

Plans 1-8: Wiruna Property Usage Diagrams and Proposed New Development

Revision date: V3 July 2023 - Lesa Moore, Treasurer, ASNSW.

Property details:

Council	Mid-Western Regional Council
VG Property Number	1283185
Address of Property	48 Old Ilford Rd, Ilford, NSW, 2850
Description of Land	Lot 7 DP 747954
Zone	Primary production
Area	43.18 hectares

Plan 1: Existing Overall Property Usage Diagram (boundary and building dimensions and offsets)

Plan 2: Existing Property Detail A - Main Observing Field Installations

Plan 3: Existing Property Detail B - Regular camping, caravans and sheds

Plan 4: Existing Property Detail C - Existing Building Locations and Regular Parking Zones (refer also separate file, Plans 9: Existing Buildings - Floor Plans and Elevations)

Plan 5: Existing Property Detail D - Parking and Traffic Management Site Plan for Annual Star Party Events

Plan 6: Existing Property Detail E - Lopping Zones

Plan 7: Existing Property Detail F - Proposed New Development Site Diagram

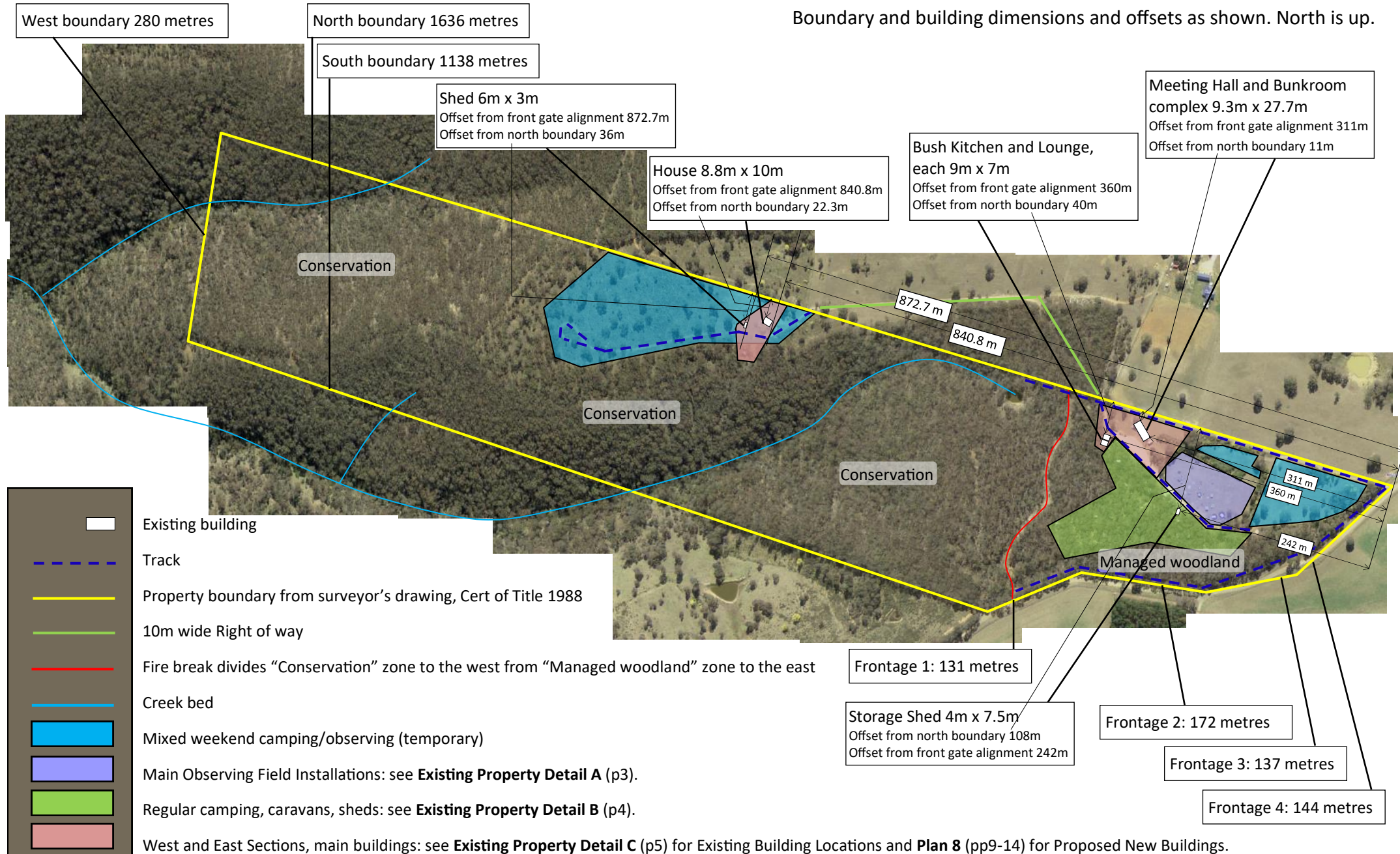
Plan 8: Proposed New Development - Elevations, plans, designs (typical)

- a. Five-room bunkhouse (building 1 on Plan 5) - concept drawing and floor plan (typical)
- b. Five-room bunkhouse - elevations (typical)
- c. Five-room bunkhouse - section and footings (typical)
- d. Three-car garage (building 4 on Plan 5) - perspective diagram, floor plan and elevations (typical)
- e. Cabin (building 3 on Plan 5) - concept image, floor plan and elevations (typical)

Astronomical Society of NSW Inc. (ASNSW) - OVERVIEW OF “WIRUNA”, 48 Old Ilford Rd, Razorback (Ilford)

Plan 1: Existing Overall Property Usage Diagram

Boundary and building dimensions and offsets as shown. North is up.



Plan 2: Existing Property Detail A

Main Observing Field Installations

The installations on the Main Observing Field consist of observatories (roll-off sheds or sheds with roll-off rooves), ground mats, piers and foot-pads for tripods.

All installations are used regularly but are considered as temporary structures.

Observatories 1 (lower right) and 2 (central) are owned by the ASNSW. Other sites are owned by society members.

Region codes:

Red = Reserved access

White = North Rd

Yellow = Future piers,
mats, pads

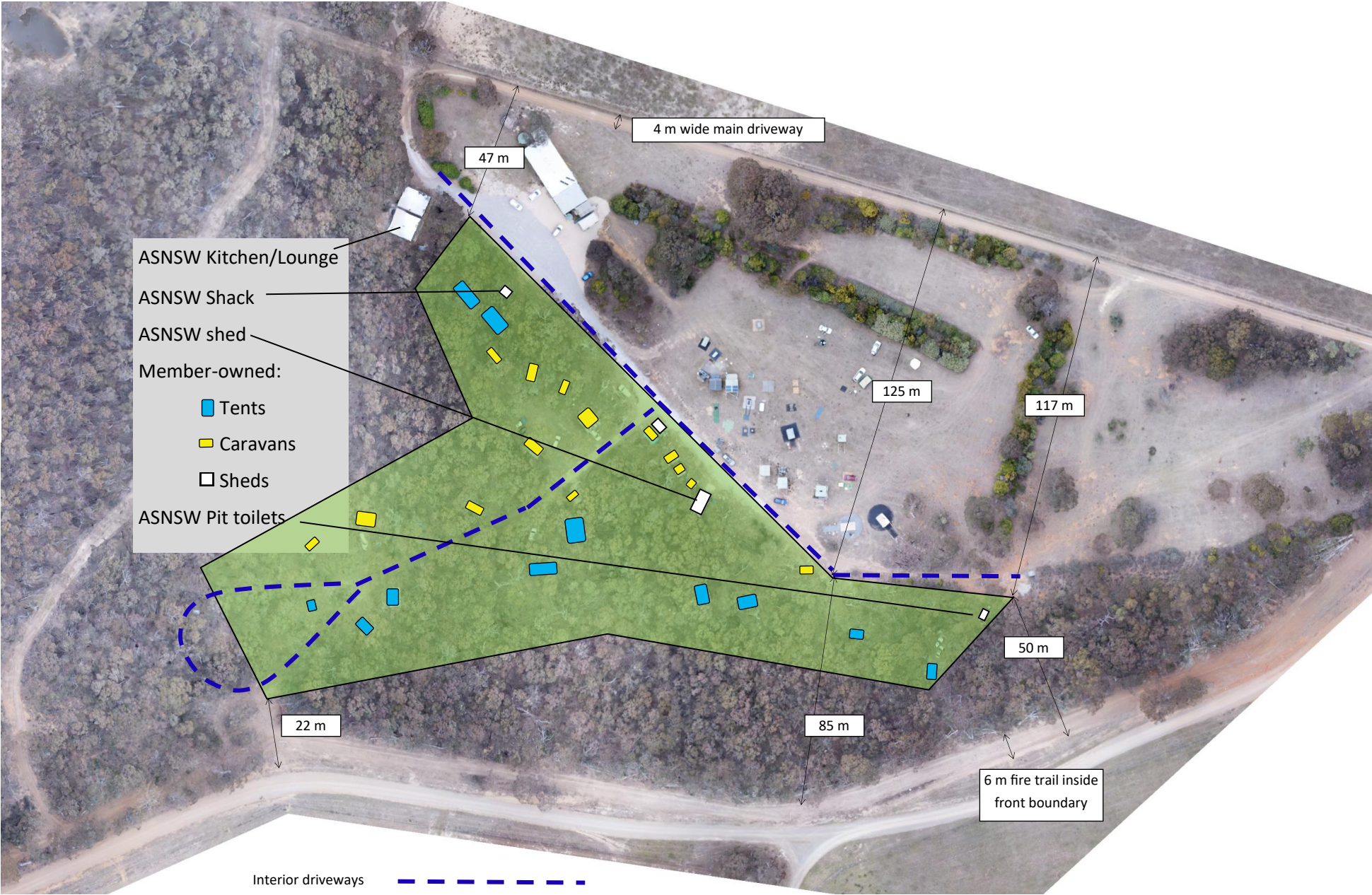
Box = New Observatory Site
(3m x 6m)

Unmarked areas, access ways and the Yellow Zone (E) serve as open spaces for anyone to set up temporary equipment on monthly weekends or at the star party.

REFER ALSO: Main Observing Field
Management Plan 2023 (Document J).



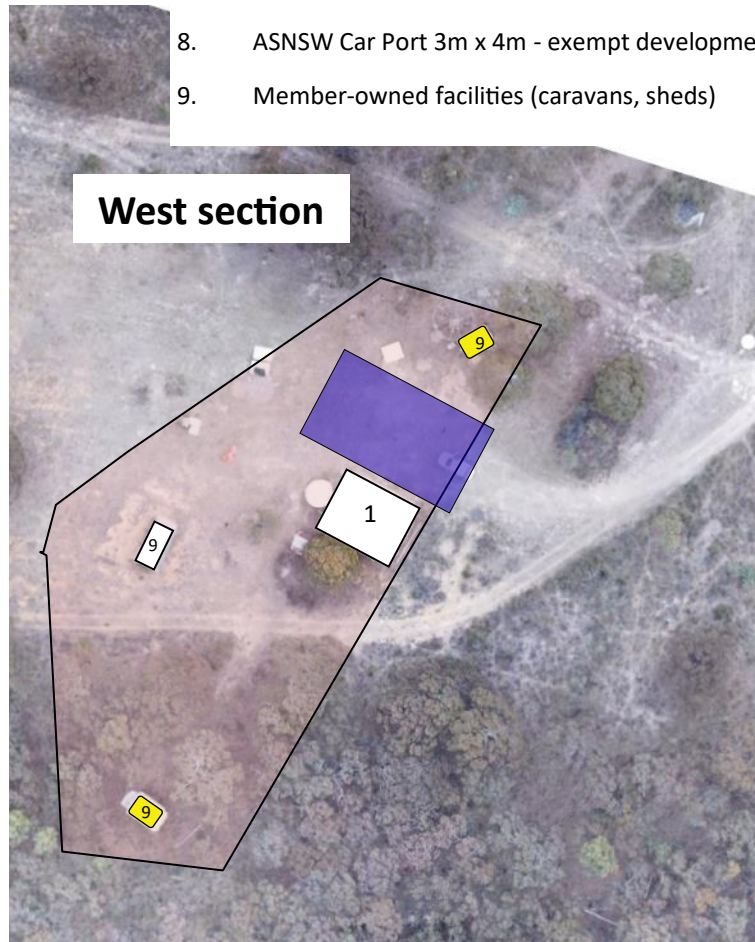
Plan 3:
Existing
Property
Detail B
Regular
camping,
caravans
and sheds



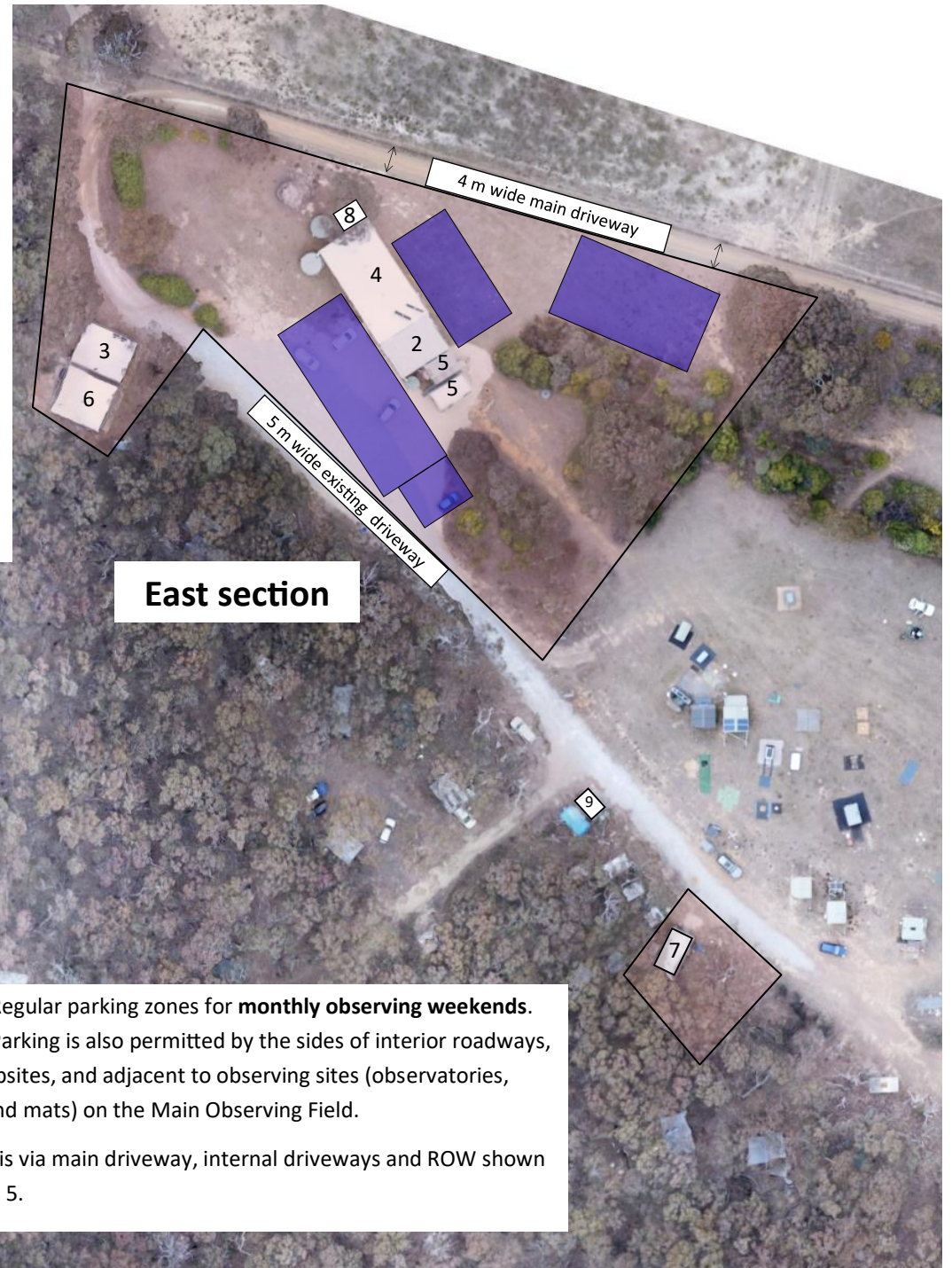
Plan 4: Existing Property Detail C

Existing Building Locations and Regular Parking Zones

1. ASNSW House 8.8m x 10m - DA 2720/006
2. ASNSW Bunkhouse 9.3m x 6m - converted from storage shed in 1996
3. ASNSW Bush kitchen 9m x 7m (open plan) - DA 24/1996
4. ASNSW Meeting Hall 9.3m x 18.6m - DA 24/1996
5. ASNSW Two amenities blocks (portable structures, 4.5m x 3.5m and 5m x 3.5m)
6. ASNSW Lounge 9m x 7m (open plan) - DA 0196/2015
7. ASNSW Storage Shed 4m x 7.5m (converted by enclosing car port) - DA 24/1996
8. ASNSW Car Port 3m x 4m - exempt development 2015
9. Member-owned facilities (caravans, sheds)



West section



East section

Regular parking zones for **monthly observing weekends**.
Parking is also permitted by the sides of interior roadways, at campsites, and adjacent to observing sites (observatories, piers and mats) on the Main Observing Field.

Access is via main driveway, internal driveways and ROW shown on Plan 5.

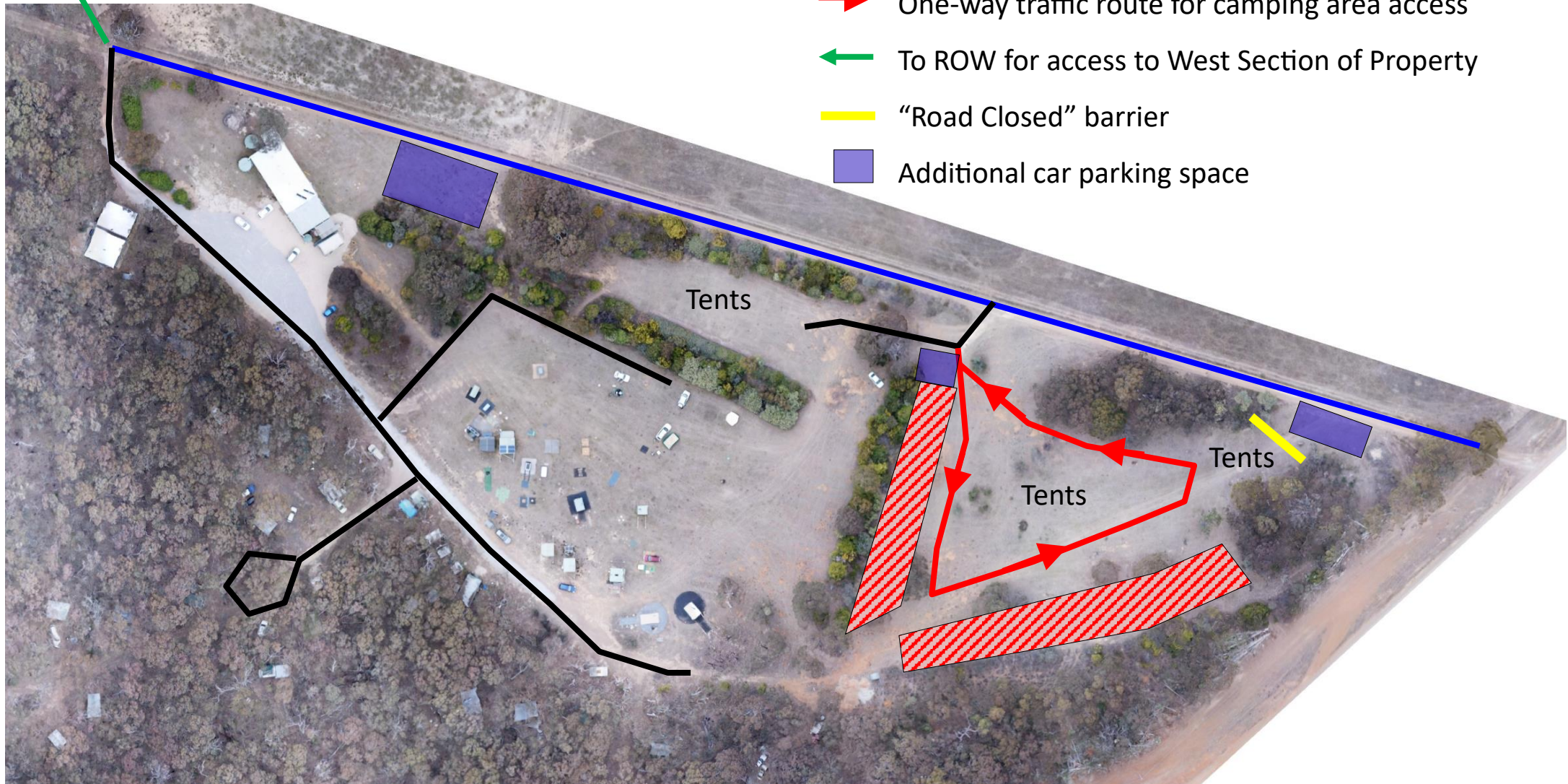
Plan 5: Existing Property Detail D

Parking and Traffic Management Site Plan for Annual Star Party Events - East Section

Also refer West Section and Notes: Star Party Traffic Management, next page.

Legend





- Main driveway
- Interior driveways
- ▨ Parking zone for caravans, campervans, etc.
- ➔ One-way traffic route for camping area access
- ➔ To ROW for access to West Section of Property
- “Road Closed” barrier
- ▭ Additional car parking space



Plan 5: Existing Property Detail D

Parking and Traffic Management Site Plan for Annual Star Party Events - West Section

Legend

- Interior driveways
-  Caravans, campervans, tents.
-  One-way traffic route for camping area access
-  To ROW for access to East Section of Property
-  Additional car parking space

Notes: Star Party Traffic Management

All vehicular access to the site is via the main driveway in the East Section, where participants are met by volunteer marshalls upon arrival.

The marshalls direct participants to their nominated camping areas and assist with traffic management and siting of the larger camping vehicles.

The Right of Way (ROW) connects the East and West sections. Star Party participants are encouraged to walk, not drive, between sections and areas, once their camp is set up, to minimise traffic movements. A speed limit of 5 kph applies on all driveways. No parking on the Main Observing Field after dark.



Plan 6:
Existing
Property
Detail E
Lopping
Zones
marked in
green



Plan 7:

Proposed New Development

Site Diagram

1. Bunkroom-style accommodation block
(4.50m x 11.04m) - **HIGH PRIORITY**

Offset 7m from north boundary

Offset 3.5m from Meeting Hall

2. Additional bunkroom-style accommodation
(4.50m x 11.04m) - potential future
construction (5+ years, same design as 1.)

Offset 9.3m from north boundary

Offset 16m from Bunkhouse

3. Cabins (one or more) - possible future
construction (3m x 5m)

Offset 6m from block 2

3m separation

Offset 9m from north boundary

4. Three-car garage (6m x 9m) for storage of
mechanical equipment, power tools, trailers,
and ride-on lawnmower - **HIGH PRIORITY**

Offset 101m from north boundary

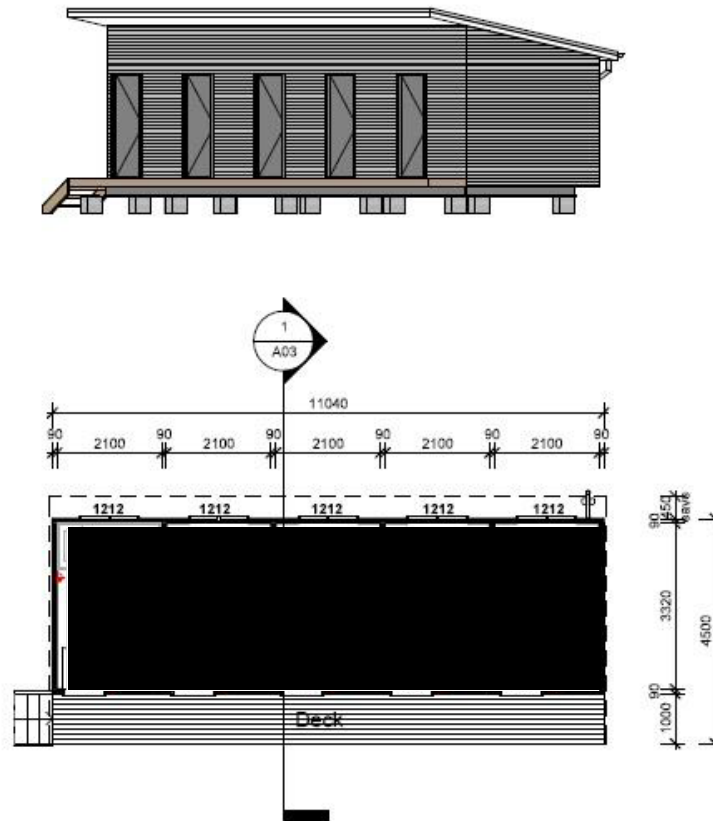
Offset 1.2m from existing storage shed



Plan 8: Proposed New Development - Elevations, plans, designs (typical)

a. Five-room bunk-house (buildings 1 and 2 on Plan 7) - concept drawing and floor plan.

Overall floor plan size 11.04m x 4.50m.



Floor Plan

1 : 100

SD Smoke Alarms to be installed in accordance with AS 3786 under the provisions of Div 7A of Part 9 Environmental Planning and Assessment Regulation 2000

LOCAL GOVERNMENT (MHE'S) REGULATION 2021(NSW)

- 149 Termite Shields in accordance with AS 3660, 1-2014 Termite management Part 1
- 150 Glazing in accordance with AS 1288-2021 and Safety Glass in accordance with AS/NZS2208 1996
- 151 External Waterproofing to prevent rain or damp penetrating the inner parts of the home.
- 152 Internal Waterproofing to comply and be in accordance with AS3740-2021
- 153 Plumbing and drainage in accordance with the Plumbing and Drainage Act 2011 and the requirements of the relevant statutory body. All pipes and fittings relating to stormwater to be installed in accordance with the Plumbing Code of Australia and any relevant statutory body
- 154 Electrical Wiring to Comply with AS/NZS 3000:2000
- 155 Fire and Smoke Alarms in Accordance with NCC Volume 2 Part 3,7,2 for Class 1(a) buildings

GENERAL NOTES:

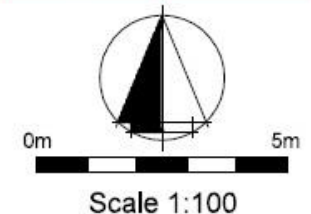
- All construction works to be in accordance with AS1684.2 Residential Timber Framed Construction Non Cyclonic Areas and to NCC Regulations
- All Wet Areas in accordance with NCC Part 3,8,1
- Provide Lift off hinges to WC doors in accordance with NCC Part 3,8,3.3
- All Primary building elements to be of termite resistant materials in accordance with NCC part 3,1,3,Termite barrier system achieved by sub-floor column design and adequate visual inspection

ELECTRICAL LEGEND

Phone Point	Exhaust Fan 150mm duct
TV Point	Exhaust Fan w/Light 100mm duct
LE Light Fitting	Heat, Light & Exhaust 150mm duct
Light Fitting	Ceiling Fan
Single GPO	Gas Instantaneous Hot Water System
Double GPO	
Meter Box 450x450	

GENERAL LEGEND:

dp	downpipe	hws	hot water system
sp	spreader	sh	shelves (4)
tv	television	br	broom (1 shelf)
aircon	air conditioner	fw	floor waste
dw	dishwasher space	th	toilet roll holder
wo	wall oven	tr	towel rail
mw	microwave	mx	wall mixer
ref	fridge space	1218	window size (hxxw)
pty	pantry	820	door width
cb	circuit board	sl	skylight
mb	meterbox	st	sky tube
sd	soap dish		



project title
Bunk House Concept
project address
48 Old Ilford Rd, Ilford NSW 2850

client
Lesa Moore
drawing title
Floor Plan

drawing number
A01
scale
1 : 100 @ A3
date
26 May 23
drawn
Author
amendment

Unless specifically noted, all details to elevations, sections + 3D images are subject to SCA compliance & material availability

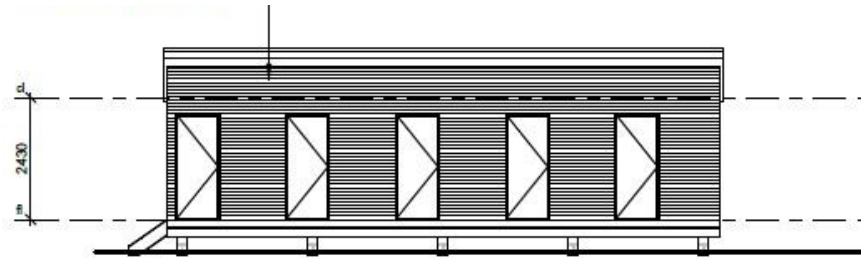
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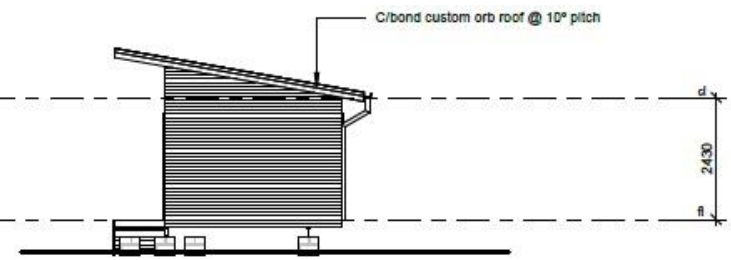
Plan 8: Proposed New Development - Elevations, plans, designs (typical)

b. Five-room bunkhouse - elevations. Note that the side labelled South Elevation will actually face south-east.



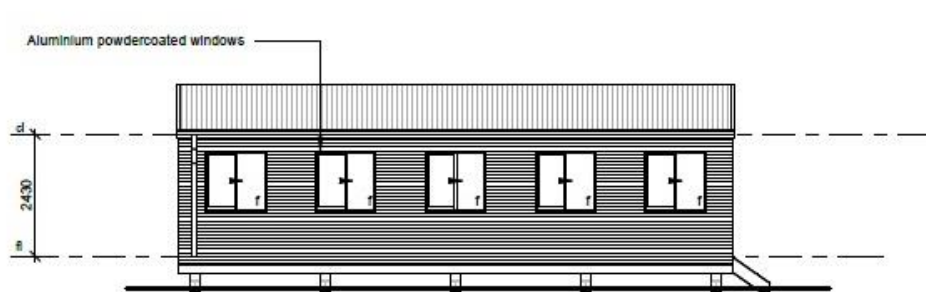
South Elevation

1 : 100



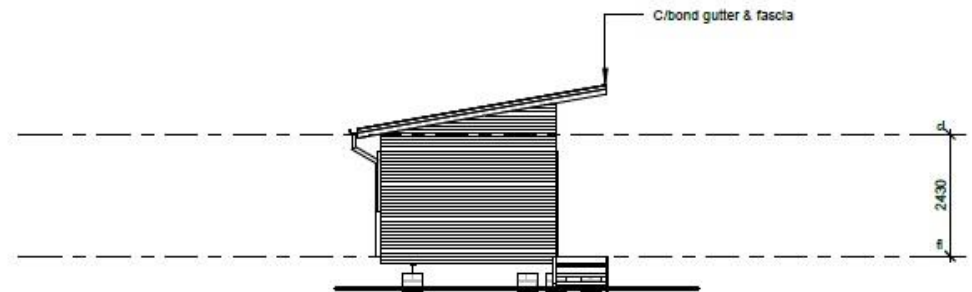
East Elevation

1 : 100



North Elevation

1 : 100



West Elevation

1 : 100



Scale 1:100

project title
Bunk House Concept
project address
48 Old Ilford Rd, Ilford NSW 2850

client
Lesa Moore
drawing title
Elevations

drawing number
A02
scale
1 : 100 @ A3

date
26 May 23
drawn
Author

amendment

Unless specifically noted,
all details to elevations,
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& material workability

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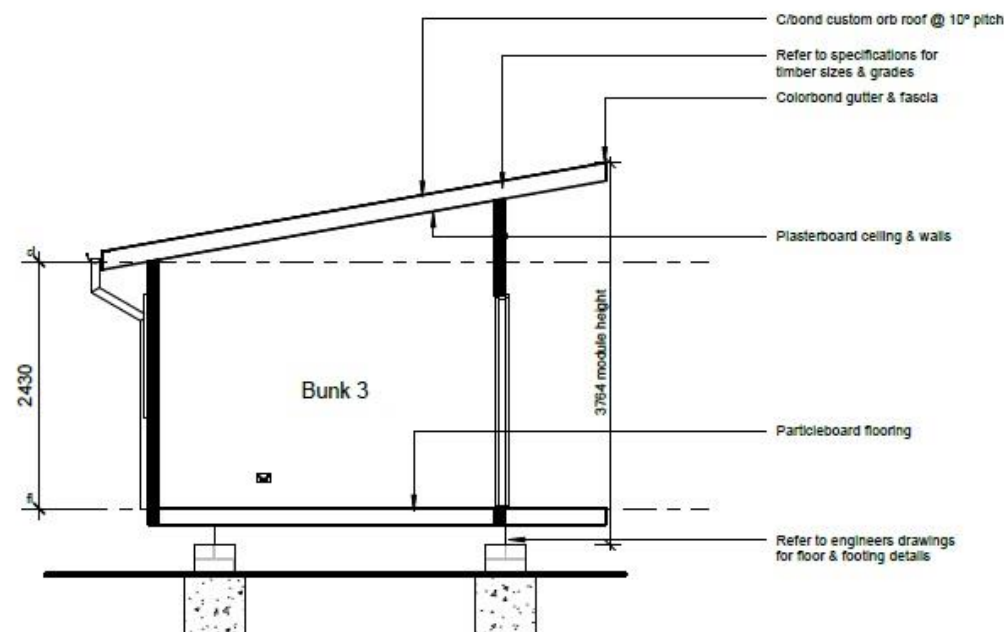
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26/05/2023 10:00:00 PM Production0 Pre Production Moore - Ilford/Bunkhouse Concept - Moore 26 May 23.rvt


Plan 8: Proposed New Development - Elevations, plans, designs (typical)

c. Five-room bunkhouse - section and footings (typical)



Section 1
1 : 50

0m 1m 2m
Scale 1:50

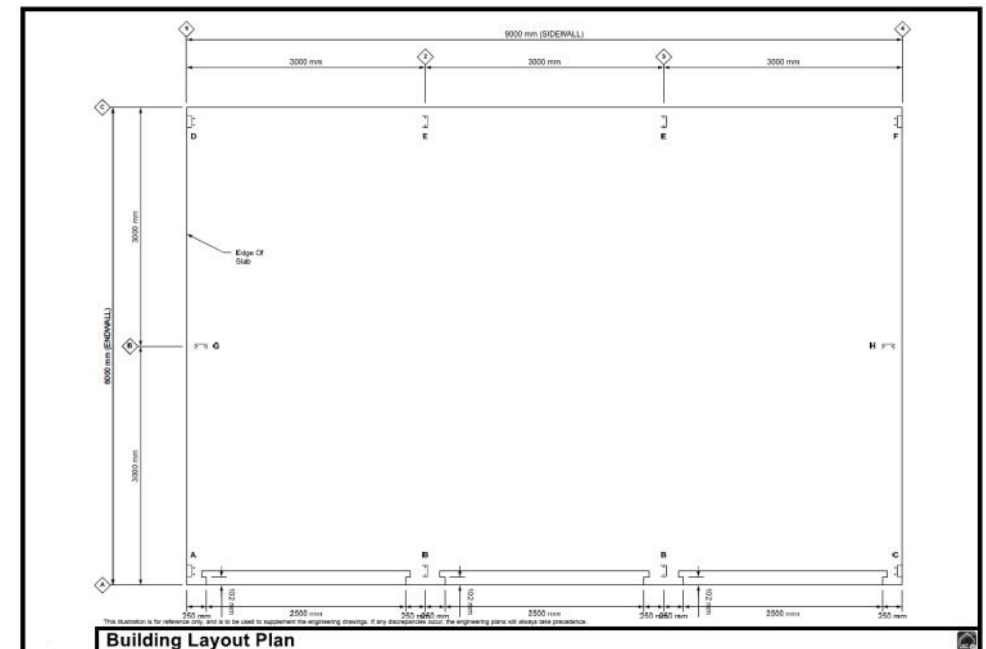
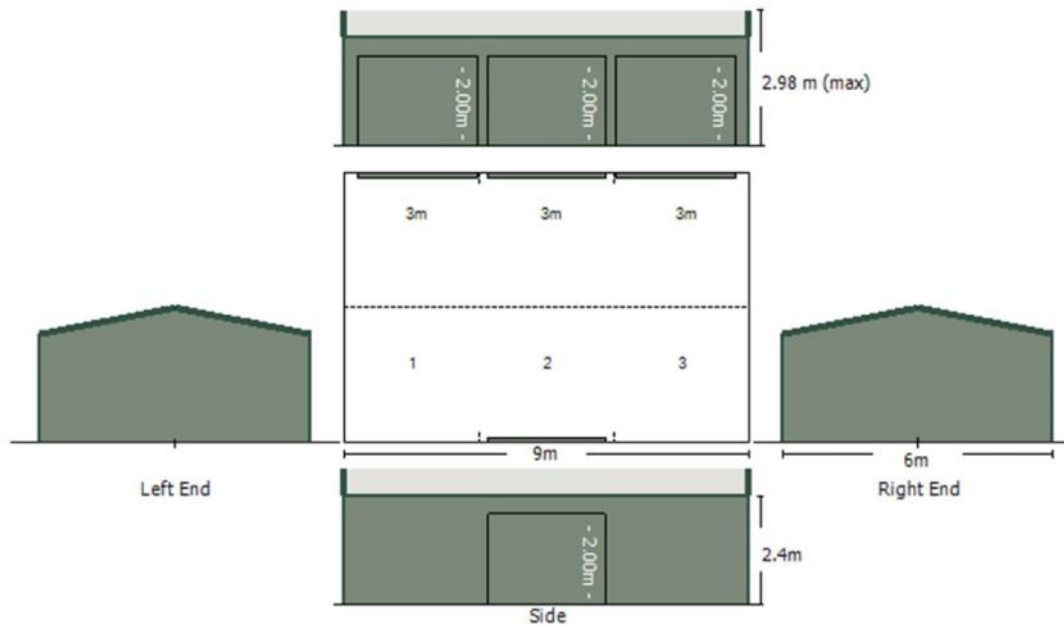
project title Bunk House Concept project address 48 Old Ilford Rd, Ilford NSW 2850	client Lesa Moore drawing title Section	drawing number A03 scale 1 : 50 @ A3	date 26 May 23 drawn Author	amendment	Unless specifically noted, all details to elevations, sections + 3D images are subject to BCA compliance & material workability	Documentation relating to the design and specification for Parkwoods' home designs always remains the intellectual property of the Company (Parkwood Modular Buildings Pty. Ltd.) We calculate the cost of this documentation and include it in the sale price of each home. Parkwood designs may not be copied, adapted or reproduced by others without the prior approval and agreed compensation paid for the work and experience involved in developing our designs and construction methods.	 PARKWOOD MODULAR BUILDINGS
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Plan 8: Proposed New Development - Elevations, plans, designs (typical)

d. Three-car garage (building 4 in Plan 7) -
perspective diagram, elevations and floor plan (typical).

Installation on concrete slab.

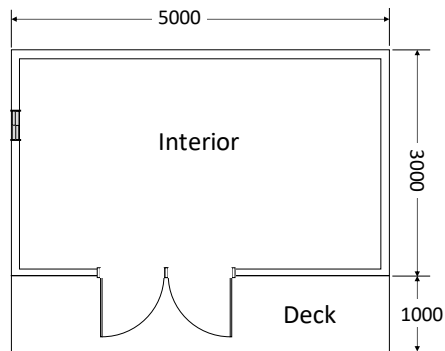
Overall floor plan size 9m x 6m.



Plan 8: Proposed New Development - Elevations, plans, designs (typical)

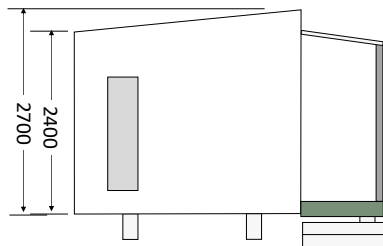
e. Cabins (one or more, buildings 3 in Plan 7) - concept image, floor plan and elevations (typical).

Installation on blocks and footings, as for bunkhouse.

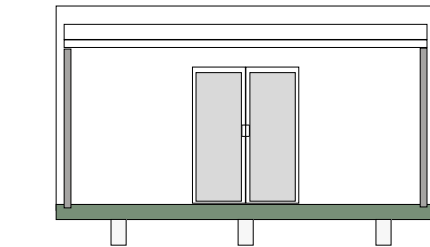


Wall thickness: 110mm

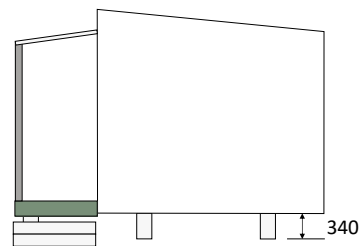
Floor Plan



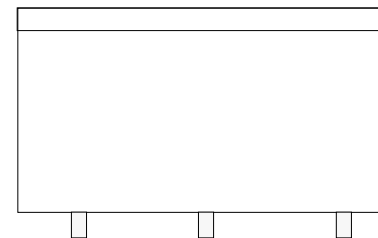
Left Side Elevation



Front Elevation



Right Side Elevation



Rear Elevation

