FILL TO OCCUR OR RETAINING WALLS CONSTRUCTED, ENGINEERS SHALL BE CONSULTED WHERE NECESSARY & BUILDING CONTRACTOR TO ENSURE ALL FINAL LEVELS, GROUND LINES & GRADIENTS DIVERT ALL SURFACE STORM WATER FROM THE PROPOSED RESIDENCE EITHER BY MEANS OF PIPES, DETENTION AREAS OR GRADING TO KERB. NEIGHBOURING PROPERTIES MUST BE TAKEN INTO CONSIDERATION WITH THE DESIGN OF THE FLOW OF THE STORM WATER.

16. SEWER DRAINAGE LINES TO BE CONNECTED TO SEWER MAIN OR IN CASE OF A RURAL PROPERTY, CONNECTED TO A SEPTIC SYSTEM, IN ACCORDANCE WITH THE RELEVAMT AUSTRALIAN STANDARDS & LOCAL PCA.

17. A QUALIFIED CONTRACTOR SHALL COMPLETE THE FINAL DRAINAGE LAYOUT TO BE SUBMITTED TO THE LOCAL PCA FOR THEIR RECORDS & APPROVAL.

18. THE HOT WATER SYSTEM IS AS SPECIFIED WITHIN THE BASIX CERTIFICATE & LOCATION NOTED ON THE FLOOR PLAN.

19. WHERE BRICK VENEER CONSTRUCTION IS SPECIFIED, CONTROL JOINTS FOR ARTICULATION MUST BE PROVIDED AT NOMINAL 6.0m MAX. CENTRES OR TO STRUCTURAL ENGINEERS DETAILS.

SECTION NOTES:

1. FOR COMPLETE SLAB DETAILS & DESIGN REFER TO ENGINEERS SPECIFICATIONS & DESIGNS.

2. TERMITE TREATMENT SHALL BE INCLUDED TO PROTECT AGAINST INFESTATION TO AS3660.1-2000.
3. PARTY WALL DETAILS -
  - SEPERATING PARTY WALL MUST NOT BE CROSSED BY TIMBER OR OTHER COMBUSTIBLE BUILDING ELEMENTS WITH THE EXCEPTION OF STEEL ROOFING BATTENS WITH THE DIMENSIONS 75x50mm OR ROOF SARKING, MUST ALSO BE PACKED USING FIRE RESISTANT MATERIAL IN ACCORDANCE WITH THE BCA
  - 25mm GYPROCK SHAFT LINER PANEL BETWEEN STEEL "H" WITH 20-40mm OF SEPERATION BETWEEN FRAMES & GYPROCL SHAFT LINER PANEL.
  - STUDS AT 600mm MAX CENTRES
  - 10mm GYPROCK "SUPERCHEK" PLASTERBOARD WALL LINING TO FACE OF PARTY WALL (GYPROCK EWFA 45743 CSR 360 PARTY WALL SYSTEM)
  - SELECT WALL FRAMING WITH R2.7 GOLD WALL INSULATION BATTS TO BE INSTALLED.
  - FIRE RESISTANT MINERAL FIRE BLANKET TO BE INSTALLED DIRECTLY ABOVE PART WALL TO UNDERSIDE OF ROOFING IN ACCORDANCE WITH THE BCA

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Drawing Title: SECTION & GENERAL NOTES

Design	LBG	Sheet 06 of 08	
Drawn	G.HACKETT	Drawing Number	
Check	J.LYNCH	0506 - A06	Revision D

GRANNY FLAT BASIX CERTIFICATE COMMITMENTS:

THERMAL COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FLOOR, WALLS, CEILING/ROOF:

CONSTRUCTION	ADD. INSULATION REQ'D. (R-VALUE)	OTHER SPECIFICATIONS
FLOOR – CONCRETE SLAB ON GROUND	NIL	
EXTERNAL WALL: BRICK VENEER	2.06 (OR 2.60 INCLUDING CONSTRUCTION)	
EXTERNAL WALL: FRAMED / CLADDED	2.20 (OR 2.60 INCLUDING CONSTRUCTION)	
INTERNAL WALL: SHARED WITH GARAGE	NIL	
CEILING & ROOF – FLAT CEILING/PITCHED ROOF	CEILING – 4 (UP) ROOF – FOIL/SARKING	UNVENTILATED DARK (SOLAR ABSORBANCE >0.70)

ENERGY COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

HOT WATER:	-	THE APPLICANT MUST INSTALL A GAS INSTANTANEOUS SYSTEM WITH A MIN. RATING OF 5 STARS
COOLING SYSTEM:	-	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 3.5 STAR (COLD ZONE)
	-	THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 3.5 STAR (COLD ZONE)
HEATING SYSTEM:	-	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 3.5 STAR (COLD ZONE)
	-	THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 3.5 STAR (COLD ZONE)
VENTILATION:	-	IN AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
	-	KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
	-	LAUNDRY: NATURAL VENTILATION ONLY
ARTIFICIAL LIGHTING:	-	THE APPLICANT MUST ENSURE THE 'PRIMARY TYPE OF ARTIFICIAL LIGHTING' TO THE FOLLOWING IS FLUORESCENT OR LED LIGHT LIGHTING;
	-	- AT LEAST 2 OF THE BEDROOMS / STUDY - ALL BATHROOMS/TOILETS
	-	- AT LEAST 2 OF THE LIVING / DINING ROOMS - THE LAUNDRY
	-	- THE KITCHEN - ALL HALLWAYS
OTHER:	-	THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE
	-	EACH REFRIGERATOR SPACE MSUT BE CONSTRUCTED SO THAT IS WELL VENTILATED

GLAZING REQUIREMENTS

THE APPLICANT MUST INSTALL ALL PROPOSED WINDOWS, GLAZED DOORS & SHADING DEVICES AS LISTED BELOW.

WINDOW / DOOR	ORIENTATION	SIZE	OVERSHADOWING	SHADING	TYPE
W01	NORTH	1.8m x 2.7m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE CLEAR
W05	SOUTH	1.8m x 0.6m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE CLEAR
W04	WEST	1.5m x 1.5m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE CLEAR
W05	WEST	1.5m x 1.5m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE CLEAR
W03	WEST	2.0m x 2.1m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE CLEAR

WATER COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

LANDSCAPE:	-	THE APPLICANT MUST PLANT INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT 3 SQAURE METRES OF THE SITE.
FIXTURES:	-	THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MIN. RATING OF 4 STAR (>4.5<=6L/min).
	-	THE APPLICANT MUST INSTALL TOILET FLUSHING SYSTEMS WITH A MIN. RATING OF 5 STAR.
	-	THE APPLICANT MUST INSTALL TAPS WITH A MIN. RATING OF 4 STAR IN THE KITCHEN.
	-	THE APPLICANT MUST INSTALL BASIN TAPS WITH A MIN. RATING OF 4 STAR IN EACH BATHROOM.
ALTERNATIVE WATER SOURCE:	-	THE APPLICANT MUST INSTALL A RAINWATER TANK OF 2,000 LITRES MIN. TO REGULATORY REQUIREMENTS. TO COLLECT RUNOFF FROM 116m <sup>2</sup> ROOF AREA MIN.
	-	THE APPLICANT MUST CONNECT THE RAINWATER TANK TO:
	-	- THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER;
	-	- AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

MAIN DWELLING BASIX CERTIFICATE COMMITMENTS:

THERMAL COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FLOOR, WALLS, CEILING/ROOF:

CONSTRUCTION	ADD. INSULATION REQ'D. (R-VALUE)	OTHER SPECIFICATIONS
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CEILING & ROOF – FLAT CEILING/PITCHED ROOF	CEILING – 4 (UP) ROOF – FOIL/SARKING	UNVENTILATED DARK (SOLAR ABSORBANCE >0.70)

ENERGY COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

HOT WATER:	-	THE APPLICANT MUST INSTALL A GAS INSTANTANEOUS SYSTEM WITH A MIN. RATING OF 5 STARS
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	-	THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 3.5 STAR (COLD ZONE)
HEATING SYSTEM:	-	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 3.5 STAR (COLD ZONE)
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VENTILATION:	-	IN AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
	-	KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
	-	LAUNDRY: NATURAL VENTILATION ONLY
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	-	- AT LEAST 2 OF THE BEDROOMS / STUDY - ALL BATHROOMS/TOILETS
	-	- AT LEAST 2 OF THE LIVING / DINING ROOMS - THE LAUNDRY
	-	- THE KITCHEN - ALL HALLWAYS
NATURAL LIGHTING:	-	THE APPLICANT MUST PROVIDE NATURAL LIGHTING TO THE FOLLOWING;
	-	- AT LEAST 1 BATHROOMS/TOILETS
OTHER:	-	THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE
	-	EACH REFRIGERATOR SPACE MSUT BE CONSTRUCTED SO THAT IS WELL VENTILATED

GLAZING REQUIREMENTS

THE APPLICANT MUST INSTALL ALL PROPOSED WINDOWS, GLAZED DOORS & SHADING DEVICES AS LISTED BELOW.

WINDOW / DOOR	ORIENTATION	SIZE	OVERSHADOWING	SHADING	TYPE
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W01	NORTH	0.9m x 0.9m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE CLEAR
W03	NORTH	2.0m x 2.1m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE CLEAR
W06	EAST	1.5m x 1.5m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE CLEAR
W04	EAST	1.8m x 1.8m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE CLEAR
W05	EAST	1.5m x 1.5m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE CLEAR
W07	SOUTH	1.8m x 0.6m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE CLEAR
W08	SOUTH	1.8m x 0.6m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE CLEAR

WATER COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

LANDSCAPE:	-	THE APPLICANT MUST PLANT INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT 3 SQAURE METRES OF THE SITE.
FIXTURES:	-	THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MIN. RATING OF 4 STAR (>4.5<=6L/min).
	-	THE APPLICANT MUST INSTALL TOILET FLUSHING SYSTEMS WITH A MIN. RATING OF 5 STAR.
	-	THE APPLICANT MUST INSTALL TAPS WITH A MIN. RATING OF 4 STAR IN THE KITCHEN.
	-	THE APPLICANT MUST INSTALL BASIN TAPS WITH A MIN. RATING OF 4 STAR IN EACH BATHROOM.
ALTERNATIVE WATER SOURCE:	-	THE APPLICANT MUST INSTALL A RAINWATER TANK OF 2,000 LITRES MIN. TO REGULATORY REQUIREMENTS. TO COLLECT RUNOFF FROM 150m <sup>2</sup> ROOF AREA MIN.
	-	THE APPLICANT MUST CONNECT THE RAINWATER TANK TO:
	-	- THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER;
	-	- AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

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NOTE:  
ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:  
  
- ALL SHEETS TO THIS SET OF PLANS  
- SEPERATE SPECIFICATION DOCUMENTS  
- STRUCTURAL ENGINEERS DOCUMENTATION  
- PCA DOCUMENTS (WHERE APPLICABLE)  
- BASIX CERTIFICATE  
- ALL RELEVANT CODES, STANDARDS & APPROVALS



LYNCH BUILDING GROUP  
Client: AMIATO PTY LTD  
  
Project: HOUSE & ATTACHED GRANNY FLAT AT 12 SHEARMAN STREET, CAERLEON (LOT 906)



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Drawing Title: BASIX CERTIFICATE COMMITMENTS

Design	LBG	Sheet	08	of	08
Drawn	G.HACKETT	Drawing Number			
Check	J.LYNCH	0506 - A08			D