



Business Papers 2024

MID-WESTERN REGIONAL COUNCIL

**SEPARATELY ATTACHED ATTACHMENTS
WEDNESDAY 16 OCTOBER 2024**

*A prosperous and progressive
community we proudly call home*



ATTACHMENTS

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PROPOSED SERVICED APARTMENTS

106 SCHOOL LANE BUDGEE BUDGEE NSW 2850
 LOT 264 DP755429

STAGE: FOR APPROVAL

DRAWING SCHEDULE	
Sheet Number	Sheet Name
A000	COVERPAGE
A001	SITE SURVEY
A002	SITE ANALYSIS PLAN
A003	WASTE MANAGEMENT PLAN
A004	EARTHWORKS AND SEDIMENT CONTROL PLAN
A005	LANDSCAPE PLAN
A100	SITE PLAN
A101	ROOF PLAN
A102	GRANNY FLAT PLANS
A103	SHED PLANS
A104	TYPICAL 1 BED APARTMENT
A105	TYPICAL 2 BED APARTMENT
A106	2 BED ACCESSIBLE APARTMENT
A300	TYPICAL 1 BED APARTMENT ELEVATIONS
A301	TYPICAL 2 BED APARTMENT ELEVATIONS
A302	SHED ELEVATIONS & SECTION
A303	EX GRANNY FLAT ELEVATIONS & SECTIONS
A400	TYPICAL APARTMENT SECTIONS
A500	APARTMENT 3DS
A501	APARTMENT 3DS
A502	APARTMENT 3DS
A503	GRANNY FLAT 3DS
A504	SHED 3DS
A800	NOTIFICATION PLAN

Property Report
 106 SCHOOL LANE BUDGEE BUDGEE 2850

Property Details

Address: 106 SCHOOL LANE BUDGEE BUDGEE 2850
 Lot/Section: 264-DP755429
 Plan/No:
 Council: MID-WESTERN REGIONAL COUNCIL

Summary of planning controls

Planning controls listed within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

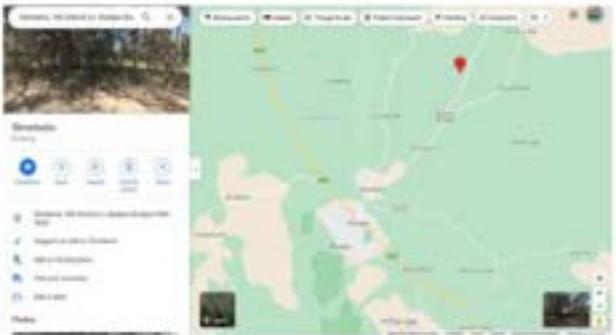
Local Environmental Plans: Mid-Western Regional Local Environmental Plan 2012 (pub. 10-9-2012)
 Land Zoning: R2 - Large Lot Residential (pub. 21-4-2002)
 Height Of Building: NA
 Floor Space Ratio: NA
 Minimum Lot Size: 1.2 ha
 Heritage: NA
 Land Reservation Acquisition: NA
 Foresters Building Line: NA
 Local Provisions: Refer to Clause 4.2A

Detailed planning information

State Environmental Planning Policies which apply to this property

State Environmental Planning Policies can specify planning controls for certain areas and/or types of development. They can also identify the development assessment system that applies and the type of environmental assessment that is required.

This report provides general information only and does not replace a Section 95.7 Certificate (formerly Section 148).
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LOCATION MAP 01

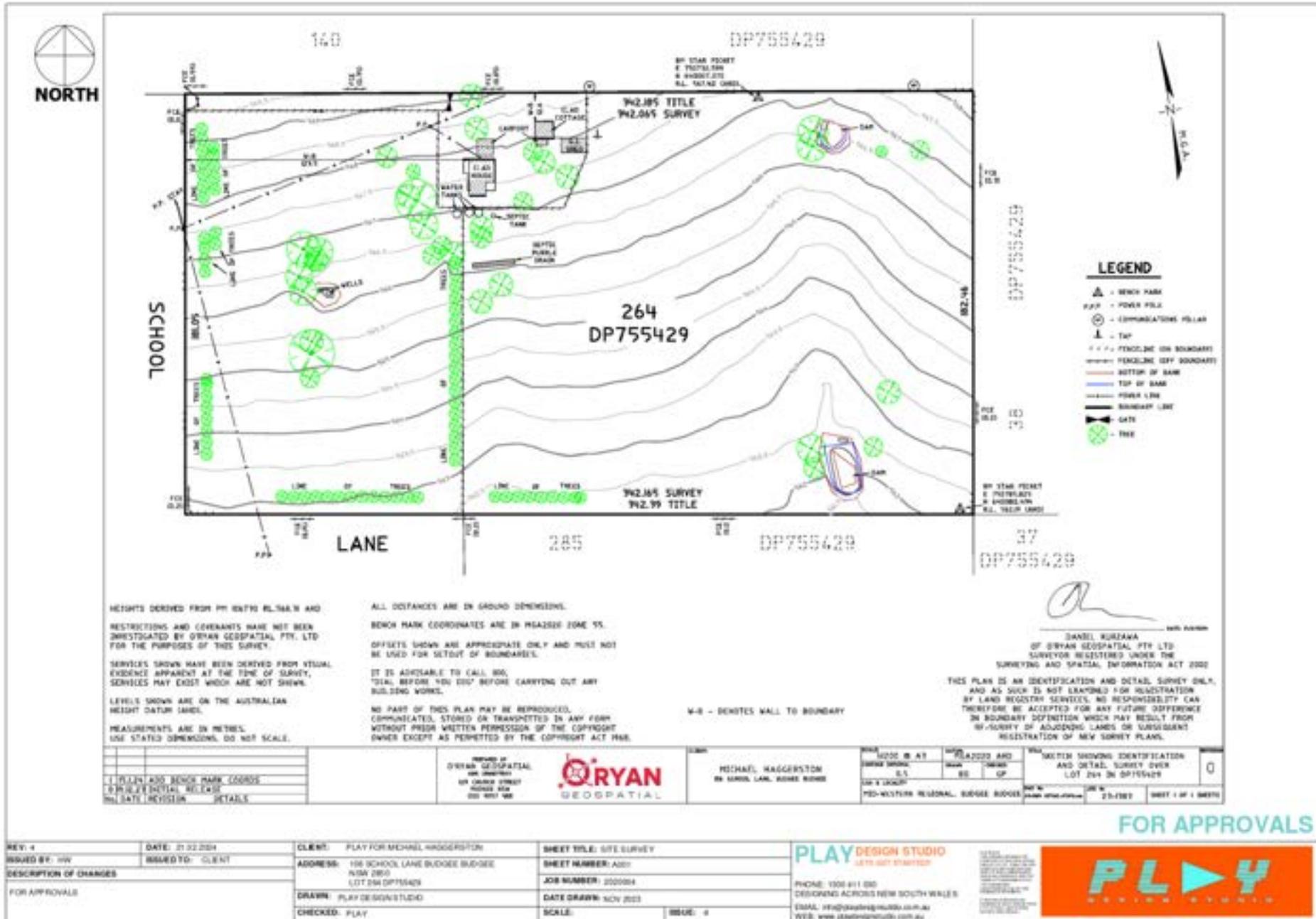


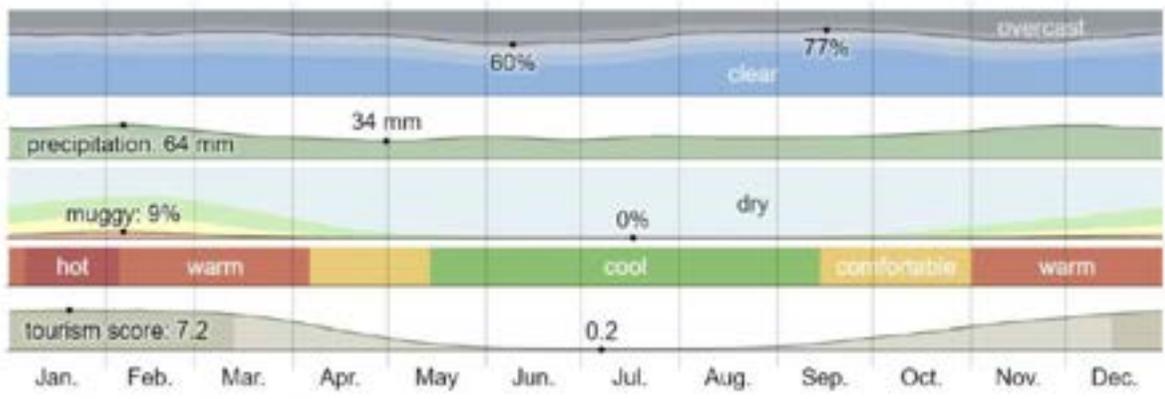
LOCATION MAP 02

PLANNING CERTIFICATE

FOR APPROVALS

REV: 4	DATE: 21.02.2024	CLIENT: PLAY FOR MICHAEL WAGGERSTON	SHEET TITLE: COVERPAGE	PLAY DESIGN STUDIO LETS GET SOMETHING GOING	PHONE: 1300 411 220 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 106 SCHOOL LANE BUDGEE BUDGEE NSW 2850 LOT 264 DP755429	SHEET NUMBER: A000 JOB NUMBER: 2020094 DATE DRAWN: NOV 2023 SCALE: 1:1000 ISSUE: 4		
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO			
FOR APPROVALS		CHECKED: PLAY			





SITE DETAILS																																					
ENTER SITE ADDRESS HERE LOT & DP NUMBER																																					
BUSHFIRE ATTACK LEVEL = BAL 12.5																																					
COUNCIL AREA	ENTER COUNCIL ZONE - MID-WESTERN COUNCIL																																				
ZONING	ENTER ZONING - R3																																				
SITE AREA	ENTER SITE AREA - HECTARES																																				
PROPOSED FLOOR AREA	<table border="1"> <thead> <tr> <th>AREA</th> <th>TYPE</th> <th>AREA (SQM)</th> <th>AREA (SQM)</th> <th>AREA (SQM)</th> <th>TOTAL (SQM)</th> </tr> </thead> <tbody> <tr> <td>RESIDENTIAL</td> <td>RESIDENTIAL</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>COMMERCIAL</td> <td>COMMERCIAL</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>INDUSTRIAL</td> <td>INDUSTRIAL</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>OTHER</td> <td>OTHER</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td colspan="2"></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	AREA	TYPE	AREA (SQM)	AREA (SQM)	AREA (SQM)	TOTAL (SQM)	RESIDENTIAL	RESIDENTIAL					COMMERCIAL	COMMERCIAL					INDUSTRIAL	INDUSTRIAL					OTHER	OTHER										
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COMMERCIAL	COMMERCIAL																																				
INDUSTRIAL	INDUSTRIAL																																				
OTHER	OTHER																																				
ROOF AREA	ENTER ROOF AREA - SQM																																				
CONDITIONED FLOOR SPACE	NA																																				
UNCONDITIONED FLOOR SPACE	NA																																				
LANDSCAPE AREA	NA - LARGE SITE - OPEN PADDOCKS																																				
HARD LANDSCAPE AREA	AREA INCLUDES DRIVEWAYS AND FOOTPATHS - NONE - GRAVEL AREAS																																				
PROPOSED SITE COVERAGE	BUILDING FOOTPRINT, DRIVEWAY, FOOTPATHS, DECK - NA - LARGE RURAL SITE PERCENTAGES VERY SMALL																																				
PROPOSED FSR	FLOOR SPACE RATIO - TOTAL LIVING AREA DIVIDED BY SITE AREA - NA - LARGE RURAL SITE PERCENTAGES VERY SMALL																																				
MAX. BUILDING HEIGHT	MAX 4.5M TO ROOF (TYPICALLY 3.0M FOR RESIDENTIAL)																																				
SOIL CLASSIFICATION	H CLASS (SEE HAZARD REPORT)																																				
WIND SPEED	NE - CHECK WIND SPEED																																				
TERRAIN CATEGORY	NE - CHECK SLOPE TERRAIN DATE 2018																																				
REGION	A																																				
SHEDDING	NO SHEDDING																																				



1 SITE ANALYSIS
1:1800



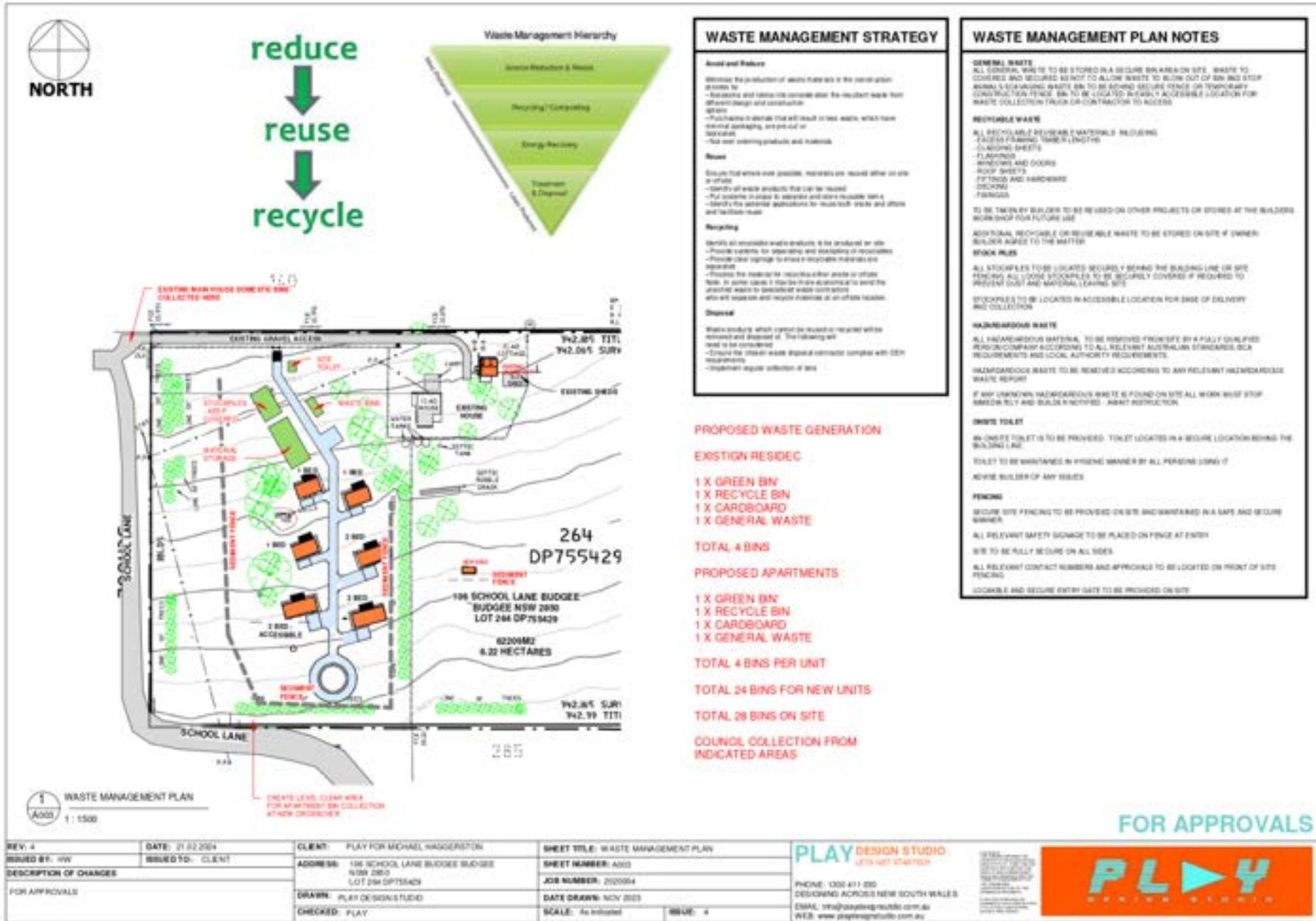
EXISTING SITE ENTRY TO MAIN RESIDENCE



AREA OF NEW ROAD ENTRY TO LEFT

FOR APPROVALS

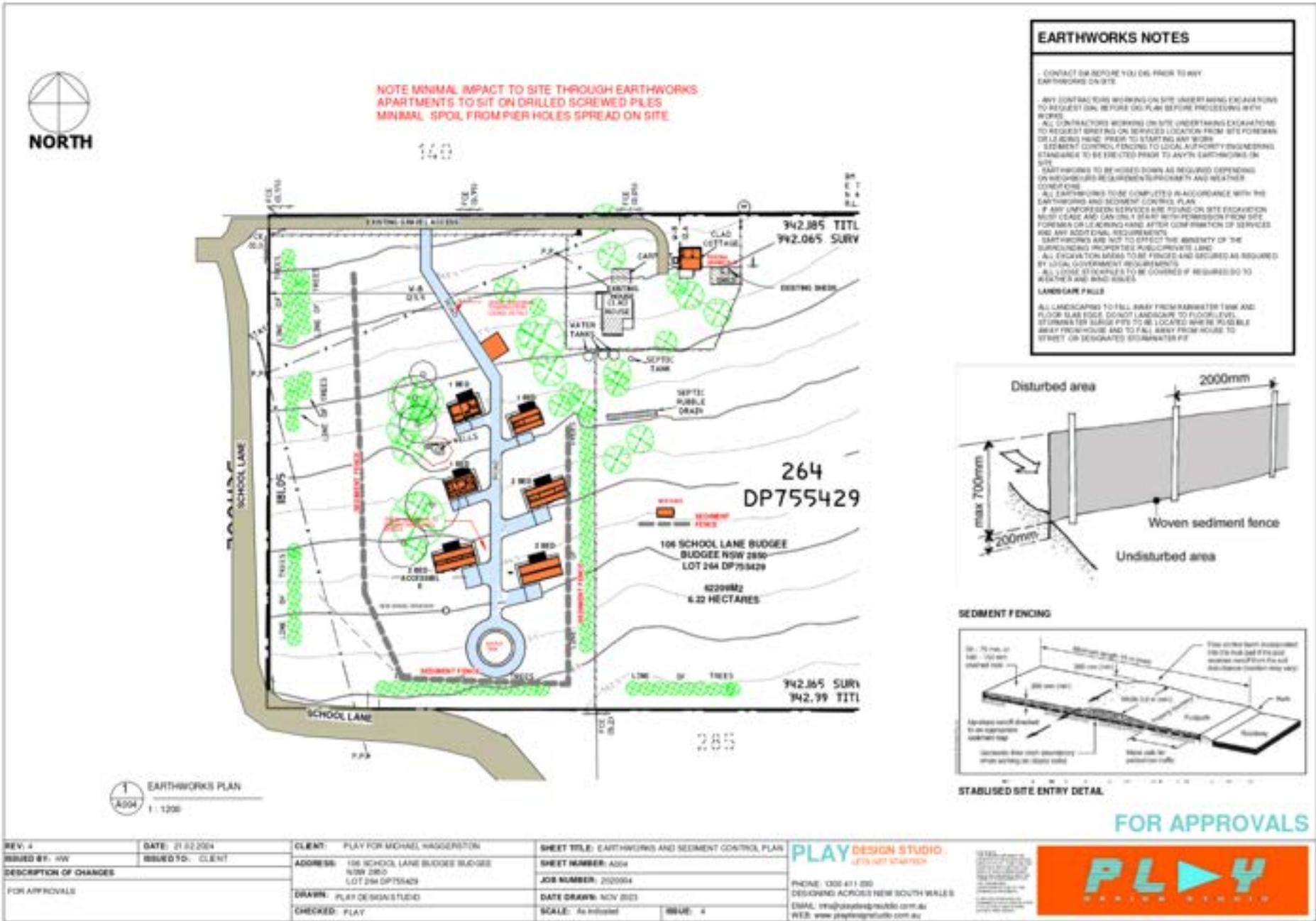
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ISSUED BY: HR	ISSUED TO: CLIENT	ADDRESS: 106 SCHOOL LANE BUDGEE BUDGEE NSW 2830 LOT 264 DP755429	SHEET NUMBER: A202	
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	JOB NUMBER: 202404	
FOR APPROVALS:		CHECKED: PLAY	DATE DRAWN: NOV 2023	
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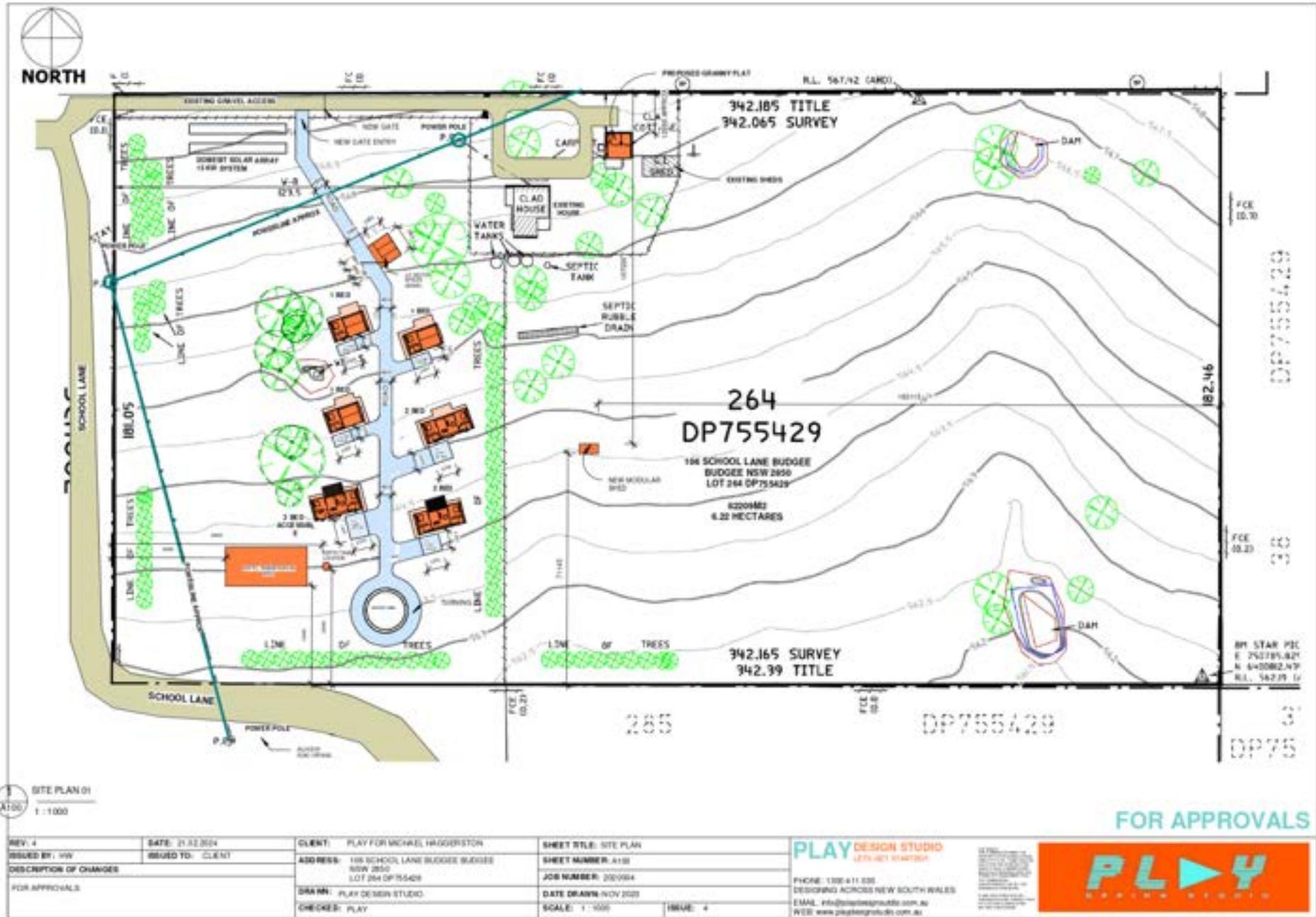
FOR APPROVALS



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ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 196 SCHOOL LANE SUDGEE SUDGEE NSW 2850 LOT 264 DP755429	SHEET NUMBER: A000	PHONE: 1300 411 080	
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	JOB NUMBER: 2020004	DESIGNED ACROSS NEW SOUTH WALES	
FOR APPROVALS		CHECKED: PLAY	DATE DRAWN: NOV 2023	EMAIL: info@playdesignstudio.com.au	
			SCALE: As Indicated	WEB: www.playdesignstudio.com.au	

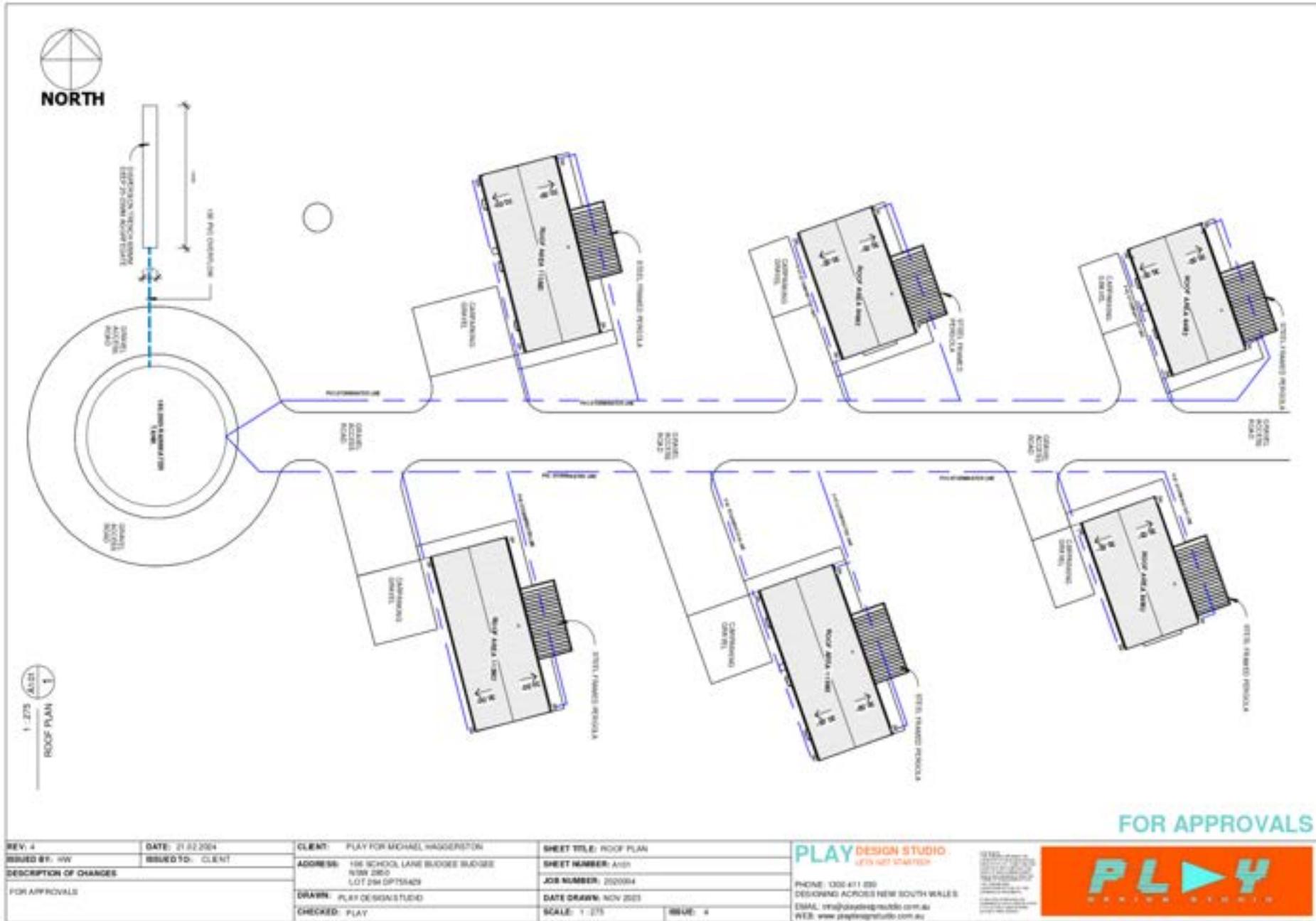






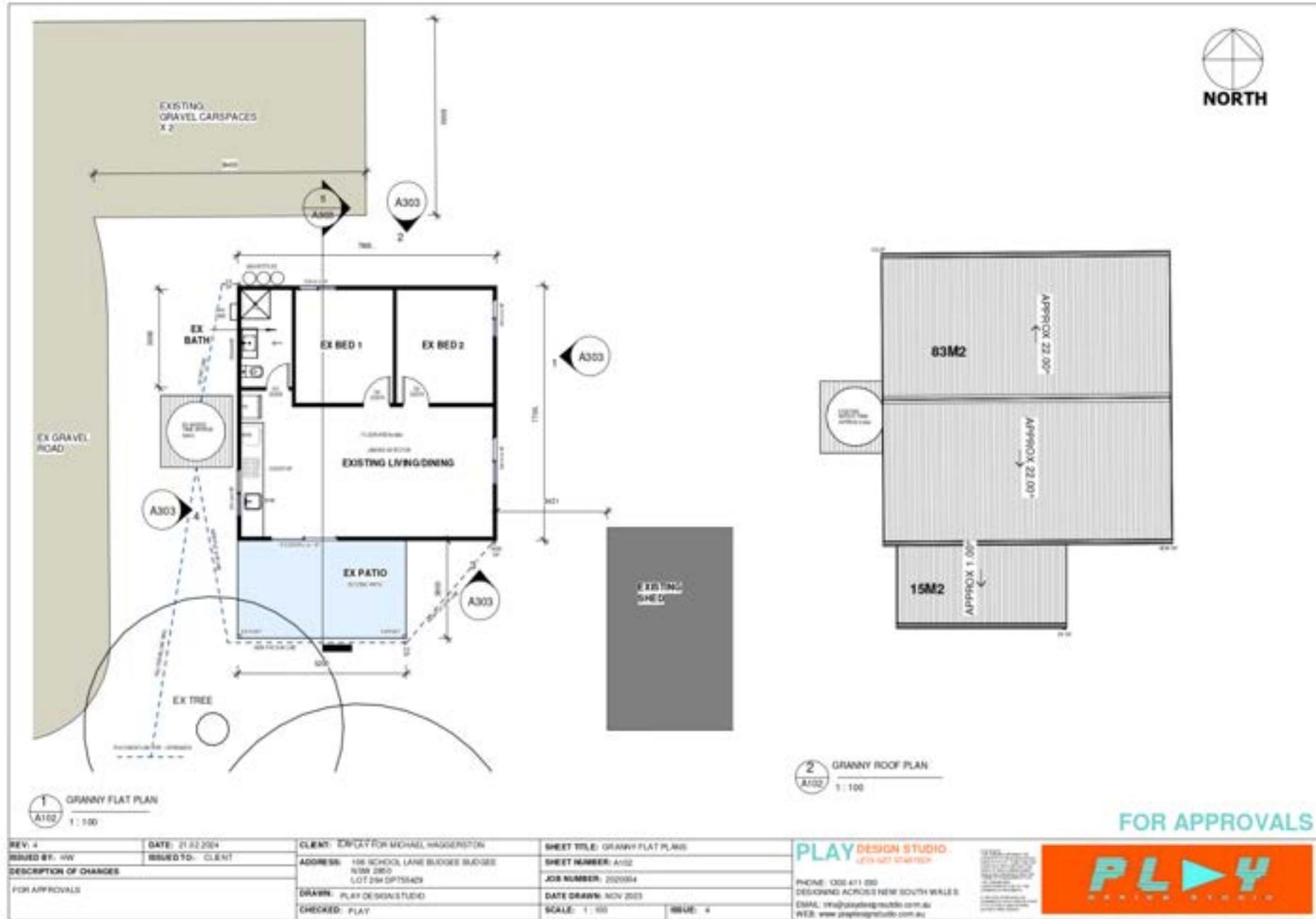
SITE PLAN 01
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REV: 4	DATE: 21.02.2024	CLIENT: PLAY FOR MICHAEL HAGGERSTON	SHEET TITLE: SITE PLAN	PLAY DESIGN STUDIO LETS GET IT STARTED PHONE: 1300 611 030 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 104 SCHOOL LANE BUDGEE BUDGE NSW 2850 LOT 264 DP755429	SHEET NUMBER: A100	
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	JOB NUMBER: 2024094	
FOR APPROVALS		CHECKED: PLAY	DATE DRAWN: NOV 2023	
			SCALE: 1:1000	ISSUE: 4

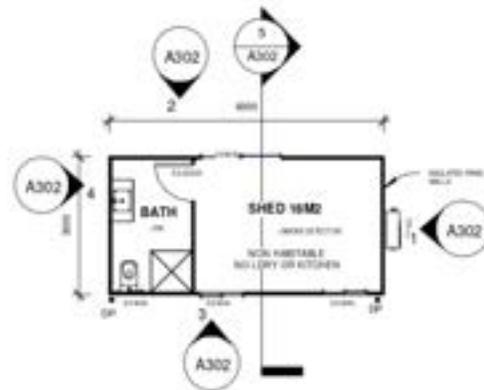


FOR APPROVALS

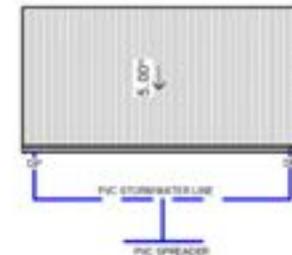
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ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 106 SCHOOL LANE BUDDERS BLDG 002 NSW 2800 LOT 204 OPTSRAD9	SHEET NUMBER: A101 JOB NUMBER: 2020004 DATE DRAWN: NOV 2023 SCALE: 1:200 ISSUE: 4		
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	CHECKED: PLAY		
FOR APPROVALS					



REV. 4	DATE: 21.02.2024	CLIENT: EX/FLAT FOR MICHAEL WAGGERSTON	SHEET TITLE: GRANNY FLAT PLANS	PLAY DESIGN STUDIO LET'S GET STARTED PHONE: 0300 411 080 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 106 SCHOOL LANE BUCKLES BLDG/025 NSW 2810 LOT 294 OPT/2849	SHEET NUMBER: A102	
DESCRIPTION OF CHANGES			JOB NUMBER: 2020094	
FOR APPROVALS			DATE DRAWN: NOV 2023	
		DRAWN: PLAY DESIGN STUDIO	SCALE: 1:100	REVISION: 4
		CHECKED: PLAY		



1 SHED
A302 1:100



2 SHED ROOF PLAN
A300 1:100

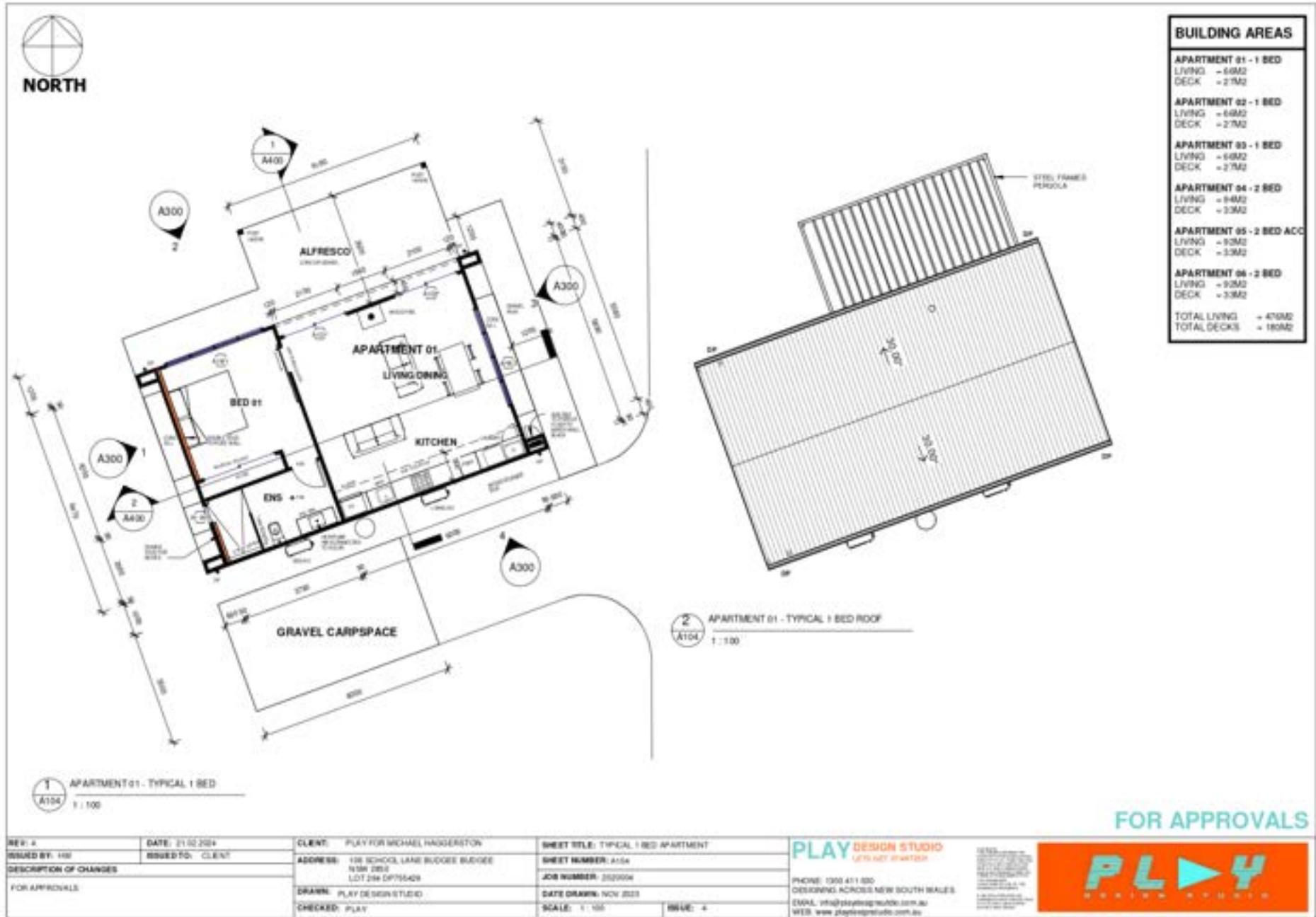
FOR APPROVALS

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FOR APPROVALS		CHECKED: PLAY	DATE DRAWN: NOV 2023
			SCALE: 1:100
			REVISION: 4

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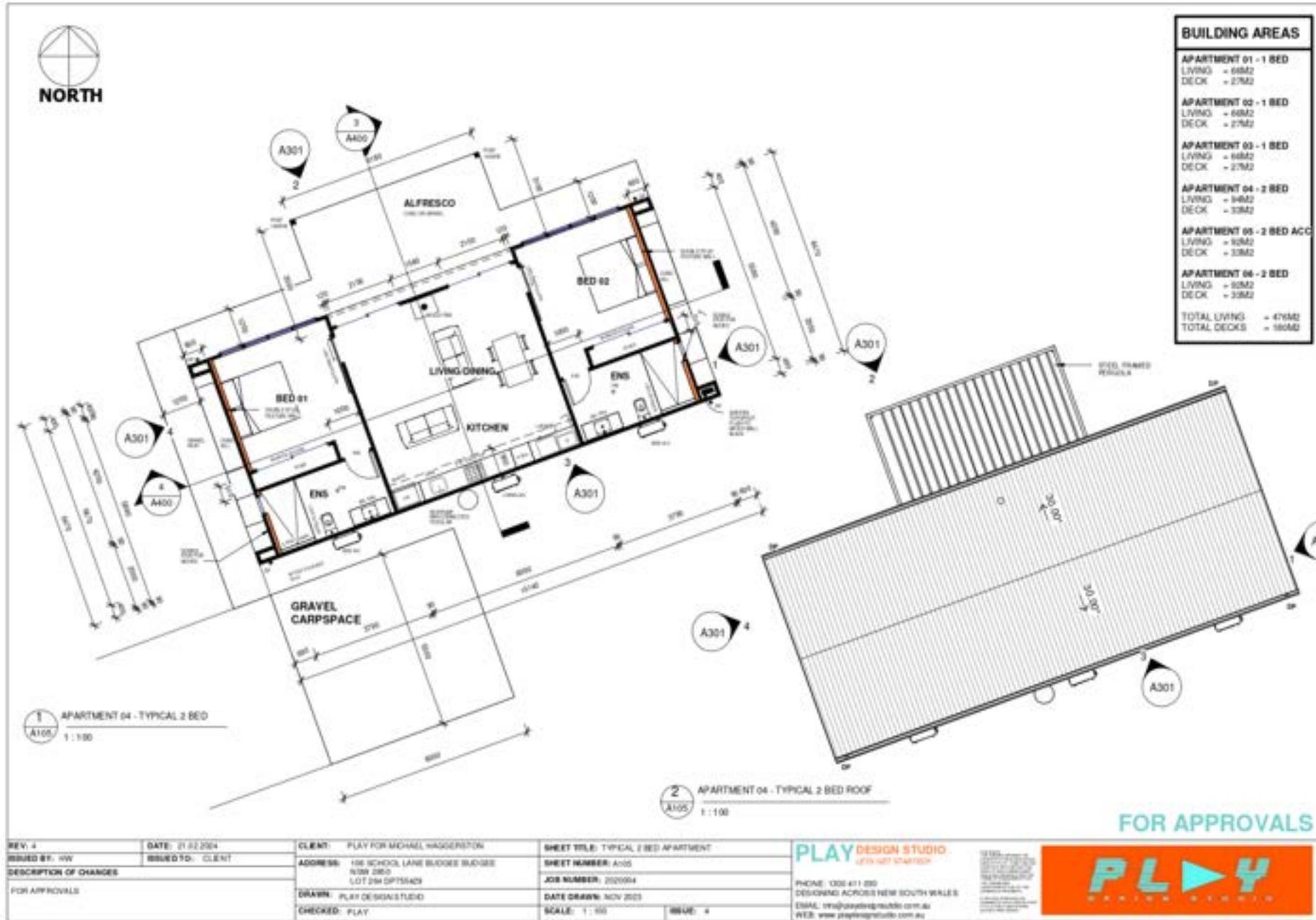


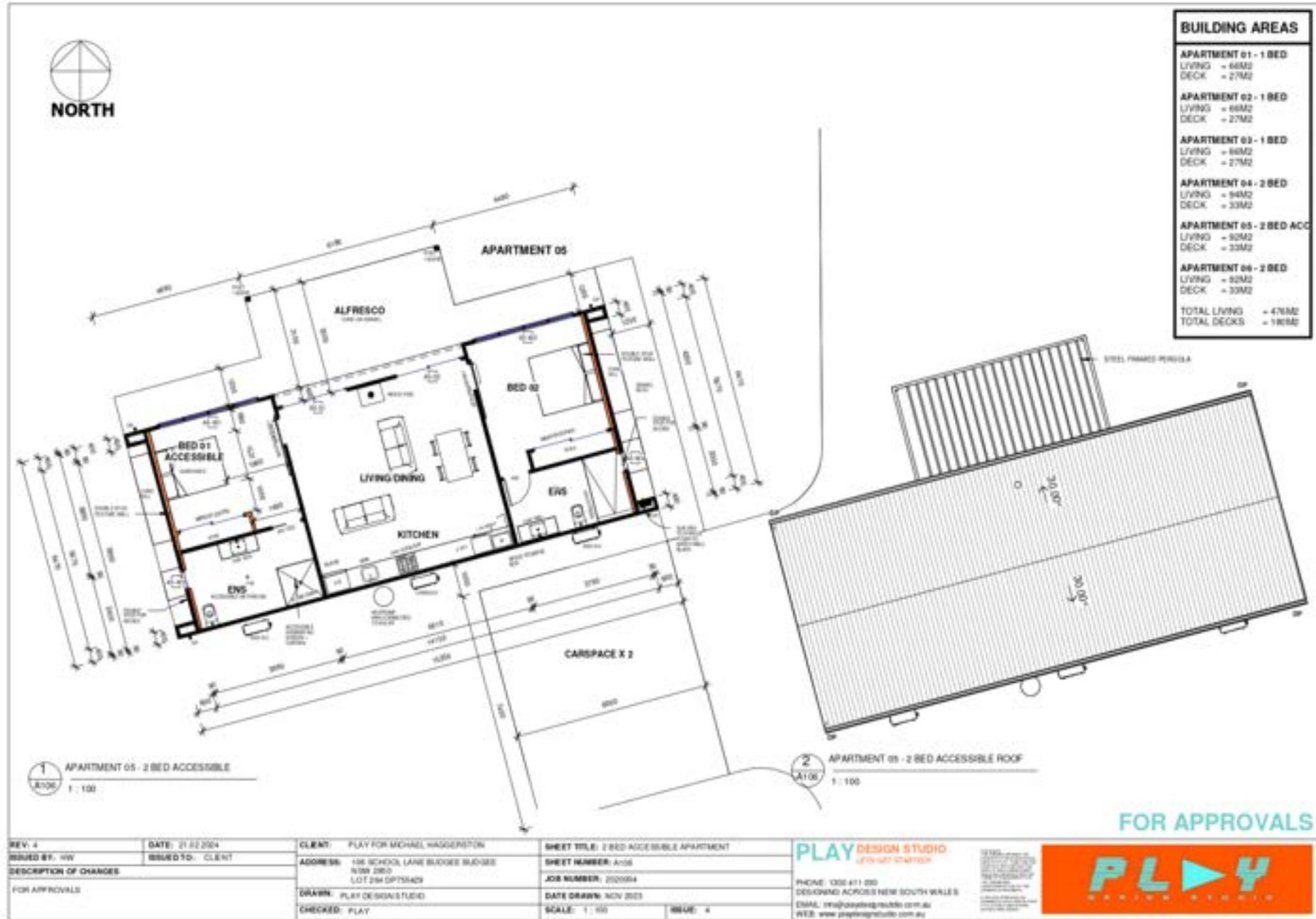


FOR APPROVALS

REV: 4	DATE: 21/02/2024	CLIENT: PLAY FOR MICHAEL HADGERSTON	SHEET TITLE: TYPICAL 1 BED APARTMENT	PLAY DESIGN STUDIO LETS NOT SHAKTOSH	PHONE: 1300 411 830 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au
ISSUED BY: 102	ISSUED TO: CLIENT	ADDRESS: 136 SCHOOL LANE BUDJEE BUDJEE NSW 2825 LOT 294 DP75429	SHEET NUMBER: A104 JOB NUMBER: 2329004 DATE DRAWN: NOV 2023 SCALE: 1:100 ISSUE: 4		
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FOR APPROVALS:					









FOR APPROVALS





FOR APPROVALS

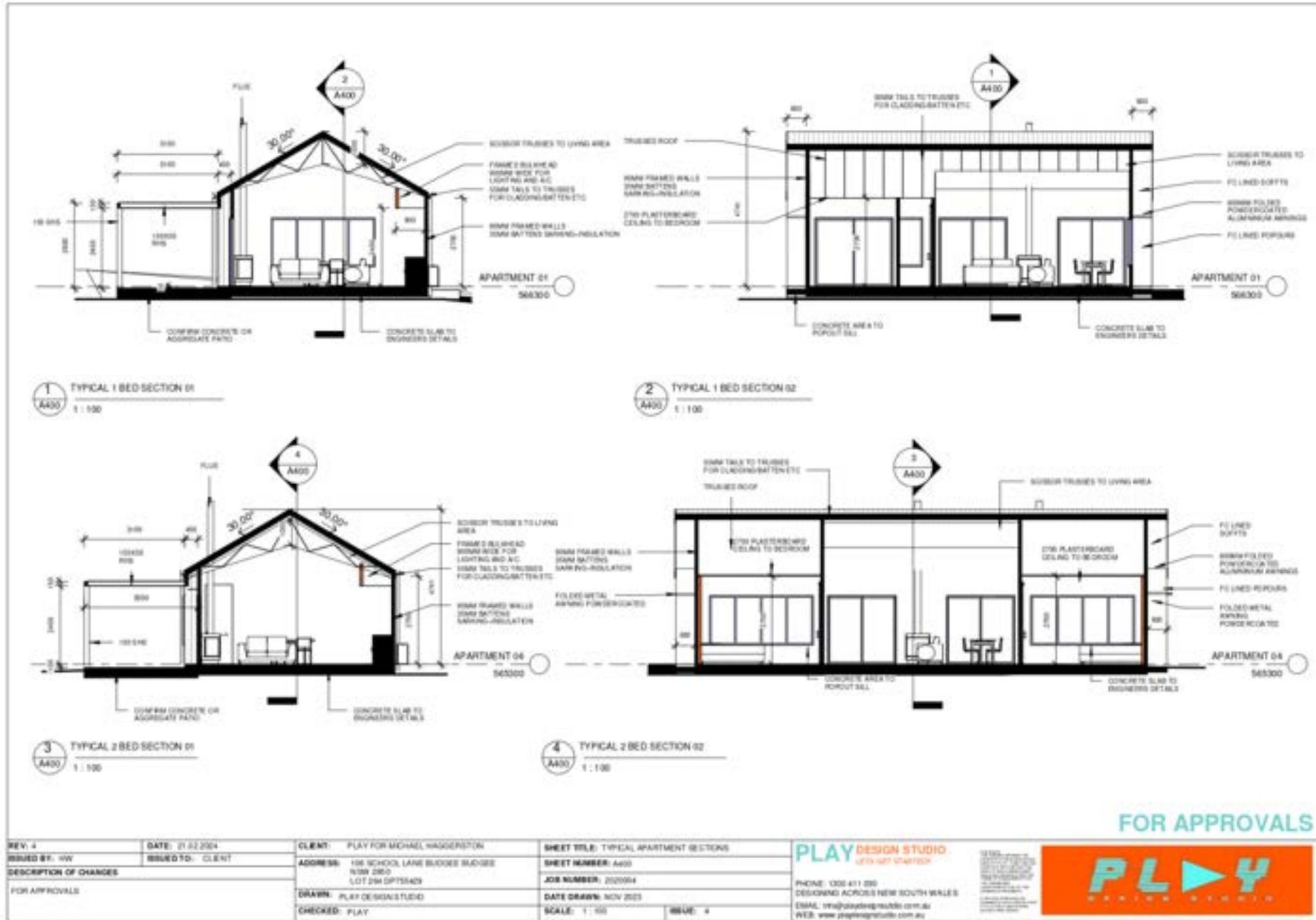
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DESCRIPTION OF CHANGES			JOB NUMBER: 2020094
FOR APPROVALS		DRAWN: PLAY DESIGN STUDIO	DATE DRAWN: NOV 2023
		CHECKED: PLAY	SCALE: 1:100
			ISSUE: 4

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FOR APPROVALS

REV. 4	DATE: 21.02.2024	CLIENT: PLAY FOR MICHAEL WAGGERSTON	SHEET TITLE: TYPICAL APARTMENT SECTIONS	PLAY DESIGN STUDIO LET'S GET STARTED	PHONE: 1300 411 280 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 106 SCHOOL LANE BLVD/282 N/36 2820 LOT 2/4 OPT/2824	SHEET NUMBER: A400 JOB NUMBER: 2020004 DATE DRAWN: NOV 2023 SCALE: 1:100 ISSUE: 4		
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	CHECKED: PLAY		
FOR APPROVALS					



FOR APPROVALS

REV: 4	DATE: 21.02.2024	CLIENT: PLAY FOR MICHAEL WAGGERSTON	SHEET TITLE: APARTMENT 301S	PLAY DESIGN STUDIO LIFESTYLE ARCHITECTURE	PHONE: 1300 411 280 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 106 SCHOOL LANE BUNDOCKS BUNDOCKS NSW 2810 LOT 214 DP758429	SHEET NUMBER: A500 JOB NUMBER: 2020094 DATE DRAWN: NOV 2023 SCALE: 1:100 ISSUE: 4		
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO			
FOR APPROVALS		CHECKED: PLAY			





FOR APPROVALS

REV: 4	DATE: 21.02.2024	CLIENT: PLAY FOR MICHAEL WAGGERSTON	SHEET TITLE: APARTMENT 301S	PLAY DESIGN STUDIO LIFESTYLE ARCHITECTURE	PHONE: 1300 411 280 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 106 SCHOOL LANE BUNDAS BAY NSW 2810 LOT 274 DP755429	SHEET NUMBER: A502 JOB NUMBER: 2020094 DATE DRAWN: NOV 2023 SCALE: 1:100 ISSUE: 4		
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	CHECKED: PLAY	SEE: [Small text, illegible] [Small text, illegible] [Small text, illegible]	
FOR APPROVALS					



1
AS03
GRANNY FLAT VIEW 01



2
AS03
GRANNY FLAT VIEW 02

FOR APPROVALS

REV: 4	DATE: 21.02.2024	CLIENT: PLAY FOR MICHAEL WAGGERSTON	SHEET TITLE: GRANNY FLAT 03S	PLAY DESIGN STUDIO LIFESTYLE ARCHITECTURE PHONE: 1300 411 280 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au	NOTES: ALL DIMENSIONS ARE TO FACE UNLESS SPECIFIED OTHERWISE. ALL FINISHES TO BE AS SHOWN IN THE ARCHITECTURAL DRAWINGS. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS 2011. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE LOCAL COUNCIL REQUIREMENTS. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE DESIGNER'S INTENT. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE DESIGNER'S INTENT.
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 106 SCHOOL LANE BLAKES BLVD/282 N/50 2820 LOT 2/4 OPT/2820	SHEET NUMBER: AS03 JOB NUMBER: 2020094 DATE DRAWN: NOV 2023 SCALE: 1:100 ISSUE: 4		
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FOR APPROVALS		CHECKED: PLAY			

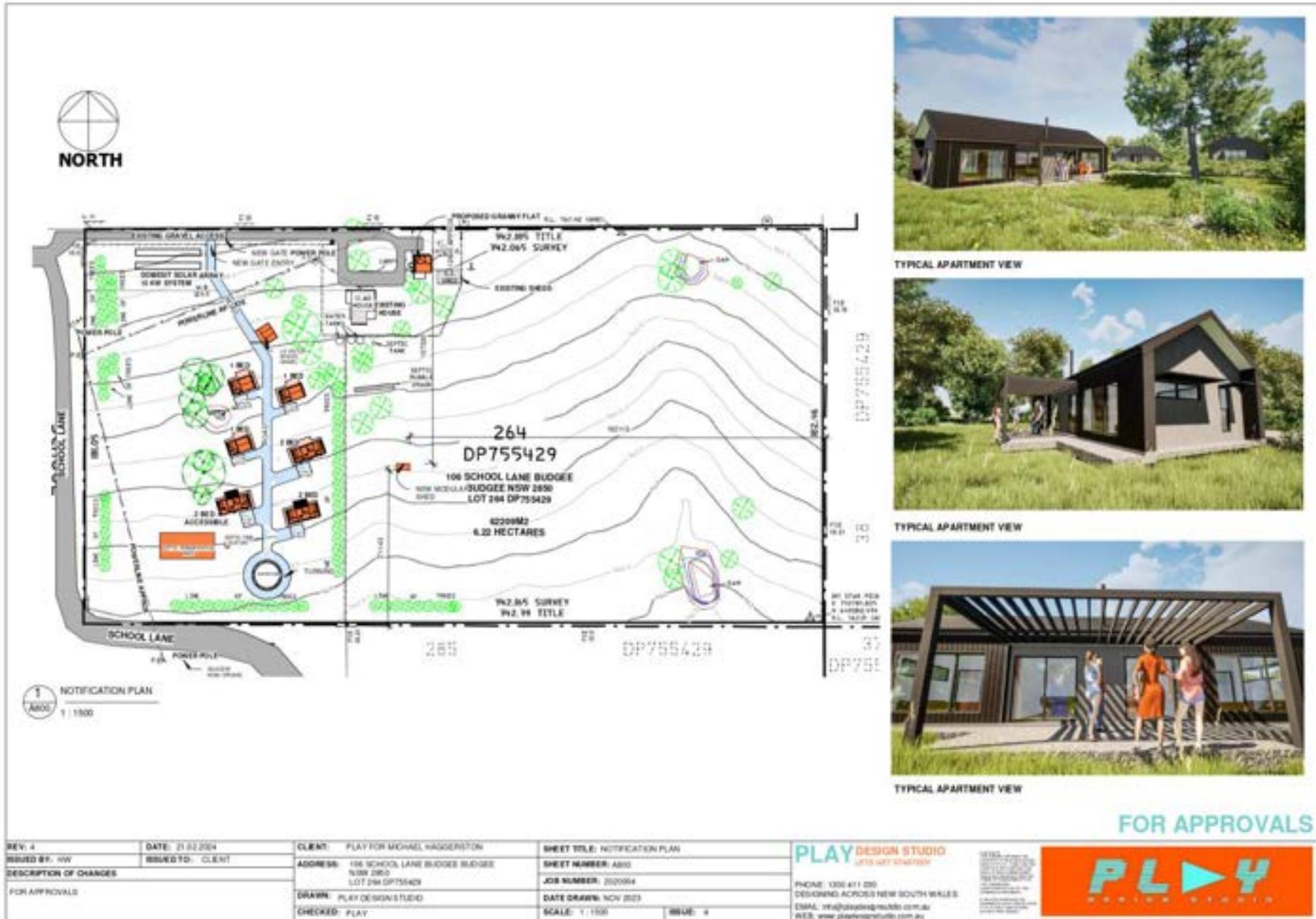


2 SHED VIEW 02
 AS04

1 SHED VIEW 01
 AS04

FOR APPROVALS

REV: 4	DATE: 21.02.2024	CLIENT: PLAY FOR MICHAEL WAGGERSTON	SHEET TITLE: SHED 305	PLAY DESIGN STUDIO LIFESTYLE SOLUTIONS PHONE: 1300 411 280 DESIGNING ACROSS NEW SOUTH WALES EMAIL: info@playdesignstudio.com.au WEB: www.playdesignstudio.com.au	NOTES: ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED. ALL MATERIALS AND FINISHES TO BE CONFIRMED WITH CLIENT. ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. ALL WORK TO BE COMPLETED TO THE SATISFACTION OF THE CLIENT.
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 106 SCHOOL LANE BUDDOS BUD-DEE NSW 2810 LOT 214 DP735429	SHEET NUMBER: AS04 JOB NUMBER: 2020004 DATE DRAWN: NOV 2023 SCALE: 1:50 ISSUE: 4		
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO			
FOR APPROVALS		CHECKED: PLAY			



TYPICAL APARTMENT VIEW



TYPICAL APARTMENT VIEW



TYPICAL APARTMENT VIEW

FOR APPROVALS

REV: 4	DATE: 21.02.2024	CLIENT: PLAY FOR MICHAEL WAGGERSTON	SHEET TITLE: NOTIFICATION PLAN
ISSUED BY: HW	ISSUED TO: CLIENT	ADDRESS: 106 SCHOOL LANE BUDGEES BUDGEES NSW 2850 LOT 204 DP755429	SHEET NUMBER: A800
DESCRIPTION OF CHANGES		DRAWN: PLAY DESIGN STUDIO	JOB NUMBER: 20200044
FOR APPROVALS		CHECKED: PLAY	DATE DRAWN: NOV 2023
			SCALE: 1:1500
			ISSUE: 4

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STATEMENT OF ENVIRONMENTAL EFFECTS

PROPOSED SERVICED APARTMENTS, SHED & GRANNY FLAT

106 SCHOOL LANE BUDGEE BUDGEE NSW 2850

LOT 264 DP755429

APPLICANT: HUGH WALKER

PREPARED BY: PLAY DESIGN STUDIO

FEBRUARY 2024

CONTENTS

INTRODUCTION

SUBJECT SITE AND LAND

DESCRIPTION OF PROPOSAL

PLANNING CONSIDERATIONS

CONCLUSION

INTRODUCTION

This statement of environmental effects accompanies a development application for 6 x new relocatable serviced apartments, granny flat and shed at **106 School Lane Budgee Budgee NSW 2850**

It is intended to elaborate, where necessary, on aspects covered in the drawings as well as to provide additional information where required. The information following is provided to detail the merit of the above development in relation to the objective performance criteria and provisions set out in the Mid Western Council Development Control Plan, Relevant state environmental planning policies and the local environmental plan. It also provides an assessment of the likely environmental impacts in accordance with Environmental Planning and Assessment Act 1979.

DISCUSSIONS WITH MID WESTERN REGIONAL COUNCIL

Mid-Western Council Duty Planner was contacted in early November 2023 to discuss the project and planning requirements.

The Duty Town Planner confirmed.

- Building entitlement is on the site from the 1980s
- 6 Serviced apartments is the maximum allowable on site
- Each apartment would need a kitchen/laundry/bathroom facilities
- Potential bushfire report needed due to grasslands.
- Septic tank system required
- 1 x main residence, 1 x Granny flat and 6 x serviced apartments. (Tourist accommodation)

MID WESTERN REGIONAL COUNCIL LEP DEFINITIONS

serviced apartment means a building (or part of a building) providing self-contained accommodation to tourists or visitors on a commercial basis and that is regularly serviced or cleaned by the owner or manager of the building or part of the building or the owner's or manager's agents.

Note—

Serviced apartments are a type of *tourist and visitor accommodation*—see the definition of that term in this Dictionary

tourist and visitor accommodation means a building or place that provides temporary or short-term accommodation on a commercial basis, and includes any of the following—

- (a) backpackers' accommodation,
- (b) bed and breakfast accommodation,
- (c) farm stay accommodation,
- (d) hotel or motel accommodation,
- (e) serviced apartments,
but does not include—
- (f) camping grounds, or
- (g) caravan parks, or
- (h) eco-tourist facilities.

SUBJECT SITE AND LAND

The subject site is located at **LOT 264 DP755429 – 106 School Lane – Budgee Budgee** The locality of the site is depicted in **Figure 01** and **Figure 02**.

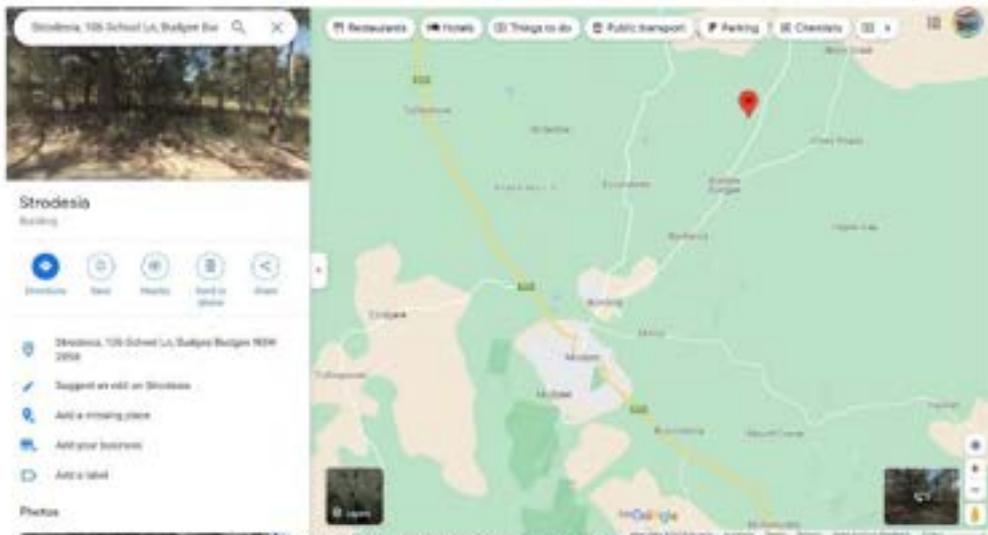


Figure 1 - Site Location – Budgee Budgee NSW



Figure 02 – Satellite Image

The proposed development site is a large R5 Zoned rural land holding that is located to the north of Mudgee NSW.

The site itself has an existing approved residence and associated out buildings. There is an existing granny flat associated with the main residence on the site. The new owner has bought the property recently and is unsure of the approvals for the granny flat. The new owner will seek any formal council approvals and pay any relevant fees for the formal approval and assessment of the existing granny flat. The existing granny flat is approx 20-30 years old.

The site is approx. 60 hectares and a majority cleared grazing land.

There are minimal trees on site. Trees border the School Lane and there is also a centrally located cluster of trees. The developed site area has a small group of trees that will be retained.

There is existing site access to the northwest of the site that leads to the existing residence. This is accessed off School Lane. A new access point is proposed to the south for the new apartments.

There is a minimal fall across the site area with a slope running from the north to the south.

There are no major easements or services running through the site.

There is no bushfire mapping on the site, there are no flooding issues, there are no major environmental zonings on the site.

Bushfire and grass fire has will be taken into consideration in building design to minimise any potential risk.

The development site area requires very little work to accommodate the proposal, minimising impacts on the site and wider context.

The site has access to power and phone. There is no water or sewer on the site and a section 68 application would be required for a new septic tank system to operate.

School lane is a quiet rural road/faneway and has a bitumen seal, providing excellent all-weather access to and from the site.

The site has a beautiful rural outlook and provides a great opportunity and location for visitors to utilise serviced apartment style accommodation.



Figure 03 – Existing access off School Lane to main residence.



Figure 04 – Photo showing southern area of site to the south.

DESCRIPTION OF PROPOSAL

This DA is being lodged to gain approval for the below listed items to occur on **LOT 264 DP755429 – 106 School Lane – Budgee Budgee**

Changes include

1. 6 x new serviced apartments consisting of living areas, kitchen, laundry and bathroom
2. 1 x new relocatable shed on site.
3. Approval for existing 2 bedroom Granny flat on site – if not already approved.
4. New gravel access road
5. Septic tank system
6. Solar Power system - non-commercial residential for site.

The client/owner of the site wishes to construct 6 x new serviced tourist accommodation apartments on site consisting of 3 x 1 bed apartments and 3 x 2 bed apartments. The apartments are to be custom built on site of a high architectural quality with a strong rural architectural aesthetic.

Each apartment consists of an open plan living / bedrooms / kitchen area. There is also a laundry and bathroom.

Each apartment has its own private outdoor area to enjoy the rural surroundings. There is gravel carparking and footpath areas for all weather access.

The apartments will be framed and clad structures utilising concrete slabs. They will be clad in a simple area of timber and metal claddings.

Apartments represent modern rural Australian Architecture, simple elegant and bold forms in the landscape that have many traditional elements, details and maintain a similar bulk and scale to surrounding outbuildings and homes.

The dark colour will blend with the shadows and tree trunks of the surrounding eucalypts.

The apartments are accessed off a new access road which is part of the existing entry and accessway. No new crossovers or access to School Lane is required.

Gravel roadways link the apartments and provide all weather access for guests. 3 x visitor spaces are also provided on site.

Water for the site is provided via a large 160,000l rainwater tank which will be connected to all apartments. Roof water will be collected off the apartments.

A new septic tank system will be required to run the new apartments sewerage requirements. A section 68 application will need to be lodged with council for this approval.

1 x accessible apartment is provided to allow accessible persons to stay on site. This will have a designated accessible car space and facilities throughout.

The apartments are simply finished in a dark colour scheme to disappear into the landscape. They present a simple elegant modern Australian architectural character.



Figure 05 – Typical view of new apartment in landscape. Simple and bold elegant forms. The darker colour will help blend into the landscape.



Figure 06– Typical view of apartment. Metal cladding is complemented with charred timber cladding creating a subtle contrast. A pergola patio area adds cover/light and shadow to the façade. Windows to the north to take in good natural light and rural aspect.

In addition to the new serviced apartment the owner wishes gain approval for the existing granny flat on site. The owner bought the site with the existing granny flat included. The owner could not find any relevant approval documentation for this building/structure. The owner would like to gain any relevant approvals if required.

The existing granny flat structure is approx 20-30 years old and a simple residential / weatherboard structure with a gable roof. It has 2 bedrooms, living/kitchen and laundry.

It is also proposed to add additional landscaping to the site to provide additional interest and screening for the development and to surrounding neighbours.

Neighbours have been taken into consideration by moving the new apartments more centrally to site away from existing houses and adding more landscaping and screening. Utilizing the existing road access will reduce traffic issues on School Lane.

The proposal provides quality architectural tourist accommodation close to Mudgee in a rural setting which is considered highly appealing to tourist visiting the area and local wineries.

Additional accommodation is always beneficial in an area with a growing tourist population.

A new relocatable shed is also proposed to be placed on site. It is a small shed with a bathroom. It will be used for storage and a mud room style area for showering etc while doing farm related work and maintenance.

MATTERS FOR CONSIDERATION

The proposal has been assessed having regard to the relevant matters for consideration under the Environmental Planning and Assessment Act 1979. The Matters are assessed under the following sections.

ENVIRONMENTAL PLANNING INSTRUMENTS

Mid Western Regional Council LEP 2012

Mid Western Regional Council LEP 2012 applies to the subject site. The site is Zoned R5 I and the proposal is permissible with Councils consent.

Zoning : R5 Large Lot residential

ANY DRAFT ENVIRONMENTAL PLANNING INSTRUMENT

There are no draft environmental planning instruments relating to the proposal

ANY DEVELOPMENT CONTROL PLAN

Mid Western Regional Council DCP 2013



Property Report

106 SCHOOL LANE BUDGE BUDGE 2850



Property Details

Address: 106 SCHOOL LANE BUDGE BUDGE 2850
Lot/Section /Plan No: 264/-/DP755429
Council: MID-WESTERN REGIONAL COUNCIL

Summary of planning controls

Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

Local Environmental Plans	Mid-Western Regional Local Environmental Plan 2012 (pub. 10 -8-2012)
Land Zoning	R5 - Large Lot Residential: (pub. 21-4-2023)
Height Of Building	NA
Floor Space Ratio	NA
Minimum Lot Size	12 ha
Heritage	NA
Land Reservation Acquisition	NA
Foreshore Building Line	NA
Local Provisions	Refer to Clause 4.2A

Detailed planning information

State Environmental Planning Policies which apply to this property

State Environmental Planning Policies can specify planning controls for certain areas and/or types of development. They can also identify the development assessment system that applies and the type of environmental assessment that is required.

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)

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MID WESTERN REGIONAL COUNCIL DCP 2012

Provisions	Assessment	Compliance
5.1 CARPARKING		
Tourist accommodation and visitor accommodation	<p>1 Space per unit is provided</p> <p>6 spaces total for serviced apartments 3 x visitor spaces provided</p> <p>1 x accessible space provided for the accessible apartment.</p>	YES
Hours of operation	Apartments will operate 24 hours a day. Typically most vehicle use will be in the morning and evening.	YES
5.2 FLOODING	No flooding issues	YES
5.3 STORMWATER MANAGEMENT	<p>The proposed new serviced apartments each have a roof with gutters and downpipes/ Rainwater is collected from apartments and transferred via pvc piping to a 160,000-rainwater tank. Rainwater tank overflow is sent to an aggregate filled dispersion trench. Serviced apartments will utilise rainwater throughout.</p> <p>Gravel roads to be designed to move water off roadways.</p> <p>Earthworks and sediment control plan included in this development application.</p> <p>Existing granny flat has downpipes and s/w is sent to a gravel dispersion trench.</p> <p>New shed rainwater is sent via downpipes to a dispersion trench.</p>	YES
5.4 ENVIRONMENTAL CONTROLS		
	<p>No known aboriginal artifacts or sacred sites on development site.</p> <p>Site is not zoned bushfire</p> <p>Riparian and drainage line Environments are not affected by the proposed development.</p> <p>Pollution and waste from the development will be minimal and have minimal impact on the site. A waste management plan has been included in the development application.</p> <p>No threatened species identified on site.</p>	YES

	No known salinity issues on site.	
6 DEVELOPMENT IN RURAL AREAS		
6.1 DWELLINGS	Site is zoned R5 and has an area of approx. 6 Hectares. Setbacks from main frontage and access are 64m Side setbacks on secondary frontage are 35m	YES
6.4 Tourist Accommodation	Site has existing building entitlement and was checked by council town planner. Site has single dwelling permissible under the LEP 2012 Development is designed to suit the site, topography, natural features and access. 6 x serviced apartments are proposed. 1 x main residence being the existing residence. Approval for the existing granny flat associated with the main residence is also sort. Site is a rural area not urban area. Development has access to existing electrical connection and owner can install off grid solar power. A septic system is required and a section 68 application will be lodged. Each serviced apartment has car parking meeting council requirements. No major signage is proposed/	YES

CONCLUSION

The proposal satisfies the relevant matters for consideration under the Environmental Planning and Assessment Act 1979 and the provisions set out in the Mid Western Regional Council Development Control Plans Design Criteria and all relevant NSW State Government Planning Policy

In summary the proposed new serviced apartments are an elegant, simple and modern addition to the rural landscape of Budgee Budgee.

The apartments provide additional accommodation to people and visitors in the local context. They provide this in a relaxing rural location with minimal impacts on surrounding properties.

The serviced apartments comply with all relevant council and state government requirements.

The proposal will positively contribute to the local economy and community over a number of years.

The proposal has minimal impact on the site and local context.

The proposal provides quality architectural design and finishes that will create a high quality development that will further enhance the built character of the area.

The proposed apartments utilise simple colours, forms and materials that are typical in Australian rural architecture. They will have minimised impact in the landscaper coupled with new landscaping and screening.

The existing granny flat on site has been there for many years and had minimal impact on the site and context. The granny flat complements the main house and is well setback from neighbours and boundaries. A formal approval for this existing granny flat will stop further compliance issues for existing and future owners of the site.

The new small shed with bathroom will provide storage and amenity for people doing site work and maintenance.

We therefore suggest that proposal should be approved with any additional council input as required.



ACCESS AND DRIVEWAY ASSESSMENT

ACCESS AND SISD ASSESSMENT

106 School Lane Budgee Budgee NSW

IN ACCORDANCE WITH

Council's Access to Properties Policy & AS/NZS 2890.1

NK TRAFFIC
Consulting Traffic and Transport Engineers
P.O BOX 19
Beverly Hills
NSW 2209
Mobile: 0414550101
E-mail: traffic@nktraffic.com
Web: www.nktraffic.sydney

JULY 2024

Disclaimer

All attempts have been made to ensure that this report is correct at the time of printing. NK TRAFFIC disclaims any and all liability to any person in respect of anything or the consequences of anything done or omitted to be done in reliance upon the whole or part of this report. The author has relied on the Information, Designs and Surveys provided by the applicant and Structural Engineers assessment of the construction and driveway access. Reproduction printing or modification of the existing report can only be done with the permission of the author (NK TRAFFIC)

NK TRAFFIC

Access Assessment report – 106 School Lane Budgee Budgee

INTRODUCTION

NK TRAFFIC was commissioned by Play Studio Design Architects to prepare a traffic report for the designed access of the parking and driveway areas of the proposed development at 106 School Lane Budgee Budgee NSW.

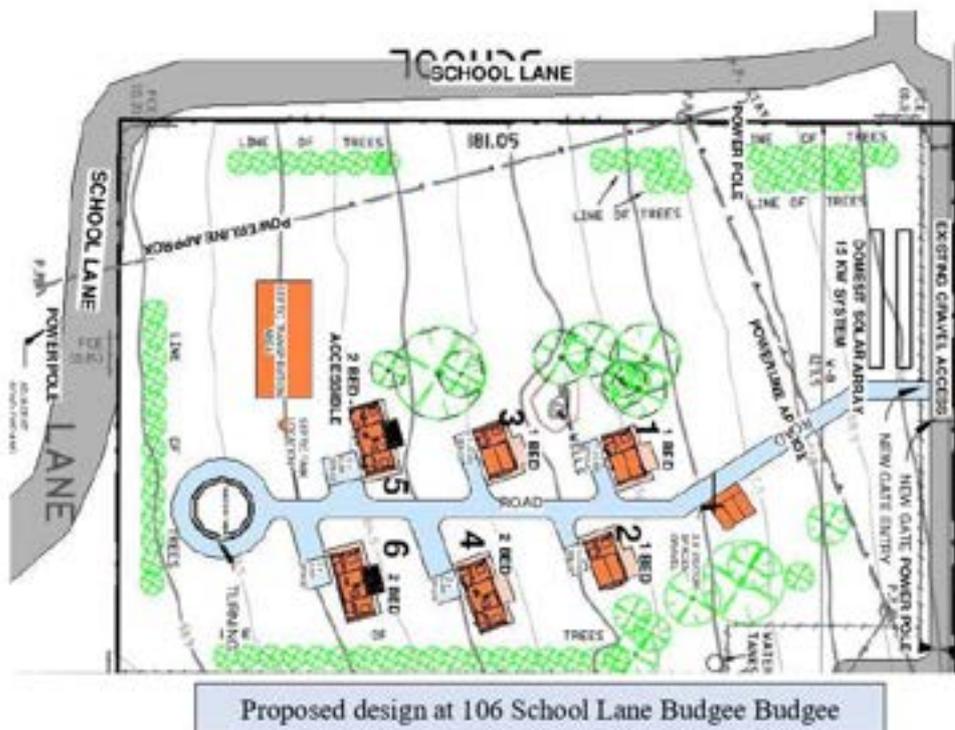
The planning controls at the site are:

The proposal includes multi – dwelling housing within a site 62209 m². The design includes six dwellings (3 x 1 bedrooms and 3 x 2 bedrooms).

LEP: Mid-Western Regional Local Environmental Plan 2012.

Land Zoning: R5 – Large Lot Residential.

The Design of the parking area, including the access areas and driveways are assessed in accordance with the provided drawing designs issued by Play Studio Design Architects.



The following has been considered to determine compliance with AS/NZS 2890.1-2004, AS/NZS2890.1:2004, AS 2890.2, AS 2890.6 and the RMS Guide to Traffic Generating Developments.

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Access Assessment report – 106 School Lane **Budgee Budgee**

Council has provided the following comments to the applicant:

A report from a practicing professional engineer is to be submitted that demonstrates that the proposed access achieves compliance with SISD requirements as per Austroads Guide to Road Design (Unsignalized and signalized intersection part 4A) and Councils Access to Properties Policy. Access to Properties Policy Mid-Western Regional Council (nsw.gov.au)

Council’s Access to Property Policy

Council’s Access to Property Policy states the following objectives:

To ensure that accesses to private property are constructed to a uniform, practical and safe standard such as will protect roadside drainage, services in footpaths, pedestrians and the travelling public.

The policy aims to assist Council in achieving Theme 4, Goal 4.1 of the Community Plan, ‘Connecting our Region High Quality Road Network that is Safe and Efficient’

Council provides the following advice related to sight distances in accordance with Council’s Access to Properties Policy:

Access to rural properties is to be constructed at a location such as to provide adequate sight distances, so that road users can see vehicles entering or leaving access in time to brake or take evasive action. Council staff will provide advice, and if necessary, on-site inspections, on the location of proposed accesses.

Intersection Sight Distance

Austroads Guide to Road Design Part 4A: Unsignalized and Signalised Intersections provide guides to determine safe intersection sight distances (SISD). The following table provides SISD in accordance with the Design Speed along the road frontage.

The safe intersection sight distance (SISD) corresponds to the following Design Speeds.

Design speed (km/h)	Based on safe intersection sight distance for cars ⁽¹⁾ $h_1 = 1.1; h_2 = 1.25, d = 0.36^{(2)}$; Observation time = 3 sec					
	$R_T = 1.5 \text{ sec}^{(3)}$		$R_T = 2.0 \text{ sec}$		$R_T = 2.5 \text{ sec}$	
	SISD (m)	K	SISD (m)	K	SISD (m)	K
40	67	4.9	73	6	-	-
50	90	8.6	97	10	-	-
60	114	14	123	16	-	-
70	141	22	151	25	-	-
80	170	31	181	35	-	-
90	201	43	214	49	226	55
100	234	59	248	66	262	74
110	-	-	285	87	300	97
120	-	-	324	112	341	124
130	-	-	365	143	383	157

Safe Intersection Sight Distance (SISD) and Speeds

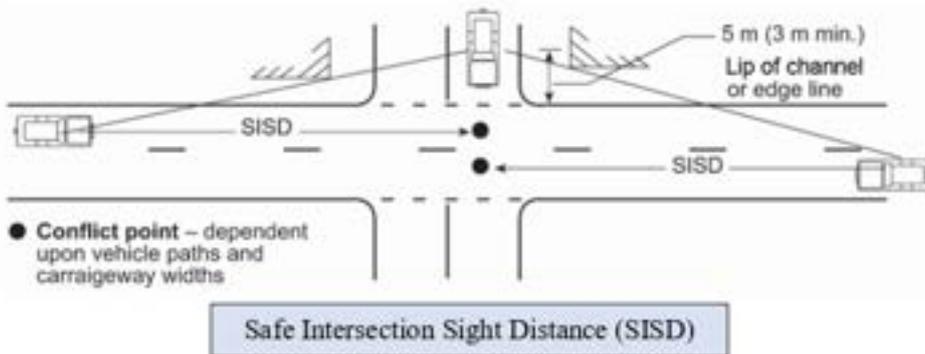


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Access Sssessment report – 106 School Lane **Budgee Budgee**

In addition to the site distance information provided by Austroads based on design speeds the following information is provided which examines the sight distance which applies to intersections and driveways which intersect with the road frontage.

The diagram below shows the Safe Road Intersection Sight Distance (SISD) in accordance with the Austroads Guide to Road Design Part 4A. The sight distance is measured from point 1.1 m (driver’s eye height) to a point of 0.65 m (object height – typically a vehicle indicator light) above a travelled way.



The intersection where the development’s driveway meets with the main road is assessed below based on the above Austroads Guidelines and standards.

SIGHT DISTANCES AT THE ROAD SITE FRONTAGE

The sight distances are examined at the designed access point located at the northern side of the property for both the unpaved (gravel) access road and examining the site distance and speeds for the paved road leading to the access road.



Frontage Roads at along the site



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Access Sssessment report – 106 School Lane Budgee Budgee

The swept path has been analysed to determine whether the vehicles can turn into and out of the property in a safe manner. The swept paths are shown at the proposed site’s driveway using the Austroads templates.

The following swept path drawings show vehicles exiting the driveway and vehicles entering the driveway. The illustration shows that using the 6-metre width of the gravel road is adequate, to allow vehicles to enter and exit the proposed design in a practical manner.

The site distance along the road frontages along the site is adequate and provides a safe site distance for vehicles to enter and exit the site in a safe manner.



Swept paths at the access driveway

The sight distance is more than 50 m on each side of the proposed driveway. The access driveway is located with adequate entering sight distance to traffic on the frontage road. Clear sight lines are provided at the property line ensuring adequate visibility between vehicles leaving the car parking at the road frontage.



SISD distance shown at the driveway frontage

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Access Assessment report – 106 School Lane Budgee Budgee

Site lines along road frontages

The following sites lines have been checked in accordance with Austroads Guidelines.



Speed Analysis
All values shown in km/h

Average speed	Median speed	85th% speed
40.13	39.70	43.47
40.03	40.10	43.84

Compass IoT speed data.

Average, Median and 85% Speed

The speed data at the front of the road leading to the new access is approximately 43 km/h as seen in the speed survey using Compass connected vehicle data technology. These are low speeds and there is a clear line of site from the entry gate to both approaches of the paved road.

The above assessment indicates that there is a Safe Intersection Site Distance (SISD) for vehicles manoeuvring in and out of the proposed access of the designed driveway and for vehicles travelling along the paved roadway leading to the access laneway.

SOUTH ACCESS ASSESSMENT (Potential location)

The south access has been considered for the purpose of investigating the sight distances as this is a potential for future access assessment.

The site distances at a potential driveway access point are in excess of 60 metres to the east and approximately 30 metres to the west. To achieve the SISD to the west of the exit 4 – 5 trees located west of the driveway requires to be trimmed. This will allow Safe Intersection Sight Distance (SISD) for both sides of the intersection.

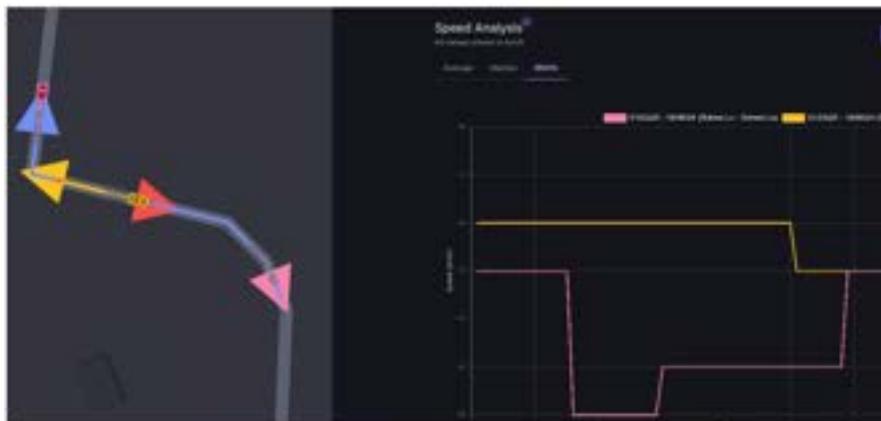


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Access Ssessment report – 106 School Lane Budgee Budgee



The access and manoeuvring areas have been assessed in relation to vehicles entering and exiting the site at the south side of the property. Swept paths have been applied to the plans to assess how vehicles can enter and exit in a forward direction in a safe and practical manner.



Speed Chainage at the site's frontage

Speed Analysis[®]
All values shown in km/h

Average speed	Median speed	85th% speed
40.13	39.70	43.47
40.03	40.10	43.84



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Access Ssessment report – 106 School Lane **Budgee Budgee**

The vehicle operating speed is very low due to the narrow width of the road pavement. Traffic counts (Compass IoT surveys) that were undertaken at the site's frontage showing low speeds.

The sight distances at the location of the driveway indicate that with a site distance on the east side of more than 60 m and with some tree removal on the western side, a new driveway would comply with the Austroads SISD guidelines.



SISD distance shown at the south side of the property

ON SITE PARKING CONSIDERATION

The development's designed parking area, access and driveway has been assessed.

The manoeuvring parking swept paths have been applied from the provided Architectural Design and been assessed as per AS 2890.1 – 2004.

Internal Driveway, Parking and Manoeuvring

The access driveway, parking area and manoeuvring areas are also assessed and as per the designed plans. The existing gravel road access driveway on the north side of the property is the access road leading to the new site's driveway. The applied swept paths indicate that vehicles can enter and exit the driveway in a safe way.

Access and Manoeuvrings area

The driveway, access and manoeuvrings areas are compliant and in accordance with AS 2890.1 - 2004. Vehicles can enter the site, enter forward and/or reverse into the parking spaces and exit the site in a forward direction.

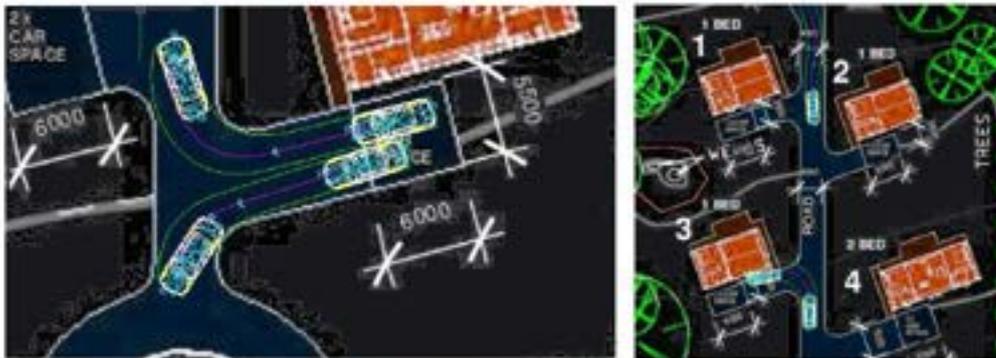
The following design of the swept paths illustrate that vehicles can enter and exit the parking bays in a practical and safe manner.

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Access Ssessment report – 106 School Lane Budgee Budgee

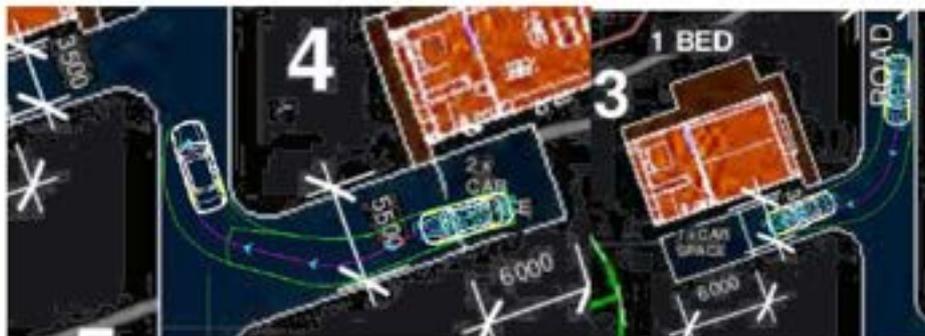


Swept paths within the site in accordance AS 2890.1



Swept path Passenger Car

The parking spaces are at 3.5 minimum and the double-parking spaces 4 m wide circulation accessway. These dimensions are in accordance with the Australian Standard for parking Facilities AS 2890.1:2004.



Swept path Passenger Car AS 2890.4



NK TRAFFIC

Access Ssessment report – 106 School Lane Budgee Budgee

CONCLUSION

NK TRAFFIC was commissioned by Play Studio Design Architects to prepare a traffic report to assess the designed driveway access of the proposed development at 106 School Lane Budgee Budgee NSW.

The access to the designed driveway parking area is assessed in accordance with AS/NZ 2890.1 – 2004, Council’s policy in achieving Theme 4, Goal 4.1 of the Community Plan, ‘Connecting our Region High Quality Road Network that is Safe and Efficient’

The vehicle operating speed is very low due to the narrow with of the road pavement. Traffic counts (Compass IoT surveys) that were undertaken at the site’s frontage showing low speeds. The sight distances at the location of the driveway indicate that they comply with the Austroads SISD guidelines.

The access driveway, parking and manoeuvring areas are assessed as per the designed plans. The existing gravel road access driveway on the north side of the property is the access road leading to the new site’s driveway. The swept paths indicate that vehicles can enter and exit the driveway.

The access, servicing and internal layout is in accordance with AS 2890.1:2004. The access driveway, parking area and manoeuvring areas are also assessed and as per the designed plans. The applied sinternal swept paths indicate that vehicles can enter an dexit the parking bays in a safe and practical matter.

The south access has been considered for the purpose of investigating the sight distances as this is a potential for future access assessment. The access and manoeuvring areas have been assessed in relation to vehicles entering and exiting the site at the south side of the property. Swept paths have been applied to the plans to assess how vehicles can enter and exit in a forward direction in a safe and practical manner.

The assessment of the proposed north and the potential future driveway on the south site indicated that the designed parking access and driveway areas are in accordance with the above Australian Standards.

In conclusion, the design of the proposal at 106 School Lane Budgee Budgee NSW been assessed and complies with AS/NZ 2890.1 The proposed access achieves compliance with SISD requirements as per Austroads Guide to Road Design (Unsignalized and signalized intersection part 4A) and Councils Access to Properties Policy.

NK TRAFFIC

Traffic and Transport Consultants

Nick Karahlis

Director

Sen. Traffic and Transportation Engineer

MEng. Sc (UNSW)

Date: 5.07.2024

NK TRAFFIC
 Access Assessment report – 106 School Lane Budgee Budgee

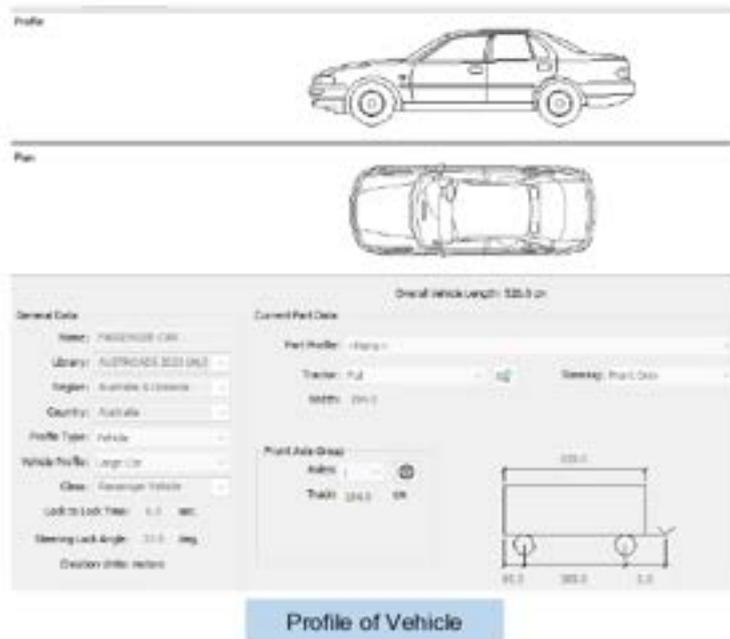
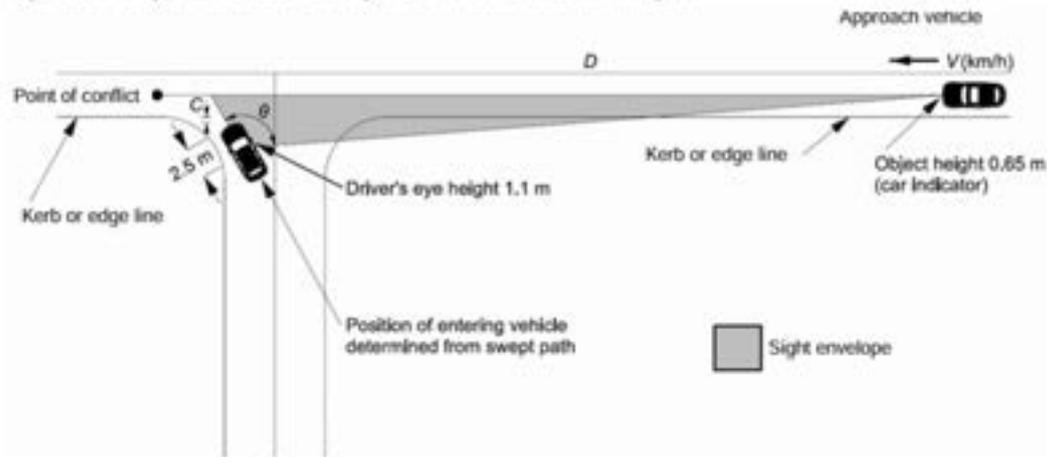


Figure 3.6: Sight distance to a through vehicle from a vehicle turning left



Sight distance standards
 Guide to Road Design Part 4A: Unsignalized
 and Signalized Intersections



NK TRAFFIC

Access Assessment report – 106 School Lane Budge Budge

	POLICY		<i>A progressive and progressive community</i>
	ACCESS TO PROPERTIES		
	ADOPTED	VERSION NO 2.6	
COUNCIL MEETING 21423	REVIEW DATE DECEMBER 2027	FILE NUMBER RDA/80072 DEV/10613	
DATE 13 DECEMBER 2023			

Objective

- To ensure that accesses to private property are constructed to a uniform, practical and safe standard such as will protect roadside drainage, services in footpaths, pedestrians and the travelling public.
- This policy will assist Council in achieving Theme 4, Goal 4.1 of the Community Plan, "Connecting our Region High Quality Road Network that is Safe and Efficient"

Policy

An access to property is to be constructed to the same standard as the road to which it abuts and complies with Council's requirements as detailed in the standard drawings available from Council.



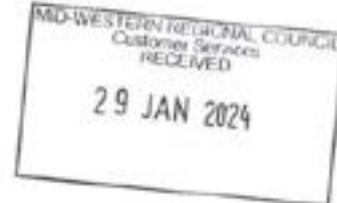
Site Analysis Plan



29 January 2024



General Manager
Midwestern Regional Council
Council Chambers
86 Market St
Mudgee NSW 2850



Dear Sir,

This is an objection to Development Application DA 0196-2024 for the development described as 6 x new serviced apartments, new water tank, new septic tank system, new access road, new road opening, new cabanas. The development is proposed for the property at 106 School Land, Budgee Budgee ("the development site").

The objection is by [REDACTED] My wife [REDACTED] and I own and live on a property which neighbours the proposed development. [REDACTED] works in early childhood education and I am retired.

The Budgee Budgee locality in which we live comprises large lot residential development with adequate distance between houses to give privacy and allow residents to use their land without unreasonably interfering with others.

To bring 6 additional studio apartments onto the development site will introduce pressures of additional people congregated in a small area on the 6-hectare block. The development site already has a house and secondary dwelling/granny flat both located near the northern boundary.

The 6 serviced apartments are all to be placed in the southwestern corner of the development site, away from the houses on and closer to our house than the main house on 106 School Lane.

This, in effect, places 6 additional dwellings in a location which [REDACTED] and I could never have expected that there would be so many buildings. In addition, there will be the infrastructure of water tank, roads and what must be going to be a very substantial septic tank system to cope with the pressure of those 6 dwellings.

The units are accommodation for 2 people in each and the expectation must be that they will all be occupied for most of the time. The number of occupants bring with them the pressure of human waste to be disposed of, including septic disposal, solid and other waste disposal.

There will be noise and traffic and waste disposal of 6 dwellings where we and the remainder of the locality would not have expected any dwelling to be. This is going to change the character of the area in an unreasonable way and be destructive of the existing lifestyle.

There will be additional storm water runoff which would never have been expected.

The plans show that there will be downpipes from the roof area to be piped to the rainwater tank. The shade sails and all of the additional hard stand areas, which are not part of the roof area, will simply deliver uncontrolled run off.

With oil and other deposits on hard surfaces, the stormwater will take those contaminants and all other contaminants from the septic spray area, and head down the natural slope of the land towards Budgee Creek and the Eternal Spring on School Lane.

We are concerned that the effluent treatment system could contaminate groundwater and stormwater runoff, eventually making its way into Budgee Creek and the Eternal Spring.

The Eternal Spring is used by locals for a water supply and is directly downhill from the proposed development. The locality is largely granite-based below the topsoil and the natural spring shows that there is flowing underground water.

We are concerned that this water supply may become contaminated from the effects of the proposed development, and there is no study that has been provided which addresses the impact of stormwater and effluent.

The whole idea of the proposed development of "serviced apartments for tourist and visitor accommodation" in this location appears strange. I do not know what planning studies would suggest Budgee Budgee as a tourist accommodation location.

I note that the application is made on behalf of Hunter Solar Pty Ltd. I understand that Hunter Solar has contracts with the Stubbo Solar Farm near Gulgong. This relationship and, from discussions that I have had with people associated with the development site, lead me to believe that the development is to be for workers associated with solar infrastructure developments being undertaken by Hunter Solar in this region.

The unsatisfactory impact of this proposed development is made all that much more serious as, it not only has the impacts referred to above, but it has the added problems associated with temporary workers' camps. The social and behavioural effects which come with such camps appear to be well reported. We understand that Council has in the past expressed its own concerns about temporary workers' camps.

The fear that these are really accommodation units for workers is reinforced when I look at the plans for the units. The units do not appear to me to be particularly attractive for tourists and visitors in their style and orientation on the land. I cannot see how someone coming to the location for recreation would be attracted by a unit with no windows on the northern side and a carport to look at on the other side.

██████████ and I have been so concerned about the proposed development that we engaged ██████████ ██████████ Accredited Specialist in Local Government and Planning Law, to advise. Mr ██████████ addresses legal aspects in his advice, a copy of which is included as part of this objection.

We ask Council to pay careful attention to those legal aspects as it appears that, in the event that Council was to grant a consent to this development, that it would be committing a serious legal error. Approval of the proposed development would degrade this locality forever.

Thank you for the opportunity to bring these matters to Council's attention.

Yours faithfully,

██████████



Paul Crennan BEc LLB Accredited Specialist Local Government & Planning Law



29 January 2024

Our Ref: PLC:cg 24003
Your Ref:



By Email Only: 

Dear

RE: OBJECTION TO DEVELOPMENT APPLICATION - DA 0198/2024

We have been asked by you to review the Development Application DA 0198/2024 - Proposed 6 x Serviced Apartments ("the DA") lodged with Mid-Western Regional Council by Hugh Walker on behalf of Hunter Solar Pty Ltd.

The development is proposed for Lot 264 DP 755429, located at 106 School Lane Budgee Budgee.

The documents on exhibition for the DA comprise:

- Pre-Lodgement Application Form
- Statement of Environmental Effects prepared by Play Design Studio November 2023
- Plans referred to in Drawing Schedule¹ below:

Sheet Number	Sheet Name
A000	COVERPAGE
A001	SITE SURVEY
A002	SITE ANALYSIS PLAN
A003	WASTE MANAGEMENT PLAN
A004	EARTHWORKS AND SEDIMENT CONTROL PLAN
A100	SITE PLAN
A101	FLOOR PLAN
A102	ROOF PLAN
A300	EXTERNAL ELEVATIONS
A301	EXTERNAL ELEVATIONS
A302	TYPICAL CABANA DETAILS
A400	SECTIONS
A500	3DS
A501	3DS
A800	NOTIFICATION PLAN

¹ The Plans identified with strikethrough are not part of the exhibition material online.

The Development as Proposed

The proposed development is described in the documents as Tourist and Visitor Accommodation - Serviced Apartments. The Statement of Environmental Effect ("SEE") states that six factory-built apartments are to be delivered to the site by truck and fixed to footings². Access roads, septic tank system, water tank and a new road opening are included.

The documents on exhibition do not include a floor plan of the proposed serviced apartments. We are therefore reliant for the layout of the apartments upon the SEE which sets out that:

*"Each apartment consists of an open plan living/bedroom/kitchen area. There is also a laundry and bathroom."*³

The front and rear view of the apartments are depicted in the plans Figure 05 and Figure 06⁴. These views show a deck at the front and a carport with shade sails at the rear. A separate roof and sunshade is to be constructed over the deck and the apartment structure.

The Plans show that depending on their location, the front of each of the apartments is to be oriented either to the northeast or to the northwest with the carport on the opposite side at the rear.

There are no windows in the front wall of five of the proposed apartments.⁵ Only the apartment identified as "accessible unit" has a single window in the front wall.⁶

Concerns

You are concerned regarding the impact of the proposed development in the locality and that what is proposed is not for serviced apartments but that properly understood it is, for something else.

The DA identifies that it is made on behalf of Hunter Solar Pty Ltd. You instruct us that Hunter Solar has contracts with the Stubbo Solar farm near Gulgong.

You believe that by the nature of the proposed structures and from conversations that you have had with persons with knowledge of the development that it is intended to house workers associated with solar farm projects in the region. This suggests therefore that the development is not for serviced apartments as a type of tourist and visitor accommodation.

If the use is as it appears to be for temporary workers' accommodation, you are concerned about the social impacts of such types of accommodation and the impact upon the locality and your nearby home.

There is no infrastructure in the Budgee Budgee location to support development for workers staying in a drive in/drive out capacity.

² SEE p 7

³ SEE page 7.

⁴ SEE page 8.

⁵ External Elevations Sheet Number A301 and amongst others (Sheet 3DS, Sheet Number A500)

⁶ External Elevations Sheet Number A300

Analysis

The applicant for consent has asserted in the DA that the development is for serviced apartments. There is, however, no information contained within the documents available on exhibition that show the elements which are necessary to enable them to qualify as serviced apartments.

The definition of serviced apartment in the Mid-Western Regional Local Environmental Plan 2012 (as it is adopted from the Standard Instrument Local Environmental Plan) ("the LEP") is as follows:

*"serviced apartment means a building (or part of a building) providing self-contained accommodation to tourists or visitors on a commercial basis and that is regularly serviced or cleaned by the owner or manager of the building or part of the building or the owner's or manager's agents."*⁷

There is no evidence of regular "servicing" as that term is understood in the delivery of tourist and visitor accommodation⁸ or cleaning by the operator.

To consider its permissibility under the LEP it is necessary to characterise the development and to measure off the use which is proposed against the land use table of permissibility in the LEP for the zone in which the land is located.

In characterising development it is necessary to start with an understanding of the proposed development in terms of its various features. This reflects what Justice Tobias in the NSW Court of Appeal identified in Agostino and Another v Penrith City Council (2010) 172 LGERA 380 as:

"What one is required to do is to identify the proposed development and then to determine whether it falls within the description of that which (the relevant clause of the LEP) makes permissible with consent" (para 46).

In Chamwell v Strathfield Council (2007) 151 LGERA 400 Justice Preston described characterisation of development as follows:

"The characterisation of the purpose of a development is an essential task for any consent authority in exercising the power to determine a development application. That task involves, largely, questions of fact and degree although it can also involve questions of law including determining what is the proper interpretation of relevant environmental planning instruments and of the nominate purposes of development. It is a task that consent authorities both at first instance, mainly councils, and on appeal in this Court must undertake on a daily basis."

Characterisation of development is the determination of a jurisdictional fact which does not turn on the opinion of the consent authority Woolworths Ltd v Pallas Newco Ltd & Anor [2004] NSWCA 422 at [62]. The characterisation is not just the opinion of somebody, it is the purpose to which the use is to serve when the development as proposed, is properly understood.

If the characterisation of development is made incorrectly by Council that renders a consent subject to challenge Woolworths v Pallas Newco at [85], [86].

⁷ Serviced apartments are a type of *tourist and visitor accommodation*.

⁸ Supply of linen and towels, making of beds etc

It is not therefore for the applicant to determine the characterisation, it is for Council as the consent authority, to do so based on what is set out in the Application before it.

It is not enough for the applicant to assert that the development is for serviced apartments. A proper understanding of the DA and the correct application of the law by Council is needed to enable the characterisation of the development to occur and thereby to establish if the development is permissible or not.

Opinion

In our opinion the development when properly analysed, on the material provided, is not established as being for serviced apartments.

If the development is otherwise tourist and visitor accommodation it is prohibited.

If the development is temporary workers' accommodation it is not permitted by the application of Mid-Western Regional Development Control Plan 2013 ("the DCP").

Understanding therefore that the characterisation of the use starts with a proper analysis of the development application and its supporting documents it is readily apparent that:

- Use as "serviced apartments" is unsupported. Services and regular cleaning as could potentially qualify that use are not established.
- There is no evidence which would indicate that the accommodation is of the nature of tourist and visitor accommodation in the sense of that overarching use of which serviced apartments are a subset.
- The design of the buildings does not display desirable accommodation for tourists and visitors as is evidenced by:
 - o The absence of windows on the front/northern side.
 - o Such windows as they are on the southern side look onto the carport under the shade sail.
 - o The general appearance of a "donga" of the kind which is accommodation commonly associated with mining and other infrastructure projects.
- The orientation of the buildings is not to capture any vista and thereby be attractive to tourists and visitors.

Temporary worker's accommodation is referred to in Part 6 of the DCP. Accommodation of that kind is, according to the DCP to be located within 5 kilometres of a mine to which the development relates or in any other case to be within 5 kilometres of the large-scale infrastructure in which persons are to be employed.

We note that this development falls outside any such location and would by the DCP not be permitted on the subject land.

The only basis upon which the development of the 6 apartments and associated works could be approved by Council is if the development can be properly characterised as serviced apartments.

There does not appear to be any use identified which could support a permissible consent for the subject development.

It is not your task to promote some other form of characterisation. It is sufficient to identify that the use of serviced apartments is not demonstrated by the DA.

In our opinion the proper characterisation of the development means the DA must be refused by Council.

Failing a refusal, Council will, in our opinion, fall into jurisdictional error in relation to which a challenge under Section 9.45 of the Environmental Planning and Assessment Act would be likely to succeed.

We note that you have specific objections to the adverse environmental impact which you anticipate will occur if the development goes ahead. We note that you will make such representations to Council.

In making those representations you may wish to provide Council with a copy of this letter to set out for Council the legal issues which we have identified for you.

Also, in your submissions you may wish to direct Council's attention to its concerns expressed in the past about issues associated fly in/fly out and drive in/drive out workers. This proposed development is of a relatively smaller scale, however, nonetheless it is likely to be fraught with many of the issues involving workers who are remote from home and family.

We would be pleased to provide such further advice as you may require.

Yours faithfully
CRENNAN LEGAL



Paul Crennan
Legal Practitioner Director
Accredited Specialist Local Government & Planning Law

The General Manager

PO Box 156,

Mudgee NSW 2850

Dear Sir

I am writing to object to the Development Application – DA0198/2024.

I am an 86 year old retiree who has lived in the area for 45 years, the owner of two properties in School Lane [REDACTED]

My concerns are as follows:

I am concerned what this development will be used for as there are six supposed serviced apartments. Is this for tourism / visitors or is it for something else? The drawings of the proposed apartments do not match the structures that arrived the other day.

I am very concerned about contamination of the groundwater because sewage will almost certainly seep into the ground.

The devaluation of my property is another serious cause for concern if this proposal goes ahead along with the increased traffic it would cause.

I purchased the property that I live in for peace and quiet for my retirement.

Sincerely

[REDACTED]



23 January 2024



*The General Manager
Mid-Western Regional Council
PO Box 156,
Mudgee NSW 2850*

Dear Sir

I am writing this letter to complain about DA0198/2024.

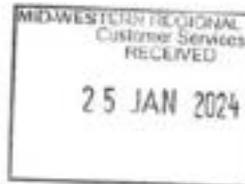
I am retired and this development is very unusual as it will upset the peace of our quiet rural area.

I do not think this is an appropriate development for this type of area.

The main reason for my concerns is the type and the amount of people that will be staying there as accommodation for work.

There will be more traffic and I am afraid for my security.





25 January 2024

The General Manager,
Mid Western Regional Council,

HAND DELIVERY

Re: **Development Application DA0198/2024 – 6 x Serviced Apartments @ Bushlands 106
School Lane Budgee Budgee NSW 2850 Lot 264 DP 755429
Consent Authority: Mid Western Regional Council
Applicant: Hunter Solar Pty Ltd**

We are the new occupants of [REDACTED] From entry gate to entry gate, our property is situated approximately [REDACTED] We moved into our new home on 04 December 2023 after paying a record price for property on School Lane.

After reading the development application for proposed works at 'Bushlands', we write to Council to strongly oppose the development. We were given a copy of your letter addressed to our neighbours, [REDACTED] dated 11 January 2024. We wonder why Council did not forward the same letter to our address? We will be directly impacted by the development, living in close proximity to the site. From our home we can already clearly see two of the dongas on the property. Six dongas are proposed along with other infrastructure, which we consider will be an eyesore to the rural outlook. The owners of Bushlands obviously have no regard for their neighbours or the Council approval process because work has already commenced on the site. We consider this to be disrespectful to the School Lane community.

We bought on School Lane for the quiet rural setting. If we had known we would potentially be living next door to a worker's camp, we would not have purchased in the area. We are quite concerned that this development will devalue our property. A worker's camp is not the outlook we want at our doorstep. The proposed development has dampened the excitement of finally owning our own parcel of land in Mudgee.

Road traffic will increase heavily out the front of our property. We have two primary school aged children who will be waiting outside our front gate early in the morning to catch the school bus throughout the week. We have concerns for their safety. School Lane is a treacherous stretch of road with multiple 'S' bends. In the short time we have resided here, we have already had unwelcome encounters with vehicles on our side of the road through the 'S's. Increased traffic will cause increased risk. Despite the severity of the corners, we don't believe the lane is speed limited, giving driver's free rein to accelerate to 100kmph. We have already witnessed some dangerous driving on School Lane. We would not like to see an incident on this road, particularly involving the school bus, two of which take this route twice daily during the school terms.

There is cause for concern of the manner of people who will be utilising the facilities. Many of the solar farm employees are immigrants, non-locals and short term contractors. Ultimately, they are

visitors to our community and will unlikely have the same values and respect for our quiet neighbourhood.

The placement of the cabanas and fire pit are directly facing in the direction of our front door. Post shift gatherings in this area will be disruptive to us and our neighbours. The proposed design encourages outdoor communal gathering. We are both shift workers, one working a rotating lifestyle roster, the other, weekend nights. Noise from the camp could jeopardise our sleeping patterns and will most certainly disturb the tranquil setting that it is presently.

The Small Batch Brewery is within walking distance from the proposed site. With not much else to do directly in the vicinity, we are concerned that visits to this establishment could lead to drunken behaviour, disrespect of property and compromise the safety of our family.

Most other industry work camps are located in close proximity to their work sites, not within residential areas. How is it that these big solar companies are getting away with not providing suitable accommodation for their employees prior to the commencement of their projects?

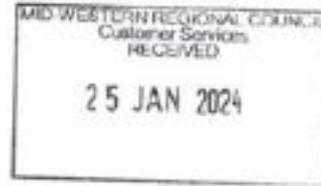
We do not appreciate and can see through the guise of the camp being portrayed as 'tourist accommodation'.

We hope that you will seriously consider our submissions and decline the proposed development. Having invested at a time when property prices are at a premium, we would be devastated to have a solar farm worker's camp devalue our land, invade our privacy and disturb our quiet lifestyle. Please, when considering this application we ask the question, would you like to live next door to an industry camp?

Yours faithfully

A large black rectangular redaction box covering the signature area.

25 January 2024



General Manager
Mid-Western Regional Council
Mudgee NSW 2850



I am writing with regards to:
DA 0198 Lot 264 DP 755429
106 School Lane
Budgee Budgee NSW 2850

I wish to make 3 Submissions to the current development application.

- 1) Fencing around the edge of the paddock the serviced apartments are in should be an extremely high colourbond. Reason: Contain the noise, keep guests from wandering on neighboring properties.
- 2) Fire hydrants placed around the property including a water tank/tub on a trailer with a petrol pressure pump. Reason: Fire ready. Not only is there a danger with the firepit but the surrounding bushland is thick and overgrown therefore is a danger to everyone.
- 3) School Lane speed limit should change to 60km/hour. Reason: School Lane is a short and very narrow lane. It is dangerous when 2 cars are passing each other and more so when trucks are passing cars. The apartments will attract more people to the Lane and more cars therefore slower speed will be safer.

From my perspective the above submissions relate to the safety and wellbeing of guests and surrounding landowners.

Yours sincerely,



Kind regards,
[Redacted]

[Redacted]

[Redacted]

12 March 2024

General Manager
Mid Western Regional Council
Mudgee NSW 2850

RE: DA 0198 Lot 264 DP 755429
106 School Lane
Budgee Budgee NSW 2850



I would like to make 5 submissions to the current development application.

- 1) Fencing around the edge of the paddock the serviced apartments are in, preferably very high Colourbond or security fencing. Reason: Contain the noise, keep guests from wandering on neighboring properties.
- 2) Fire hydrants placed around the property including a water tank/tub on a trailer with a petrol pump. Reason: Fire Ready. Bush fire or man-made fire. The surrounding bushland is thick and overgrown therefore a danger to everyone. The fire pit is not on the plans anymore, but I know it doesn't have to be.
- 3) School Lane speed limit should be changed to 40km/hour. Reason: The Lane is very short and narrow. No fog lines. Trucks and School Buses are using School Lane. Many cars use it coming from Blacksprings Road, Ulan Road and beyond. Some car users already abuse the safety of others. More people, more cars – safer at slower speeds.
- 4) Has there been an impact study done on the septic system that is going to be used? The overflow will be going into our groundwater, and we are concerned about the public spring and small waterways that could be affected.
- 5) Our home and land valuation will not doubt be affected. We are so close to the cabins. The cabins are so close to many landowners. Congestion is formidable. It would be better built in town to utilize the infrastructure and services already established. You would be turning a sleepy Lane into a Tourist Park. What's to stop the owner from building more. Where is the limit.

From my perspective the above submissions relate to the safety and wellbeing of the guests and landowners of School Lane.

Yours sincerely



Danelle Pike



CrennanLegal

Paul Crennan BEc LLB Accredited Specialist Local Government & Planning Law

12 March 2024

Our Ref: PLC:lka:24003

Your Ref:

Mr G Oakhill

[REDACTED]

[REDACTED]

Dear Garth

RE: OBJECTION TO DEVELOPMENT APPLICATION FOR SERVICED APARTMENTS

We refer to our letter to you dated 29 January 2024, advising on legal issues with respect to DA 0198/2024, lodged with Mid-Western Regional Council (MWRC) by Hugh Walker on behalf of Hunter Solar Pty Ltd (the Developer).

You have instructed us that MWRC has re-notified the Development Application in relation to amended plans lodged on behalf of the developer.

Amended Plans

We have reviewed the amended plans and associated documents on the MWRC website.

We note that the proposed apartments have been re-located to the east of their previous location and on a single spine access road from the north of the property.

The apartments are now to be a mixture of 3 x 1-bedroom apartments (capacity 6 persons) and 3 x 2-bedroom apartments (capacity 12 persons). The style of the apartments is more permanent than the "re-locatable" apartments previously proposed.

The capacity of the proposed development has increased by 50% from 12 persons to 18 persons, when accounting for the 2-bedroom apartments.

A septic transpiration area is located in the south-western quarter of the development site. We note that such an area was not specifically identified on the previous plans. This location is



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Crennan Legal Pty Ltd
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90 Bentinck St
Bathurst NSW 2795

Tel 02 6331 2121
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Bathurst NSW 2795
info@crennanlegal.com.au

both closer to your property and to the sensitive water locations that you have identified as Budgee Creek and the Eternal Spring.

The orientation to the north of windows of the habitable rooms is a vast and obvious improvement to the design of the apartments, although the loss of shade structures for car spaces appears to be an unfortunate compromise.

We hold some concerns that the septic transpiration area may be moved even closer to the western boundary and therefore closer to your house. There is an inconsistency which shows the location of the septic transpiration area on the Site Plan (sheet number A100) but does not show it on the Landscape Plan (sheet number A005). The Landscape Plan shows “add new screen trees” in the location of the septic transpiration area.

Characterisation of the Development

The amended plans do nothing to address the critical question of characterisation of the development.

Mid-Western Regional Local Environmental Plan 2012 (the LEP) zones the subject site R5 Large Lot Residential.

Tourist and visitor accommodation is prohibited in the R5 Large Lot Residential zone.

Serviced apartments are a type of tourist and visitor accommodation so that without a specific permissibility would be prohibited.

Serviced apartments are by inclusion in the uses permissible with consent in the zone made permissible (with consent) in the zone. Specific permissibility of the species of development (serviced apartments) overpowers the general prohibition of the genus¹ (tourist and visitor accommodation).

It must be specifically established that the development is for serviced apartments as defined within the LEP otherwise the proposed development is prohibited.

The Land & Environment Court has had cause to consider serviced apartments in the decision of Griffani v Ballina Shire Council [2021] NSWLEC 1660.

In that decision, the Commissioner identified that there were two parts to the definition of serviced apartment.

The dictionary to the LEP contains the definition of serviced apartment from the Standard Instrument LEP².

“serviced apartment means a building (or part of a building) providing self-contained accommodation to tourists or visitors on a commercial basis and that is regularly serviced or

¹ As considered by the NSW Court of Appeal in Egan v Hawkesbury City Council [1993] 79 LGERA 321; and in Hawkesbury City Council v Sammut [2002] 119 LGERA 171.

² Definition of a Serviced Apartment is the same in the MWRLEP as applied in Griffani

cleaned by the owner or manager of the building or part of the building or the owner's or manager's agents".

Note—

*Serviced apartments are a type of **tourist and visitor accommodation**—see the definition of that term in this Dictionary.*

It is critical to consider the second part of the definition which is *"and that is regularly serviced or cleaned by the owner or manager..."*

The Court found in Griffani that the second part of the definition requires regular servicing or cleaning of the building, or part of the building, and that the definition connotes both a degree of regularity and a degree of service. (Judgment paragraph 35)

In aid of that approach the Court referred to the decision of Sherman v Newcastle City Council [2019] NSWLEC 1238. In Sherman the Commissioner was not satisfied that the proposed development was for serviced apartments because:-

1. Serviced apartment denotes a regularity of servicing (of which cleaning is one such service), that is not present in the application.
2. Placing of waste bins out for collection by the owner is not regular servicing.
3. Cleaning and servicing of the premises at the beginning and end of the hire period are a feature, or characteristic, of each of the remaining sub-set terms under the definition of tourist and visitor accommodation. Therefore, this form of cleaning is not a characteristic that distinguishes serviced apartments.
4. Serviced apartment denotes the provision of some services to the occupant, beyond the provision of accommodation. There needs to be evidence of proposed additional services, such as changing sheets, towels, and the provision of daily or on request cleaning.

Nothing in the material provided with the Development Application as notified or re-notified goes anywhere to establishing the critical element of *"regularly serviced or cleaned by the owner or manager"* which is required for this proposed development is to be characterised as being for serviced apartments.

In the absence of the application establishing, and not just saying that the development is for, serviced apartments, the application must be refused by Council as it is an application for development which is prohibited in the zone.

Applicant's Response to Objection

By letter dated 21 February 2024 Play-Design Studio responds to objections to the original development application in 8 numbered items and then as to key points which are set out under 'bolded' headings. None of those elements deal with the critical consideration of the characterisation of the development as would take it from prohibited tourist and visitor accommodation and establish it as serviced apartments as defined in the LEP.

The assertion is made that the owner of the property *"has no intention of using the site as workers (sic) accommodation"*. The applicant for development consent nevertheless remains Hunter Solar Pty Ltd, which appears to be inconsistent with such a statement.

You may find little comfort in the fact that the developer remains Hunter Solar Pty Ltd.

The Critical Issue of Characterisation³

To consider its permissibility under the LEP it is necessary to characterise the development and to measure off the use which is proposed against the land use table of permissibility in the LEP for the zone in which the land is located.

In characterising development, it is necessary to start with an understanding of the proposed development in terms of its various features.

This reflects what Justice Tobias in the NSW Court of Appeal identified in Agostino and Another v Penrith City Council (2010) 172 LGERA 380 as:

“What one is required to do is to identify the proposed development and then to determine whether it falls within the description of that which (the relevant clause of the LEP) makes permissible with consent” (para 46).

In Chamwell v Strathfield Council (2007) 151 LGERA 400 Justice Preston described characterisation of development as follows:

“The characterisation of the purpose of a development is an essential task for any consent authority in exercising the power to determine a development application. That task involves, largely, questions of fact and degree although it can also involve questions of law including determining what is the proper interpretation of relevant environmental planning instruments and of the nominate purposes of development. It is a task that consent authorities both at first instance, mainly councils, and on appeal in this Court must undertake on a daily basis.”

Characterisation of development is the determination of a jurisdictional fact which does not turn on the opinion of the consent authority Woolworths Ltd v Pallas Newco Ltd & Anor [2004] NSWCA 422 at [62]. The characterisation is not just the opinion of somebody, it is the purpose to which the use is to serve when the development as proposed, is properly understood.

If the characterisation of development is made incorrectly by Council that renders a consent subject to challenge Woolworths v Pallas Newco at [85], [86].

It is not therefore for the applicant to determine the characterisation, it is for Council as the consent authority, to do so based on what is set out in the Application before it.

It is not enough for the applicant to assert that the development is for serviced apartments. A proper understanding of the DA and the correct application of the law by Council is needed to enable the characterisation of the development to occur and thereby to establish if the development is permissible or not.

³ The material included under this heading and the heading Opinion repeat what we set out in our advice of 29 January 2024 as the flaws in the DA relating to characterisation remain and have not been addressed in the amended plans and accompanying documents.

Opinion

In our opinion the development when properly analysed, on the material provided, is not established as being for serviced apartments.

If the development is otherwise for tourist and visitor accommodation it is prohibited.

If the development is for temporary workers' accommodation, it is not permitted by the application of Mid-Western Regional Development Control Plan 2013 ("the DCP").

Temporary workers' accommodation is referred to in Part 6 of the DCP. Accommodation of that kind is, according to the DCP to be located within 5 kilometres of a mine to which the development relates or in any other case to be within 5 kilometres of the large-scale infrastructure in which persons are to be employed.

We note that this development falls outside any such location and would by the DCP not be permitted on the subject land.

The only basis upon which the development of the 6 apartments and associated works could be approved by Council is if the development can be properly characterised as serviced apartments.

There does not appear to be any use identified which could support a permissible consent for the subject development.

It is not your task to promote some other form of characterisation. It is sufficient to identify that the use of serviced apartments is not demonstrated by the DA.

In our opinion the proper characterisation of the development means the DA must be refused by Council.

Failing a refusal, Council will, in our opinion, fall into jurisdictional error in relation to which a challenge under Section 9.45 of the Environmental Planning and Assessment Act would be likely to succeed.

We would be pleased to provide such further advice for you as necessary.

Yours faithfully

CRENNAN LEGAL



Paul Crennan
Legal Practitioner Director
Accredited Specialist Local Government & Planning Law

12 March 2024

Mid-Western Regional Council
86 Market St
MUDGEE NSW 2850

By Email Only: council@midwestern.nsw.gov.au

Dear Sir/Madam

RE: OBJECTION TO DEVELOPMENT APPLICATION FOR SERVICED APARTMENTS

We lodged an objection to the proposed development for serviced apartments at 106 School Land, Budgee Budgee, DA 0198-2024.

Council has advised of the re-notification of the development application on the basis of amended plans lodged by the developer.

The inclusion of 2-bedroom apartments in the development increases the occupancy potential for the development by 50% over the previous version of the application. This proposes a further increase of pressure on the land and the locality by additional persons.

Re-locating the entrance and moving the apartments to the east does little to alter the impact of the proposed development on the locality and upon our home and lifestyle.

Where the developer, Hunter Solar, proposes to put the septic transpiration area only brings the impact closer to our home and property.

All of the concerns which we expressed in our submission to the original DA remain the same and we ask that Council read that submission together with this letter as expressing our concerns.

In our earlier submission we provided a copy of the letter of advice of Crennan Legal to us dated 29 January 2024. We have again referred the material to Crennan Legal and their advice to us of today's date is attached for Council's information.

We see that the development as proposed is prohibited in the zone, therefore Council must refuse the application.

Again, we ask Council to pay careful attention to the legal aspects and to the serious legal error which would arise if Council were to approve the development. Approval of the proposed development would de-grade this locality forever.

Yours faithfully,

Garth and Linda Oakhill

Mid-Western Regional Council
Attention: Kayla Robinson
ZS DA0198/2024
13 March 2024



Comment on Amended DA Lot 264 DP 755429 – for General Manager

I write to express my concern and protest at the DA proposed for 106 School Lane, Budgee Budgee.

I have viewed the amended DA and it proposes a very high density of standalone dwellings in a low density lifestyle rural location. The proposal for 7 new dwellings essentially makes it a mining camp or a contractors camp. It is entirely unsuitable. I live only a short distance from this location and am deeply concerned.

I would not have a problem with 102 standalone new dwellings for some form of tourist accommodation or an air-bnb, but this proposal is excessive and should not be approved.

Regards



Michael Wolley



PN: 3703





Erin L. Dunber & Wesley A. Smith,



Your Ref: Kayla Robson; Z5 DA0198/2024

12 March 2024



The General Manager,
Mid Western Regional Council,

HAND DELIVERY

Re: **DEVELOPMENT APPLICATION DA0198/2024 – RE-NOTIFICATION (AMENDED APPLICATION)
PROPOSED 6 x SERVICED APARTMENTS, SHED & USE OF BUILDING AS A SECONDARY
DWELLING @ BUSHLANDS 106 SCHOOL LANE BUDGEE BUDGEE NSW 2850
LOT 264 DP 755429
CONSENT AUTHORITY: MID WESTERN REGIONAL COUNCIL
APPLICANT: HUNTER SOLAR PTY LTD**

We confirm receipt of your correspondence dated 27 February 2024 and note the amendments to the proposed development application for 106 School Lane. Our position stands and we strongly oppose the Amended Development Application for the reasons outlined below:

SHORT TERM TOURIST / VISITOR ACCOMMODATION -v- TEMPORARY WORKERS' ACCOMMODATION

The proposed development does not fit within the established character of the area and is considered out of context for the locality. We do not accept that the proposed development is for 'short term tourist / visitor accommodation'. We foresee the proposed development will instead be used for 'temporary workers' accommodation', i.e. a camp, awkwardly forced on a quiet rural community. As stated in our previous letter to you, we do not appreciate the applicant's proposal for temporary workers' accommodation under the guise of short term 'tourist accommodation'. It is deceptive and a blatant misuse of classification, a loophole allegedly beyond Council's control due to having no jurisdiction over booking platforms. We are all very aware of the intentions and purpose of this accommodation - to house solar farm employees. Whether you classify them as 'tourists', 'backpackers' or 'visitors', they are still employees of the renewable energy sector all gathered in a communal camp-style set up. No matter what additions are put in place to façade these relocatable dongas, it is an industry camp none-the-less. We are frustrated that Council staff are not able to question this and seemingly a blind eye is being turned. We have lost confidence in the conduct of this process.

Pursuant to New South Wales Legislation and Section 6.11 of the Mid Western Regional Local Environmental Plan 2012, it is our understanding that an industry camp must be located within 'five kilometres of the large-scale infrastructure in which persons are to be employed'. The location of the

proposed site at Budgee Budgee far exceeds the five kilometre radius from the actual project location. It would be a breach of legislation to allow *temporary workers' accommodation* to operate on the proposed site.

Prior to the approval of these large-scale renewable projects, purpose built camps and infrastructure should be considered and constructed within the vicinity of the project. Why should property owners and small communities like ours on School Lane have to deal with the ramifications of poor planning by the government? Why should our way of life be inconvenienced and our properties decrease in value? We are frustrated by the poor management of these renewable projects from the outset.

Late January we were informed by Kayla Robson, Planning Coordinator, that the Applicant had committed to removing the two dongas from site after the Stop Work Order had come into effect. This has not occurred, nor been pursued by Council. Has the owner been given permission to leave the buildings on site?

ZONING & LAND USE UNDER RELEVANT LEPS

Our block at 112 School Lane is classified as 'Zone R5 Large Lot Residential', the same zoning as 106 School Lane. We moved into our property on the very same day that the Applicant moved into 106 School Lane. On perusal of our Contract for Sale and Purchase of Land, we notice on page two of the Mid Western Regional Council Planning Certificate that 'Tourist and visitor accommodation' falls under the 'prohibited' list of land use in the zoning table. We annex a copy of the relevant page for your ease of reference. Furthermore, the proposed site does not meet the minimum lot size of 12 hectares for the erection of a 'dwelling'. Bushlands is 7.2 hectares and not 60 hectares as suggested on page five of Play Design Studio's Statement of Environmental Effects. If that's the case we fail to understand how the erection of six buildings can be considered for approval, as well as the use of an existing dwelling, i.e. the granny flat and other infrastructure? See Annexure B.

DEVALUATION OF PROPERTY

We paid a record price for our property on School Lane in December 2023. If the proposed development goes ahead, our property and neighbouring properties will inevitably decrease in value. It is undesirable to live next door to industry accommodation. Noise, privacy and visual impacts will have adverse effects on the future real estate of School Lane, particularly those properties in close proximity to the proposed development.

INTERACTION WITH SCHOOL BUS / YOUNG CHILDREN ON ROADWAY

Our two young children, aged seven and eight, catch the school bus a mere thirty metres from the newly proposed entry / exit. Please see photographs 'C' and 'D' annexed to this correspondence. I have sought permission from Phillip Cooper, Operations Manager of Ogdens Coaches, to use these images. The red arrow depicts the proposed site's entry / exit point. Pick-up and drop-off locations are demonstrated. There are no safeguards in place for our children. It is notable in the amended application that traffic moving to and from the proposed site will be busiest in the mornings and afternoons when our children are directly in the vicinity. The majority of traffic entering and exiting the site will drive right past our property, through our children's bus thoroughfare. They are required to cross the road in the morning and wait for the bus on the narrow grass strip opposite our driveway. The bus comes to a halt in close proximity to the Bushlands entry / exit point. I am very concerned about the impacts of increased traffic and interactions with the school busses, two of which travel the School Lane route twice daily during the school terms. School Lane is not signposted

or speed limited and as stated in our previous letter of objection we have already witnessed some dangerous driving on this road at its quietest. We are very concerned for our children's safety, with exposure to increased traffic at the time they are getting on and off the Frog Rock school bus. There is no bus shelter, signage or safe haven to protect them from the ten or more vehicles that will be arriving / leaving site when they are in the vicinity of the roadway.

ROAD SAFETY IMPACTS

Traffic on School Lane, Black Springs Road and Ulan Road will increase. There have been some serious road accidents within the area in recent years. Although there have been improvements to the surface of School Lane, it is a treacherous stretch of road with multiple 'S' bends. The road is not speed limited and therefore drivers can accelerate to 100 kilometres per hour; excessive speed for the sweeping nature of the road. We have witnessed some drivers treat the bends like a racetrack. Others have crossed onto our side of the road through the corners. There are no guard rails or armco barriers in place to prevent vehicles from entering front / backyards in the event of loss of control through the 'S' bends. Increased traffic creates increased risk on this treacherous stretch of road.

WASTE MANAGEMENT

The bin collection point for the proposed development is in clear view from our home, outside the main entry / exit point of Bushlands. It is approximately thirty metres from our driveway. We do not have the privilege or convenience of a bin service. Yet under this proposal, neighbouring residents are expected to put up with the undesirable site and smell of bins, whether it be skip or otto. From my understanding there will be twenty-eight otto bins on the proposed site. We do not wish to have an excessive amount of bins lining the roadway, in plain view from our home come collection day(s). This is not a sight we wish to view in the morning and afternoon when we walk the children to and from the bus or when we leave our property to go to town. We will have interactions with the garbage trucks collecting the rubbish, which is on a hazardous 'S' bend corner. Our children wait for the bus only metres from the proposed bin collection point. It is not the outlook or interaction we want on School Lane, just outside our property boundary.

VISUAL / VIEW IMPACTS

The proposed development, it's buildings and infrastructure, waste management system and number of people and vehicles on site will all create substantial visual or view impacts. These view impacts are out of character for the locality, unappealing and detrimental to the rural aspect. They will change the dynamic and rural character of School Lane indefinitely. It is very encroaching, overcrowding almost, on a block of such small size and in such close proximity to our property. This is not the view we wish to see when looking through our windows or spending time in our yard or paddocks.

PRIVACY IMPACTS

There is cause for concern of the manner of people who will be utilising the facilities. Many of the solar farm employees are young immigrants, non-locals and short term contractors. Ultimately, they are visitors to our community and will unlikely have the same values and respect for our quiet neighbourhood. When our children are playing outside, we don't want to have to worry about who is in the background.

The Small Batch Brewery is within walking distance from the proposed site. With not much else to do directly in the vicinity, we are concerned that visits to this establishment could lead to drunken behaviour, disrespect of property and compromise the safety of our family.

Wandering guests, trespassing and the security of our property is another worrying concern.

ACOUSTICS / NOISE

Acoustics / noise coming from the site is a big issue for our family. We note in the amended plans that the position of the apartments have moved slightly away from our property boundary, however this won't make a significant difference to the noise we would be exposed to overall. I am a Production Mineworker and work weekend nightshift. My partner is a Diesel Fitter and works a rotating roster (days and nights). We have concerns that noise and activity coming from the site will interrupt and jeopardise our sleeping patterns. I was awoken at lunchtime on Australia Day (following a night shift) with noise coming from the Small Batch Brewery. It is out of view and is situated a much further distance from our property than the proposed site. I only had four hours sleep that day before having to return to work in the evening. Communal accommodation encourages gatherings, socialising, parties and drinking. With little else to do on the proposed site, we anticipate this will be a problem. We moved to this area for the quiet, tranquil setting and to escape the noise of town. We don't want the inconvenience of noise from visitors or site traffic leaving and returning. It's difficult enough to sleep through the day as it is. It is imperative that my partner and I have sufficient sleep to be able to perform our jobs safely.

BUSHFIRE THREAT

We have fears that cigarette butts thrown onto the ground or campfires on site could start a grass fire which could easily spread onto neighbouring properties. If a fire was to reach our property, it is moderately wooded directly behind our infrastructure and would likely start a bushfire. We predominately have Yellowbox, Stringybark and Apple Gum on our block. Please see annexed photographs ('E' to 'H') of some of the vegetation at 112 School Lane. Although cleared at the front, the majority of our land has native timber which gets thicker towards the rear of our property. The boundary of the proposed site and 42 School Lane is also clustered with native vegetation, as is the road corridor out the front of our property and beyond.

HISTORIC SPRING FOR PUBLIC USE

Many locals utilise the spring on the boundary of the proposed site. We have concerns that excavations and construction on site could impact the health of the spring. Disturbance of the water table and aquifers could have detrimental impacts. Likewise, leeching of sewage and waste into the groundwater could result in contamination. Historically, the spring has been available for public use and should be preserved for future use. It appears as though impact studies have been omitted from the Applicant's Statement of Environmental Effects. We consider the nearby spring to be of great significance and should be considered by Council when determining this application. For development.

ENDANGERED SPECIES

Koalas have been sighted on School Lane. Please see Annexure I. This photograph was taken by School Lane resident, Linda Oakhill, from the roadside along the tree corridor on School Lane. Development of the proposed site could disturb habitats and increased traffic on School Lane may impact movement corridors.

UNSUITABLE LOCATION

School Lane is not an ideal location for the proposed development. It is rural / residential comprising of agricultural and recreational blocks. On the day of drafting this letter (04 March 2024) at approximately 8.35am we witnessed a herd of cattle being relocated (walked) from one property to another on the bitumen corridor of School Lane. Activities such as this are not uncommon on School Lane. Agricultural machinery is used to improve pastures and herd cattle. Walkers, joggers and bike riders often utilise the road. Hunting / shooting activities regularly take place on many of the blocks as a form of vermin control, including our block, which is in very close proximity to the proposed accommodation. The proposed site sits in the middle of this activity and will not be in keeping with the context of the locality.

QUERY

I pose the question to Council, why is it that Adrian Ingram, resident of 42 School Lane, was informed some years ago that he was not able to build a house on his vacant subdivided 24 acre block that he recently sold off (adjacent to 42 School Lane / Ulan Road)? Yet, Council is considering approving six self contained cabins with the potential for eleven sleeping guests (with provision for visitors) and ten vehicles on a property that is barely 18 acres? We might not be privy to all the information, but from our point of view it looks to be a case of double standards or skew the rules to suit.

CONCLUSION

We have 1.25 million reasons to object this proposal and two young primary school-aged children to protect. We moved to School Lane for the quiet, rural lifestyle. We never anticipated that we could potentially be living next door to a workers' camp or 'short term tourist accommodation', whatever spin the Applicant wishes to put on it, nor do we want to see it come to fruition on any scale. This is not the upbringing we want for our children. We rented for four long years on Tinja Lane whilst searching for property in Mudgee. After being gazumped by Sydney investors time and time again, we were elated to finally secure our slice of heaven in the golden triangle of Mudgee. We are gutted that we now have to protest such an undesirable development proposal on our very doorstep. We do not want this development to go ahead. All residents that we have conversed with do not want this development to go ahead. It will devalue our properties. We are all very sympathetic to the accommodation crisis in Mudgee with men and women of the renewable sector seeking accommodation. We understand the requirement for camps. We don't have an issue with renewable projects. We are all very conscious of the actual purpose of the proposed facility and the proposal does not fit the established character of the locality, nor meet the zoning and land use criteria under the LEPs. Please do not force this development on the School Lane community.

We hope that you will seriously consider all of our points before arriving at your decision. Thank you for your time.

Yours faithfully



Erin L. Dunbar & Wesley A. Smith



PLANNING CERTIFICATE | MID-WESTERN REGIONAL COUNCIL

The following **Development Control Plan** applies to the land:

Mid-Western Regional Development Control Plan 2013

The following **Proposed Planning Instruments** apply to the land:

General Amendment Tourist and Visitor Accommodation has been public exhibited and applies to this land.

2. ZONING AND LAND USE UNDER RELEVANT LEPS

Currently the land is zoned:

R5 Large Lot Residential

Land use zoning table:

Zone R5 Large Lot Residential

2. Permitted without consent

Extensive agriculture; Home-based child care; Home businesses; Home occupations; Roads; Water reticulation systems

3. Permitted with consent

Bed and breakfast accommodation; Cellar door premises; Dual occupancies; Dwelling houses; Garden centres; Home industries; Intensive plant agriculture; Landscaping material supplies; Markets; Neighbourhood shops; Oyster aquaculture; Plant nurseries; Pond-based aquaculture; Roadside stalls; Secondary dwellings; Serviced apartments; Tank-based aquaculture; Waste or resource transfer stations; Water recycling facilities; Any other development not specified in item 2 or 4.

4. Prohibited

Advertising structures; Agriculture; Air transport facilities; Airstrips; Amusement centres; Animal boarding or training establishments; Boarding houses; Boat building and repair facilities; Boat launching ramps; Boat sheds; Car parks; Cemeteries; Charter and tourism boating facilities; Commercial premises; Correctional centres; Crematoria; Dairies (pasture-based); Electricity generating works; Entertainment facilities; Environmental facilities; Exhibition homes; Exhibition villages; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Helipads; Highway service centres; Home occupations (sex services); Industrial retail outlets; Industrial training facilities; Industries; Jetties; Marinas; Mooring pens; Moorings; Mortuaries; Passenger transport facilities; Public administration buildings; Recreation facilities (indoor); Recreation facilities (major); Registered clubs; Research stations; Residential accommodation; Restricted premises; Rural industries; Service stations; Sex services premises; Storage premises; **Tourist and visitor accommodation**; Transport depots; Truck depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Warehouse or distribution centres; Waste or resource management facilities; Water recreation structures; Water supply systems; Water treatment facilities; Wharf or boating facilities.

Annexure A

REVISED DATE: REVIEW DATE: PAGE: 09/11 DOC NO: PLAD15 VERSION NO: 1.0 (OCTOBER 2022)

PLANNING CERTIFICATE | MID-WESTERN REGIONAL COUNCIL

Minimum lot size:

Dwelling Houses – RS Large Lot Residential Zone

Mid-Western Regional Local Environmental Plan 2012 specifies a minimum lot size of 12 hectares for the erection of a dwelling in this zone. Please note that there may be other provisions in the LEP that may apply if the land does not meet the minimum lot size.

Approval must be obtained either through the Development Application or Complying Development Certificate process prior to the erection of a dwelling on this land.

Area of outstanding biodiversity:

The land is not in an area of outstanding biodiversity value under the Biodiversity Conservation Act 2016.

Heritage:

Land Not Within Conservation Area

The land the subject of this Certificate is not within a Heritage Conservation Area as identified in the Mid-Western Regional LEP 2012.

Not an Item of Environmental Heritage

The land the subject of this certificate is not identified in Schedule 5 of the Mid-Western Regional LEP 2012 as an item of Environmental Heritage.

3. CONTRIBUTION PLANS

The following Contributions Plan applies to the land:

Mid-Western Regional Contributions Plan 2019

ADOPTED DATE REVIEW DATE PAGE 1 OF 3 DOC NO PL/015 VERSION NO 1.0 (OCTOBER 2022)

Annexure B

















Abbie Muscat & Lachlan McKeown-Unicomb



11th March 2024

To the General Manager,
Mid Western Regional Council,

HAND DELIVERY

**Re: DEVELOPMENT APPLICATION DA0198/2024 – RE-NOTIFICATION (AMENDED APPLICATION)
PROPOSED 6 x SERVICED APARTMENTS, SHED & USE OF BUILDING AS A SECONDARY DWELLING @
BUSHLANDS 106 SCHOOL LANE BUDGEE BUDGEE NSW 2850
LOT 264 DP 755429
CONSENT AUTHORITY: MID WESTERN REGIONAL COUNCIL
APPLICANT: HUNTER SOLAR PTY LTD**

We are the owners of [REDACTED]. Our property boundaries are along Ulan Road and School Lane and we have been made aware of the proposed development at 106 School Lane. We strongly oppose this development application for the reasons listed below;

- **Short Term Tourist/ Visitor Accommodation**

We do not see this development as being utilised for short term tourist/ visitor accommodation, more so for the use of temporary worker's accommodation for the workers of the solar farms currently under construction in the Mid Western area. Budgee Budgee is not the area for this type of development, especially to house a 'workers camp' in this quiet rural community. Many of the property owners, including ourselves, have purchased in the area for the quiet rural setting.

- **Increased traffic/ risk of accidents**

Having a short term accommodation for temporary workers or tourists will increase the traffic on an already considerably dangerous stretch of road, which does not have speed limit signs and has many tight 'S' bends on School Lane. Travelling this road on a regular basis, we have both encountered oncoming traffic coming onto the wrong side of the road, especially coming through the 'S' bends at high speeds (there are no speed limits sign posted along School Lane), putting many people's lives at risk. As a result of the increased traffic in the area with many workers travelling Ulan Road to the mines and Solar Farms, we have had a car accident on our property where the driver of the car lost control and rolled through the fence and into our paddock in November 2023. This accident put not only people's lives at risk but also the stock that were in the paddock at the time and damage to our property. This has cost us time, money and effort to fix the damage done to our property. We are still in the process of getting the fence repaired. This is just one of the many car accidents that have recently occurred in the area in the last twelve months.

- **Kid safety**

There are at least two school buses that commute along School Lane twice a day with many stops along School Lane with at least one of the stops where many young children are picked up/ dropped off being extremely close the proposed entry and exit of this development. This poses increased risk and safety concerns for the children and their families.

- **Devaluation of property**

After paying an extraordinary amount for our property back in 2021, we believe this development will decrease the value of our property significantly. We, like many others in the area, we bought our property for the peaceful, rural lifestyle. It is not desirable to live within close proximity to a temporary workers camp. The impacts include privacy, visual and noise. We believe this will impact the future of real estate and property value making the area less desirable to purchase and live within.

- **Privacy**

With many of the workers of the solar farms not being local, there is concern that they will not have the same respect and value for the area in which we live. As there is minimal leisure activities to do within the direct area, we hold concern that many will be visiting the Small Batch Brewery leading to drunken and disorderly behaviour, noise, trespassing and damage to private properties, disrespect and security of properties being compromised.

The temporary workers camp does not fit the context of this rural community. Many of the properties along School Lane and surrounding areas use their land for agricultural purposes including cropping, stock (sheep and cattle), shooting and hunting activities to control vermin. Many of the property owners have children and have purchased in the area to raise their families with a quiet and rural lifestyle. With all the impacts mentioned above we seriously hope you will consider these impacts and how they are going to affect our community before coming to a decision on the proposed development application.

Abbie Moseat & Lachlan McKeown-Unicomb
[REDACTED]



Neil Giggins



4th March 2024

The General Manager

PO Box 156,

Mudgee NSW 2850

Dear Sir

I am writing to again object to the (Amended Application) Development Application – DA0198/2024.

I am an 86 year old retiree who has lived in the area for 45 years, the owner of two properties in School Lane one bordering the proposed development.

My concerns are as follows:

I am concerned what this development will be used for as there are six supposed serviced apartments. Is this for tourism / visitors or is it for something else? The drawings of the proposed apartments do not match the structures/dongas that arrived the other day and are currently still on the property. This has been purchased by Hunter Solar and will obviously be used as a workers camp.

The devaluation of my property is another serious cause for concern if this proposal goes ahead along with the increased traffic it would cause.

I purchased the property that I live in for peace and quiet as well as security for my retirement.

Sincerely



Neil Giggins

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INFO@PLAYDESIGNSTUDIO.COM.AU
1300 411 0303



Date: 21/02/2024

Kayla Robson

Planning Coordinator

Mid-Western Regional Council

86 Market Street | PO Box 156 Mudgee NSW
2850

Good afternoon, Kayla.

RE: PAN391442 – UPDATES TO DEVELOPMENT APPLICATION AT 106 SCHOOL LANE BUDGEES BUDGEES NSW 2850 & REPOSE TO OBJECTION TO ORIGINAL DA LODGEMENT

Please find attached amended plans for the above-mentioned development application. The changes to the development application include the following items

1. Redesign of serviced apartments - tourist accommodation – Custom purpose-built architectural structures in lieu of manufactured transportable cabins as previously proposed.
2. A mix of 1- and 2-bedroom apartments provided. 3 x 1 bed and 3 x 2 bed apartments.
3. Apartments relocated away from School Lane to more central location to achieve greater separation with boundaries and neighbours.
4. Deletion of new crossover for access to apartments. Existing driveway and crossover used.
5. Landscape plan and screening added to reduce impacts of apartments, increased privacy between apartments and neighbours.
6. Residential solar power added to the plans to power the site and structures and reduce CO2 emissions and electricity requirements.
7. Modular shed added to plans to be used as maintenance and storage shed for site. Bathroom included for use by people undertaking maintenance and work on property. Kitchen and laundry deleted from cabin.
8. Existing Granny Flat on site added to plans for formal approval. Granny flat is an original building. The current owner did not construct this and was on site prior to his purchase. He wishes to pay any relevant fees and have the granny flat formally approved if required.

We suggest the new amendments offer a more comprehensive and quality design solution for the project and will provide quality accommodation in a sort after area close to Mudgee.

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In addition to the listed changes, we have discussed points as raised by objectors/neighbours relating to the original DA.

We have taken the keys points from objectors as :

- **Additional people being brought to site.**

6 x apartments are proposed. 6 x apartments are allowed under council planning controls. Additional people will be brought to site. The nature of the site and tourist accommodation means it will be a quiet rural style retreat for guests. Tourists will typically be undertaking activities throughout the Mudgee region during the daylight hours and guests will typically return for evening dinner/sleep routines.

The apartments are not large 3 or 4 bedroom apartments. They will typically be for singles and couples, not attracting large groups and additional visitors of the paying guests.

The apartments have been relocated to a more central location to create more of visual and acoustic buffer to neighbours and additional landscaping is proposed to offer further buffers for privacy.

- **More vehicles**

There will be more vehicles in context this is expected. The use of existing driveway access will reduce issues on School Lane and create less potential safety issues with existing road users and neighbours.

The apartments have been moved more centrally, vehicle movements and locations will be further screened and separated from adjacent properties and homes.

- **More waste**

The development will produce more waste as to be expected. Bins will be provided for collection in accordance with council requirements. Bins to be located with every cabin and then collected as required by maintenance personnel to be taken to School Lane access point for collection. Any additional waste will be removed as required by maintenance staff separate to council collection.

Waste collection from site is typically a condition of the DA determination.

- **Apartments are located close to School Lane and neighbours.**

The previous design had the 6 x apartments located closer to the School Lane Boundary. This was closer to adjacent neighbours.

The amended designs have the apartments pushed across to the east behind the existing large clump of trees. This creates a larger gap/setback with neighbours reducing privacy and acoustic issues.

Additional landscaping, trees and screens will offer further protection and buffering for the development and reduce its prominence in the landscape.

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- **Additional built form and structures**

The development will bring additional built form and density to the rural landscape and context of Budgee Budgee.

We have amended the design to be a higher quality architectural apartment which will bring interest to the local built context.

On viewing the landscape, we suggest the darker monument clad buildings coupled with the new and existing landscaping will reduce the impact of the proposed development. The existing eucalyptus trees have many dark shadows, and the new apartments will recede into many of these shadows. The darker colour is more grounded and less obvious in the landscape.

The structures themselves have a very traditional rural architectural shed/barn feel, and a bulk and scale that is consistent with surrounding structures.

We suggest the new enhanced designed negates the impacts of the development through these subtle and thoughtful methods.

- **Privacy**

With all developments that increase density on a site, privacy and acoustic concerns are always discussed.

We suggest the amended design further reduces these issues by relocating the apartments and access road to the east behind the existing tree lines and the addition of more tree and vegetation plantings will further screen the development.

The amended developed is less obvious to the road and neighbours in its new positions.

Additional landscaping and screening will also serve to further reduce and shield any noise from the development.

The development is a higher quality development and large groups of people will not use the site, more individuals and couples. Council could also condition any particular privacy/acoustic requirements for the development and site as required to retain amenity for existing residents.

- **Stormwater**

The proposed development and apartments, shed, have small footprints and small roof areas.

The proposed development will utilise pvc downpipes to the rainwater tank, then overflow from rainwater tank to be direct to a dispersion trench filled with aggregate to meet council requirements. The dispersion trench will reduce any potential erosion in the area and stop any surface overflow. The site is large and any overflow from the small roof areas would quickly be soaked into the earth.

There are no neighbouring houses or structures that would be affected by the small amount of run off from the rainwater tank due the large distances.

- **Septic / Ground water issues**

The proposed septic tank will be designed for the number of persons on site and all relevant transpiration areas will be designed according to the load.

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All septic systems items will be designed in accordance with Australian Standards, NSW Health and Mid-Western Regional Council Details.

All water in transpiration is treated by the septic system and poses no threat to surrounding residents, fauna and flora. The septic transpiration will be located at great distance from any surrounding structures or homes.

Septic tanks are required to be serviced and inspected as part of council's approval conditions.

- **Budgee Budgee as tourist location**

Budgee Budgee is located close to Mudgee, one of the most popular tourist locations in NSW. The site is also located in the heart of Mudgee Wine Growing Region.

The proximity to these items offers a great opportunity for the owners of the site to provide quality accommodation to tourists. This further makes the use of land viable offering an income to the owners to pay for the land and the maintenance of the property to a high standard.

The LEP zoning allows the development as part of the legislation. All surrounding owners on their similar zoned land could potentially undertake the same type of development if they wished STCA.

All zoning and LEP requirements are available to all citizens, which outlines what is allowed on their land and neighbouring land if they choose to investigate. The purchase of any property also includes a planning certificate from the local council that outlines all development types that permissible on the land and zoning.

The proposed development will increase the overall built form of the context and bring further variety and options to tourists, many of which prefer a more peaceful rural outlook and lifestyle in lieu of a more urban experience in Mudgee town centre.

- **Workers accommodation as opposed to Tourist accommodation**

The proposed development is specifically high quality tourist accommodation. The design has been amended to highlight this intent and purpose.

The old design of modular cabins has been removed and new high quality permanent architecturally designed apartments has been proposed.

We suggest the new design is more evident as quality tourist accommodation.

The new apartments are constructed on concrete slabs, frame and clad in high quality materials. These apartments have been designed to meet the requirements of typical tourists in the context.

We also suggest that council would add specific DA conditions for the accommodations in accordance with the LEP and zoning requirements to make sure it is only used as tourist accommodation.

The owner of the property has no intention of using the site as workers accommodation and is taking this opportunity to create a high quality long term investment.

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- **Fire fighting / Bushfire**

The site is not zoned bushfire prone. However, the design will feature a large water tank available for use for firefighting purposes.

The proposed designs are well suited for bushfire conditions and are clad in metal and timber that acceptable to BAL29. Minor design elements like windowsills being higher to meet Australian standards to reduce potential issues with grass fires.

It is suggesting council could condition any further specific requirements that would further mitigate against any potential bushfire threats.

- **Traffic / Speed Limits**

The proposed new design utilises a new method of entry. The proposed new crossover has been deleted to reduce safety and access issues. The design now utilises the existing driveway access and this will reduce issues and changes within the local road network.

The owners of the development would support any recommended changes to speed limits if deemed suitable for the road and will increase user safety.

There will be typically between 6 and 10 additional vehicles on site. These vehicles will be operating under different schedules. Some vehicles might spend the whole weekend stationary and some vehicles may enter and leave the site 2 to 3 times a day depending on tourist activities.

We suggest the variation and low number of vehicles should not affect the amenity of surrounding properties and users to a high degree.

The additional landscaping/planting and buffers should also reduce car noise & car lights.

We thank the surrounding neighbours for their concerns and input in this process which does require changes and development to accommodate the needs of all interested parties.

We suggest the new amended design is a much more thoughtful, purposeful, and high-quality design that will benefit the local community and reduce negative impacts on neighbours and surrounding properties.

If you require any further information, please do not hesitate to contact our office.

Best regards

A handwritten signature in black ink, appearing to read 'Ally Walker', with a stylized flourish at the end.

DIRECTOR PLAY DESIGN STUDIO

Civil Design Documentation

Proposed Subdivision

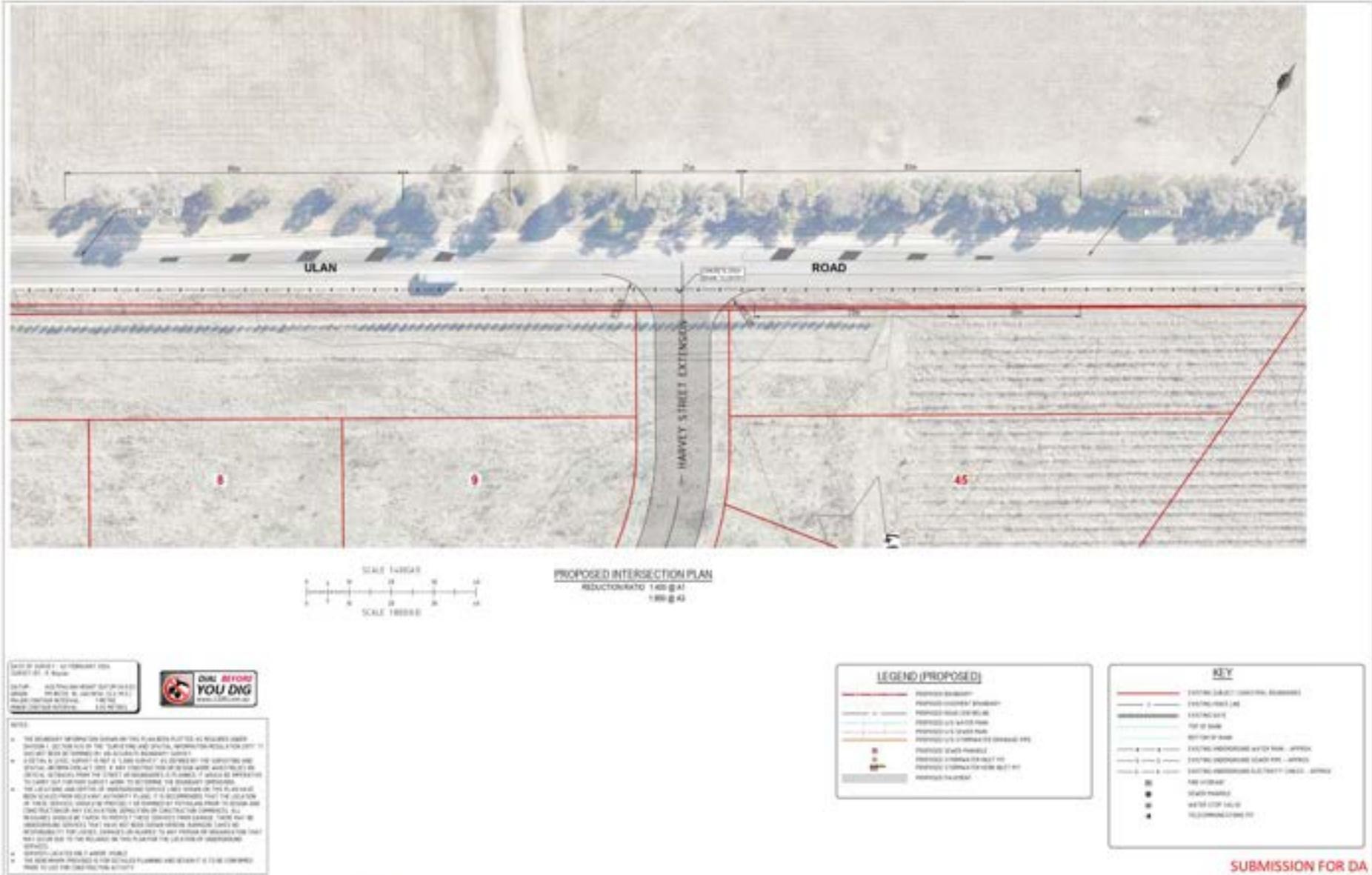
Lot 15 in DP 1194019
 66 Edgell Lane, Bombira NSW 2850

SCHEDULE OF DRAWINGS

SHEET No.	DESCRIPTION
39130-C00	COVER SHEET AND DRAWING SCHEDULE
39130-C01	EXISTING SITE PLAN
39130-C02	PROPOSED PLAN OF SUBDIVISION
39130-C03	PROPOSED LOT PLAN
39130-C04	PROPOSED ROAD PLAN
39130-C05	PROPOSED ROAD SPECIFICATIONS
39130-C06	PROPOSED INTERSECTION PLAN
39130-C07	PROPOSED SEWER PLAN
39130-C08	PROPOSED SEWER SPECIFICATIONS
39130-C09	PROPOSED STORMWATER PLAN
39130-C10	PROPOSED WATER SPECIFICATIONS
39130-C11	PROPOSED SITE STORMWATER ANALYSIS
39130-C12	PROPOSED ON-SITE DETENTION BASIN PLAN
39130-C13	PROPOSED WATER PLAN
39130-C14	PROPOSED WATER SPECIFICATIONS
39130-C15	PROPOSED STAGING PLAN



SUBMISSION FOR DA



SUBMISSION FOR DA



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 NSW 2000
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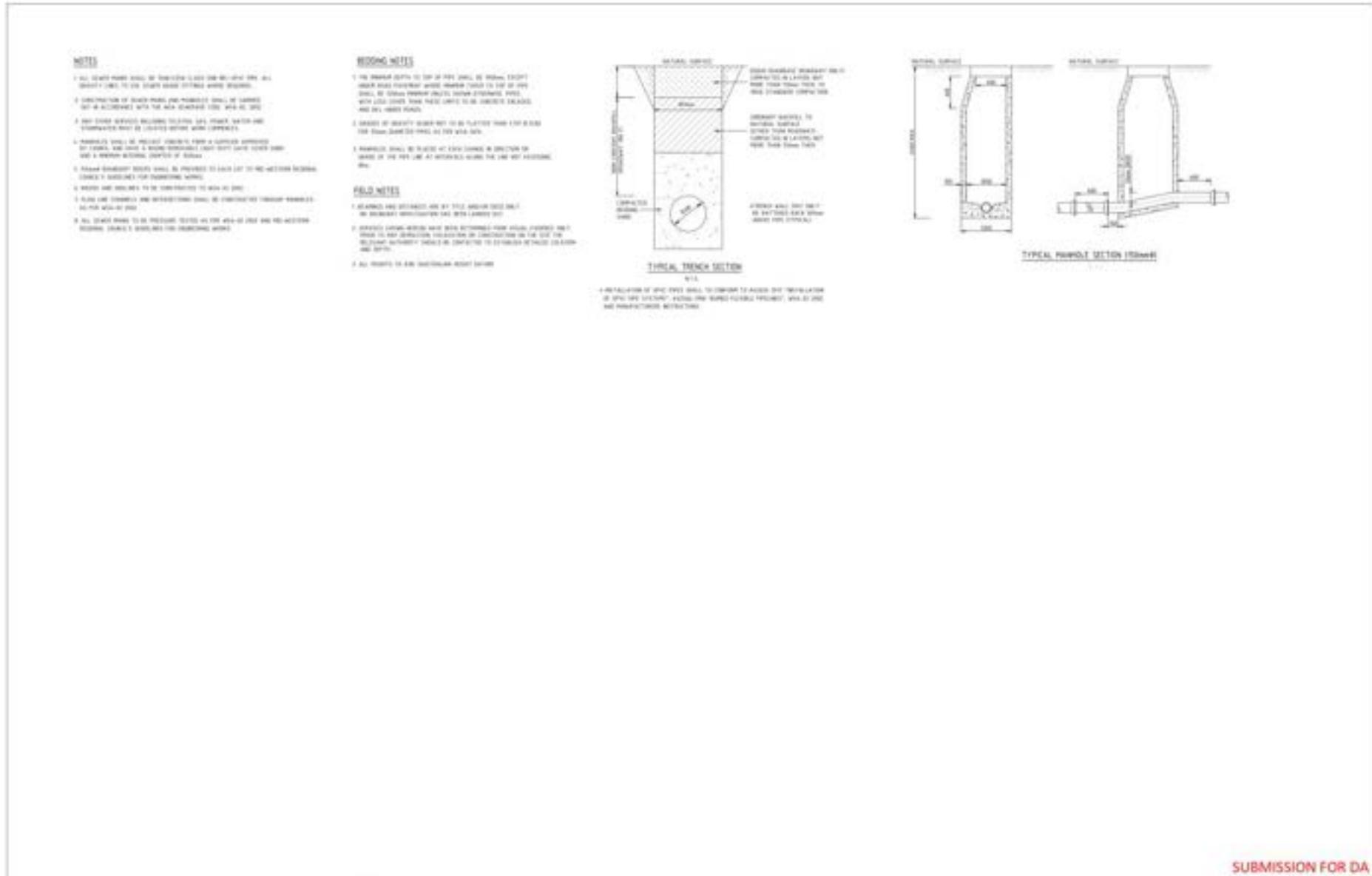
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 23 OCT 2024 10:46 AM
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CIVIL DESIGN DOCUMENTATION
 LOT 15 IN DP 1194019
 46 EDGELL LANE
 BOMBRA NSW 2850
 TROMBA PTY LTD

PROPOSED INTERSECTION PLAN

RS & BT	A1
IS	B
RS	

39130
 C06



SUBMISSION FOR DA







SUBMISSION FOR DA

CONSTRUCTION NOTES

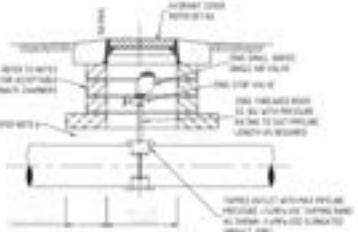
1. WATER MAINS TO HAVE MINIMUM MINOR COVER IN FOOTING AND MINOR COVER IN ROADWAYS
2. PIPES TO BE SAVED & REUSED PLACED AS REQUIRED
3. FLANGES
4. ALL PIPES AND FITTINGS AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS & WWA WATER INSTALLATION CODE
5. MAIN SHALL BE PREVIOUSLY TESTED TO 4.5 MPa PER MID-WESTERN REGIONAL COUNCIL'S DRAINAGE SPECIFICATIONS
6. ALL MAINS FOR CONNECTION TO THE PUBLIC WATER SUPPLY SYSTEM SHALL BE CONFORMANT TO THE REQUIREMENTS OF LOCAL INSPECTOR
7. ALL CONNECTIONS SHALL BE 100%¹
8. COVERED SPECIFICATIONS
9. THE CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING AND SERVICES INTERFERING THE WORKS AND CONNECTIONS TO THE EXISTING MAINS MAINS PRIOR TO COMMENCEMENT OF WORKS EXISTING PIPES SHALL BE IDENTIFIED AT POINTS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS CLEAR AND CLEARLY AND MAINTAINED TO MEET EXISTING OR SERVICE TANKERS REQUIREMENTS

PIPE NOTES

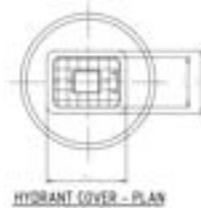
1. THE FOLLOWING PIPE MATERIALS MAY BE USED FOR WATER IN TRENCHES AND MAINS
2. ALL WATER MAINS LESS THAN 100MM IN DIAMETER SHALL BE CONSTRUCTED FROM GLASS REINFORCED POLYESTER CONCRETE LINED DUCTILE IRON CONCRETE LINED DUCTILE IRON AND DUCTILE IRON CONCRETE LINED DUCTILE IRON
3. ALL WATER PIPES GREATER THAN 100MM IN DIAMETER SHALL BE CLASS HDPE DUCTILE ALUMINUM BRASS OR CLASS 2000 DUCTILE IRON CONCRETE LINED DUCTILE IRON COMPATIBILITY WITH SOIL POLLUTION IS MAINTAINED
4. POLYETHYLENE UNPLANNED POLYMER (PEUP) BLUE STAPLED FOR PIPELINES SYSTEMS (E.G. STAPLED FOR 40-100MM DIA WATER MAINS SYSTEMS) ARE PERMITTED TO BE USED PROVIDED THEY MEET ALL RELEVANT STANDARDS
5. PRODUCTS IN CONTACT WITH POTABLE WATER SHALL BE TESTED AND COMPLIANT WITH THE REQUIREMENTS OF AUSTRALASIAN STANDARDS FOR PRODUCTS IN CONTACT WITH DRINKING WATER

NOTES

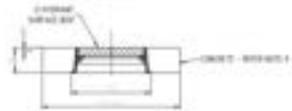
1. STOP VALVE & TRAP VALVE CONNECTIONS MAY EITHER BE CONFORMANT TO AS/NZS 1538 OR AS/NZS 1539 FOR HYDRO-PNEUMATIC SYSTEMS. STOP VALVE PIPING TO CONCRETE PIPE, INCLUDING CONNECTIONS TO CURB OR DUCTS WITH SUBSEQUENT PORTING JOINTS
2. THE BOTTOM OF THE DRAIN INCLUDING CONCRETE BLOCK OR PIPE CHAMBER SHALL NOT BEAT DIRECTLY ON THE PIPE BUT ON A COURSE OF BRICKS OR A SIMILAR TYPE CONCRETE FOUNDATION
3. MINIMUM COVER OVER PIPELINES SHALL APPLY SHALL BE 750MM IN AREAS SUBJECT TO UNUSUAL LOADING SUCH AS ROAD & FOOTPATH AND MINOR COVERINGS
4. IN AREAS PAVED WITH BITUMEN SEALING ASPHALT CONCRETE OR PAVING SLABS THE SURFACE OF PAVEMENT AND HYDRANT COVER SHALL FINISH FLOOR WITH THE PAVED SURFACE
5. FOR STOP VALVE INSTALLATION, SURVEYS SHALL BE NOTED UP TO SPURTS AND TRENCH WIDTHS SHALL BE NOTED UP TO MINIMUM
6. FILL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 150MM AND COMPACTED TO ACHIEVE A MINIMUM 95% INDEX AND TO THE SATURATION OF THE SUBGRADE/UNDERLAY
7. INDICATOR POINTS SHALL BE MARKED IN COLOR AND ONE OF THE FOLLOWING TYPES:
 - BRICK & TRENCH REINFORCED CONCRETE WITH 100MM EXPANDED POLYSTYRENE (EPS) INSULATION
 - RECYCLED PLASTIC POINT WITH RECYCLED POLYMER PLATES
 - OTHER POINTS APPROVED BY COUNCIL
8. DIMENSIONS OF SURFACE BOX COVERS TAKEN ON THIS DRAWING ARE NOMINAL. IF SURFACE BOX COVERS OTHER THAN THOSE SHOWN ARE SUPPLIED, THE DIMENSIONS OF THE CONCRETE SURROUNDING SHALL BE ADJUSTED ACCORDINGLY
9. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 40 MPa AND COMPLY WITH THE DESIGN SPECIFICATION FOR MASS CONCRETE WORKS



SINGLE AIR VALVE INSTALLATION
SCALE: 1:10



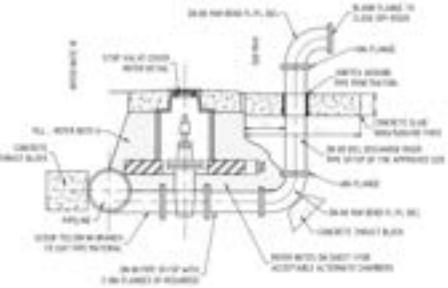
HYDRANT COVER - PLAN
SCALE: 1:10



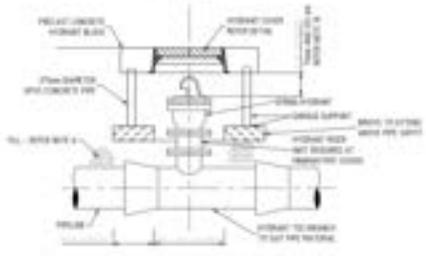
HYDRANT COVER - SECTION
SCALE: 1:10



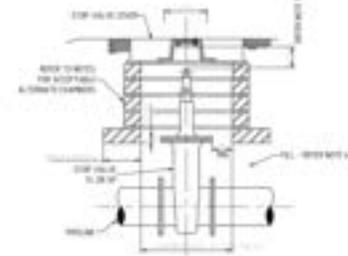
TRAP BLOCK PLAN DETAIL
SCALE: 1:10



SCOUR VALVE INSTALLATION
SCALE: 1:10



HYDRANT INSTALLATION WITH UPVC OR CONCRETE PIPE CHAMBER
SCALE: 1:10



STOP VALVE INSTALLATION
SCALE: 1:10

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	ESTIMATED PRICE
1	CONCRETE TRAP BLOCK	1	EA	150.00
2	HYDRANT COVER WATER TIGHT	1	EA	100.00
3	STOP VALVE COVER	1	EA	100.00
4	CONCRETE TRAP BLOCK	1	EA	150.00
5	HYDRANT COVER WATER TIGHT	1	EA	100.00
6	STOP VALVE COVER	1	EA	100.00
7	CONCRETE TRAP BLOCK	1	EA	150.00
8	HYDRANT COVER WATER TIGHT	1	EA	100.00
9	STOP VALVE COVER	1	EA	100.00
10	CONCRETE TRAP BLOCK	1	EA	150.00
11	HYDRANT COVER WATER TIGHT	1	EA	100.00
12	STOP VALVE COVER	1	EA	100.00
13	CONCRETE TRAP BLOCK	1	EA	150.00
14	HYDRANT COVER WATER TIGHT	1	EA	100.00
15	STOP VALVE COVER	1	EA	100.00
16	CONCRETE TRAP BLOCK	1	EA	150.00
17	HYDRANT COVER WATER TIGHT	1	EA	100.00
18	STOP VALVE COVER	1	EA	100.00
19	CONCRETE TRAP BLOCK	1	EA	150.00
20	HYDRANT COVER WATER TIGHT	1	EA	100.00
21	STOP VALVE COVER	1	EA	100.00
22	CONCRETE TRAP BLOCK	1	EA	150.00
23	HYDRANT COVER WATER TIGHT	1	EA	100.00
24	STOP VALVE COVER	1	EA	100.00
25	CONCRETE TRAP BLOCK	1	EA	150.00
26	HYDRANT COVER WATER TIGHT	1	EA	100.00
27	STOP VALVE COVER	1	EA	100.00
28	CONCRETE TRAP BLOCK	1	EA	150.00
29	HYDRANT COVER WATER TIGHT	1	EA	100.00
30	STOP VALVE COVER	1	EA	100.00
31	CONCRETE TRAP BLOCK	1	EA	150.00
32	HYDRANT COVER WATER TIGHT	1	EA	100.00
33	STOP VALVE COVER	1	EA	100.00
34	CONCRETE TRAP BLOCK	1	EA	150.00
35	HYDRANT COVER WATER TIGHT	1	EA	100.00
36	STOP VALVE COVER	1	EA	100.00
37	CONCRETE TRAP BLOCK	1	EA	150.00
38	HYDRANT COVER WATER TIGHT	1	EA	100.00
39	STOP VALVE COVER	1	EA	100.00
40	CONCRETE TRAP BLOCK	1	EA	150.00
41	HYDRANT COVER WATER TIGHT	1	EA	100.00
42	STOP VALVE COVER	1	EA	100.00
43	CONCRETE TRAP BLOCK	1	EA	150.00
44	HYDRANT COVER WATER TIGHT	1	EA	100.00
45	STOP VALVE COVER	1	EA	100.00
46	CONCRETE TRAP BLOCK	1	EA	150.00
47	HYDRANT COVER WATER TIGHT	1	EA	100.00
48	STOP VALVE COVER	1	EA	100.00
49	CONCRETE TRAP BLOCK	1	EA	150.00
50	HYDRANT COVER WATER TIGHT	1	EA	100.00

NOTE: ALL DIMENSIONS ARE NOMINAL. IF SURFACE BOX COVERS OTHER THAN THOSE SHOWN ARE SUPPLIED, THE DIMENSIONS OF THE CONCRETE SURROUNDING SHALL BE ADJUSTED ACCORDINGLY.

SUBMISSION FOR DA



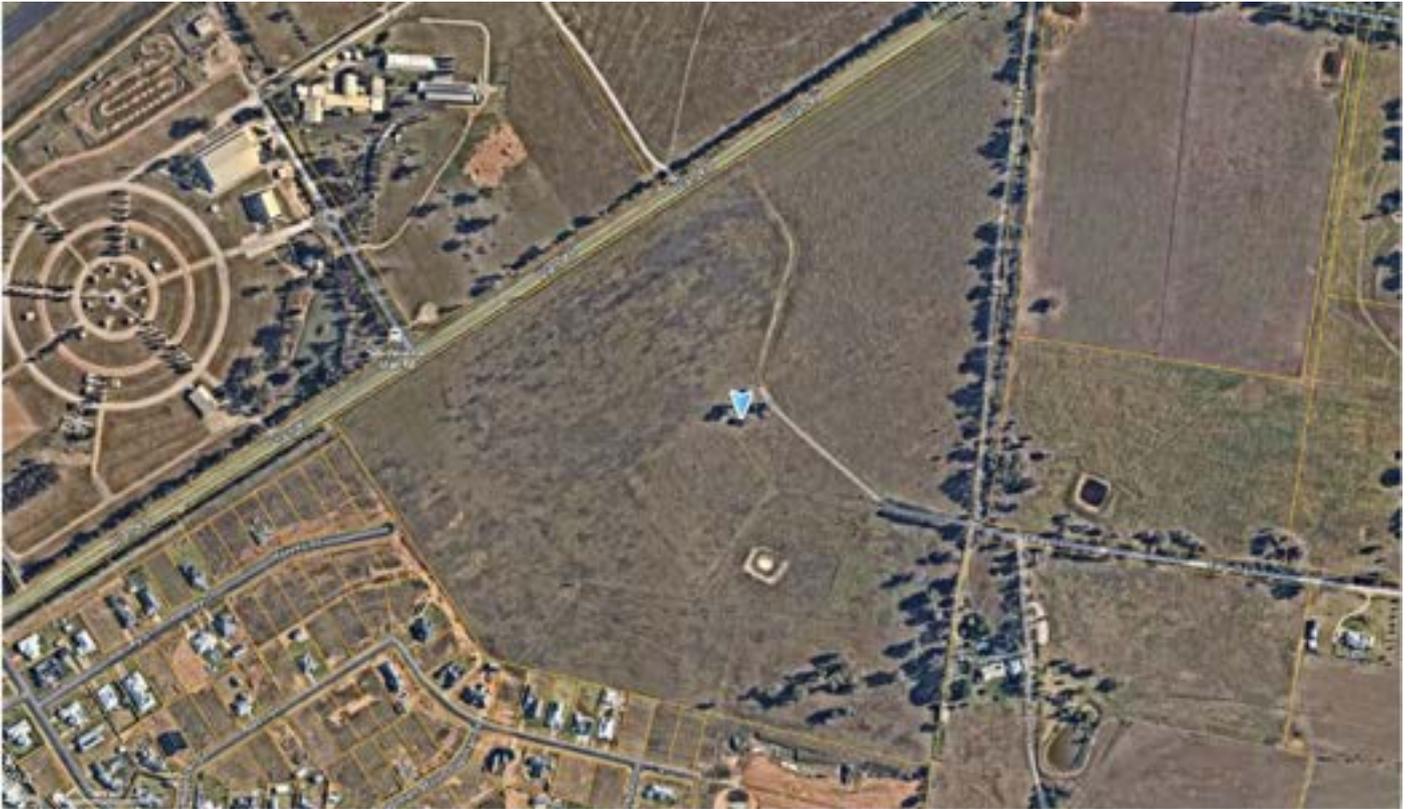
BARNSON PTY LTD
 1/100 BARNSON DRIVE SYDNEY NSW 1585
 PH: 02 9550 1111
 WWW: BARNSON.COM.AU

CIVIL DESIGN DOCUMENTATION
 LOT 15 IN DP 1194019
 88 EDGELL LANE
 BOMBARA NSW 2850
 TRENDA PTY LTD

PROPOSED WATER SPECIFICATIONS

RB & BT	A1
IS	B
RB	B

39130
C14



barnson.
DESIGN . PLAN . MANAGE

Section 4.55(1A) Modification Report

Client: Tinobah Pty Ltd

Site Address: 66 Edgell Lane, Bombira

27 May 2024

Our Reference: 39130-FR01_A

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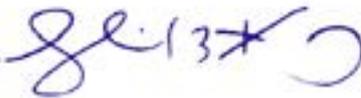


DISCLAIMER

This report has been prepared solely for **Tinobah Pty Ltd** in accordance with the scope provided by the client and for the purpose(s) as outlined throughout this report.

Barnson Pty Ltd accepts no liability or responsibility for or in respect of any use or reliance upon this report and its supporting material by anyone other than the client.

Project Name:	Modification to DA0109/2016 – Subdivision at 66 Edgell Lane, Bombira
Client:	Tinobah Pty Ltd
Project Number:	39130
Report Reference:	39130-PR01_A
Date:	27 May 2024

Prepared by:	Reviewed by:
	
Jack Massey B. Urb & Reg. Planning Senior Town Planner	Jim Sarantzouklis MAIBS (Assoc.) MEHA MAICD RPIA Director



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1. INTRODUCTION

1.1. Background

Barnson Pty Ltd has been engaged by Tinobah Pty Ltd to prepare information in support of a modification to DA0109/2016, which was approved for a 45 Lot subdivision of Lot 15 DP 1194019, known as 66 Edgell Lane, Bombira.

The subject site is located on the south eastern side of Ulan Road and has an area of 40 hectares. The site contains isolated trees, managed grasslands, dams and rural fencing throughout.

The project will consist of the modification of DA0109/2016 to allow for a better Lot and road layout to support the subdivision. The proposed modification will also change the amount of Lots created, from 45 Lots to 46 Lots. The Landscape buffer facing Ulan Road shall also be retained and increased in width in some places due to the change in road layouts.

The proposed development as modified would be substantially the same development as the development for which consent was originally granted and before that connect as originally granted was modified.

The site is zoned part R2 Low Density Residential and part RU4 Primary Production Small Lots pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012*. The proposed subdivision and modification to DA0109/2016 remains permissible with consent under the LEP.

This application consists of:

- A completed NSW Planning Portal development application form; and
- PDF copy of this written statement, including plans and supporting documents.

1.2. Proponent

The proponent for the DA is Tinobah Pty Ltd.

1.3. Consultant

Barnson Pty Ltd
Jack Massey
Unit 4, 108-110 Market Street
Mudgee NSW 2850

2. EXISTING ENVIRONMENT

2.1. Location and Title

The subject site of this application is Lot 15 DP 1194019, known as 66 Edgell Lane, Bombira. The site is located on the south eastern side of Ulan Road and also adjoins Edgell Lane to the east, as shown in Figure 1 below.



Source: (NSW Government Spatial Services, 2024)

Figure 1 – Site Location

The site has an overall area of 40 hectares (refer to Deposited Plan in Appendix A of this report). Images of the site and locality have been provided in Figure 2 and Plates 1-3 below.



Source: (NSW Government Spatial Services, 2024)

Figure 2 – Site Aerial



Plate 1 – View of the site from Ulan Road



Plate 2 – View of the site from Edgell Lane



Plate 3 – Internal view of the site



2.2. Land Use

The subject site has been vacant for an extended period of time. Historically, the site has been used for viticulture and agricultural grazing purposes. There are residential and semi-rural land uses within proximity to the site.

2.3. Topography

The subject site is undulating throughout, but generally falls to the south.

2.4. Flora and Fauna

The site contains minimal tracts of vegetation and predominately consists of managed grasslands.

2.5. Natural Hazards

The subject site is not mapped within a flood planning area or within bushfire prone land.

2.6. Services

There are currently no services connected to the subject site except for existing overhead electricity lines. All other services such as reticulated water and sewer, stormwater infrastructure, telecommunications etc are available and within proximity to the site.

2.7. Access and Traffic

Access to the site is currently gained via an existing access point off the north western side of Edgell Lane. Harvey Street to the west of the site ends at the property boundary.

2.8. Heritage

There are no items of local or state heritage significance known to be located on the subject site. The AHIMS Search in Appendix B shows that there are no items of Aboriginal cultural heritage significance located on the subject site or within proximity.



3. APPROVAL & PHYSICAL COMMENCEMENT

3.1. Existing Approval

Development Consent was given to DA0109/2016 on 21 March 2016 by Mid-Western Regional Council. The approval was for a Staged Subdivision Torrens Title – 1 Lot into 45 Lots.

The approval included the creation of 45 new residential lots generally 4,000m² in size, with one (1) main road extending through the centre of the site and connecting with Ulan Road and other internal roads servicing the proposed Lots.

Refer to the Approval Documents provided in Appendix C of this report.

3.2. Physical Commencement

As mentioned, DA0109/2016 was approved on 21 March 2016 with a consent lapse date of 21 March 2021. In 2020, Australia experienced the initial phases of the COVID-19 pandemic, which was part of the worldwide pandemic of the coronavirus disease.

As part of the NSW Government 'Covid-19 Response and Recovery', development consents that were granted prior to 25 March 2020 that had not already lapsed enjoyed a lapsing extension of 2 years. DA0109/2016 qualifies for this new lapse date offering and therefore the new lapse date was 21 March 2023.

Section 4.53(4) of the *Environmental Planning and Assessment Act 1979* (the Act) and Section 96 of the *Environmental Planning and Assessment Regulation 2021* (the Regulation) states:

(4) Development consent for—

- (a) the erection of a building, or
- (b) the subdivision of land, or
- (c) the carrying out of a work,

does not lapse if building, engineering or construction work relating to the building, subdivision or work is physically commenced on the land to which the consent applies before the date on which the consent would otherwise lapse under this section.

AND

96 When work is physically commenced—the Act, s 4.53(7)

(1) Work is not taken to have been physically commenced merely by the doing of 1 or more of the following—

- (a) creating a bore hole for soil testing,
- (b) removing water or soil for testing,
- (c) carrying out survey work, including the placing of pegs or other survey equipment,



- (d) acoustic testing,
 - (e) removing vegetation as an ancillary activity,
 - (f) marking the ground to indicate how land will be developed.
- (2) This section does not apply to a development consent granted before 15 May 2020.

As DA0109/2016 was issued before 15 May 2020, Section 96(1) of the Regulation does not apply to when determining “physical commencement”. Rather, the test under the *Environmental Planning and Assessment Regulation 2000* applies and which physical commencement constituted works that fell within “building, subdivision of land or works” and whether those works related to the land the subject of the development consent. Examples of works that were held to be sufficient to prevent a development consent from lapsing were:

- Survey work including clearing of vegetation, digging of holes, placement of permanent marks and placement of pegs or stakes as recovery marks; *Hunter Development Brokerage Pty Ltd v Cessnock City Council*; *Tovedale Pty Ltd v Shoalhaven City Council [2005] NSWCA 169 (Hunter Development)*; and
- Geotechnical work including excavation of test pits and testing of soil samples; *Hunter Development*.

As per the evidence provided in the above cases, the landowners conducted works, which involved survey works as “engineering works” sufficient for subdivisions, geotechnical works, preparatory works including surveys and geotechnical investigations, and taking away and testing soil from a site. These works were completed as follows:

1. Site Survey Works – Completed 11 November 2022;
2. Survey Boundary and Road Setout Plan – Completed 24 November 2022;
3. Site Geotechnical Investigations including drilling and taking away soil – Completed 21 November 2022;
4. Testing of soil samples – Completed 5 January 2023; and
5. Geotechnical Report – Completed 18 January 2023.

Therefore as shown above, the relevant works were completed prior to the new lapse date of 21 March 2023. Refer to copies of the Physical Commencement Works in Appendix D of this report. Therefore, physical commencement has been obtained for DA0109/2016.

4. PROPOSED MODIFICATIONS

DA0109/2016 gave consent to a staged subdivision, being a Torrens Title subdivision, 1 Lot into 45 Lots. Figure 3 below shows the approved Lot layout.



Figure 3 – Stamped Subdivision Plan

The approval included the creation of 45 new residential Lots generally 4,000m² in size, with one (1) main road extending through the centre of the site and connecting with Ulan Road and other internal roads servicing the proposed Lots. A road was proposed within the Landscape Buffer fronting Ulan Road.

During investigations and discussions between Barnson and the Developer into proceeding with the proposed subdivision, it was determined that the Lot layout and road layout was not the best arrangement for the intended use. In particular, the proposed new road adjoining with Ulan Road and within the landscape buffer was not considered ideal.

As such, Barnson have developed a new subdivision layout, refer to Figure 4 below and the Subdivision Plans in Appendix E of this report.



Figure 4 – Modified Subdivision Plan

As shown in Figure 4 above, the following changes are proposed:

- Removal of the proposed new road within the landscape buffer, realignment with the main road extending through the centre of the site (Harvey Street) and creation of a new road to the north (Brady Crescent);
- Minor adjustment to the southern road arrangement (Klopp Circuit);
- Proposed Lot 33 of the original subdivision plan (refer to Figure 3 above) included the residual RU4 Primary Production Small Lots land to the east. It is proposed to modify this arrangement so residual land to the east is on its own Lot. Therefore the proposed subdivision will go from a 45 Lot subdivision to a 46 Lot subdivision;
- By removing the road adjoining Ulan Road, the Landscape buffer area will increase and allow for additional landscaping. This will provide for a more improved buffer/landscaping area fronting Ulan Road. A detailed Landscape Design shall be prepared prior to the issue of a subdivision works certificate in accordance with Condition 28 of the approval;
- All proposed Lots shall continue to meet the specified minimum lot size of 4,000m².



Upon review of the Development Consent and relevant approval documents, no civil design drawings or services drawings were found. As such, Barnson has prepared preliminary Civil Engineering Designs, addressing the consent conditions and DA modification prelodgement discussions, in order to allow for the proposed modification and subsequent Subdivision Works Certificate to proceed smoothly.

A Sewer Pump Station (SPS) for the Bombira Estate was constructed as part of the MAAS Development to the west of the site. This SPS was constructed following the approval of DA0109/2016 and it is understood that provision was made to ensure the capacity of the SPS could service up to 45 Lots from land to the north east (i.e. DA0109/2016). As such, the SPS that was constructed to the west of the site shall be utilised and considering 46 residential Lots are proposed as part of the modified subdivision, the SPS has the relevant capacity to service the Lots. The RU4 Lot to the east will not require sewer servicing as any future dwelling on that Lot can be supported by an Onsite Effluent System, considering the size of the Lot and available disposal/management areas for sewer.

Preliminary Civil Engineering Designs have been included in Appendix E of this report.

The following servicing components have been shown on the designs:

- Council indicated that sewer will be connected to a sewer man hole between Lot 607 DP 1262509 and Lot 901 DP 1262515. As such, the sewer shall be directed to this point, as shown on Sheet C07 of Appendix E;
- Prelodgement discussions with Council confirmed that On Site Detention can be provided within the RU4 zoned part of the site. As such, OSD has been provided adjoining proposed Lot 35, as shown on sheet C07 of Appendix E;
- Outflows from the OSD shall be discharged via the dedicated drainage reserve known as proposed Lot 901 DP 1262515.
- Reticulated water shall be connected via the existing infrastructure within Harvey Street to the west as shown on sheet C12 of Appendix E; and
- Telecommunications and electricity shall be installed in accordance with the relevant service providers. Consultation with those providers shall be undertaken as part of the subdivision certificate works process.

It is noted that the consent conditions may need to be reviewed by Council to ensure consistency with the abovementioned designs and revised subdivision layout. In particular, the road width etc stipulated in Condition 16 will need to be updated and condition 35 will need to be deleted.



5. LAND USE ZONING

The subject site is zoned part R2 Low Density Residential and part RU4 Primary Production Small Lots pursuant to the *Mid-Western Regional Local Environmental Plan 2012 (LEP)*. The proposed 4,000m² Lot subdivision is carried out within the R2 zoned land with the residual land (proposed Lot 46) making up the RU4 zoned land. The subdivision is permissible with consent.

The permissibility of the proposed development is assessed in terms of the heads of consideration in Section 4.15 of the *Environmental Planning & Assessment Act 1979*, which incorporates consideration of the LEP and the objectives and permissible uses outlined in the zone tables, as outlined in Section 5 of this report.



6. PLANNING CONSIDERATIONS

6.1. Introduction

Section 4.55(3) of the *Environmental Planning and Assessment Act 1979* (EP&A Act) requires:

In determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in section 4.15(1) as are of relevance to the development the subject of the application.

This section of the report addresses the relevant requirements of Section 4.15.

6.2. Environmental Planning & Assessment Act 1979

6.2.1. Evaluation

Section 4.15 of the EP&A Act (as amended) requires Council to consider various matters in regard to the determination of the Development Application.

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) *The provisions of:*
 - (i) *any environmental planning instrument, and*
 - (ii) *any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and*
 - (iii) *any development control plan, and*
 - (iv) *any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and*
 - (v) *the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and*
 - (vi) *any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates,*
- (b) *The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality;*
- (c) *The suitability of the site for the development,*
- (d) *Any submissions made in accordance with this act or the regulations,*
- (e) *The public interest.*

The proposed development has been designed with consideration to the following matters, as outlined below.

6.2.2. Integrated Development

Development that requires both development consent and another approval listed under Section 4.46 of the EP&A Act is 'Integrated Development'. It is understood that the original application was referred to Transport for NSW in accordance with the legislation in force at that time. TfNSW provided General Terms of Approval and Council conditioned those requirements in the development consent (conditions 42-44, refer to Appendix C of this report).

The GTA's required the upgrade of the intersection between the proposed internal roads and Ulan Road. The requirements under these conditions have been shown on the Preliminary Civil Engineering Plans in Appendix E of this report, sheet C06.

The original approval included 45 Lots that would be able to utilise this intersection for access. The residual Lot proposed as part of the modified subdivision layout (proposed Lot 46) will obtain access via the existing access crossover off the western side of Edgell Lane, as shown in Figure 4 below.

Therefore, as no additional Lots are proposed to utilise the conditioned intersection upgrade, re-referral to TfNSW is not considered necessary in this instance and the Developer shall comply with Conditions 42-44 of the original consent.

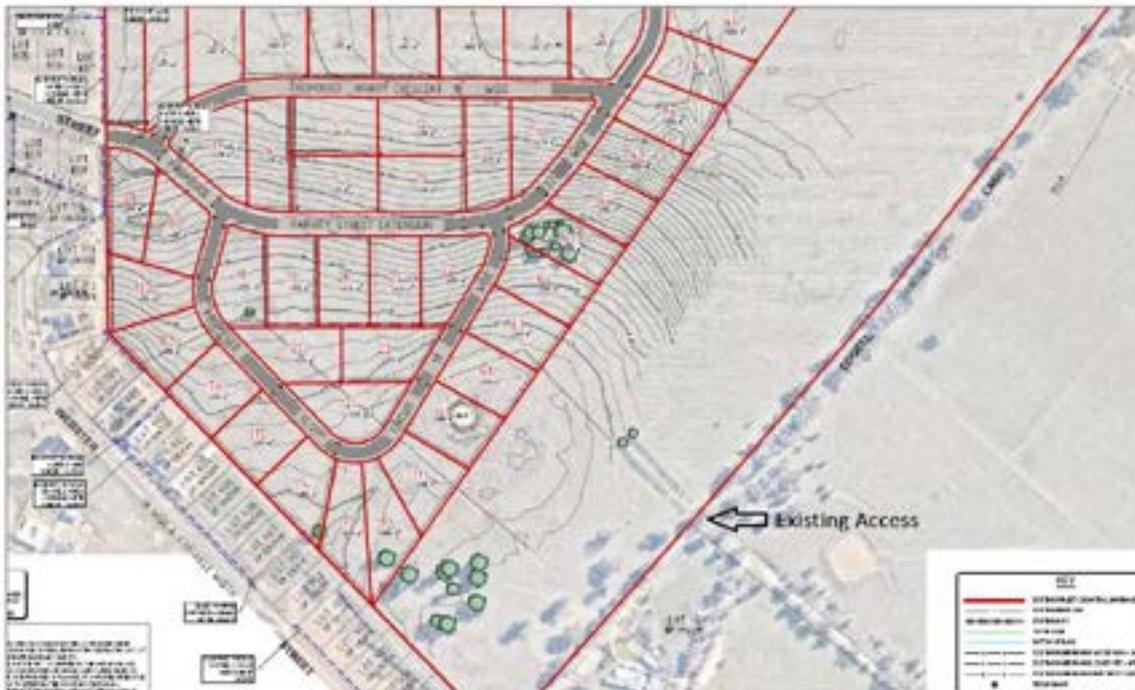


Figure 5 – Residual Lot Access Point



6.3. Environmental Planning Instruments

6.3.1. State Environmental Planning Policies

While a number of SEPPs apply to the subject land and development thereon, there will be no implications in terms of the requirements of the SEPPs that will apply to the proposed modification. It is considered that the applicable SEPPs were addressed as part of the original application, and the proposed modifications will not trigger any additional requirements.

6.3.2. Mid-Western regional Local Environmental Plan 2012

Permissibility

The proposed modification would not change the permissibility of the proposed development and remains permissible under the land use table of the LEP.

LEP Clauses

While a number of Clauses under the LEP apply to the proposed modification, considering the extent of development works and associated changes, there would be no implications in terms of the requirements under those LEP Clauses that would apply to this application.

6.4. Draft Environmental Planning Instruments

No draft Environmental Planning Instruments are applicable to the subject site or development.

6.5. Development Control Plans

The *Mid-Western Regional Development Control Plan 2012* applies to the proposed subdivision and associated modification. An assessment of the relevant provisions of the DCP pertaining to the modification is provided in Table 1 below.

Table 1 – DCP Requirements	
Provision	Comment
Section 7.1 Urban Subdivision	
Lot Size	As shown on the Plans in Appendix E, all Lots meet the specified minimum lot size of 4,000m ² , as required under this part and in accordance with the <i>Mid-Western Regional Local Environmental Plan 2012</i> .



<p>Lot Design</p>	<p>Given the size of the proposed Lots, there is ample room on each Lot for new dwellings to optimise solar access.</p> <p>Lots are generally rectangular in shape with some variations throughout. The variations are generally consistent to what was approved as part of the original Development Consent. Proposed Lots 10, 17 and 24 are irregular in shape, being corner Lots fronting two roads and proposed Lots 33 and 34 have a skinny frontage. However given the size of these Lots and anticipated dwellings of approximately 300-400m² in size, there is ample room for development on each Lot.</p> <p>This part of the DCP requires the width of proposed Lots to be at least 16m at the front. As shown on the Plans in Appendix E, the following Lots have a lesser width:</p> <ul style="list-style-type: none"> - Lot 34 – 15.175m width; - Lot 45 – 14.29m width. <p>All other Lots meet the specified width requirement. As such, a Departure Request is sought for the abovementioned Lots. Proposed Lot 34 has a width at the rear of 78.57m and proposed Lot 45 has a width at the rear of 64.875m. Therefore, as these Lots are tapered throughout their entire length, each proposed Lot has a plethora of space for the development of residential dwellings. The 16m width requirement is likely to commence on each proposed Lot prior to the DCP setback requirement of 4.5m and considering the size of the Lots, dwellings are anticipated to be well setback front the street frontage. Therefore, the Departure Request is considered justified in this instance.</p>
<p>Street Design and Layout</p>	<p>It is assumed that a Traffic Impact Assessment (TIA) was provided to Council as part of the original submission. Given the number of Lots is consistent, with the exception of separating the residual land to the east, it is considered that a new or revised TIA is not necessary in this instance.</p> <p>The following carriageway widths are proposed:</p> <ul style="list-style-type: none"> • Brady Crescent – 18m wide; • Harvey Street extension – 22m wide; and • Klopp Circuit – 18m wide. <p>This is consistent with the provisions under Council’s DCP being a bus route (22m) for Harvey Street and residential road (18m) for Brady Crescent and Klopp Circuit.</p>
<p>Landscaping</p>	<p>The original approval provided the following condition prior to the issue of a Construction Certificate (now known as a Subdivision Works Certificate).</p> <p>28. Street tree landscaping is to be provided within the proposed road reserve on Ulan Road and internal subdivision roads. A plan for the proposed planting is to be submitted for approval by Council. All landscaping is to consist of appropriately advanced trees in accordance with Clause 7.1 Urban Subdivision of the Mid-Western Regional Council Development Control Plan amended December 2014.</p>



	<p>It is proposed to comply with the abovementioned condition and prepare a detailed Landscape Design prior to the issue of a Subdivision Works Certificate.</p> <p>It is important to note that the original approved subdivision plan included a road within the 20m wide Landscape Buffer. The revised Lot layout deletes the road within the landscape buffer and realigns it internally within the subdivision, thereby creating additional landscaping opportunities fronting Ulan Road. This will increase the amenity of the area and future residents of the proposed subdivision, whilst creating additional greenspace for a major entrance corridor into the township of Mudgee. The Landscaping would also be consistent with Bombira Estate to the west of the site.</p>
Utility Services	Preliminary civil designs, which included servicing designs, have been prepared and provided in Appendix E of this report.
Drainage	Prelodgement discussions with Council confirmed that On Site Detention can be provided within the RU4 zoned part of the site. As such, OSD has been provided adjoining proposed Lot 35, as shown on sheet C07 of Appendix E. Outflows from the OSD shall be discharged via the dedicated drainage reserve known as proposed Lot 901 DP 1262515.

6.6. Any Planning Agreement entered into

No Planning Agreements entered into are known to exist in relation to the development or site.

6.7. Any Matters Prescribed by the Regulations

For the purposes of Section 4.15(1)(a)(iv) of the EP&A Act, Clause 92 of the *Environmental Planning and Assessment Regulations 2000* (EP&A Regulations) specifies the additional matters a consent authority must take into consideration when determining a DA. None of the provisions relate to the proposed development as modified.

6.8. Any Likely Impacts of the Development

6.8.1. Context & Setting

The proposed subdivision has been carried out in a semi-rural locality with emerging residential land uses. The proposed development as modified is considered to be consistent with the existing area and originally approved consent.



The development modifications would therefore not impact on the context or setting in the locality, but would rather contribute to the proposed future residential use of the site.

6.8.2. Access, Transport & Traffic

The proposed access arrangements shall change slightly due to the reconfiguration of internal roads, however the main internal through road that extends from Harvey Street to Ulan Road shall remain generally consistent to what was approved. The number of Lots created as part of the modification is only increased by 1 due to the residual RU4 land to the east being created on its own Lot. As such, the originally submitted Traffic Impact Assessment and conditions of consent pertaining to access, traffic and transport shall be retained and modified where required to reflect the modified layout.

The proposed modifications will not generate any additional throughput or potential increase in capacity requirements for the local road network and the Ulan Road upgrade requirements shall remain consistent to what was originally approved, in accordance with the General Terms of Approval issued by Transport for New South Wales. Therefore, the proposed access, transport and traffic arrangements and proposed modifications to the existing consent are considered suitable.

6.8.3. Public Domain

The proposed would not create any negative impacts on the public domain as appropriate onsite screening and landscape buffering methods as detailed within the original application is to be incorporated on the site.

6.8.4. Utilities

The plans in Appendix E provide Preliminary Engineering Designs which have considered the original approval consent conditions and prelodgement discussions with Council. The proposed utilities and servicing arrangements are considered suitable for the proposed subdivision and would not create any detrimental impact in the locality in terms of servicing availability or any potential issues. The utilities shall be constructed as per Council and/or the relevant service providers requirements.

6.8.5. Other Land Resources

The proposed development would not detrimentally impact on other land resources such as primary production or agricultural land uses.

6.8.6. Air & Microclimate

Any incidence of air pollution can be reduced by using appropriate equipment, employing good work practices and utilising a water spray, especially in conditions where dust is likely to be a nuisance.



6.8.7. Social & Economic Impacts in the Locality

The social and economic impacts of the proposed development continue to relate to the provision of a new subdivision in the Mudgee area, creating additional residential opportunities. The proposal, as modified, would contribute to the local economy and is considered to be a positive social and economic impact.

6.8.8. Construction

A site establishment area will be set up on the subject site to ensure site safety and to reduce any environmental impacts. Erosion and sediment control measures shall be carried out on the site during development works.

6.8.9. Other

There are no other impact that would hinder the development proposal. Considering the minor modifications to the development, it is considered that the majority of impacts were adequately addressed as part of the original approval.

6.9. Suitability of the Site for the Proposed Development

The suitability of the site for the proposed development has been addressed in the above sections of this report. There are no prohibitive constraints posed by adjacent developments. There does not appear to be any zoning, planning or environmental matters that should hinder the proposed development of the site. In this regard, it can be concluded that the proposal fits into the locality and the site attributes are conducive for the development.

6.10. The Public Interest

The proposal is unlikely to create any negative impacts on the amenity of the area and is therefore deemed to be positive in terms of the public interest.



7. CONCLUSION

It is recommended that the proposed modification to DA0109/2016 on Lot 15 DP 1194019, known as 66 Edgell Lane, Bombira be supported on the following grounds:

- The modification is of minimal environmental impact;
- The development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified;
- The proposal is considered acceptable in terms of the provisions of Section 4.15 of the *Environmental Planning and Assessment Act 1979*;
- The proposal is permissible with consent and consistent with the relevant development standards and provisions of the *Mid-Western Regional Local Environmental Plan 2012*;
- The proposal complies with the relevant provisions of the *Mid-Western Regional Development Control Plan 2012*;
- The development as modified is not anticipated to generate any adverse impacts in the locality; and
- The development as modified is considered suitable for the site and its surrounds.



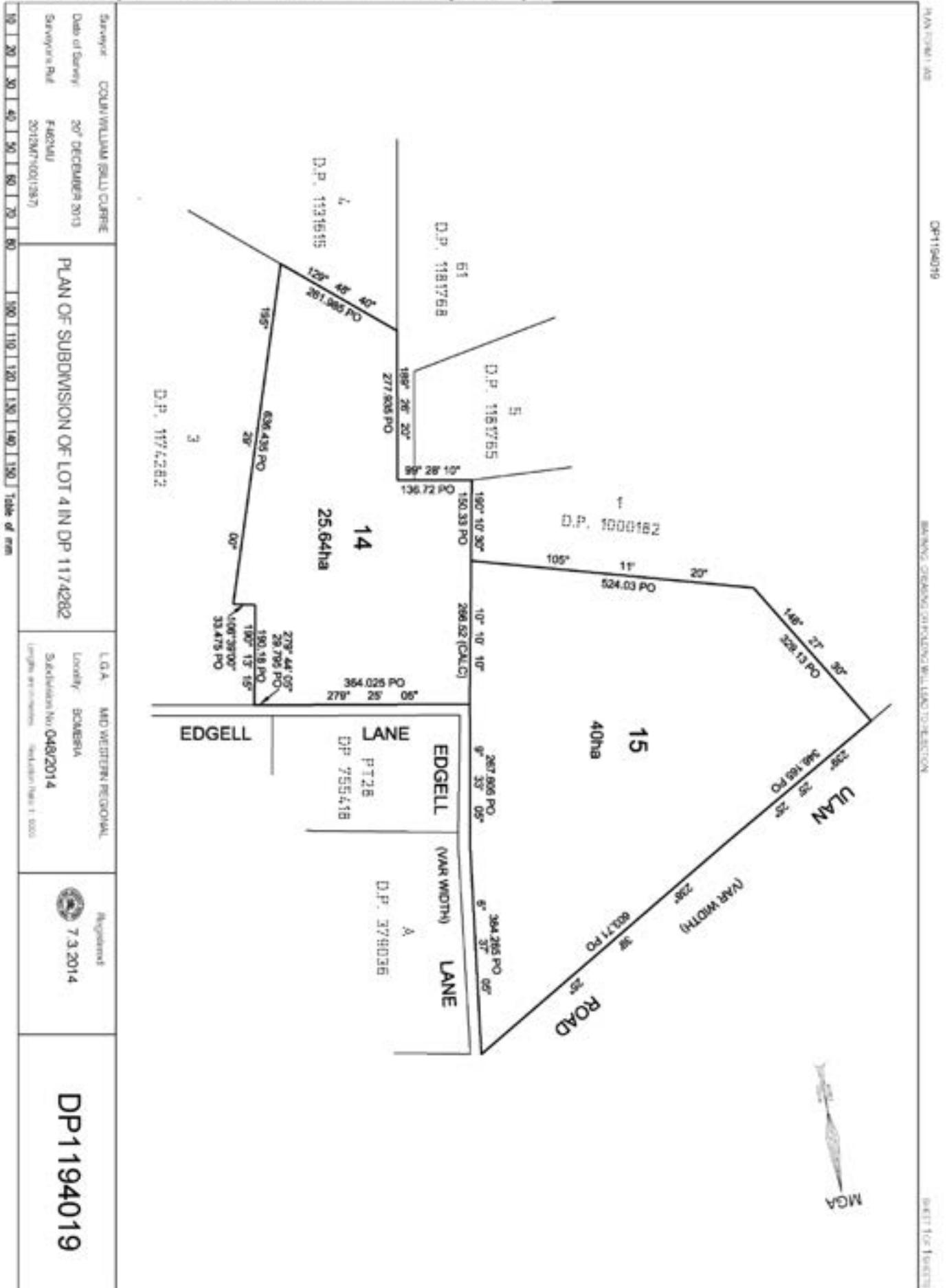
8. REFERENCES

- NSW Government. (2023, September 1). *Biodiversity Value Map*. Retrieved from <https://www.lmhc.nsw.gov.au/Maps/index.html?viewer=BVMap>
- NSW Government Spatial Services. (2024, May 1). *Six Maps*. Retrieved from <http://maps.six.nsw.gov.au/>
- NSW Rural Fire Service. (2019). *Planning for Bush Fire Protection: A Guide for Council's, Planners, Fire Authorities and Developers*. Sydney: NSW RFS.

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APPENDIX A
Deposited Plan

Req:R573089 /Doc:DP 1194019 F /Rev:10-Mar-2014 /NSW LRS /Pgs:ALL /Prt:24-May-2022 10:16 /Seq:1 of 3
© Office of the Registrar-General /Src:GLXTerrain /Ref:Barnson Pty Ltd (Mudgee)



PLAN OF SUBDIVISION OF LOT 4 IN DP 1174282

L.O.A. - MID WESTERN REGIONAL
Locality - SOARBSIA
Subdivision No 0482014
Length in metres - Section 1: 5000

Registered
7.3.2014

DP1194019

Surveyor: COLIN WILLIAM GALL CURRIE
Date of Survey: 20th DECEMBER 2013
Surveyor Ref: F482014
2013MPT-10011287

10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 Total of mm

PLAN FORM: 48 DP1194019 BARNSON CREATING 3D POINTING WILLIAM TO DIRECTOR



Req:R873089 /Doc:DP 1194019 P /Rev:10-Mar-2014 /NSW LRS /Pgs:ALL /Prt:24-May-2022 10:16 /Seq:2 of 3
 © Office of the Registrar-General /Src:GLXTerrain /Ref:Barnson Pty Ltd (Mudgee)

PLAN FORM 6 (2012)

WARNING: Creasing or folding will lead to rejection

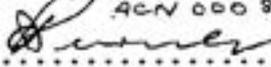
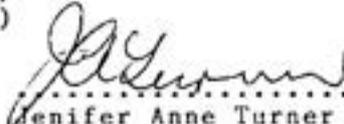
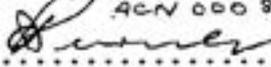
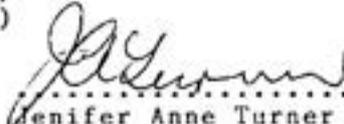
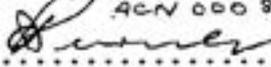
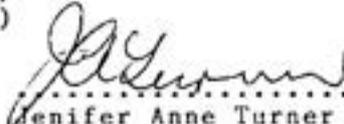
DEPOSITED PLAN ADMINISTRATION SHEET		Sheet 1 of 2 sheet(s)
<p>Registered:  7.3.2014</p> <p>Title System: TORRENS</p> <p>Purpose: SUBDIVISION</p>	<p style="text-align: center;">Office Use Only</p> <div style="text-align: center;">  DP1194019 S </div> <p style="text-align: right;">Office Use Only</p>	
<p>PLAN OF</p> <p style="text-align: center;">SUBDIVISION OF LOT 4 IN DP 1174282</p>	<p>LGA: MID WESTERN REGIONAL</p> <p>Locality: BOMBIRA & BUCKAROO</p> <p>Parish: BUMBERRA</p> <p>County: PHILLIP</p>	
<p>Crown Lands NSW/Western Lands Office Approval</p> <p>I, _____ (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given.</p> <p>Signature: _____</p> <p>Date: _____</p> <p>File Number: _____</p> <p>Office: _____</p>	<p style="text-align: center;">Survey Certificate</p> <p>I, COLIN WILLIAM (BILL) CURRIE of INSITES PTY LTD T/A RJ CROOKS & ASSOCIATES 26 MARKET STREET, MUDGEE a surveyor registered under the Surveying and Spatial Information Act 2002, certify that:</p> <p>* (a) The land shown in the plan was surveyed in accordance with the Surveying and Spatial Information Regulation 2012, is accurate and the survey was completed on _____</p> <p>* (b) The part of the land shown in the plan ("being" excluding ^A _____ was surveyed in accordance with the Surveying and Spatial Information Regulation 2012, is accurate and the survey was completed on _____ the part not surveyed was compiled in accordance with that Regulation.</p> <p>* (c) The land shown in this plan was compiled in accordance with the Surveying and Spatial Information Regulation 2012.</p> <p>Signature: <u>C. W. Currie</u> Dated: 20th Dec 2013</p> <p>Surveyor ID: 7447</p> <p>Datum Line: 'X'-'Y' _____</p> <p>Type: Urban/ Rural</p> <p>The terrain is Level -Undulating -/Steep-Mountainous.</p> <p>*Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.</p>	
<p style="text-align: center;">Subdivision Certificate</p> <p>I, <u>GARY BRUCE</u> "Authorised Person"/"General Manager"/"Accredited Certifier, certify that the provisions of s.109J of the Environmental Planning and Assessment Act 1979 have been satisfied in relation to the proposed subdivision, new road or reserve set out herein.</p> <p>Signature: <u>G. Bruce</u></p> <p>Accreditation number: _____</p> <p>Consent Authority: <u>MID WESTERN REGIONAL COUNCIL</u></p> <p>Date of endorsement: <u>24/1/2014</u></p> <p>Subdivision Certificate number: <u>048/2014</u></p> <p>File number: <u>P1140665</u></p> <p>*Strike through if inapplicable.</p>	<p>Plans used in the preparation of survey/compilation.</p> <p style="text-align: center;">DP 1174282</p> <p style="text-align: center;">If space is insufficient continue on PLAN FORM 6A</p>	
<p>Statements of intention to dedicate public roads, public reserves and drainage reserves.</p>	<p>Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A</p>	
<p>Surveyor's Reference: F462MU 2012M7100(1287)</p>		

AMENDED IN LPI AT SURVEYORS REQUEST

Req:RB73089 /Doc:DP 1194019 P /Rev:10-Mar-2014 /NSW LRS /Pgs:ALL /Prt:24-May-2022 10:16 /Seq:3 of 3
© Office of the Registrar-General /Src:GLXTerrain /Ref:Darnson Pty Ltd (Mudgee)

PLAN FORM 6A (2012)

WARNING: Creasing or folding will lead to rejection

DEPOSITED PLAN ADMINISTRATION SHEET		Sheet 2 of 2 sheet(s)		
<p style="text-align: right;">Office Use Only</p> <p>Registered:  7.3.2014</p> <hr/> <p>PLAN OF</p> <p style="text-align: center;">SUBDIVISION OF LOT 4 IN DP 1174282</p> <hr/> <p>Subdivision Certificate number: <u>048/2014</u></p> <p>Date of Endorsement: <u>24/1/2014</u></p>	<p style="text-align: right;">Office Use Only</p> <p style="text-align: center; font-size: 24pt;">DP1194019</p> <hr/> <p>This sheet is for the provision of the following information as required:</p> <ul style="list-style-type: none"> A schedule of lots and addresses - See 60(c) SSI Regulation 2012 Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919 Signatures and seals- see 195D Conveyancing Act 1919 Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets. 			
<p>PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT 1919 AS AMENDED, IT IS INTENDED TO CREATE:</p> <p>1: RESTRICTION ON THE USE OF LAND</p> <p>STREET ADDRESSES OF ALL LOTS ARE NOT AVAILABLE</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>SIGNED for and on behalf of TINOBAH PTY LIMITED by its authorised Officers pursuant to Section 127 of the Corporations Act 2001 ACN 000 837 427</p> <p></p> <p>..... Richard Wallace Turner Director</p> </td> <td style="width: 50%; vertical-align: top;"> <p></p> <p>..... Jennifer Anne Turner Director</p> </td> </tr> </table> <p>NATIONAL AUSTRALIA BANK LIMITED as Mortgagee under Mortgage No: AA985640</p> <p>Mortgagee under Mortgage No. <u>AA985640</u> Signed at <u>Mudgee</u> this <u>12TH</u> day of <u>FEBRUARY</u> 20<u>14</u> for National Australia Bank Limited ABN 12 004 044 937 by <u>PETER WILLIAM COTTEN</u> its duly appointed Attorney under Power of Attorney No. 39 Book 4512</p> <p></p> <p>..... Level 3 Attorney</p> <p></p> <p>..... Witness/Bank Officer <u>Matthew Ronan Revell</u></p>			<p>SIGNED for and on behalf of TINOBAH PTY LIMITED by its authorised Officers pursuant to Section 127 of the Corporations Act 2001 ACN 000 837 427</p> <p></p> <p>..... Richard Wallace Turner Director</p>	<p></p> <p>..... Jennifer Anne Turner Director</p>
<p>SIGNED for and on behalf of TINOBAH PTY LIMITED by its authorised Officers pursuant to Section 127 of the Corporations Act 2001 ACN 000 837 427</p> <p></p> <p>..... Richard Wallace Turner Director</p>	<p></p> <p>..... Jennifer Anne Turner Director</p>			
<p>Surveyor's Reference F462MU 2012M7100(1287)</p>				

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APPENDIX B
AHIMS Search



AHIMS Web Services (AWS)
Search Result

Your RefPO Number : tumers

Client Service ID : 889684

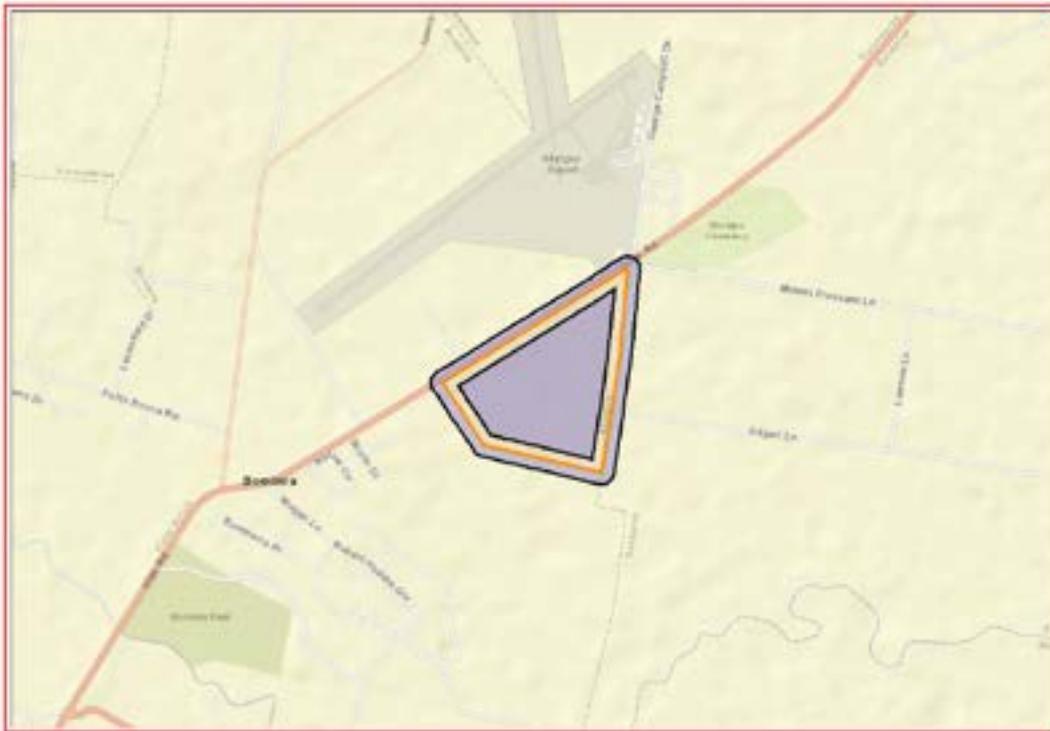
Barnson
Suite 6 11 White Street
Tamworth New South Wales 2340
Attention: Jack Massey
Email: jmassey@barnson.com.au

Date: 06 May 2024

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 15, DP:DP1194019, Section : - with a Buffer of 50 meters, conducted by Jack Massey on 06 May 2024.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette](https://www.legislation.nsw.gov.au/gazette) (<https://www.legislation.nsw.gov.au/gazette>) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings.
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.

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APPENDIX C

Existing Approval Documents



MID-WESTERN REGIONAL COUNCIL
PO Box 156, MUDGEE NSW 2850
86 Market Street, Mudgee | 109 Herbert Street, Gulong | 77 Louisa Street, Rylstone
T 1300 765 002 or 02 6378 2850 | F 02 6378 2815
| council@midwestern.nsw.gov.au

SArmstrong:kb:DA0109/2016

21 March 2016

Rick Turner
10/450 Edgecliff Road
EDGECLIFF NSW 2027

Dear Sir/Madam

**DEVELOPMENT APPLICATION DA0109/2016 –STAGED SUBDIVISION TORRENS TITLE
1 LOT INTO 45 - LOT 15 DP 1194019 - 66 EDGELL LANE BUCKAROO NSW 2850**

I am pleased to advise that your application has been approved by Council.

Attached is Council's formal Development Consent No. DA0109/2016.

It is important that you read the consent and understand the requirements of any conditions imposed. Certain requirements may need to be satisfied prior to proceeding with the development.

The consent is a legal document and should be kept for your future reference as the development proceeds. It should be noted that commencement of the development implies your acceptance of the conditions of consent.

Should you have any query regarding the consent or associated conditions, do not hesitate to contact myself or the appropriate Council officer.

Yours faithfully

A handwritten signature in black ink, appearing to be "BRAD CAM".

**BRAD CAM
GENERAL MANAGER**



MID-WESTERN REGIONAL COUNCIL
PO Box 156, MUDGEES NSW 2850
86 Market Street, Mudgee | 109 Herbert Street, Gulgong | 77 Louisa Street, Rylstone
T 1300 765 002 or 02 6378 2850 | F 02 6378 2815
E council@midwestern.nsw.gov.au

Notice of Determination of a Development Application

Issued under the *Environmental Planning and Assessment Act 1979* Section 81(1)(a)

Our Ref: SArmstrong:kb:DA0109/2016	DA No: DA0109/2016
Applicant: Rick Turner 10/450 Edgecliff Road EDGECLIFF NSW 2027	Land to be Developed: Lot 15 DP 1194019 66 Edgell Lane BUCKAROO NSW 2850
Proposed Development: Staged Subdivision - Torrens Title 1 Lot into 45 Lots	Building Code of Australia Classification: -
Date of Determination: 16 March 2016	
Determination:	CONSENT GRANTED The application was determined by Councilors of Mid-Western Regional Council at its Ordinary Meeting 16 March 2016 and was granted consent subject to conditions set out below
Consent to operate from: 21 March 2016	Consent to lapse on: 21 March 2021

CONDITIONS

APPROVED PLANS

1. The development is to be carried out in accordance with the following plans endorsed with Council's Stamp as well as the documentation listed below, except as varied by the conditions listed herein and/or any plan notations.

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date:	Prepared by:
Subdivision Plan	BK228 Sheet 3	A	1 March 2016	Jabek Pty Ltd
Statement of Environmental Effects (Including Appendices)	N/A	1	September 2015	Minespex

ENGINEERING CONSTRUCTION

2. The applicants shall, at their own expense, engage a registered surveyor to relocate any survey mark that may be disturbed by the development or any associated work. Any information regarding relocation should be supplied to the Land Titles Office and Council.
3. All works are to be constructed at the full cost of the developer, in a manner consistent with Aus-Spec #1 and Council's standard drawings.
4. The subdivision works are to be inspected by the Council (or an Accredited Certifier on behalf of Council) to monitor compliance with the consent and the relevant standards of construction, encompassing the following stages of construction:
 - Installation of sediment and erosion control measures
 - Water and sewer line installation prior to backfilling
 - Establishment of line and level for kerb and gutter placement
 - Road Pavement construction
 - Road Pavement surfacing
 - Practical Completion

PRIOR TO ISSUE OF THE CONSTRUCTION CERTIFICATE

5. A detailed engineering design is to be submitted to and approved by Council prior to the issue of a Construction Certificate. The engineering design is to comply with Council's Development Control Plan and the Standards referenced within Appendix B and D.

Construction Certificate is required for, but not limited to, the following civil works;

- Water and sewer main extensions
- Stormwater drainage such as inter-allotment drainage, detention basins,
- Road construction
- Footpath and kerb & gutter
- Landscaping of public reserves

Note: No works can commence prior to the issue of the Construction Certificate.

6. Where the development requires access to private land, the developer shall provide documentary evidence that an agreement has been entered into with the landowner prior to the issue of a Construction Certificate. If stormwater drainage, or utilities are to be located within the private land, an easement is to be created prior to release of the Construction Certificate.
7. The Developer is to provide evidence of an Engagement Letter that the Subdivision has been registered with Telstra Smart Communities prior to the issue of the Construction Certificate.
8. The applicant is to submit a Drainage Report prepared in accordance with the Institution of Engineers publication Australian Rainfall and Run-off to the Principal Certifying Authority for approval prior to the release of the Construction Certificate. The report must demonstrate that stormwater runoff from the site is not increased beyond the existing undeveloped state up to and including a 100 year event. All storm water detention details including analysis shall be included with the drainage report.

9. The trunk drainage system must be designed such that discharge from the subdivision satisfies the following water quality targets:

Post Development Stormwater Pollution Reduction Targets	
•	Total Suspended Solids (TSS) – 85% reduction of the typical annual load
•	Total Phosphorus (TP) – 65% reduction of the typical annual load
•	Total Nitrogen (TN) – 45% reduction of the typical annual load
•	90% of gross pollutant loads, oil and grease retained on-site

Note: Results from MUSIC modelling or equivalent shall be supplied with Construction Certificate Issue plans demonstrating that the design meets the above criteria.

10. Where the trunk drainage system crosses through private land three metre wide easements, including associated Section 88B of the Conveyancing Act 1919 instruments, are to be created in favour of Council over any existing or newly constructed stormwater drainage located within the subject property, or extended through adjoining private properties as a result of this subdivision.

Note: where an easement is proposed over private land for the purpose of servicing this subdivision, Council will require evidence that the easement has been created prior to the release of the Construction Certificate.

11. All internal roads shall comprise roll back concrete kerb and gutter. Sub-surface drainage is required where gutter flows exceed 2.5m width during minor events (1 in 5yr ARI). If required, sub-surface drainage shall be located behind the kerb.
12. All earthworks, filling, building, driveways or other works, are to be designed and constructed (including stormwater drainage if necessary) so that at no time will any ponding of stormwater occur on adjoining land as a result of this development.
13. Inter-allotment drainage is to be provided to remove stormwater from any lots that cannot discharge to the street in accordance with Aus Spec #1. Easements not less than 1m wide shall be created over inter-allotment drainage in favour of upstream allotments.
14. One (1) roof-water outlet per allotment is to be provided in the kerb and gutter 2m from the downhill boundary at the time of installation of the kerb and gutter
15. Any soil/water retention structures are to be constructed prior to the bulk stripping of topsoil, to ensure sediment from the whole site is captured.
16. All internal roads within the subdivision must be designed and constructed to the following standards:

Road 1

Item	Requirement
Full Road Pavement Width	13 m (2 x 3.5m travel lanes with 2x3m sealed shoulders parallel parking lanes)
Nature Strip	2 x 4.5m
Concrete Footpaths	2.5m Wide
Seal	Two-coat flush seal -14/7 mm (Double/ Double) as required
Kerb & Gutter	Roll back concrete kerb & gutter
Subsoil Drainage	Where gutter flow exceeds 2.5m during minor events or adjacent to intersections. To be installed behind kerb

Road 2

Item	Requirement
Full Road Pavement Width	9 m (2 x 3.5m travel lanes with 2x1m sealed shoulders)
Nature Strip	2 x 4.5m
Concrete Footpaths	1.2m Wide
Seal	Two-coat flush seal -14/7 mm (Double/ Double) as required
Kerb & Gutter	Roll back concrete kerb & gutter
Subsoil Drainage	Where gutter flow exceeds 2.5m during minor events or adjacent to intersections. To be installed behind kerb

Road 3 & 4

Item	Requirement
Full Road Pavement Width	8 m (2 x 4m travel lanes)
Nature Strip	2 x 4m
Concrete Footpaths	Nil
Seal	Two-coat flush seal -14/7 mm (Double/ Double) as required
Kerb & Gutter	Roll back concrete kerb & gutter
Subsoil Drainage	Where gutter flow exceeds 2.5m during minor events or adjacent to intersections. To be installed behind kerb

17. The submission to Council of engineering design plans for any road works shall include pavement and wearing surface investigation and design.
18. All electrical, telecommunication and water service crossings are to be perpendicular to the road centreline and performed prior to the addition of the base course and installation of the kerb and gutter.
19. All stormwater, water and sewer main infrastructure road crossings must be installed prior to the addition of the base course and installation of kerb and gutter.

20. All water mains and associated fittings/valves should not be installed underneath a concrete structure such as the footpath.
21. All required earthworks for roads associated with the subdivision must have compacting testing in compliance with RMS Q4 and AUS-SPEC CQS-A.
22. A Traffic Control Plan (TCP) completed by a "Certified Person" for implementation during works is to be submitted to Mid-Western Regional Council prior to any work commencing.
23. All internal roads must be designed with design speed of 50km/hr.
24. Street signs necessitated by the subdivision are to be installed in accordance with Aus-Spec #1 and Council standards.
25. A Give Way sign is required to be installed on the internal subdivision road at the junction with Ulan Road.
26. 50km/hr speed restriction signs, duplicated both sides of the road, are to be installed on Road 1 at the entry to the subdivision. These signs must also indicate 80km/hr for traffic leaving the subdivision.
27. The proposed internal road network should have sufficient width to accommodate the turning paths for service vehicles (eg. Rubbish collection and removalist vehicles). Particular attention should be given to cul de sac finishing points.
28. Street tree landscaping is to be provided within the proposed road reserve on Ulan Road and internal subdivision roads. A plan for the proposed planting is to be submitted for approval by Council. All landscaping is to consist of appropriately advanced trees in accordance with Clause 7.1 Urban Subdivision of the Mid-Western Regional Council Development Control Plan amended December 2014.
29. An Erosion and Sediment Control Plan for the development is to be prepared and implemented in accordance with the LANDCOM guidelines and requirements as outlined in the latest edition of "Soils and Construction – Managing Urban Stormwater". Points to be considered include, but are not limited to:
 - Drainage reserves are to be turfed.
 - single strip of turf to be laid behind kerb and gutter.
 - saving available topsoil for reuse in the revegetation phase of the subdivision;
 - using erosion control measures to prevent on-site damage;
 - rehabilitating disturbed areas quickly
 - maintenance of erosion and sediment control structures;
 - a schedule of operations is to be submitted to ensure all appropriate works are undertaken at the correct stage.
30. All finished surface levels shall be shown on the plans submitted for the Construction Certificate. Where it is proposed to import fill, the material shall be certified as free of hazardous materials and contamination by a suitably qualified geotechnical engineer. Fill placed in residential or commercial lots shall be compacted in accordance with AS3798-2007 Guidelines on Earthworks for Commercial and Residential Developments.
31. The proponent shall obtain a Section 91 Activity Approval under the Water Management Act 2000 should drainage or other works be carried out in within 40m of a prescribed watercourse or creek.

Note: Please contact the NSW Office of Water for more information in relation to this matter.

32. If any aboriginal artefacts are uncovered or identified during construction earthworks, such work is to cease immediately and the local aboriginal community and National Parks and Wildlife Service are to be notified.
(Note: A suitably qualified person is required to be present during earthworks to identify whether any artefacts were uncovered)
33. The developer is to extend and meet the full cost of water and sewerage reticulations to service the new lots prior to the release of the Subdivision Certificate. Each lot must be provided with separate water and sewer services. All water and sewerage work is required to be carried out in accordance with the requirements of Mid-Western Regional Council (as the Water Supply Authority under the Local Government Act, 1993) and in accordance with the National Specification – Water & Sewerage Codes of Australia.
34. Three metre wide easements, including associated Section 86B Instruments, are to be created in favour of Council over any existing or newly constructed water or sewerage reticulation components located within the subject property, or extended through any private properties as a result of this subdivision.

Note: where an easement is proposed over private land for the purpose of servicing this subdivision, Council will require evidence that the easement has been created prior to the release of the Construction Certificate.

35. The proposed sewer pump station is to be located and constructed on proposed lot 34. Details to be provided at Construction Certificate stage.
36. All water mains associated fittings/valves shall be clockwise close.

PRIOR TO COMMENCEMENT OF WORKS

37. Prior to the commencement of subdivision works, the following actions are to be carried out;
- A site supervisor is to be nominated by the applicant;
 - Council is to be provided with two (2) days' notice of works commencing.
 - Council is to be notified in writing of any existing damage to Council's infrastructure

Note: Failure to comply with these conditions will result in damage to Council's infrastructure being rectified by the applicant and at the applicant's cost.

38. Contractor's public liability insurance cover for a minimum of \$20,000,000 is to be sighted and shown to Mid-Western Regional Council as an interested party. Public Liability Insurance is to include Mid-Western Regional Council as an interested party and a copy of the insurance policy including the Certificate of Currency is to be provided to Mid-Western Regional Council prior to the commencement of work. All work is to be at no cost to Council.
39. Any necessary alterations to, or relocations of, public utility services to be carried out at no cost to council and in accordance with the requirements of the relevant authority including the provision of easements over existing and proposed public infrastructure.
40. Prior to commencement of works, the submission of three possible street/road names in order of preference, for the proposed new road within the subdivision, are to be submitted to Council for approval.

41. The development site is to be managed for the entirety of work in the following manner:
- Appropriate dust control measures;
 - Construction equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained;
 - Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.

GENERAL TERMS OF APPROVAL (NSW Roads and Maritime Service)

42. The intersection of the proposed public road and Ulan Road is to be constructed to include an Auxiliary Left Turn Treatment Short [AUL(S)] and Channelised Right Turn Treatment [CHR] on a major road in accordance with Figures 8.3 & 7.7 Part 4A Austroads Guide to Road Design respectively (copies enclosed) and Roads and Maritime supplements. The intersection treatment is to incorporate and make allowances for the existing rural property access from Ulan Road opposite the proposed new intersection. The intersection is to be formed as to provide lay-bys on the departure sides for use as a school bus stop shelter.
43. All intersection works are to be designed and constructed to accommodate the largest vehicle accessing the intersection and for the current speed zone of 80km/h, match existing road levels and not interfere with existing road drainage.
44. A suitable barrier is to be provided on the subject land to prevent vehicles from entering/exiting Ulan Road from/to the subject land other than via the proposed public road.

PRIOR TO THE ISSUE OF THE SUBDIVISION CERTIFICATE

45. Under the Environmental Planning & Assessment Act, 1979, a Subdivision Certificate is required before the linen plan of subdivision can be registered with the Land Titles Office.
- Note: The fee to issue a Subdivision Certificate is set out in Council's Fees and Charges #. The final inspection report shall be submitted to Council with the Subdivision Certificate application.
46. A linen plan and two (2) copies are to be submitted to Council for approval and endorsement by the General Manager.
47. If the Subdivision Certificate is not issued, for any reason whatsoever, by the end of the financial year immediately following the date of determination, then the charges and contributions contained in this consent, may be increased to the current rate at the time of payment.
48. Following completion of the subdivision works, work-as-executed plans (WAE) are to be provided to Council in the following formats;
- a. PDF
 - b. Dwg format or "Autocad compatible"
 - c. Map Information Files
- All work-as-executed plans shall bear the Consulting Engineer's or Consulting Surveyor's certification stating that all information shown on the plans is accurate.
49. Underground electricity and telecommunications are to be supplied to the subdivision.

50. Prior to issue of the Subdivision Certificate, Council is to be supplied with:
- A certificate from the appropriate power authority indicating that satisfactory arrangements have been made for provision of electricity supply to the subdivision.
 - A certificate from the appropriate telecommunications authorities indicating that satisfactory arrangements have been made for provision of telephone services to the subdivision.
 - All contributions must be paid to Council and all works required by the consent be completed in accordance with the consent.
51. The developer must provide Council and land purchasers with a site classification for each lot within the subdivision. The classification is to be carried out at a suitable building site on each lot and is to be carried out by a NATA registered laboratory using method (a) of Clause of AS2870 - 2011. Results are to be submitted to Council prior to issue of the Subdivision Certificate.
52. Street trees are required at a rate of two (2) trees per lot and are to be planted prior to the issue of the Subdivision Certificate. The trees are to be semi- mature and barricaded for protection
53. To mitigate the impacts of traffic noise upon Lots 1 – 8 and 45, an acoustic assessment is required to be prepared by an appropriately qualified and experienced acoustic engineer. This assessment report must be submitted to and approved by Council prior to the release of the subdivision certificate. Any recommendations arising from the report are required to be implemented during construction of a dwelling upon that lot.
54. A Restriction as to User is to be registered on the title of proposed lots 1 – 8 and 45 stating that no direct access to Ulan Road is permitted.
55. A Restriction as to User is to be place on Lot 34 restricting the location of any future dwelling to area zoned R2 Low Density Residential.
56. A shared Pedestrian/bicycle path is to be provided and constructed along the Ulan Road frontage.
57. An application for a Compliance Certificate under the Water Management Act, 2000 is to be submitted to Council as the Water Supply Authority and approved prior to the issue of a Subdivision Certificate for the development.
- Note: This will include (but is not limited to) the requirement to alter and extend services, upgrade and install ancillary infrastructure such as the sewer pump station and the payment of section 64 developer contributions.

58. In accordance with the provisions of section 94 of the Environmental Planning and Assessment Act 1979 and the Mid-Western Regional Council Section 94 Developer Contributions Plan, a contribution shall be paid to Council in accordance with this condition for the purpose of: SUBJECT TO CPI INCREASE

Transport Management	
Traffic Management	\$53,504
Open Space	
Local Open Space	\$84,040
District Open Space	\$114,048
Community Facilities	
Library Buildings	\$11,000
Library Resources	\$13,200
Administration	
Plan Administration	\$25,652
TOTAL	\$301,444

PRESCRIBED CONDITION

59. A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
- showing the name, address and telephone number of the principal certifying authority for the work, and
 - showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - stating that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

OTHER APPROVALS

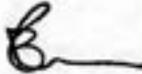
N/A

ADVISORY NOTES

- The removal of trees within any road reserve requires the separate approval of Council in accordance with the policy "Tree Removal and Pruning – Public Places".
- The land upon which the subject building is to be constructed may be affected by restrictive covenants. This approval is issued without enquiry by Council as to whether any restrictive covenant affecting the land would be breached by the construction of the building, the subject of this approval. Persons to whom this approval is issued must rely on their own enquiries as to whether or not the building breaches any such covenant.
- Section 82A of the Environmental Planning and Assessment Act (EP&A Act) gives you the ability to seek a review of the determination. This request is made to Council and must be made within 6 months after the date on which you receive this notice. The request must be made in writing and lodged with the required fee; please contact Council's Planning and Development Department for more information or advice.

- 4 If you are dissatisfied with this decision section 97 of the EP&A Act 1979 gives you the right to appeal to the Land and Environment Court within 6 months after the date on which you receive this notice.
- 5 To ascertain the date upon which the consent becomes effective, refer to Section 83 of the EP&A Act.
- 6 To ascertain the extent to which the consent is liable to lapse, refer to Section 95 of the EP&A Act.

Signed on behalf of Mid-Western Regional Council by:



BRAD CAM
GENERAL MANAGER
21 MARCH 2016



MID-WESTERN REGIONAL COUNCIL
APPROVED PLAN
APPLICATION NO DA0109/2016
SIGNED B Authorised person
DATE 22.3.16

**Statement of Environmental Effects
Proposed Staged Low Density
Residential Subdivision
of Lot 15 in DP1194019**

66 Edgell Lane, Mudgee NSW 2850

for

Mr R Turner

Project Ref. – RT081_AS2

MINESPEX
Head office
Units 2 & 3, 73 Market St.
Mudgee, NSW 2850

PO BOX 604
Mudgee, NSW 2850

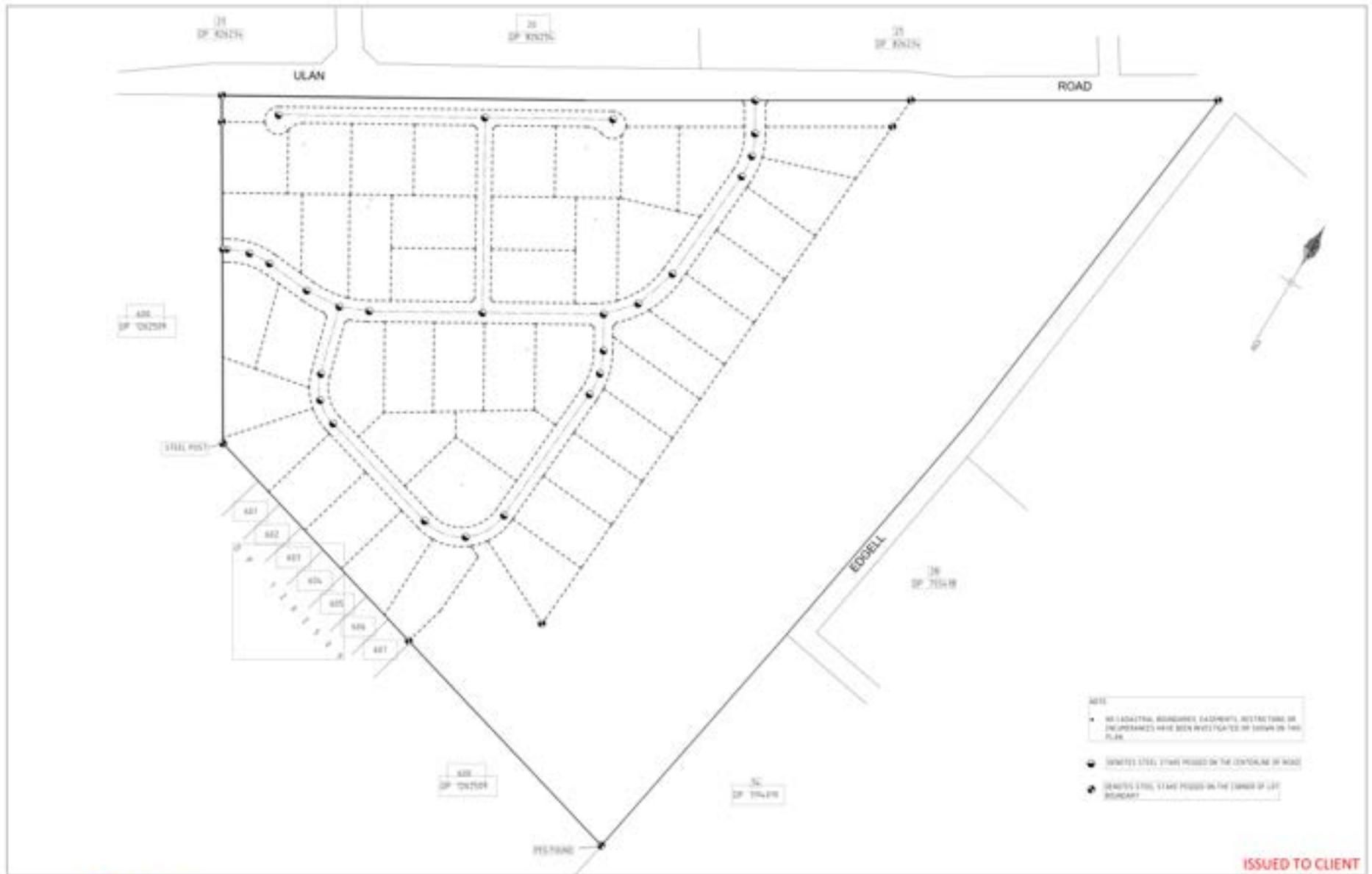
T +61 2 6372 9512
E admin@minespex.com.au

September 2015

barnson.

APPENDIX D

Physical Commencement Works



- NOTES**
- NO LADACETAL BOUNDARY, EASEMENTS, RESTRICTIONS OR ENCUMBRANCES HAVE BEEN INVESTIGATED OR SHOWN ON THIS PLAN.
 - DIMENSIONED STEEL STAKE POSSES BY THE CENTERLINE OF ROAD.
 - DIMENSIONED STEEL STAKE POSSES BY THE CORNER OF LOT BOUNDARY.

ISSUED TO CLIENT



BARNSON GROUP LTD
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 • www.barnson.com.au
 Southern | Geelong | Melbourne | Sydney | Brisbane

THIS DRAWING IS TO BE USED ONLY AS A GUIDE AND DOES NOT CONSTITUTE A CONTRACT. THE CLIENT ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED AND FOR THE RESULTS OF ANY ACTION TAKEN IN RELIANCE ON THIS DRAWING. THE CLIENT ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED AND FOR THE RESULTS OF ANY ACTION TAKEN IN RELIANCE ON THIS DRAWING.

Client: **RICK TURNER**
 Project: **PROPOSED BOUNDARY AND ROAD SETOUT AT LOT 15 OF DP 1254613 66 EDGELL LANE, BOMBIRA NSW**
 Drawing Title: **PROPOSED BOUNDARY AND ROAD SETOUT PLAN**

Rev: 1 Date: 20/10/24 Approved: [Signature]

Design: **BT** Certification:
 Drawn: **BT**
 Check: **RB** Drawing Number:
 Original Sheet: **39130_L02** Revision: **A**



barnson.
DESIGN . PLAN . MANAGE

Geotechnical Pavement Design Report

Client: Rick Turner

Site Address: 66 Edgell Lane, Bombira NSW

18 January 2023

Our Reference: 39130-GR01_A

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DISCLAIMER

This report has been prepared solely for Rick Turner in accordance with the scope provided by the client and for the purpose(s) as outlined throughout this report. Barnson Pty Ltd accepts no liability or responsibility for or in respect of any use or reliance upon this report and its supporting material by anyone other than the client.

The accuracy of the advice provided in this report may be limited by unobserved variations in ground conditions across the site in areas between and beyond test locations and by any restrictions in the sampling and testing which was able to be carried out, as well as by the amount of data that could be collected given the project and site constraints. These factors may lead to the possibility that actual ground conditions and materials behaviour observed at the test locations may differ from those which may be encountered elsewhere on the site. If the sub-surface conditions are found to differ from those described in this report, we should be informed immediately to evaluate whether recommendations should be reviewed and amended if necessary.

Project Name:	66 Edgell Lane, Bombira NSW
Client:	Rick Turner
Project Number:	39130
Report Reference:	39130-GR01_A
Date:	18.01.2023
Revision	Revision A
Prepared by:	Reviewed by:
	
Gareth Williams Laboratory Technician	Richard Noonan BE(Hons) ME FIEAust CPEng NER Director



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1. INTRODUCTION

The following is a report on the geotechnical assessment of a site in accordance with AS1726-2017 "Geotechnical Site Investigations".

The site investigation was carried out by Barnson Pty Ltd, on behalf of Rick Turner of Bombira NSW.



Plate 1 – Area of Investigation

Rick Turner is proposing to construct new internal sub-division roads at 66 Edgell Lane, Bombira NSW. The proposed site features that are covered by this investigation are as follows;

- Proposed Internal Road Construction

The investigation comprised of six (6) boreholes together with field mapping near the site. Details of the field work and laboratory testing are given in the report together with comments relevant to design and construction practice.



1.1. Terminology

The methods used in this report to describe the soil profiles, including visual classification of material types encountered, are in accordance with Australian standard AS1726-2017 "Geotechnical Site Investigations".

1.2. Limitations

The geotechnical section of Barnson Pty Ltd has conducted this investigation and prepared this report in response to specific instructions from the client to whom this report is addressed. This report is intended for the sole use of the client, and only for the purpose which it is prepared. Any third party who relies on the report or any representation contained in it does so at their own risk.

1.3. Geotechnical Testing

Representative samples from the site were subjected to the following range of tests in accordance with relevant method of Australian Standard AS1289:

- **Maximum Dry Density**
- **California Bearing Ratio**

NATA reports are attached in **Appendix D**.

2. GENERAL DESCRIPTION OF SITE

The site is situated in a semi-rural area on the northeast of Bombira NSW.

The site consists of no grass and weed cover. There are mature trees and vineyard trees with the proposed location.

The site is sloping slightly to the southeast. The site has an existing Vineyard in the proposed sub division location.



Plate 2 – General view of site facing northeast.



Plate 3 – General view of site facing southwest.



Plate 4 – General view of site facing northeast.

3. SITE HISTORY

A review of Google Earth imagery of the site indicates that trees are influencing the site since before an image taken in 2003. Images exist back to 1985, yet the image is not clear enough to determine what was on the site. The trees are still existing on the site and should be excavated and backfilled with natural material and reinstated in layers to a minimum of 95% Standard Maximum Dry Density. See 2003 aerial image below:



Plate 5 – Aerial Image 2003, Courtesy Google Earth.



4. METHOD OF INVESTIGATION

On the 21st of November 2022, a geotechnical investigation was carried out at the site of the above-mentioned development. The field drilling was carried out by a geotechnical technician who logged the boreholes on site and undertook geological mapping of the nearby area.

A drilling rig with a 300mm auger and tungsten tip was used to excavate six (6) boreholes for the proposed roads to depths of 1.5m within the proposed development area. These are identified as boreholes 1 through 6.

4.1. GPS Co-Ordinates

The boreholes were drilled as close as possible to the anticipated location of the proposed structures. GPS Co-ordinates of these were recorded on site to enable plotting of the borehole locations. The following Table 1 shows these co-ordinates.

Table 1: GPS Co-Ordinates of Boreholes

Location	Longitude	Latitude	Proposed Structure
Borehole 1	149.609258	-32.573734	Internal Roads
Borehole 2	149.610705	-32.573287	Internal Roads
Borehole 3	149.612548	-32.571459	Internal Roads
Borehole 4	149.612489	-32.574181	Internal Roads
Borehole 5	149.610524	-32.572296	Internal Roads
Borehole 6	149.609250	-32.572095	Internal Roads

The boreholes were recorded on site with a Garmin Oregon 550 handheld GPS, using GDA94 Datum. The co-ordinates have an accuracy of +/- 5m. These locations are also shown on site plan in **Appendix B**. Bulk samples (Ds >25kg) were sampled from all relevant boreholes and returned to the Laboratory where NATA testing was performed to assist in the material classification.

The borehole logs of sub-surface profiles are attached in **Appendix C**



5. GENERAL SUB-SURFACE CONDITIONS

From the bore logs attached it can be seen that the soil encountered to the test end point was as follows:

5.1. Topsoil

A 0.2m thick layer of topsoil was encountered at all borehole locations. The topsoil consisted of sandy silt.

5.2. Alluvial Sub-Soils

Alluvial soils were encountered though out the boreholes. These generally comprised of slightly moist silts and clays to the depths as shown in the borehole logs attached in **Appendix C**. The silts and clays were noted to be of a medium to high plasticity

5.3. Regional Geology

Reference to the New South Wales 1:1,00,000 Geological Map indicates the surrounding area consists of *"Alluvial and riverine plain deposits of gravel, sand, silt and clay; claypans and outwash areas of black and red clayey silt and sand; coastal sand dunes and beach deposits"*.

Rock was not encountered during this investigation.

5.4. Seismicity

Reference is made to AS1170.4-2007 as per clause 4.1.1 the sites sub-soil class is "Ce – Shallow Sub-soil".



6. NATA LABORATORY TESTING

Disturbed samples were taken during the field investigation. Laboratory testing was carried out on selected samples of all different material types, with details of the sampling and testing shown below:

Soil Index Properties testing were carried out on samples to aid in classification of the soils encountered and to assist in determining design parameters.

6.1. California Bearing Ratio (CBR) Testing

CBR testing was conducted on the samples across the site to determine the soaked CBR values. The results are shown below:

Table 2: Maximum Dry Density & CBR Testing Results

Borehole No.	Location	Maximum Dry Density (t/m)	Optimum Moisture Content (%)	CBR Value (%)
Borehole 1	Internal Roads	1.57	24.5	1.5
Borehole 2	Internal Roads	1.68	20.0	1.5
Borehole 3	Internal Roads	1.75	18.0	1.5
Borehole 4	Internal Roads	1.91	14.0	1.5
Borehole 5	Internal Roads	1.66	22.5	1.5
Borehole 6	Internal Roads	1.76	17.5	4.5

The samples were then tested to determine soaked CBR values at a Standard Density Ratio of 95%, with the results shown in the above table. See **Appendix D** for all complete test reports.

7. SUB-SURFACE BEARING CAPACITIES

7.1. Bearing Capacities General

All the below soil strengths are applicable to the sites at the time of the investigation. These bearing capacities should not be used for design purposes, they are provided to give an indication of soil strength only. Refer to section 8 for footing design parameters.

Elevation of moisture content will cause a marked decrease in bearing capacity with soil types listed.

Table 3: In-Situ Site Bearing Capacities

Borehole No.	Soil Strata	Depth of Strata (m)	Ultimate Base Bearing Capacity (kPa)	Factored Limit State $\phi = 0.52$ (kPa)
Borehole 1	Soft CLAY	0.2-0.5	<10	N/a
Borehole 1	Stiff CLAY	0.4-0.6	300	156
Borehole 1	Very Stiff CLAY	0.6-1.2	300	156
Borehole 1	Hard CLAY	1.2-1.5	>500	260
Borehole 2	Soft CLAY	0.2-0.5	<10	N/a
Borehole 2	Stiff CLAY	0.4-0.6	300	156
Borehole 2	Very Stiff CLAY	0.6-1.2	300	156
Borehole 2	Hard CLAY	1.2-1.5	>500	260
Borehole 3	Soft CLAY	0.2-0.5	<10	N/a
Borehole 3	Stiff CLAY	0.4-0.6	300	156
Borehole 3	Very Stiff CLAY	0.6-1.2	300	156
Borehole 3	Hard CLAY	1.2-1.5	>500	260
Borehole 4	Soft CLAY	0.2-0.5	<10	N/a
Borehole 4	Stiff CLAY	0.4-0.6	300	156
Borehole 4	Very Stiff CLAY	0.6-1.2	300	156
Borehole 4	Hard CLAY	1.2-1.5	>500	260



Borehole No.	Soil Strata	Depth of Strata (m)	Ultimate Base Bearing Capacity (kPa)	Factored Limit State $\phi = 0.52$ (kPa)
Borehole 5	Soft CLAY	0.2-0.5	<10	N/a
Borehole 5	Stiff CLAY	0.4-0.6	300	156
Borehole 5	Very Stiff CLAY	0.6-1.2	300	156
Borehole 5	Hard CLAY	1.2-1.5	>500	260
Borehole 6	Soft CLAY	0.2-0.5	<10	N/a
Borehole 6	Stiff CLAY	0.4-0.6	300	156
Borehole 6	Very Stiff CLAY	0.6-1.2	300	156
Borehole 6	Hard CLAY	1.2-1.5	>500	260

A Geotechnical reduction factor of 0.52 has been applied to all listed ultimate bearing capacities (reference table 4.3.2 (i) AS2159-2009) low to moderate risk rating.



8. EARTHWORKS RECOMMENDATIONS

8.1. Excavations

Excavations within the natural silts and clays will be achievable using conventional earthmoving equipment. The civil contractor should be responsible for selecting excavation equipment based on the proposed excavation depths and equipment capabilities.

8.2. General Construction Filling

All earthworks performed on site must be undertaken in a controlled manner, in accordance with a suitable earthwork's specification. Filling should be placed, compacted, inspected and tested in accordance with the Level 2 requirements of AS3798-2007.

The following conditions should also be satisfied:

- General filling must be compacted to a minimum dry density ratio of 98-100% relative to standard compaction at a moisture content of -2% to +2% of standard optimum moisture content.
- Filling should proceed in layers of 300mm maximum loose thicknesses.
- Layers of filling should be horizontal or benched to suit the surrounding topography.
- Natural soil is NOT suitable to be used as bulk fill due to high reactivity.

8.3. Site Construction Batters

8.3.1. Temporary batter slopes

Temporary batters in soil should be graded no steeper than 2 Horizontal (H) in 1 Vertical (V), and protected from erosion by re-directing any surface water flows from the batter face, revegetating etc.

8.3.2. Permanent batter slopes

Permanent batter slopes in with clay should be no steeper than 3 Horizontal (H) in 1 Vertical (V) and protected from erosion. Alternatively, fill embankments may be retained with properly designed and constructed retaining walls.



8.4. Flexible Pavement Areas

In-situ CBR values have confirmed a CBR of 1.5% for the natural clays. Any sealed asphalt or bitumen areas with commercial traffic are to incorporate gravel pavement layers of an overall thickness of **500mm** thick, having two equal layers. A design ESA value of 4×10^3 has been adopted for these areas for traffic as per Austroads AP-T36/06 "Pavement Design for Light Traffic." table 7.9 for minor street with two lane traffic, AADT two way of 90 vehicles per day, 3% heavy vehicles and twenty-year design life.

The pavement layers should consist of suitable local gravel having a CBR value not less than 80% for base layers and 60% for sub-base layers. All imported gravel layers should be placed and tested to the requirements set out in AS3798-2007. It is essential that all pavement areas are well drained so that moisture is not stored in this layer that would affect the strength of the sub-grade soil.

The subgrade soil was found to be soft to a depth of 500mm. this unsuitable material will require removal and replacement with compacted road base as per specified below in section 8.6.

8.5. Rigid Pavements

Rigid pavements of concrete slab on ground can be designed with the aid of CCA T48-2009 "Guide to Industrial Floors and Pavements". The design subgrade CBR can be taken as 1.5%, which correlates to a long-term Young's Modulus of 6MPa. Short term Young's Modulus can be taken as 8MPa. The natural silts and clays have a correlated Poisson's ratio of 0.35 for long term loading, 0.45 for short term loading.

8.6. General Pavement Notes

All pavement areas are required to be sealed and well drained to prevent moisture affecting the sub-grade. All pavement areas should be removed of any other deleterious material then compacted to a minimum of 100% standard compaction. The pavement should be placed, compacted and tested in accordance with AS3798-2007.



9. CONCLUSION

The testing methods adopted are indicative of the site's sub-surface conditions to the depths excavated and to specific sampling and/or testing locations in this investigation, and only at the time the work was carried out.

The accuracy of geotechnical engineering advice provided in this report may be limited by unobserved variations in ground conditions across the site in areas between and beyond test locations and by any restrictions in the sampling and testing which was able to be carried out, as well as by the amount of data that could be collected given the project and site constraints.

These factors may lead to the possibility that actual ground conditions and materials behaviour observed at the test locations may differ from those which may be encountered elsewhere on the site.

If the sub-surface conditions are found to differ from those described in this report, we should be informed immediately to evaluate whether recommendations should be reviewed and amended if necessary.

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APPENDIX A
General Notes



GEOTECHNICAL INVESTIGATION GENERAL NOTES

This report contains the results of a geotechnical investigation conducted for a specific purpose and client. The results should not be used by other parties, or for other purposes, as they may contain neither adequate nor appropriate information. In particular, the investigation does not cover contamination issues unless specifically required to do so by the client.

TEST HOLE LOGGING

The information on the test hole logs (boreholes, test pits, exposures etc.) is based on a visual and tactile assessment, except at the discrete locations where the test information is available (field and/or laboratory results). The borehole logs include both factual data and inferred information. Reference should be made to the relevant sheets for the explanation of logging procedures (Soil and Rock Descriptions, Core Log Sheet Notes etc).

GROUNDWATER

Unless otherwise indicated, the water levels presented on the borehole logs are the levels of free water or seepage in the bore hole recorded at the given time of measuring. The actual groundwater level may differ from this recorded level depending on material permeability's (i.e. depending on response time of the measuring instrument). Further, variations of this level could occur with time due to such effects as seasonal, environmental and tidal fluctuations or construction activities. Confirmation of groundwater levels, phreatic surfaces or piezometric pressures can only be made by appropriate instrumentation techniques and monitoring programmes.

INTERPRETATION OF RESULTS

The discussion or recommendations contained within this report normally are based on a site evaluation from discrete borehole area. Generalised, idealised or inferred subsurface conditions (including any geotechnical cross-sections) have been assumed or prepared by interpolation and/or extrapolation of these data. As such these conditions are an interpretation and must be considered as a guide only.

CHANGE IN CONDITIONS

Local variations or anomalies in the generalised ground conditions do occur in the natural environment, particularly between discrete borehole locations. Additionally, certain design or construction procedures may have been assumed in assessing the soil-structure interaction behaviour of the site. Furthermore, conditions may change at the site from those encountered at the time of the geotechnical investigation through construction activities and constantly changing natural forces.

Any change in design, in construction methods, or in ground conditions as noted during construction, from those assumed or reported should be referred to this firm for appropriate assessment and comment.

GEOTECHNICAL VERIFICATION

Verification of the geotechnical assumptions and/or model is an integral part of the design process – investigation, construction verification and performance monitoring. Variability is a feature of the natural environment and, in many instances, verification of soil or rock quality, or foundation levels are required. There may be a requirement to extend foundation depths to modify a foundation system or to conduct monitoring as a result of this natural variability. Allowance for verification by geotechnical personnel accordingly should be recognised and programmed during construction.

FOUNDATIONS

Where referred to in the report, the soil or rock quality, or the recommendation depth of any foundation (piles, caissons footings etc.) is an engineering estimate. The estimate is influenced and perhaps limited, by the fieldwork method and testing carried out in connection with the site investigation, and other pertinent information as has been made available. The material quality and/or foundation depth remains, however, an estimate and therefore liable to variation. Foundation drawings, designs and specifications should provide for variations in the final depth, depending upon the ground conditions at each point of support, and allow for geotechnical verification.

REPRODUCTION OF REPORTS

Where it is desired to reproduce the information contained in our geotechnical report, or other technical information, for the inclusion in contract documents or engineering specification of the subject development, such reproductions should include at least all of the relevant test hole and test data, together with the appropriate standard description sheets and remarks made in the written report of a factual or descriptive nature.

Reports are the subject of copyright and shall not be reproduced either totally or in part without the express permission of this firm.



ROCK

Rock Strength

Rock strength is a scale of strength, based on point load index testing, or field testing.

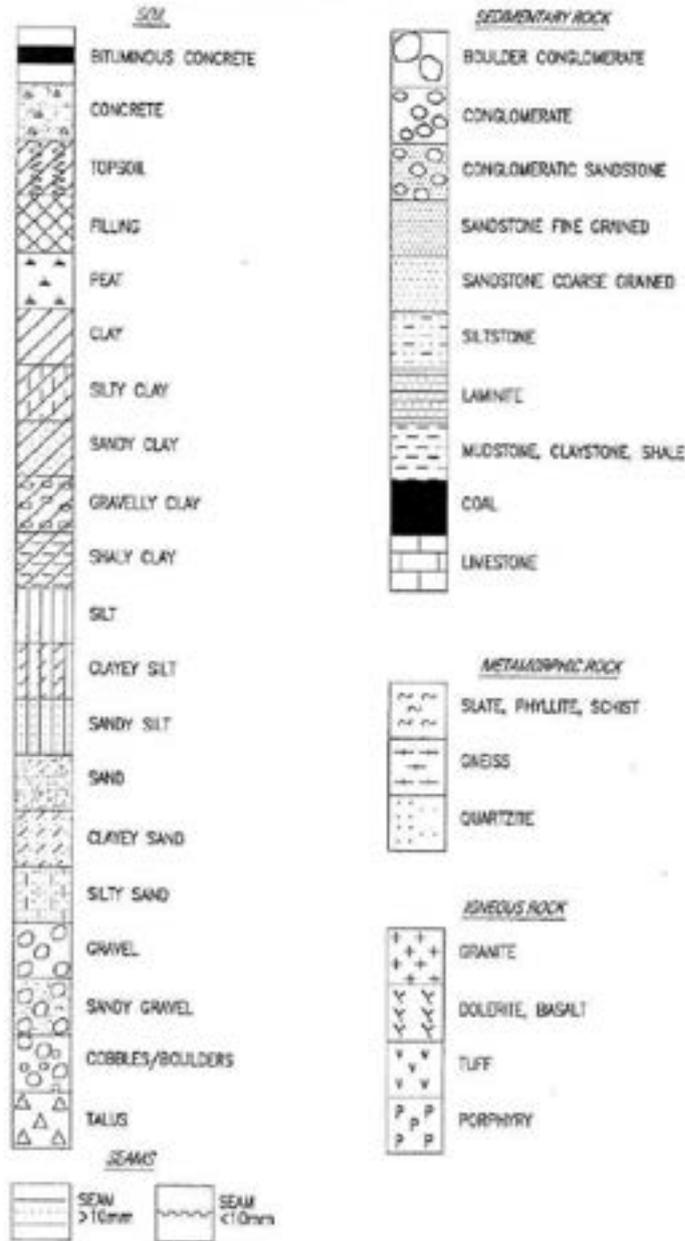
Term	Letter Symbol	Point load index (Mpa) Is (50)	Field guide to strength
Extremely low	EL	< 0.03	Easily remoulded by hand to a material with soil properties.
Very low	VL	0.03 – 0.1	Material crumbles under firm blows with sharp end of pick.
Low	L	0.1 – 0.3	Easily scored by knife, has dull sound under hammer.
Medium	M	0.3 – 1.0	Readily scored with knife, core pieces broken by hand with difficulty
High	H	1 – 3	Rock rings under hammer, core piece broken by pick only.
Very high	VH	3 – 10	Hand specimen breaks with pick after more than one blow.
Extremely high	EH	> 10	Hand specimen breaks with pick after several than one blow.

Rock Weathering

Rock weathering is the degree of rock weathering, determined in the field.

Term	Letter Symbol	Definition
Residual soil	RS	Soil developed on extremely weathered rock.
Extremely weathered rock	XW	Soil is weathered to such an extent that it has soil properties, i.e. it disintegrates or can be remoulded in water.
Distinctly weathered rock	DW	Rock strength usually changed by weathering. The rock may be discoloured, usually by iron staining, porosity is increased.
Slightly weathered rock	SW	Rock is slightly discoloured but shows little or no change of strength from fresh rock.
Fresh rock	FR	Rock shows no sign of decomposition or staining.

GRAPHIC SYMBOLS FOR SOIL & ROCK



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APPENDIX B

Site Plan & Borehole Locations

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DESIGN PLAN SERVICES



MID-WESTERN REGIONAL COUNCIL
APPROVED PLAN
APPLICATION NO 20109/2016
SIGNED: [Signature]
Authorized person
DATE: 20.6.16



PROJECT: Lock Pty Limited 101/103 Bland Street Perth WA 6000		CLIENT: MR JOHN HUGHES EDGELL		DATE: 16/06/2016 SHEET: 04/228		PLAN OF SUBDIVISION OF LOT EIGHTY-FIVE FOR SALESY 1178 & 1280 BLOCK 101/103 BLAND STREET PERTH WA 6000	
---	--	---	--	-----------------------------------	--	---	--

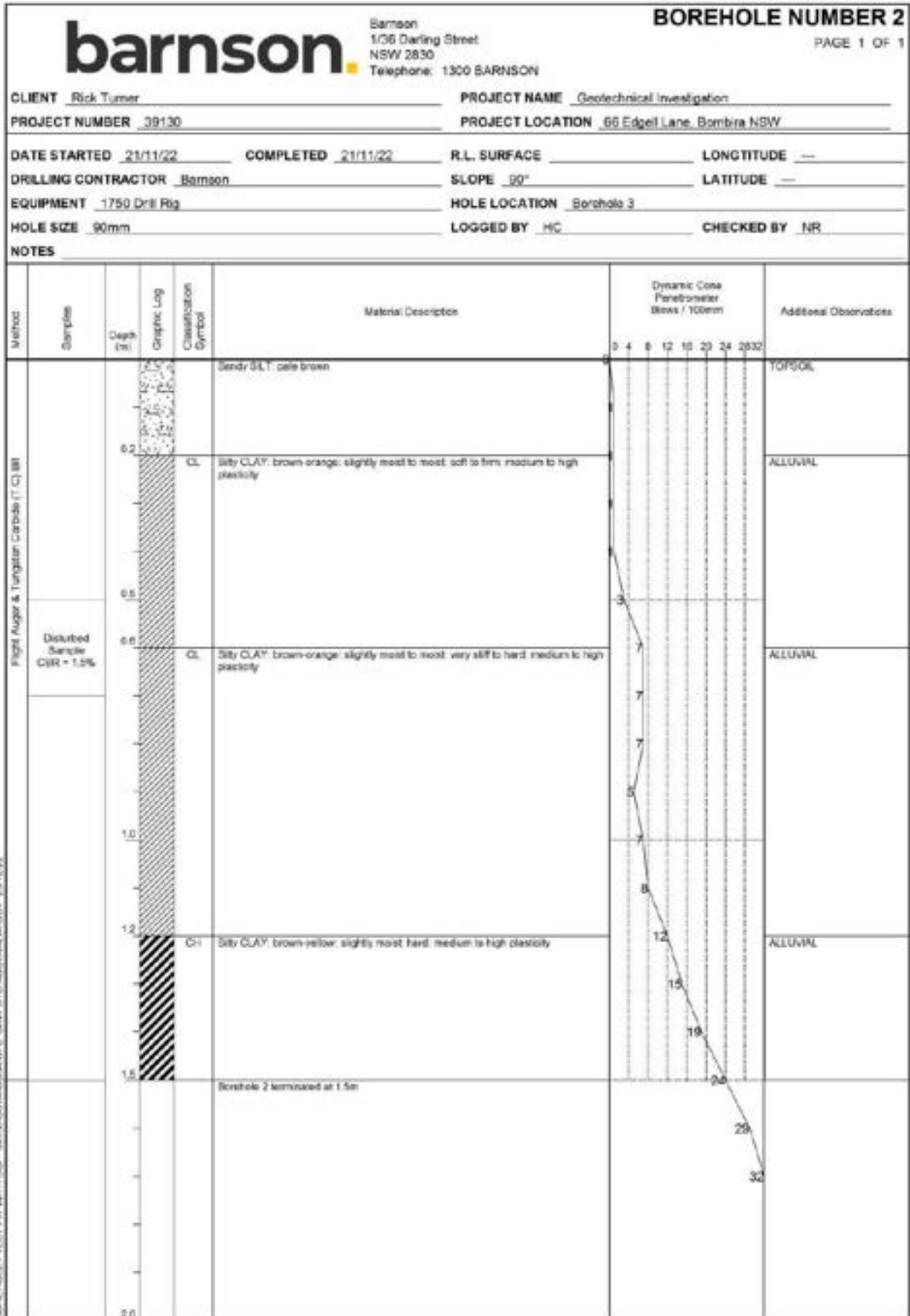
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APPENDIX C
Borehole Logs

barnson		Barnson 1/36 Darling Street NSW 2830 Telephone: 1300 BARNSON		BOREHOLE NUMBER 1
CLIENT <u>Rick Turner</u>		PROJECT NAME <u>Geotechnical Investigation</u>		
PROJECT NUMBER <u>39130</u>		PROJECT LOCATION <u>68 Edgell Lane, Bombira NSW</u>		
DATE STARTED <u>21/11/22</u>	COMPLETED <u>21/11/22</u>	R.L. SURFACE _____	LONGITUDE _____	
DRILLING CONTRACTOR <u>Barnson</u>		SLOPE <u>90°</u>	LATITUDE _____	
EQUIPMENT <u>1750 Drill Rig</u>		HOLE LOCATION <u>Borehole 1</u>		
HOLE SIZE <u>90mm</u>		LOGGED BY <u>HC</u>	CHECKED BY <u>NR</u>	
NOTES _____				

Method	Samples	Depth (m)	Graphic Log	Classification Symbol	Material Description	Dynamic Cone Penetrometer Blows / 100mm							Additional Observations		
						0	4	8	12	16	20	24		28	32
Flight Auger & Turgatein Corbide (T.C.) BE		0.0			Sandy SILT, pale brown										TOPSOIL
		0.2		CL	Silty CLAY, brown-orange, slightly moist to moist, soft to firm, medium to high plasticity										ALLUVIAL
	Divided Sample CRR = 1.5%	0.6		CL	Silty CLAY, brown-orange, slightly moist to moist, very stiff to hard, medium to high plasticity										ALLUVIAL
		1.2		CH	Silty CLAY, brown-yellow, slightly moist, hard, medium to high plasticity										ALLUVIAL
		1.5			Corbide 1 terminated at 1.5m										

BOREHOLE / TEST PIT WITH DCP - 39130-2018-0004-01P3-0-INT-STD-AUSTRALIA-002-23/11/22



barnson.		Barnson 1/30 Darling Street NSW 2830 Telephone: 1300 BARNSON		BOREHOLE NUMBER 3
CLIENT <u>Rick Turner</u>		PROJECT NAME <u>Geotechnical Investigation</u>		
PROJECT NUMBER <u>39130</u>		PROJECT LOCATION <u>65 Edgell Lane, Bombira NSW</u>		
DATE STARTED <u>21/11/22</u>	COMPLETED <u>21/11/22</u>	R.L. SURFACE _____	LONGITUDE _____	
DRILLING CONTRACTOR <u>Barnson</u>		SLOPE <u>90°</u>	LATITUDE _____	
EQUIPMENT <u>1750 Drill Rig</u>		HOLE LOCATION <u>Borehole 5</u>		
HOLE SIZE <u>90mm</u>		LOGGED BY <u>HC</u>	CHECKED BY <u>NR</u>	
NOTES _____				

Method	Sample	Depth (m)	Graphic Log Classification Symbol	Material Description	Dynamic Cone Penetrometer (Blows / 100mm)	Additional Observations
Flight Auger & Tungsten Carbide (T.C.) Bit		0.0	CS	Sandy SILT, pale brown	0	TOPSOIL
		0.2	CL	Sandy CLAY; brown; moist; soft; medium to high plasticity	3	ALLUVIAL
		0.4	CL	Silty CLAY; orange; slightly moist; soft to stiff; medium to high plasticity	7	ALLUVIAL
	Disturbed Sample CBR = 1.5%	0.6	CL	Silty CLAY; orange; slightly moist; very stiff to hard; medium to high plasticity	7	ALLUVIAL
		1.0			7	
		1.3	CH	Silty CLAY; brown-yellow; slightly moist; hard; medium to high plasticity	12	ALLUVIAL
	1.5			15		
				10		
				24		
				29		
				32		
		2.0				

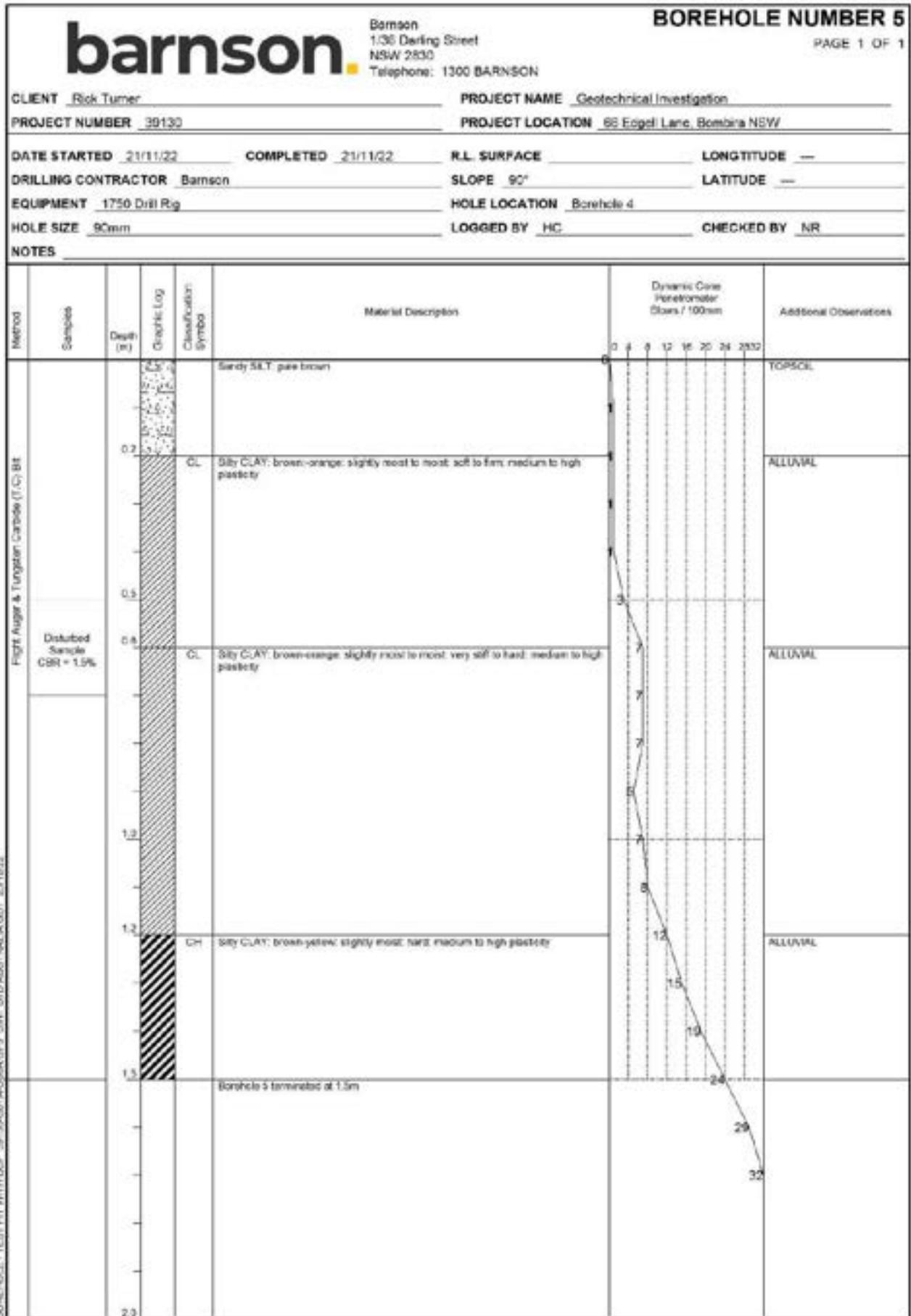
NO REHOLE / TEST PIT WITH DCP, 38-35-001-A-095A-0PJ, GINT, SITE, AUSTRALIA, 001, 201222

Borehole 3 terminated at 1.5m

		Damson 1/35 Darling Street NSW 2830 Telephone: 1300 BARNSON		BOREHOLE NUMBER 4 PAGE 1 OF 1
		CLIENT <u>Rick Turner</u>		PROJECT NAME <u>Geotechnical Investigation</u>
PROJECT NUMBER <u>39130</u>		PROJECT LOCATION <u>86 Edgell Lane, Bombira NSW</u>		
DATE STARTED <u>21/11/22</u>		COMPLETED <u>21/11/22</u>		R.L. SURFACE _____
DRILLING CONTRACTOR <u>Barnson</u>		SLOPE <u>90°</u>		LONGITUDE _____
EQUIPMENT <u>1750 Drill Rig</u>		HOLE LOCATION <u>Borehole 2</u>		
HOLE SIZE <u>90mm</u>		LOGGED BY <u>HC</u>	CHECKED BY <u>NR</u>	

Method	Sample	Depth (m)	Graphic Log	Classification Symbol	Material Description	Dynamic Cone Penetrometer Blows / 100mm	Additional Observations
Flight Auger & Tungsten Carbide (T.C.) Bit		0.0			Sandy SILT; pale brown	0	TOPSOIL
		0.2		CL	Sandy CLAY; brown; moist; soft; medium to high plasticity	3	ALLUVIAL
		0.4		CL	Silty CLAY; orange; slightly moist; soft to stiff; medium to high plasticity	3	ALLUVIAL
		0.5				3	
		0.6		CL	Silty CLAY; orange; slightly moist; very stiff to hard; medium to high plasticity	7	ALLUVIAL
	Disturbed Sample C _u = 1.5%		0.6				7
		1.0				7	
		1.3		CH	Silty CLAY; brown yellow; slightly moist; hard; medium to high plasticity	8	ALLUVIAL
		1.5			Borehole 4 terminated at 1.5m	12	
						15	
						19	
						24	
						25	
						32	

BOREHOLE / TEST PIT WITH DCP 39130-001A-006A G.P.U. GENT STD AUSTRALIA GCE 23/1/22



barnson		Barnson 1/30 Darling Street NSW 2830 Telephone: 1300 BARNSON		BOREHOLE NUMBER 6
CLIENT <u>Rick Turner</u>		PROJECT NAME <u>Geotechnical Investigation</u>		
PROJECT NUMBER <u>39130</u>		PROJECT LOCATION <u>65 Eogel Lane, Bombira NSW</u>		
DATE STARTED <u>21/11/22</u>	COMPLETED <u>21/11/22</u>	R.L. SURFACE _____	LONGITUDE _____	
DRILLING CONTRACTOR <u>Barnson</u>	SLOPE <u>90°</u>	LATITUDE _____		
EQUIPMENT <u>1750 Drill Rig</u>	HOLE LOCATION <u>Borehole 6</u>			
HOLE SIZE <u>90mm</u>	LOGGED BY <u>HC</u>	CHECKED BY <u>NR</u>		
NOTES				

Method	Samples	Depth (m)	Graphic Log	Classification Symbol	Material Description	Dynamic Cone Penetrometer (Dens / 100mm)	Additional Observations	
Flight Auger & Tungsten Carbide (F/C) Bit		0.0	CL		Sandy SILT, pale brown	0	TOPSOIL	
		0.3	CL		Silty CLAY, brown-orange; slightly moist to moist; soft to firm; medium to high plasticity	3	ALLUVIAL	
	Disturbed Sample CBR = 4.5%	0.8	CL		Silty CLAY, brown-orange; slightly moist to moist; very stiff to hard; medium to high plasticity	7	ALLUVIAL	
		1.2	CH		Silty CLAY, brown-yellow; slightly moist; hard; medium to high plasticity	12	ALLUVIAL	
		1.5	Borehole 6 terminated at 1.5m					24
		2.0				29		
		2.3				32		

BOREHOLE / TEST PIT WITH DCP: 28/354001/A-026A/0P/1 0187 STD AUSTRALIA DOT: 23/11/22

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APPENDIX D

NATA Laboratory Reports

Material Test Report

Report Number: 39130-1
Issue Number: 1
Date Issued: 05/01/2023
Client: Rick Turner
 66 Edgell Lane, Bombira NSW 2850
Contact: Rick Turner
Project Number: 39130
Project Name: Pavement Investigation
Project Location: 66 Edgell Lane, Bombira NSW
Work Request: 7228
Sample Number: D22-7228A
Date Sampled: 21/11/2022
Dates Tested: 21/11/2022 - 16/12/2022
Sampling Method: AS 1289.1.2.1 6.5.3 - Power auger drilling
Site Selection: RMS Q6 (not covered by NATA Accreditation)
Sample Location: Borehole 1, Depth: 600mm
Material: Brown-Orange Silty CLAY

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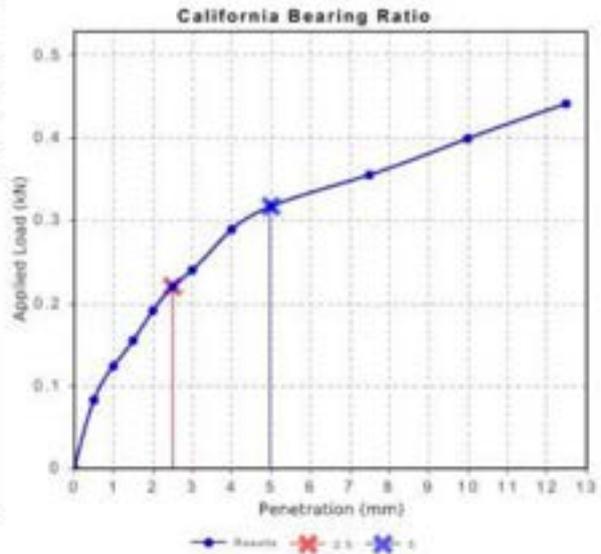
Barnson Pty Ltd
 Dubbo Laboratory
 16 L Yamandale Road Dubbo NSW 2830
 Phone: 1300 BARNSON
 Email: jeremy@barnson.com.au



Accredited for compliance with ISO/IEC 17025 - Testing

Approved Signatory: Jeremy Wadkowski
 Geotechnical Technician
 NATA Accredited Laboratory Number: 9605

California Bearing Ratio (AS 1289 6.1.1 & 2.1.1)		Min	Max
CBR taken at	2.5 mm		
CBR %	1.5		
Method of Compactive Effort	Standard		
Method used to Determine MDD	AS 1289 5.1.1 & 2.1.1		
Method used to Determine Plasticity	Visual		
Maximum Dry Density (t/m^3)	1.57		
Optimum Moisture Content (%)	24.5		
Laboratory Density Ratio (%)	94.5		
Laboratory Moisture Ratio (%)	102.0		
Moisture Content at Placement (%)	24.8		
Moisture Content Top 30mm (%)	31.3		
Mass Surcharge (kg)	4.5		
Soaking Period (days)	4		
Curing Hours	73.3		
Oversize Material (mm)	19		
Oversize Material Included	Excluded		
Oversize Material (%)	0.0		



Material Test Report

Report Number: 39130-1
 Issue Number: 1
 Date Issued: 05/01/2023
 Client: Rick Turner
 66 Edgell Lane, Bombira NSW 2850
 Contact: Rick Turner
 Project Number: 39130
 Project Name: Pavement Investigation
 Project Location: 66 Edgell Lane, Bombira NSW
 Work Request: 7228
 Sample Number: D22-7228B
 Date Sampled: 21/11/2022
 Dates Tested: 21/11/2022 - 13/12/2022
 Sampling Method: AS 1289.1.2.1 6.5.3 - Power auger drilling
 Site Selection: RMS Q6 (not covered by NATA Accreditation)
 Sample Location: Borehole 2, Depth: 600mm
 Material: Brown-Orange Silty CLAY

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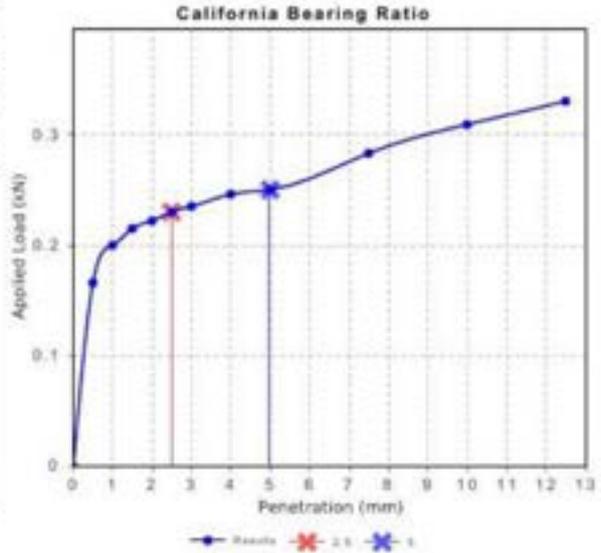
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 Dubbo Laboratory
 16 L Yarrandale Road Dubbo NSW 2830
 Phone: 1300 BARNSON
 Email: jeremy@barnson.com.au



Accredited for compliance with ISO/IEC 17025 - Testing

Approved Signatory: Jeremy Watkowiak
 Geotechnical Technician
 NATA Accredited Laboratory Number: 9605

California Bearing Ratio (AS 1289 6.1.1 & 2.1.1)		Min	Max
CBR taken at	2.5 mm		
CBR %	1.5		
Method of Compactive Effort	Standard		
Method used to Determine MDD	AS 1289 5.1.1 & 2.1.1		
Method used to Determine Plasticity	Visual		
Maximum Dry Density (t/m ³)	1.68		
Optimum Moisture Content (%)	20.0		
Laboratory Density Ratio (%)	95.0		
Laboratory Moisture Ratio (%)	99.5		
Moisture Content at Placement (%)	19.7		
Moisture Content Top 30mm (%)	20.8		
Mass Surcharge (kg)	4.5		
Soaking Period (days)	4		
Curing Hours	74.1		
Oversize Material (mm)	19		
Oversize Material Included	Excluded		
Oversize Material (%)	0.0		



Material Test Report

Report Number: 39130-1
Issue Number: 1
Date Issued: 05/01/2023
Client: Rick Turner
 66 Edgell Lane, Bombira NSW 2850
Contact: Rick Turner
Project Number: 39130
Project Name: Pavement Investigation
Project Location: 66 Edgell Lane, Bombira NSW
Work Request: 7228
Sample Number: D22-7228C
Date Sampled: 21/11/2022
Dates Tested: 21/11/2022 - 13/12/2022
Sampling Method: AS 1289.1.2.1 6.5.3 - Power auger drilling
Site Selection: RMS Q6 (not covered by NATA Accreditation)
Sample Location: Borehole 3, Depth: 600mm
Material: Orange Silty CLAY

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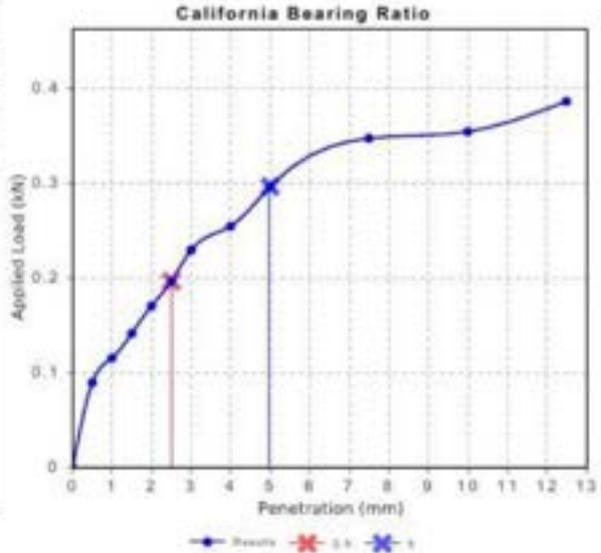
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 Dubbo Laboratory
 16 L Yarrandale Road Dubbo NSW 2830
 Phone: 1300 BARNSON
 Email: jeremy@barnson.com.au



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Approved Signatory: Jeremy Watkowiak
 Geotechnical Technician
 NATA Accredited Laboratory Number: 9605

California Bearing Ratio (AS 1289 6.1.1 & 2.1.1)		Min	Max
CBR taken at	5 mm		
CBR %	1.5		
Method of Compactive Effort	Standard		
Method used to Determine MDD	AS 1289 5.1.1 & 2.1.1		
Method used to Determine Plasticity	Visual		
Maximum Dry Density (t/m ³)	1.75		
Optimum Moisture Content (%)	18.0		
Laboratory Density Ratio (%)	95.0		
Laboratory Moisture Ratio (%)	98.5		
Moisture Content at Placement (%)	17.6		
Moisture Content Top 30mm (%)	25.1		
Mass Surcharge (kg)	4.5		
Soaking Period (days)	4		
Curing Hours	75.2		
Oversize Material (mm)	19		
Oversize Material Included	Excluded		
Oversize Material (%)	0.0		



Material Test Report

Report Number: 39130-1
Issue Number: 1
Date Issued: 05/01/2023
Client: Rick Turner
 66 Edgell Lane, Bombira NSW 2850
Contact: Rick Turner
Project Number: 39130
Project Name: Pavement Investigation
Project Location: 66 Edgell Lane, Bombira NSW
Work Request: 7228
Sample Number: D22-7228D
Date Sampled: 21/11/2022
Dates Tested: 21/11/2022 - 16/12/2022
Sampling Method: AS 1289.1.2.1 6.5.3 - Power auger drilling
Site Selection: RMS Q6 (not covered by NATA Accreditation)
Sample Location: Borehole 4, Depth: 600mm
Material: Orange Silty CLAY

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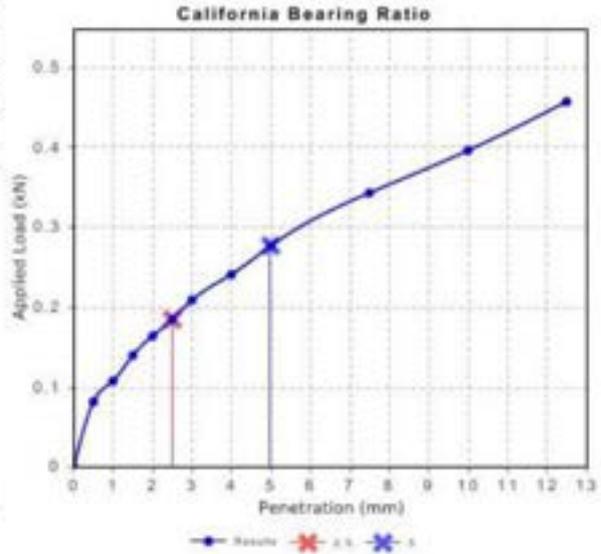
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 Dubbo Laboratory
 16 L Yarrandale Road Dubbo NSW 2830
 Phone: 1300 BARNSON
 Email: jeremy@barnson.com.au



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Approved Signatory: Jeremy Watkowi
 Geotechnical Technician
 NATA Accredited Laboratory Number: 9605

California Bearing Ratio (AS 1289 6.1.1 & 2.1.1)		Min	Max
CBR taken at	2.5 mm		
CBR %	1.5		
Method of Compactive Effort	Standard		
Method used to Determine MDD	AS 1289 5.1.1 & 2.1.1		
Method used to Determine Plasticity	Visual		
Maximum Dry Density (t/m ³)	1.91		
Optimum Moisture Content (%)	14.0		
Laboratory Density Ratio (%)	95.5		
Laboratory Moisture Ratio (%)	95.0		
Moisture Content at Placement (%)	13.5		
Moisture Content Top 30mm (%)	14.9		
Mass Surcharge (kg)	4.5		
Soaking Period (days)	4		
Curing Hours	76.8		
Oversize Material (mm)	19		
Oversize Material Included	Excluded		
Oversize Material (%)	0.0		



Material Test Report

Report Number: 39130-1
Issue Number: 1
Date Issued: 05/01/2023
Client: Rick Turner
 66 Edgell Lane, Bombira NSW 2850
Contact: Rick Turner
Project Number: 39130
Project Name: Pavement Investigation
Project Location: 66 Edgell Lane, Bombira NSW
Work Request: 7228
Sample Number: D22-7228E
Date Sampled: 21/11/2022
Dates Tested: 21/11/2022 - 23/12/2022
Sampling Method: AS 1289.1.2.1 6.5.3 - Power auger drilling
Site Selection: RMS Q6 (not covered by NATA Accreditation)
Sample Location: Borehole 5, Depth: 600mm
Material: Brown-Orange Silty CLAY

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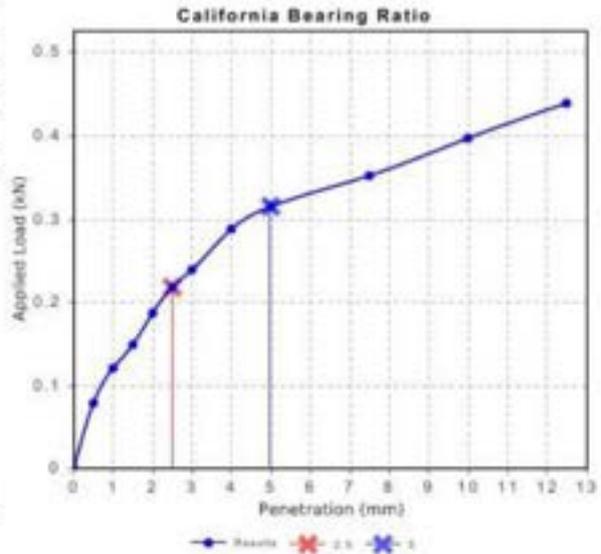
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 Phone: 1300 BARNSON
 Email: jeremy@barnson.com.au



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Approved Signatory: Jeremy Wiatkowski
 Geotechnical Technician
 NATA Accredited Laboratory Number: 9605

California Bearing Ratio (AS 1289 6.1.1 & 2.1.1)		Min	Max
CBR taken at	2.5 mm		
CBR %	1.5		
Method of Compactive Effort	Standard		
Method used to Determine MDD	AS 1289 5.1.1 & 2.1.1		
Method used to Determine Plasticity	Visual		
Maximum Dry Density (t/m ³)	1.66		
Optimum Moisture Content (%)	22.5		
Laboratory Density Ratio (%)	95.0		
Laboratory Moisture Ratio (%)	100.0		
Moisture Content at Placement (%)	22.7		
Moisture Content Top 30mm (%)	25.0		
Mass Surcharge (kg)	4.5		
Soaking Period (days)	4		
Curing Hours	74.5		
Oversize Material (mm)	19		
Oversize Material Included	Excluded		
Oversize Material (%)	0.0		



Material Test Report

Report Number: 39130-1
 Issue Number: 1
 Date Issued: 05/01/2023
 Client: Rick Turner
 66 Edgell Lane, Bombira NSW 2850
 Contact: Rick Turner
 Project Number: 39130
 Project Name: Pavement Investigation
 Project Location: 66 Edgell Lane, Bombira NSW
 Work Request: 7228
 Sample Number: D22-7228F
 Date Sampled: 21/11/2022
 Dates Tested: 21/11/2022 - 20/12/2022
 Sampling Method: AS 1289.1.2.1 6.5.3 - Power auger drilling
 Site Selection: RMS Q6 (not covered by NATA Accreditation)
 Sample Location: Borehole 6, Depth: 600mm
 Material: Brown-Orange Silty CLAY

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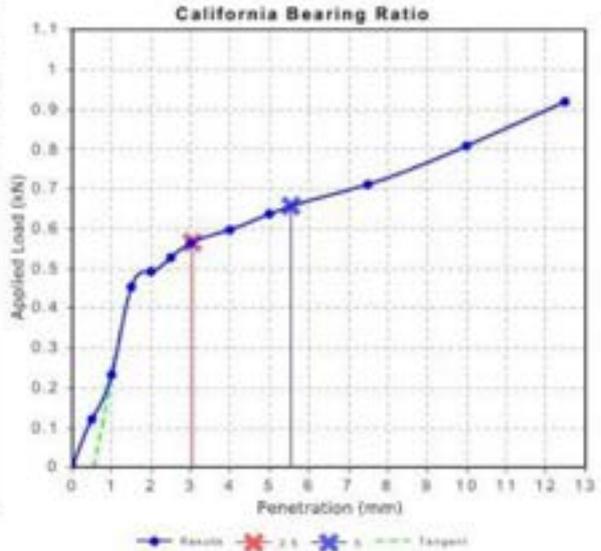
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 Dubbo Laboratory
 16 L Yarrandale Road Dubbo NSW 2830
 Phone: 1300 BARNSON
 Email: jeremy@barnson.com.au



Accredited for compliance with ISO/IEC 17025 - Testing

Approved Signatory: Jeremy Wiatkowski
 Geotechnical Technician
 NATA Accredited Laboratory Number: 9605

California Bearing Ratio (AS 1289 6.1.1 & 2.1.1)		Min	Max
CBR taken at	2.5 mm		
CBR %	4.5		
Method of Compactive Effort	Standard		
Method used to Determine MOD	AS 1289 5.1.1 & 2.1.1		
Method used to Determine Plasticity	Visual		
Maximum Dry Density (t/m ³)	1.76		
Optimum Moisture Content (%)	17.5		
Laboratory Density Ratio (%)	95.0		
Laboratory Moisture Ratio (%)	101.0		
Moisture Content at Placement (%)	17.5		
Moisture Content Top 30mm (%)	24.6		
Mass Surcharge (kg)	4.5		
Soaking Period (days)	4		
Curing Hours	51.8		
Oversize Material (mm)	19		
Oversize Material Included	Excluded		
Oversize Material (%)	0.0		



barnson.

APPENDIX E

Revised Subdivision Plans

Civil Design Documentation

Proposed Subdivision

Lot 15 in DP 1194019
 66 Edgell Lane, Bombira NSW 2850

SCHEDULE OF DRAWINGS

SHEET No.	DESCRIPTION
39130-000	COVER SHEET AND DRAWING SCHEDULE
39130-001	EXISTING SITE PLAN
39130-002	PROPOSED PLAN OF SUBDIVISION
39130-003	PROPOSED LOT PLAN
39130-004	PROPOSED ROAD PLAN
39130-005	PROPOSED ROAD SPECIFICATIONS
39130-006	PROPOSED INTERSECTION PLAN
39130-007	PROPOSED SEWER PLAN
39130-008	PROPOSED SEWER SPECIFICATIONS
39130-009	PROPOSED STORMWATER PLAN
39130-010	PROPOSED WATER SPECIFICATIONS
39130-C1	PROPOSED SITE STORMWATER ANALYSIS
39130-012	PROPOSED ON-SITE DETENTION BASIN PLAN
39130-013	PROPOSED WATER PLAN
39130-014	PROPOSED WATER SPECIFICATIONS



LOCALITY PLAN
 20240910 1:5000 gpx

ISSUED TO CLIENT



APPROVED BY LID

DATE: 12/08/2024
 NAME: [Name]
 TITLE: [Title]

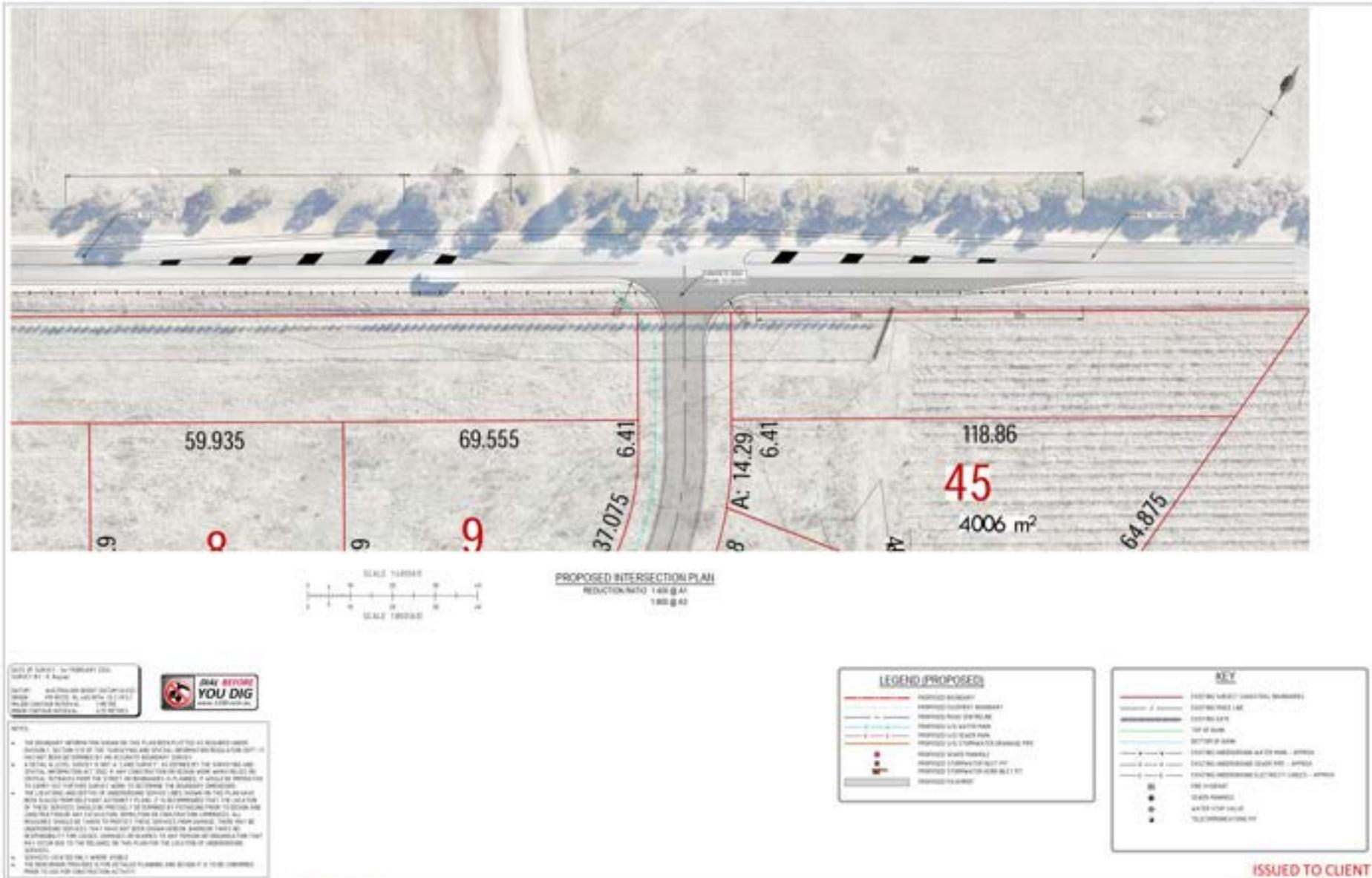
CIVIL DESIGN DOCUMENTATION
 LOT 15 IN DP 1194019
 88 EDGELL LANE
 SCARBOROUGH, NEW ZEALAND
 TINDHAM PTY LTD

EXISTING SITE PLAN

BB & BT
 IS
 BB

A1
 A

39130
 C01





NOTES

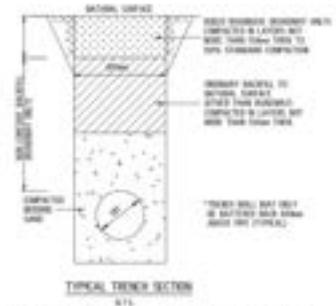
- 1 ALL TRENCH WALLS SHALL BE 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED TO THE TRENCH WALLS THROUGH BENCHES.
- 2 CONSTRUCTION OF TRENCH WALLS AND BENCHES SHALL BE COMPLETED IN ACCORDANCE WITH THE NEW ZEALAND CODE OF PRACTICE.
- 3 ALL TRENCH WALLS INCLUDING TRENCH WALLS SHALL BE CONSTRUCTED WITH A MINIMUM FINISH OF 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.
- 4 BENCHES SHALL BE PROVIDED TO FORM A SLOPED APPROACH TO TRENCH WALLS AND SHALL BE CONSTRUCTED WITH 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.
- 5 ALL TRENCH WALLS SHALL BE CONSTRUCTED TO A MINIMUM OF 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.
- 6 ALL TRENCH WALLS SHALL BE CONSTRUCTED TO A MINIMUM OF 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.
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- 8 ALL TRENCH WALLS SHALL BE CONSTRUCTED TO A MINIMUM OF 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.

REWORKING NOTES

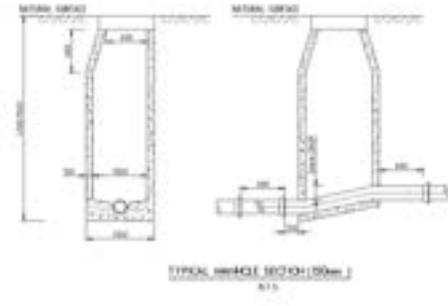
- 1 THE APPROXIMATE TOP OF PIPE SHALL BE 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED TO THE TRENCH WALLS THROUGH BENCHES.
- 2 CONSTRUCTION OF TRENCH WALLS AND BENCHES SHALL BE COMPLETED IN ACCORDANCE WITH THE NEW ZEALAND CODE OF PRACTICE.
- 3 ALL TRENCH WALLS INCLUDING TRENCH WALLS SHALL BE CONSTRUCTED WITH A MINIMUM FINISH OF 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.
- 4 BENCHES SHALL BE PROVIDED TO FORM A SLOPED APPROACH TO TRENCH WALLS AND SHALL BE CONSTRUCTED WITH 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.
- 5 ALL TRENCH WALLS SHALL BE CONSTRUCTED TO A MINIMUM OF 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.
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- 7 ALL TRENCH WALLS SHALL BE CONSTRUCTED TO A MINIMUM OF 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.
- 8 ALL TRENCH WALLS SHALL BE CONSTRUCTED TO A MINIMUM OF 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.

FIELD NOTES

- 1 BENCHES AND TRENCH WALLS SHALL BE CONSTRUCTED TO A MINIMUM OF 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.
- 2 BENCHES AND TRENCH WALLS SHALL BE CONSTRUCTED TO A MINIMUM OF 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.
- 3 BENCHES AND TRENCH WALLS SHALL BE CONSTRUCTED TO A MINIMUM OF 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.
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- 8 BENCHES AND TRENCH WALLS SHALL BE CONSTRUCTED TO A MINIMUM OF 100% (100%) CLASS B AND SHALL HAVE ALL JOINTS JOINTED THROUGH BENCHES.



* INSTALLATION OF SPW PIPE SHALL BE SUBJECT TO CHECKING BY THE ENGINEER OF THE PROJECT. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NEW ZEALAND CODE OF PRACTICE.



ISSUED TO CLIENT





ISSUED TO CLIENT







Unit 4 / 108-110 Market Street
Mudgee, NSW 2850
1300 BARNSON (1300 227 676)
generalenquiry@barnson.com.au

to:
Mid-Western Regional Council
PO Box 156
Mudgee NSW 2850

date:
24.07.2024
reference:
39130-PL01_A

Dear Kayla,

Re: Further Information Request - Development Application ME0046/2024

Reference is made to the abovementioned application and Council's further information request letter dated 5 July 2024. The below correspondence provides a response to each of the items stipulated in the letter, along with additional information for Council's consideration.

Planning Matters

The dot points in Council's letter are addressed below:

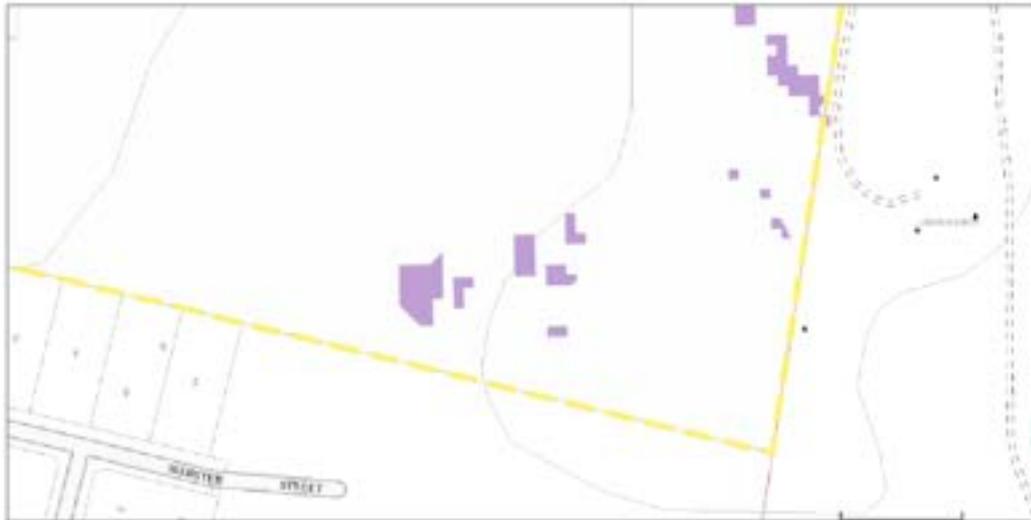
- It is our understanding that the future Lot 901 DP1262515 will be dedicated as a drainage reserve and therefore owned by Council. Refer to draft DP extract below and enclosed:



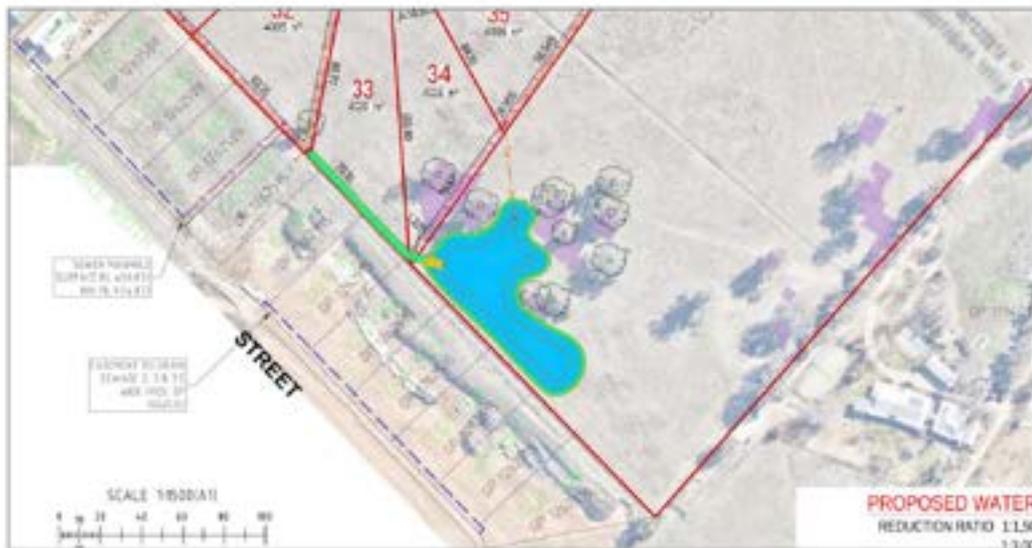
Source: Draft DP1262515

The stormwater arrangement has been amended on the enclosed plans to ensure all stormwater is directed into the future drainage reserve (Lot 901). Therefore, no stormwater shall be directed to Lot 14 DP 1194019.

- The amended plans enclosed to this letter show the mapped Biodiversity Value areas. The proposed stormwater basin and associated infrastructure have been repositioned to avoid the mapped Biodiversity Values areas. In addition to this, the revised layout ensures that all trees and significant vegetation in this area shall be retained. Refer to extracted images below;



Source: NSW Planning Portal Spatial Viewer



Source: Sheet C12 of amended plans

- The subdivision plans enclosed to this letter clearly depict the proposed Lot areas.

Engineering Matters

The engineering referral response items have been addressed, as follows:

- The angle of the proposed intersection between Harvey Street and the new road has been amended to intersect at right angles (as best as possible). Refer to amended plans enclosed to this letter;

2. All corner Lots have been provided with a splayed corner, as required; and
3. The gap between the existing and proposed Harvey Street network has been amended on the plans enclosed to this letter.

Additional Information

Subdivision Staging

The client has indicated to us that it is proposed to stage the roll out of Lots associated with the proposed subdivision. A staging plan has been prepared and is enclosed to this letter. Refer to extracted image below.



Source: Sheet C15 of amended plans

In summary, the proposed subdivision will occur in the following stages:

- Stage 1 – Nine (9) Lots which includes proposed Lots 26 – 34;
- Stage 2 – Thirteen (13) Lots and the construction of the Onsite Detention Basin. This stage includes proposed Lots 18 – 24 and Lots 35 – 39;
- Stage 3 – Eleven (11) Lots and the construction of the Ulan Road intersection. This stage includes proposed Lots 1, 8 – 11 and Lots 40 – 45;
- Stage 4 – Twelve (12) Lots which includes proposed Lots 2 – 7 and 12 – 17.

Services including water, sewer, stormwater, telecommunications, roads etc shall be rolled out consecutively which each stage. It is requested that Council condition the modified consent in a way that allows for the above staging to occur and the release of subdivision certificate applications and formalisation of Titles for each proposed stage.



Residual Land

Proposed Lot 46 is considered the 'residual land' as part of this proposed subdivision. As such, it is not considered necessary to connect this proposed Lot to any physical infrastructure given its proposed englobo status. Therefore, it is requested that Council condition the consent in a way that does not require proposed Lot 46 to be connected to any services, including electricity infrastructure. Connection of services to this proposed Lot shall be subject to a future application for development and/or use on the land.

Should you have any questions or require any clarification in relation to the above, please do not hesitate to contact the undersigned.

Yours faithfully,

BARNSON PTY LTD

Jack Massey
Senior Town Planner

Enclosed:

- Draft DP1262515
- Amended Subdivision Plans



Department of Planning, Housing and Infrastructure

Gateway Determination

Planning proposal (Department Ref: PP-2023-1258): Amendment to Mid-Western Regional LEP 2012 to reduce minimum lot size at part Lot 3 DP 1223039, 277 Black Springs Road, Eurunderee from 400 hectares to 12 hectares.

I, the Director, Western Region at the Department of Planning, Housing and Infrastructure, as delegate of the Minister for Planning and Public Spaces, have determined under section 3.34(2) of the *Environmental Planning and Assessment Act 1979* (the Act) that an amendment to the Mid-Western Regional Local Environmental Plan 2012 to reduce the minimum lot size on the subject land should proceed subject to the following conditions:

The Council as planning proposal authority is authorised to exercise the functions of the local plan-making authority under section 3.36(2) of the Act subject to the following:

- (a) the planning proposal authority has satisfied all the conditions of the Gateway determination;
- (b) the planning proposal is consistent with applicable directions of the Minister under section 9.1 of the Act or the Secretary has agreed that any inconsistencies are justified; and
- (c) there are no outstanding written objections from public authorities.

The LEP should be completed on or before 31 January 2025.

Gateway Conditions

1. Prior to exhibition, the planning proposal is to be amended to address the points listed below in this condition:
 - (a) Remove any reference to rezoning the site.
2. Prior to exhibition, consultation is required with the NSW Rural Fire Service under section 3.34(2)(d) of the Act and/or to comply with the requirements of applicable directions of the Minister under section 9 of the Act. NSW Rural Fire Service to be provided with a copy of the planning proposal and any supporting relevant material and given at least 30 working days to comment on the proposal.
3. Consultation is required with Department of Climate Change, Energy, the Environment and Water (DCCEEW) – Biodiversity and Conservation Division (BCD) under section 3.34(2)(d) of the Act and/or to comply with the requirements of applicable directions of the Minister under section 9 of the Act. DCCEEW is to be provided with a copy of the planning proposal and any supporting relevant material and given at least 30 working days to comment on the proposal.
4. Public exhibition is required under section 3.34(2)(c) and clause 4 of Schedule 1 to the Act as follows:
 - (a) the planning proposal is categorised as principal as described in the *Local Environmental Plan Making Guideline* (Department of Planning and Environment,

August 2023) and must be made publicly available for a minimum of 20 working days; and

- (b) the planning proposal authority must comply with the notice requirements for public exhibition of planning proposals and the specifications for material that must be made publicly available along with planning proposals as identified in *Local Environmental Plan Making Guideline* (Department of Planning and Environment, August 2023).
5. A public hearing is not required to be held into the matter by any person or body under section 3.34(2)(e) of the Act. This does not discharge Council from any obligation it may otherwise have to conduct a public hearing (for example, in response to a submission or if reclassifying land).

Dated 5 April 2024



Garry Hopkins
Director, Western Region
Local and Regional Planning
Department of Planning, Housing and
Infrastructure

Delegate of the Minister for Planning and
Public Spaces



Mid-Western Regional Council
PO Box 156
MUDGEES NSW 2850

Your reference: PP-2023-1258 (Ref-2904)
Our reference: SPI20240522000083

ATTENTION: Sarah Goldsmith

Date: Friday 12 July 2024

Dear Sir/Madam,

**Strategic Planning Instrument
Rezoning – Gateway**

Part rezoning from C3 Environmental Management to R5 Large Lot Residential and part change to minimum lot size from 400ha to 12ha of Lot 3 DP 1223039, 277 Black Springs Road, Eurunderee

I refer to your correspondence dated 21/05/2024 inviting the NSW Rural Fire Service (NSW RFS) to comment on the above Strategic Planning document.

The NSW RFS has considered the information submitted and provides the following comments.

The NSW RFS has no objections to the Planning Proposal for the part rezoning and change to minimum lot size of the subject property.

For any queries regarding this correspondence, please contact Simon Derevnin on 1300 NSW RFS.

Yours sincerely,

Kalpana Varghese
**Supervisor Development Assessment & Plan
Built & Natural Environment**

Postal address

NSW Rural Fire Service
Locked Bag 17
GRANVILLE NSW 2142

Street address

NSW Rural Fire Service
4 Murray Rose Ave
SYDNEY OLYMPIC PARK NSW 2127

T (02) 8741 5555
F (02) 8741 5550
www.rfs.nsw.gov.au





Department of Climate Change, Energy, the Environment and Water

Your ref: PP-2023-1258
Our ref: DOC 24/477236-1

Sarah Goldsmith
Manager Strategic Planning
Mid-Western Regional Council
PO Box 156
Mudgee NSW 2850

By email: sarah.goldsmith@midwestern.nsw.gov.au

Dear Sarah

RE: Reduction of minimum lot size for 277 Black Springs Road, Eurunderee – Lot 3 DP 1223039

Thank you for consulting the Biodiversity, Conservation and Science Group (BCS) of the Department of Climate Change, Energy, the Environment and Water (NSW DCCEEW) regarding the proposed amendment of Mid-Western Regional Local Environmental Plan 2012 to reduce the minimum lot size at 277 Black Springs Road, Eurunderee from 400 hectares (ha) to 12 ha. We have reviewed the planning proposal dated 17 May 2023, and the Gateway Determination Report dated 24 April 2024.

BCS recommendations

In summary:

- We support the previous proposal to rezone the subject lot from C3 Environmental Management to R5 Large Lot Residential being removed,
- We have no objections to the planning proposal, which now only comprises the proposed reduction in minimum lot size from 400 ha to 12 ha.
- Future development of the proposed lot should involve early assessment of biodiversity, to determine if the activity would trigger the NSW Biodiversity Offsets Scheme (BOS). All direct and prescribed impacts to areas within the Biodiversity Values Map and all clearing including provisions for fencing, asset protection zones and all ancillary developments must be included to determine BOS thresholds.
- We recommend that any future development application should include a covenant to protect the native vegetation within the lot. For example, this could be a Vegetation Management Plan secured on the property title at the time the subdivision consent is granted.

We provide the following advice for Council's consideration for any future development of the lot. The majority of the proposed lot is mapped within the Biodiversity Values Map. Additionally, the NSW State Vegetation Type Map indicates that proposed lot 5 is likely to contain vegetation types consistent with threatened ecological communities (TECs).

Further, within the cleared vegetation areas, there is a likelihood of presence of White Box Yellow Box Blakeley's Red Gum Woodland (Box Gum Woodland) TEC, which is a Critically Endangered Ecological Community (CEEC). This meets the definition of high environmental value (HEV) under the Central West and Orana Regional Plan 2041, which comprises TECs including CEECs and potentially Serious and

Irreversible Impact (SAIL) candidate entities. Avoidance of these areas of HEV would be consistent with Objective 5 of the Regional Plan.

Detailed comments are provided in **Attachment A**.

BCS standard advice

We have developed a standard approach for planning proposals to assess biodiversity impacts on HEV land. The approach is set out in the three attachments to this letter:

- **Attachment B** describes our recommended steps for assessing and addressing biodiversity as part of a planning proposal. This aims to ensure that a planning proposal can demonstrate consistency with the strategic planning framework including the relevant Regional Plan, particularly in identifying and protecting HEV lands.
- **Attachment C** describes the HEV criteria and provides our recommended method for investigating lands for the presence of the HEV criteria at the property scale as part of a planning proposal.
- **Attachment D** provides our recommended guidance for avoiding and minimising impacts on HEV land as part of a planning proposal.

We encourage Council to contact us early to clarify any of our feedback or discuss components of planned fieldwork for identification of HEV or preparation of any biodiversity studies associated with the planning proposal. Early engagement can simplify the biodiversity assessment process associated with any potential development assessments related with this planning proposal.

If you require any further information regarding this matter, please contact Prakriti Mukherjee, Graduate Conservation Planning Officer, via prakriti.mukherjee@environment.nsw.gov.au.

Regards



Calvin Houlison
**Senior Team Leader, Planning
North West Branch**

2 July 2024

Attachment A – BCS Detailed Comments

Attachment B – BCS NW Branch Steps for Assessing Biodiversity in Planning Proposals

Attachment C - BCS NW Branch HEV Criteria and Identification Methods at the Property Scale

Attachment D - BCS NW Branch HEV Guidance for Avoiding and Minimising Impacts on HEV Land

Attachment A

BCS's Detailed Comments and Recommendations**277 Black Springs Road, Eurunderee – Planning Proposal**

BAM	Biodiversity Assessment Method
BC Act	<i>Biodiversity Conservation Act 2016</i>
BC Reg	<i>Biodiversity Conservation Regulation 2017</i>
BDAR	Biodiversity development assessment report
BOS	Biodiversity Offset Scheme
Box Gum Woodland CEEC	White Box, Yellow Box, Blakely's Red Gum Critically Endangered Ecological Community
BV Map	Biodiversity values map
DCCEEW	Department of Climate Change, Energy, Environment and Water
HEV	High environmental value
LEP	Local environmental plan
LSPS	Local strategic planning statement
MLS	Minimum lot size
SAII	Serious and irreversible impact

1. Biodiversity

We understand that the planning proposal comprises a change to the minimum lot size at Lot 5 from 400 ha to 12 ha, to facilitate subdivision to yield one additional residential lot at 277 Black Springs Road, Eurunderee. We support the land zoning to remain as C3 Environmental Management, unlike the R5 Large Lot Residential as originally proposed, and have no objection to the minimum lot size being reduced from 400 ha to 12 ha.

BCS has four areas of interest relating to strategic land use planning proposals:

1. The impacts of development intensification on biodiversity;
2. Adequate investigation of the environmental constraints of affected land;
3. Avoiding intensification of land use and settlement in areas of high environmental value (HEV); and
4. Ensuring that development within a floodplain is consistent with the NSW Government's Flood Prone Land Policy, the principles set out in the Floodplain Development Manual, and applicable urban and rural floodplain risk management plans.

We generally support strategic planning proposals which:

- Avoid settlement intensification in areas of HEV and environmental hazards;
- Aligns with state, regional and local strategic planning frameworks and includes objectives, such as 'no net loss of native vegetation';
- Update planning controls to reflect the environmental values and constraints present; and
- Minimise flood risk to human life, property and the local environment while maintaining floodplain connectivity for environmental benefit.

We have reviewed the planning proposal for 277 Black Springs Road, Eurunderee. Detailed comments and recommendations are provided below to:

- help Council meet the stated aims and intent of the strategy,
- facilitate consistency with the Objective 5 Central West and Orana Regional Plan 2041,

- inform the proposed planning proposal and master planning/development control planning,
- simplify future development assessment.

BOS Triggers:

The *Biodiversity Conservation Act 2016* (BC Act) and *Biodiversity Conservation Regulation 2017* (BC Reg) section 7.1 apply to subdivisions. When assessing subdivisions, the consent authority must consider the clearing of native vegetation required, or likely to be required, for the purpose for which the land is to be subdivided.

Native vegetation includes trees, understorey plants, groundcover and plants occurring in a wetland that are native to New South Wales (including planted native vegetation), not just trees.

If the subdivision will impact native vegetation and the clearing exceeds the biodiversity offsets scheme (BOS) thresholds (Part 7, BC Reg), the biodiversity assessment method (BAM) must be applied and a biodiversity development assessment report (BDAR) prepared to assess and calculate the biodiversity offset credit requirement.

Biodiversity offsets are calculated and secured in accordance with the *Biodiversity Conservation Act 2016* for the subdivision. Once this is done, no further offsets are required for subsequent development of the land that is within the approved subdivision.

The BAM requires proponents to demonstrate that biodiversity impacts have been avoided and minimised as far as possible, with residual impacts offset. Both the complexity of assessments, and the costs to the proponent associated with complying with the BOS, are lower where impacts on biodiversity are avoided and/or concentrated in areas of lower vegetation integrity.

Additionally, vegetation on the proposed lot is mapped within the Biodiversity Values Map (BV Map). The BV Map identifies land with high biodiversity values that is particularly sensitive to impacts from development and clearing. The BOS threshold is exceeded if clearing of native vegetation is proposed on land mapped on the BV Map. Additionally, if a future development involves prescribed impacts to directly impact vegetation on the BV Map, then entry into the BOS is triggered and BAM must be applied.

For the proposed lot at 277 Black Springs Road, Eurunderee, the proposed MLS for the subject land is 12 ha, therefore the area clearing threshold for this site is 0.5 ha. Based on the information provided it is likely that the impacts of the future subdivision of the subject site will trigger entry into the BOS.

Potential for Serious and Irreversible Impact entities to occur:

High-level threatened ecological community mapping on SEED datasets indicates the potential presence of Box Gum Woodland CEEC on the proposed lot, likely derived native grassland. This entity is considered at risk of serious and irreversible impacts (SAll) within the meaning of clause 6.7 of the BC Reg. Entities at risk of SAll have additional assessment requirements under the BAM. We recommend this be ground truthed at or prior to development application stage to accurately determine the biodiversity values present on site.

Under section 7.16 of the BC Act, the consent authority must refuse to grant consent if the approval of a proposed development is likely to have a serious and irreversible impact on SAll entities. Further advice regarding determination of serious and irreversible impacts is available via the *Guidance to assist a decision-maker to determine a serious and irreversible impact* (DPIE, 2019). This guidance is available on the Department's website at <https://www.environment.nsw.gov.au/topics/animals-and-plants/biodiversity-offsets-scheme/local-government-and-other-decision-makers/serious-and-irreversible-impacts-of-development>.

Attachment B**BCS NW Branch Steps for Assessing Biodiversity in Planning Proposals****Introduction**

Planning proposals should demonstrate consistency with the State, regional and local strategic planning framework including the relevant Regional Plan and section 9.1 Ministerial Directions. To be consistent with the relevant Regional Plan for areas with High Environmental Value (HEV) (see **Attachment B** for identifying HEV), planning proposals should identify areas of HEV at the property scale and avoid intensification of development and land uses in those areas.

The s.9.1 Direction 2.1 Conservation Zones, require that Councils in preparing or amending an LEP must include provisions that facilitate the protection and conservation of Environmentally Sensitive Areas (ESAs) zoned or otherwise identified for conservation. As a minimum, these provisions must aim to maintain the existing level of protection for ESAs within the local government area (LGA), as afforded by the current LEP

Avoiding and minimising land use intensification in HEV areas may also facilitate future development by avoiding triggering the Biodiversity Offset Scheme (BOS) at the development application stage; or simplifying the application of the Biodiversity Assessment Method (BAM) and reducing future biodiversity credit liability.

Biodiversity assessment for all planning proposals which affect HEV

Biodiversity assessment for planning proposals should implement the following steps:

Step 1: Identify HEV

The planning proposal should identify and map areas of HEV with desktop analysis and site investigations when required, as set out in **Attachment B**.

Step 2: Avoid and minimise impacts on HEV

The planning proposal should take into consideration any impacts throughout the life of the proposal and all possible future land uses. Once all impacts are identified, the proposal can be located and designed to maximise avoidance of land use intensification in HEV areas and adhere with the guidance in

Attachment C. Step 3: Protect HEV

The planning proposal should maintain or improve existing planning provisions to protect HEV, while permitting land use intensification on certain parts of the land suitable for development. Updates to planning controls should reflect the environmental values and constraints present on the land, rather than permitting development intensification uniformly across an entire site. Areas of HEV should instead be better protected by updating LEP provisions, such as through:

- an appropriate zone which has strong conservation objectives and limited land uses
- an appropriate minimum lot size (MLS) so the land cannot be subdivided
- updating terrestrial biodiversity mapping
- creating local provisions which:
 - contain site specific constraints such as buffers, objectives and considerations for future development consents and limits certain development or land uses
 - identifies land with "high biodiversity significance"¹ to preclude exempt or complying development from occurring on any ESAs
 - require future management actions through a Development Control Plan (DCP) or Biodiversity and Vegetation Management Plan (BVMP).

Optional step for large or complex planning proposals which affect HEV

Step 4: Identify biodiversity values and entities at risk of Serious and Irreversible Impacts (SII)

¹ State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 – cl.1.5(g) and Standard Instrument – Principal Local Environmental Plan (2006 EPI 155a) cl.3.3(g) "environmentally sensitive area" includes land identified in an environmental planning instrument as being of high biodiversity significance.

The planning proposal could apply Stage 1 of the Biodiversity Assessment Method (BAM) to identify Plant Community Types, threatened species and ecological communities, as well as SAI entities likely to be present. Application of Stage 1 of the BAM can be beneficial at the planning proposal stage as, in the opinion of Council any:

- clearing associated with future subdivision or development of the land is likely to impact native vegetation and exceed the thresholds in Part 7 of the *Biodiversity Conservation Regulation 2017*, then a biodiversity development assessment report will be required at the development application stage.
- future development is likely to have a serious and irreversible impact on a SAI entity, then under section 7.16 of the *Biodiversity Conservation Act 2016* a consent authority must refuse to grant consent to the development. Further advice regarding determination of serious and irreversible impacts is available via the [Guidance to assist a decision-maker to determine a serious and irreversible impact \(2019\)](#).

By applying Stage 1 of the BAM as part of the planning proposal, the proponent can further identify and avoid areas of biodiversity value that will generate a biodiversity credit liability or contain SAI entities in the development application planning phase. When biodiversity is considered strategically at planning stage, future development assessment can be simplified and credit obligations reduced.

Attachment C

BCS NW Branch HEV Criteria and Identification Methods at the Property Scale

High Environmental Value (HEV) Criteria and Components		Property Scale HEV Identification Method
Criterion 1. Sensitive Biodiversity Mapped on the Biodiversity Values Map		
1.1 Biodiversity Values Map		<ul style="list-style-type: none"> a. Identify the parts of the land on the Biodiversity Values map which can be viewed at https://www.environment.nsw.gov.au/topics/animals-and-plants/biodiversity-offsets-scheme/about-the-biodiversity-offsets-scheme/when-does-bos-apply/biodiversity-values-map. b. Include any BV map areas as HEV.
Criterion 2. Native vegetation of high conservation value		
2.1 Vegetation in over-cleared landscapes (Mitchell landscapes)		<ul style="list-style-type: none"> a. Identify over-cleared Mitchell landscapes by viewing map data from the SEED portal https://www.seed.nsw.gov.au/ – selecting NSW (Mitchell Landscapes) – latest version, selecting 'Show on Seed Map' and viewing the 'View Over Cleared Land Status'. b. Map all native vegetation on the land as HEV if it is in an over-cleared Mitchell landscape.
2.2 Over-cleared vegetation types		<ul style="list-style-type: none"> a. Identify Plant Community Types (PCTs) on the land through field work. b. Register and visit the Vegetation Information System (VIS) database at vis@environment.nsw.gov.au. c. Use the VIS to determine whether the % cleared status of the PCTs identified through field work on the land is above 70%. d. Map all PCTs on the land with the % cleared above 70% as HEV.
2.3 Threatened Ecological Communities - any vulnerable, endangered, or critically endangered ecological community listed under the BC Act, the FM Act 1994 or the EPBC Act and not mapped on the BV map		<ul style="list-style-type: none"> a. Identify Plant Community Types (PCTs) on the land through field work. b. Register and visit the VIS database at vis@environment.nsw.gov.au. c. Use the VIS to determine whether the PCTs on the land have Threatened Ecological Community (TEC) Status. d. If not identified as a TEC from steps a – c above, then refer to the NSW Threatened Species Scientific Committee determinations to consider whether any of the PCTs accords with the determinations. e. Map all PCTs on the land that are TECs as HEV.
Criterion 3. Threatened species		
3.1 Key habitat for threatened species (vulnerable, endangered, or critically endangered species listed under BC Act)	Key breeding habitats with known breeding occurrence	<ul style="list-style-type: none"> a. Search BioNet for threatened species records on and within 10km of the land b. Undertake field work to identify potential breeding habitats on the land for threatened species. c. Either assume breeding occurrence and map identified breeding habitats on the land as HEV or undertake targeted surveys during the applicable breeding season(s) and map these habitats as HEV if breeding occurs there.
	Core Koala Habitat	<ul style="list-style-type: none"> a. Check council records for approved comprehensive or individual property Koala Plans of Management (KPoM). b. Identify areas of core koala habitat on the land mapped in any approved KPoM and map these areas as HEV. c. If there are no approved KPoMs, then undertake field work in accordance with the relevant State Environmental Planning Policy (SEPP) for koalas, e.g. SEPP (Biodiversity and Conservation) 2022, to determine whether Core Koala Habitat is present on the land. d. Map any core koala habitat identified on the land through field work as HEV.
	Habitat for known populations of flora and fauna species-	<ul style="list-style-type: none"> a. Search BioNet for threatened species records on and within 10km of the land. b. Undertake field work to identify populations of threatened

High Environmental Value (HEV) Criteria and Components		Property Scale HEV Identification Method
	credit-species and SAI entities (species-credit species and SAI entities are identified in the Threatened Biodiversity Data Collection)	<p>species credit species on the land and their habitats.</p> <p>c. Map all habitats of known populations of species credit species on the land as HEV.</p> <p>The Biodiversity Assessment Method and the Department's survey assessment guidelines should be referred to for suitable habitat assessment methodologies and can be found here.</p> <p>If a recent Biodiversity Development Assessment Report has been prepared for the land, then this could be referred to in support of demonstrating how this criterion has been considered.</p>
	Key habitats for migratory species	<p>a. Search BioNet for threatened migratory species records on and within 10km of the land.</p> <p>b. Undertake field work to identify habitats of threatened migratory species on the land.</p> <p>c. Map all habitats of threatened migratory species on the land as HEV.</p>
Criterion 4. Wetlands, rivers, estuaries & coastal features of high environmental value		
4.1 Nationally important wetlands	<p>Note: Rivers and their riparian areas comprising HEV are already included in the Biodiversity Values Map under HEV Criterion 1 as protected riparian land</p>	<p>a. Search the Directory of Important Wetlands in Australia for those occurring in NSW available at http://www.environment.gov.au/cgi-bin/wetlands/search.pl?smode=DOIW.</p> <p>b. Identify any nationally important wetlands listed in the directory that occur on the land and map these areas as HEV.</p>
Criterion 5. Areas of geological significance		
5.1 Karst landscapes		<p>a. Identify whether limestone outcrops or caves occur on the land.</p> <p>b. Consider any additional Karst landscapes that occur in the vicinity of the land, with reference to the NSW Government's <i>Guide to New South Wales Karst and Caves</i> available at https://www.environment.nsw.gov.au/-/media/OEH/Corporate-Site/Documents/Land-and-soil/nsw-karst-cave-guide-110455.pdf and any other available karst mapping, such as karst maps associated with local environmental plans.</p> <p>c. Map any limestone outcrops or caves on the land and any other karst landscapes that occur in the vicinity of the land as HEV.</p>
5.2 Sites of geological significance included in the State Heritage Register or Heritage Inventory		<p>a. Map any sites of geological significance that occur on, or in the vicinity of, the land as HEV. Refer to the State Heritage Inventory and map at https://www.environment.nsw.gov.au/topics/heritage/search-heritage-databases/state-heritage-inventory</p>

Attachment D

BCS NW Branch HEV Guidance for Avoiding and Minimising Impacts on HEV Land

Decisions about the location of land use intensification in planning proposals should be informed by knowledge of biodiversity values including High Environmental Values (HEV) recognising that this is an iterative process that should consider the guidance provided below.

Locating land use intensification to avoid and minimise impacts on validated HEV

1. Planning proposal design, including the potential location of future temporary and permanent ancillary construction and maintenance facilities, should minimise direct impacts to clearing of native vegetation, habitat of threatened species and ecological communities, and validated HEV.

Impacts can be avoided and minimised by locating land use intensification in areas:

- (a) where there are no biodiversity values e.g. locating future development away from native vegetation, geological features of significance or waterbodies
 - (b) that avoid habitat for species and native vegetation communities in high threat status categories (i.e. endangered or critically endangered species or communities)
 - (c) where the native vegetation or threatened species habitat is in the poorest condition (e.g. areas that have already been disturbed)
 - (d) such that connectivity enabling movement of species and genetic material between areas of adjacent or nearby habitat is maintained e.g. further fragmenting or isolating habitat patches, and migratory flight paths to important habitat.
2. In selecting locations for land use intensification, the following alternatives should be addressed:
 - (a) optimising the locations of land use intensification to minimise future interactions with threatened species and ecological communities, e.g. allowing for buffers around features that attract and support aerial species, such as forest edges, riparian corridors and wetlands, ridgetops and gullies, and National Park estate²
 - (b) alternative locations that would avoid or minimise impacts on biodiversity values and justification for selecting the proposed location
 - (c) alternative sites within a property on which land use intensification is proposed that would avoid or minimise impacts on biodiversity values and justification for selecting the proposed site.
 3. Justifications for decisions on the location of land use intensification should identify any other site constraints that the proponent has considered in determining the location and design of these areas, e.g. bushfire protection requirements including clearing for asset protection zones, flood planning levels, servicing constraints.
 4. Actions taken to avoid and minimise impacts through locating areas for land use intensification must be documented and justified in the planning proposal.

² For more information, see the Developments adjacent to NPWS lands: Guidelines for consent and planning authorities (Environment, Energy and Science, 2020), accessible at <https://www.environment.nsw.gov.au/-/media/OEH/Corporate-Site/Documents/Parks-reserves-and-protected-areas/Development-guidelines/developments-adjacent-npws-lands-200362.pdf>



Department of Climate Change, Energy, the Environment and Water

Other Impacts on validated HEV

Some future development to be enabled by a planning proposal may have other impacts on validated HEV in addition to, or instead of, impacts from clearing vegetation and/or loss of habitat. For many of these impacts, validated HEV may be difficult to quantify, replace or offset, making avoiding and minimising impacts critical.

Other impacts on validated HEV can include:

- (a) impacts of future development on the habitat of threatened species or ecological communities associated with:
 - i. karst, caves, crevices, cliffs and other geological features of significance, or
 - ii. rocks, or
 - iii. human made structures, or
 - iv. non-native vegetation
- (b) impacts of future development on the connectivity of different areas of habitat of threatened species that facilitates the movement of those species across their range
- (c) impacts of future development on movement of threatened species that maintains their life cycle
- (d) impacts of future development on water quality, water bodies and hydrological processes that sustain threatened species and threatened ecological communities (including from subsidence or upsidence resulting from underground mining)
- (e) impacts of wind turbine strikes on protected animals
- (f) impacts of vehicle strikes on threatened species or on animals that are part of a Threatened Ecological Community.

Within the BC Act, these types of impacts are called 'prescribed impacts'. Where the Biodiversity Offset Scheme is triggered by a future development, the decision maker may increase the number of biodiversity credits to be retired (or other conservation measures to be undertaken) to compensate for residual prescribed impacts. Avoiding these types of impacts to HEV at the planning proposal stage can simplify future development assessment at the site.

Planning Proposal

Lot 3 DP 1223039

277 Black Springs Road, Eurunderee



Navigate Planning

9 April 2024

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Introduction

The owners of the subject land, described below, would like to achieve a further subdivision of the land to result in one additional lot for rural-residential development purposes. To achieve this outcome, a Planning Proposal is required to change the minimum lot size for a part of the subject land from 400ha to 12ha.

Navigate Planning has been engaged by the land owners to prepare the relevant planning documents and provide the relevant justifications for the planning proposal.

The subject land is at 277 Black Springs Road, Eurunderee. The legal description of the land is Lot 3 in DP 1223039. The location of the land is shown in Map 1 below.



Map 1: Location Map

The land is currently zoned part R5 Large Lot Residential and Part C3 Environmental Management. The R5 part of the land has a 12ha minimum lot size and the C3 part has a 400ha minimum lot size.

The current minimum lot size map is provided in Part 4 below.

It is proposed to seek an amendment to the Mid-Western Regional Local Environmental Plan 2012 to reduce the minimum lot size for a part of the land zoned C3 Environmental Management from 400ha to 12ha in order to facilitate one additional lot.

The proposed minimum lot size map is provided in Part 4 below.

A draft Planning Proposal received initial support from Mid-Western Regional Council on 15 November 2023 and a Gateway Determination was issued by the Department of Planning and Environment on 5 April 2024.

Part 1 Objectives and intended outcomes

Objective

To amend the Mid-Western Regional Local Environmental Plan 2012 to provide for the subdivision of land at 277 Black Springs Road, Eurunderee, creating one additional rural residential lot.

Intended Outcomes

- To add to the rural residential land supply in Mudgee.
- To facilitate an additional rural residential lot in a manner that will avoid rural land use conflicts and with minimal impacts on the environment or the amenity of surrounding properties.

Part 2 Explanation of provisions

This planning proposal seeks to achieve the objective identified in Part 1 through the making of an amendment to the Lot Size Map.

The following table outlines the proposed change to the LEP.

Item	Current	Proposed
Lot Size Map	400ha	12ha

Mapping of the proposed amendment is included in Part 4.

Part 3 Justification

SECTION A NEED FOR A PLANNING PROPOSAL

QUESTION 1 *Is the planning proposal a result of an endorsed LSPS, strategic study or report?*

The subject land is at 277 Black Springs Road, Eurunderee. The legal description of the land is Lot 3 in DP 1223039. The land currently has a split zoning of C3 Environmental Management and R5 Large Lot Residential and a split minimum lot size (MLS) of 400ha and 12ha.

The land owner obtained development consent for a four lot subdivision. Two of these approved lots have been created, with the residue having approval for a further two lots. This planning proposal seeks to increase the area of land with a 12ha MLS in order to achieve a three lot subdivision from the residue of the original subdivision.

The subject land is partly identified in the Mid-Western Regional Comprehensive Land Use Strategy, adopted by Council in 2010. The subject land is included in Area C on the Rural Lifestyles Opportunities Map, an extract of which is provided in Map 2 below. The red lines on the map below represent the additional area of land proposed to have a 12ha MLS.

The planning proposal is considered to be consistent with the Strategy.



Map 2: Extract of Rural Lifestyles Opportunities Map in Mid-Western Regional Comprehensive Land Use Strategy

QUESTION 2 *Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?*

Given the provisions of the Mid-Western Regional Local Environmental Plan 2012, there is no alternative to achieve the objectives and outcomes of this planning proposal.

In order to achieve the additional rural residential lot, the Minimum Lot Size Map in the LEP must be amended to change part of the land from a 400ha MLS to a 12ha MLS.

SECTION B STRATEGIC PLANNING FRAMEWORK

QUESTION 3 *Will the planning proposal give effect to the objectives and actions of the applicable regional or district plan or strategy (including any exhibited draft plans or strategies)?*

Central West and Orana Regional Plan 2041

The proposal aligns well with a number of the directions of the Central West and Orana Regional Plan 2041, as outlined below:

Objective	Relevance / Consistency
Objective 1: Deliver the Parkes Special Activation Precinct and share its benefits across the region	Not relevant.
Objective 2: Support the State’s transition to Net Zero by 2050 and deliver the Central-West Orana Renewable Energy Zone	Not relevant.
Objective 3: Sustainably manage extractive resource land and grow the critical minerals sector	Not relevant.
Objective 4: Leverage inter-regional	Not relevant.

transport connections.	
Objective 5: Identify, protect and connect important environmental assets	Consistent. The proposal does not change the C3 zoning of the land. The proposed change to the minimum lot size does not necessitate any clearing of the vegetation as the proposed lot contains an area of cleared land zoned R5.
Objective 6: Support connected and healthy communities	Not relevant.
Objective 7: Plan for resilient places and communities	Consistent. The proposal facilitates the erection of a dwelling in full compliance with Planning for Bushfire Protection 2019 (see further discussion under Question 9 below). The proposed dwelling envelope is also located to facilitate a dwelling that will not be impacted by any local overland flow issues.
Objective 8: Secure resilient regional water resources	Consistent. The proposal does not necessitate development that would have any direct impacts on watercourses or water catchments. An effluent disposal investigation report has been prepared for the planning proposal, demonstrating that the site can accommodate effluent disposal with adequate setbacks to watercourses and without detrimental impacts on groundwater. See Appendix 4.
Objective 9: Ensure site selection and design embraces and respects the region's landscapes, character and cultural heritage	Consistent. The proposal does not result in any development that would be visually intrusive in the landscape. An Aboriginal archaeological assessment of the land has been undertaken and the Mudgee LALC raised no objections to subdivision of the land for rural residential purposes.
Objective 10: Protect Australia's first Dark Sky Park	Not relevant.
Objective 11: Strengthen Bathurst, Dubbo and Orange as innovative and progressive regional cities.	Not relevant.
Objective 12: Sustain a network of healthy and prosperous centres	Not relevant.
Objective 13: Provide well located housing options to meet demand	Not relevant.
Objective 14: Plan for diverse, affordable, resilient and inclusive housing	Not relevant.
Objective 15: Manage rural residential development	Consistent. The proposal will facilitate one addition rural residential lot in an area that is predominantly zoned for this kind of development, within close proximity to Mudgee. The proposal will not significantly add to local or regional infrastructure needs. A dwelling can be provided on the lot in a

	<p>manner that minimises conflicts with adjoining agricultural activities and does not require the removal of any native vegetation.</p> <p>Adequate water supply can be obtained from roof water with an additional supply through a new dam that can easily be accommodated on the land.</p> <p>Future development can be managed to minimise impacts on groundwater as demonstrated in the accompanying effluent disposal investigation report.</p> <p>The location of the proposal does not impact on any potential future urban growth opportunities.</p> <p>The subject land is identified in and consistent with the Mid-Western Regional Comprehensive Land Use Strategy.</p>
Objective 16: Provide accommodation options for seasonal, temporary and key workers	Not relevant.
Objective 17: Coordinate smart and resilient utility infrastructure	Not relevant.
Objective 18: Leverage existing industries and employment areas and support new and innovative economic enterprises	Not relevant.
Objective 19: Protect agricultural production values and promote agriculture innovation, sustainability and value-add opportunities	Consistent. The proposal would provide for one additional dwelling with a minimum 60m setback from the boundary of Saddleback Lane, across which is a vineyard. This complies with the minimum setback requirement in the Council's DCP.
Objective 20: Protect and leverage the existing and future road, rail and air transport networks and infrastructure	Not relevant.
Objective 21: Implement a precinct-based approach to planning for higher education and health facilities	Not relevant.
Objective 22: Support a diverse visitor economy	Not relevant.
Objective 23: Supporting Aboriginal aspirations through land use planning	Not relevant.

QUESTION 4 *Is the planning proposal consistent with a council LSPS that has been endorsed by the Planning Secretary or GSC, or another endorsed local strategy or strategic plan?*

The planning proposal is consistent with and furthers the objectives of the following local strategies and plans.

Mid-Western Regional Council Local Strategic Planning Statement

The proposal aligns well with a number of the planning priorities of the Mid-Western Regional Local Strategic Planning Statement, as outlined below:

Planning Priority	Relevance / Consistency
Planning Priority 1 Respect and enhance the historic character of our Region and heritage value of our towns.	Not relevant.
Planning Priority 2 Make available diverse, sustainable, adaptable and affordable housing options through effective land use planning.	Consistent. The proposal provides for one addition rural residential lot in an area that is predominantly zoned for this kind of development.
Planning Priority 3 Maintain and promote the aesthetic appeal of the towns and villages within the Region.	Not relevant.
Planning Priority 4 Provide infrastructure and services to cater for the current and future needs of our community.	Not relevant.
Planning Priority 5 Ensure land use planning and management enhances and protects biodiversity and natural heritage.	Consistent. The proposal does not change the C3 zoning of the land. The proposed change to the minimum lot size does not necessitate any clearing of the vegetation as the proposed lot contains an area of cleared land already zoned R5. Should it be required, some form of covenant can be placed over the area proposed to be rezoned to ensure ongoing protection of the vegetation.
Planning Priority 6 Minimise the impact of mining and other development on the natural environment.	Not relevant.
Planning Priority 7 Support the attraction and retention of a diverse range of businesses and industries.	Not relevant.
Planning Priority 8 Provide leadership on economic development initiatives and identify resources and infrastructure required to drive investment and economic growth in the Region.	Not relevant.
Planning Priority 9 Support the expansion of essential infrastructure and services to match business and industry development in the Region.	Not relevant.
Planning Priority 10 Develop a regional transport network in partnership with	Not relevant.

government agencies, that grows with the needs of residents and businesses.	
Planning Priority 11 Develop and enhance walking and cycling networks across the Region.	Not relevant.
Planning Priority 12 Improve communications between Council and the community and create awareness of Council's roles and responsibilities.	Not relevant.

Mid-Western Regional Comprehensive Land Use Strategy

The subject land is partly identified in the Mid-Western Regional Comprehensive Land Use Strategy, adopted by Council in 2010. The subject land is included in Area C on the Rural Lifestyles Opportunities Map, an extract of which is provided in Map 2 above.

Area C is identified in the strategy as a short-term opportunity that should be prioritised for rural lifestyle development and investigated for release in the short term.

The planning proposal is considered to be consistent with the Strategy.

It is important to note that it is not proposed to construct a dwelling in the area the subject of the proposed MLS change. The purpose of the change to the MLS is to achieve one additional lot with an area of 12 hectares where that part of the lot that is already zoned R5 has adequate capacity for a dwelling and associated infrastructure.

No clearing within the area of the proposed MLS change will be required. The vegetated area is already fenced off from the cleared area and this fencing will be retained. This area will retain a C3 zoning.

The Mid-Western Regional Comprehensive Land Use Strategy contains a set of principles for development of rural land, including for rural residential development. The relevant principles are addressed below.

Principles	Relevance / Consistency
Encourage continued growth in the area's rural economic base by protecting agricultural areas.	Consistent. The proposal would provide for one additional dwelling with a minimum 60m setback from the boundary of Saddleback Lane, across which is a vineyard. This complies with the minimum setback requirement in the Council's DCP.
Recognise the contribution agriculture makes to the Mid-Western Regional local government area.	Not relevant.
Protect and conserve agricultural lands and encourage sustainable agricultural operations.	Not relevant. The subject land is not zoned for agricultural purposes.
Prevent inappropriate fragmentation of agricultural lands.	Not relevant. The subject land is not zoned for agricultural purposes.
Recognise the important contribution of industry makes to Mid-Western Regional Council local government area and the region	Not relevant.
Recognise tourism as an important component of the Mid-Western Regional Council local government area	Not relevant.

Recognise mining, extractive industries, forestry as a key primary production use and potential in the Mid-Western Regional Council local government area	Not relevant.
Minimise rural land use conflict.	Consistent. As noted above, the proposal would provide for one additional dwelling that will comply with the minimum setback requirements to minimise potential land use conflicts.
Consider the environmental capacity and constraints of the area and ensure development is consistent with the land capability and suitability criteria identified through the constraints and opportunities analysis (i.e. Part B - Constraints and Opportunities).	Consistent. The subject land is not identified as constrained land on the Strategy mapping. The proposal does not require the clearing of any native vegetation.
Provide for the continued and improved social and economic well being of the rural community.	Not relevant.
Protect the water quality of the Cudgegong, Macquarie and Goulburn Rivers and tributaries.	Consistent. The proposal facilitates one additional dwelling on the land. An effluent disposal investigation report has been prepared for the planning proposal, demonstrating that the site can accommodate effluent disposal with adequate setbacks to watercourses and without detrimental impacts on groundwater.
Recognise and protect natural and cultural values and features of the local government area.	Consistent. The proposal facilitates one additional dwelling that can be developed with no significant impacts on natural and cultural values. No native vegetation is required to be removed, the dwelling will not be prominent in the landscape and it is unlikely that any Aboriginal cultural heritage would be impacted.
Promote appropriate access and efficient use of water resources for all uses.	Consistent. The proposal would result in a new lot with legal and practical access. The proposed lot is large enough to accommodate a farm dam to supplement tank water for a future dwelling.
Permit compatible non-agricultural land uses such as rural industries within rural areas that would not adversely affect the future productivity of the area.	Not relevant.
Prevent development of inappropriate non-agriculture land uses including large lot residential development that will adversely affect the productivity potential of agricultural areas and result in inappropriate fragmentation.	Consistent. As noted above, the proposal would provide for one additional dwelling that will comply with the minimum setback requirements to minimise adverse impacts on agriculture. The proposal is not considered to result in inappropriate fragmentation. Importantly the proposal does not result in any new lot boundary within existing vegetated areas.
Provide a choice of living opportunities and variety of settlement types. Continue to provide rural small holdings opportunities	Consistent. The proposal provides one additional rural-residential housing opportunity.

for hobby farms and emerging rural industries in areas near the urban settlements of Mudgee, Gulgong, Kandos and Rylstone and in some instances surrounding the villages in defined areas	
Residential uses are to retain a buffer on that land in accordance with Water Directorate guidelines to agricultural areas, especially the intensive agricultural areas so as to minimise impact on agriculture. This buffer is to safeguard against noise, odour, dust, spray drift and other operations that may affect residential amenity.	The proposal will enable compliance with council's setback requirements. Further engagement with Council and relevant agencies may be required to discuss any additional buffer requirements. However, it is noted that the land where a dwelling would be proposed is already zoned R5 Large Lot Residential and could be approved as the location of a dwelling on the currently approved lot.
Promote rural enterprises and diversity of tourism developments, compatible with those uses particularly in relation to the viticulture industry.	Not relevant.
Provide opportunities for growth in the Villages	Not relevant.
Retain the ability to seek development approval for a dwelling on lots that have been created by Council for that purpose.	Noted.
Support home industries in rural areas but discourage the development of light industries on land which is suitable for agricultural development	Noted.
Support the consideration (merit based) for the development of wind farms and solar farms in rural areas	Not relevant.
Encourage value adding industries and businesses.	Not relevant.

QUESTION 5 *Is the planning proposal consistent with any other applicable State and regional studies or strategies?*

There are no other relevant regional studies or strategies.

QUESTION 6 *Is the planning proposal consistent with applicable State Environmental Planning Policies?*

The following table addresses the relevancy and consistency of the planning proposal with State Environmental Planning Policies.

SEPP	Relevance and Consistency
SEPP (Biodiversity and Conservation) 2021	Relevant. The subject land is greater than 1ha in size and is currently zoned C3 and R5. There is no approved koala management plan applying to the land. The proposed change to the MLS and the future development of a dwelling does not require the removal of any native vegetation. It is therefore

	considered that the planning proposal and future development will have no impact on koalas or koala habitat.
SEPP (Building Sustainability Index: BASIX) 2004	Not relevant.
SEPP (Exempt and Complying Development Codes) 2008	Not relevant.
SEPP (Housing) 2004	Not relevant.
SEPP (Industry and Employment) 2021	Not relevant.
SEPP 65 – Design Quality of Residential Apartment Development	Not relevant.
SEPP (Planning Systems) 2021	Not relevant.
SEPP (Precincts – Central River City)	Not relevant
SEPP (Precincts – Eastern Harbour City) 2021	Not relevant
SEPP (Precincts – Regional) 2021	Not relevant.
SEPP (Precincts – Western Parkland City) 2021	Not relevant.
SEPP (Primary Production) 2021	Not relevant.
SEPP (Resilience and Hazards) 2021	<p>Relevant. This SEPP contains planning controls for the remediation of contaminated land. The policy states that land must not be developed if contamination renders it unsuitable for a proposed use. If the land is unsuitable, remediation must take place before the land is developed.</p> <p>In accordance with Clause 4.6 of the SEPP, the subject land has been considered with respect to the likelihood of contamination. A statutory declaration has been provided by the landowner to demonstrate that there has been no activities on the land since at least 1970 that may have caused contamination of the land. See Appendix 3.</p> <p>The subject land is considered to be suitable for the proposed change in minimum lot size and future residential development.</p>
SEPP (Resources and Energy) 2021	Not relevant. The location of a dwelling on the proposed additional lot is on land zoned R5 Large Lot Residential.

SEPP (Sustainable Buildings) 2021	Not relevant.
SEPP (Transport and Infrastructure) 2021	Not relevant.

QUESTION 7 *Is the planning proposal consistent with applicable Ministerial Directions?*

The following table addresses the relevancy and consistency of the planning proposal with Ministerial Directions.

Direction	Relevance and Consistency
Focus Area 1: Planning Systems	
<p>1.1 Implementation of Regional Plans Planning Proposals must be consistent with a Regional Plan released by the Minister for Planning.</p>	Relevant. The Planning Proposal is consistent with the directions in the Central West and Orana Regional Plan as addressed under Question 3 above.
1.2 Development of Aboriginal Land Council Land	Not relevant.
<p>1.3 Approval and Referral Requirements This direction applies when a relevant planning authority prepares a planning proposal. The objective of this direction is to ensure that LEP provisions encourage the efficient and appropriate assessment of development.</p>	Relevant. The Planning Proposal is consistent with the direction as it does not include provisions that require the concurrence, consultation or referral of development applications to a Minister or public authority and does not identify development as designated development.
1.4 Site Specific Provisions	Not relevant. This Planning Proposal seeks to facilitate the subdivision of an additional lot for residential purposes already permitted on the land. This Planning Proposal does not seek to allow a particular development not already permitted on the land.
1.5 to 1.22 (Place-based directions)	Not relevant.
Focus Area 2: Design and Place	Not commenced.
Focus area 3: Biodiversity and Conservation	
<p>3.1 Conservation Zones This direction applies to all relevant planning authorities when preparing a planning proposal. The objective of this direction is to protect and conserve environmentally sensitive</p>	Relevant. The Planning Proposal is consistent with this direction as it does not change the C3 zoning of the subject land. The change to the minimum lot size is not inconsistent with this direction as it is consistent with Direction 9.2 (2) of "Rural Lands" (see below).

areas.	
3.2 Heritage Conservation	Not relevant.
3.3 Sydney Drinking Water Catchments	Not relevant.
3.4 Application of C2 and C3 Zones and Environmental Overlays in Far North Coast LEPs	Not relevant.
3.5 Recreation Vehicle Areas	Not relevant.
3.6 Strategic Conservation Planning	Not relevant.
3.7 Public Bushland	Not relevant.
3.8 Willandra Lakes Region	Not relevant.
3.9 Sydney Harbour Foreshore and Waterways Area	Not relevant.
3.10 Water Catchment Protection	Not relevant.
Focus Area 4: Resilience and Hazards	
4.1 Flooding	Not relevant. The subject land is not identified as flood prone.
4.2 Coastal Management	Not relevant
<p>4.3 Planning for Bushfire Protection</p> <p>This direction applies when a relevant planning authority prepares a planning proposal that will affect, or is in proximity to land mapped as bushfire prone land.</p> <p>The objectives of this direction are to protect life, property and the environment from bush fire hazards, by discouraging the establishment of incompatible land uses in bush fire prone areas, and to encourage sound management of bush fire prone areas.</p>	<p>Relevant. The subject land is mapped as bushfire prone. The Planning Proposal is consistent with the direction as it has had regard to Planning for Bushfire Protection 2019. See Section C below.</p> <p>In summary, the planning proposal facilitates the development of a dwelling in a location that can achieve a compliant Asset Protection Zone and provide adequate water supply for fire-fighting purposes.</p>
<p>4.4 Remediation of Contaminated Land</p> <p>This direction applies to:</p> <p>(a) land that is within an investigation area within the meaning of the Contaminated Land Management Act 1997,</p> <p>(b) land on which development for a purpose referred to in Table 1 to the contaminated land planning guidelines is being, or is known to have been, carried</p>	<p>Relevant. The subject land is not within an investigation area. The site is known to have been used for a purpose referred to in Table 1 of the Contaminated Land Planning Guidelines, being agricultural/horticultural activities, as the site has been used for grazing cattle and some growing of fodder crops. These activities are not considered likely to have caused contamination of the land.</p> <p>A statutory declaration has been provided by the landowner to demonstrate that there has been no</p>

<p>out,</p> <p>(c) the extent to which it is proposed to carry out development on it for residential, educational, recreational or childcare purposes, or for the purposes of a hospital – land:</p> <p>(i) in relation to which there is no knowledge (or incomplete knowledge) as to whether development for a purpose referred to in Table 1 to the contaminated land planning guidelines has been carried out, and</p> <p>(ii) on which it would have been lawful to carry out such development during any period in respect of which there is no knowledge (or incomplete knowledge).</p> <p>The objective of this direction is to reduce the risk of harm to human health and the environment by ensuring that contamination and remediation are considered by planning proposal authorities.</p>	<p>activities on the land since at least 1970 that may have caused contamination of the land. See Appendix 3. It is considered that this statutory declaration satisfies the requirement for a preliminary investigation of the land.</p> <p>The Planning Proposal is consistent with the direction as the planning proposal will not result in a change in land use of the area where the change in minimum lot size is proposed, as there is adequate room on the existing R5 zoned part of the proposed lot for the erection of a dwelling.</p> <p>The subject land is considered to be suitable for the proposed change in minimum lot size and future residential development.</p>
4.5 Acid Sulfate Soils	Not relevant
4.6 Mine Subsidence and Unstable Land	Not relevant.
Focus Area 5: Transport and Infrastructure	
5.1 Integrating Land Use and Transport	Not relevant. The planning proposal does not relate to land zoned, or proposed to be zoned for urban residential, business, industrial, village or tourist purposes.
5.2 Reserving Land for Public Purposes	Not relevant.
3.5 Development Near Regulated Airports and Defence Airfields	Not relevant.
5.4 Shooting Ranges	Not relevant.
Focus Area 6: Housing	
6.1 Residential Zones	Not relevant.
6.2 Caravan Parks and Manufactured Home Estates	Not relevant.

Focus Area 7: Industry and Employment	
7.1 Employment Zones	Not relevant
7.2 Reduction in non-hosted short-term rental accommodation period	Not relevant.
7.3 Commercial and Retail Development along the Pacific Highway, North Coast.	Not relevant.
Focus Area 8: Resources and Energy	
1.3 Mining, Petroleum Production and Extractive Industries	Not relevant. The Planning Proposal relates to land zoned C3 and R5 and therefore does not further prohibit or restrict mining, petroleum production or extractive industries.
Focus Area 9: Primary Production	
9.1 Rural Zones	Not relevant.
<p>9.2 Rural Lands</p> <p>This Direction applies when a relevant planning authority prepares a Planning Proposal that will affect land within an existing or proposed rural or conservation zone or that changes the existing minimum lot size on land within a rural or conservation zone.</p> <p>The objectives of this Direction include to protect the agricultural production value of rural land and facilitate the orderly and economic development of rural lands for rural and related purposes.</p>	<p>Relevant. The planning proposal is consistent with this direction as:</p> <ul style="list-style-type: none"> • It is consistent with the directions in the Central West and Orana Regional Plan as addressed under Question 3 above and Council’s Local Strategic Planning Statement as addressed under Question 4 above, • It does not affect land of agricultural significance for the State or the local rural community, • It will not negatively affect existing identified environmental values of the land as no clearing of native vegetation is required to facilitate a dwelling on the proposed additional lot, • The natural and physical constraints of the land have been considered and addressed in this planning proposal, • It will not increase fragmentation of rural land or cause rural land use conflicts as a dwelling can be located on the land in compliance with the minimum 60m setback requirement of the Mid-Western Regional Development Control Plan, • It will not adversely affect the operation and viability of existing and future rural land uses and related enterprises, • The land is appropriately located having regard to available utilities and reasonable proximity to the Mudgee town centre, and • The addition of one lot/dwelling to the locality will

	provide a minimal increase in rural residential land supply to assist in meeting demand with no significant social, economic or environmental impacts.
9.3 Oyster Aquaculture	Not relevant.
9.4 Farmland of State and Regional Significance on the NSW Far North Coast	Not relevant.

SECTION C ENVIRONMENTAL, SOCIAL AND ECONOMIC IMPACT

QUESTION 8 *Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?*

No. The planning proposal seeks to facilitate the development of an additional lot on which a dwelling can be located in an existing cleared area already zoned R5 Large Lot Residential.

The subdivision would not require the removal of any existing vegetation as the proposed lot boundary follows an existing fence line in the northern part of the site and crosses cleared land in the southern part of the site. No new property boundaries are proposed within the vegetated parts of the site.

A future dwelling on the proposed new lot would also not require any clearing of vegetation as a building envelope exists in the existing cleared area with adequate setbacks to front and side boundaries and with an adequate asset protection zone in compliance with Planning for Bushfire Protection 2019. Access to the building envelope can be provided without clearing of native vegetation and an on-site effluent management area can also be located within existing cleared areas.

The vegetated areas of the site are identified on the Biodiversity Values Map, as shown below.



Map 3: Biodiversity Values Map

No development is proposed within the mapped area and no clearing of vegetation is required within the mapped area. The vegetation in the mapped area is already fully fenced from the cleared areas of the site, preventing stock access.

Given there is no development or clearing in the mapped area, or any other clearing of native vegetation required, the proposal would not exceed the Biodiversity Offsets Scheme threshold.

Further, as the vegetated area is upslope of the developable area, it is considered that the development of a dwelling on the proposed additional lot will not have any indirect impacts on the mapped area. The subject land is already approved as part of a large rural residential lot and is able to be used for activities associated with rural-residential living, such as bushwalking or horse riding. The planning proposal will not result in any additional direct or indirect impacts.

It is therefore considered that the planning proposal will have no significant impacts on threatened species or their habitats.

QUESTION 9 *Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?*

No. Environmental issues considered in the development of the planning proposal are outlined below.

Environmental Heritage

The planning proposal will have no detrimental impact on items of environmental heritage, as there are no heritage items located on or in the vicinity of the site.

Aboriginal Cultural Heritage

An Aboriginal Cultural Heritage Assessment of the site was undertaken for the previous rezoning and development application for subdivision of the land. The whole of the land was considered in this assessment which included inspections of the site by representatives of the Mudgee Local Aboriginal Land Council. The assessment resulted in a letter from the Mudgee LALC raising no objections to the development, and recommending a monitor be present during the initial removal of topsoils to identify any potential Aboriginal Cultural Heritage Materials that may be unearthed.

It is considered that this previous work will suffice for the current planning proposal which does not seek to include additional land for development. The additional land proposed for the change in minimum lot size is and will remain forested land. The purpose of the change is to achieve an area of 12ha to meet the minimum lot size criteria for one additional lot/dwelling.

It is considered that the planning proposal will have no detrimental impact on Aboriginal cultural heritage.

Potential Site Contamination

The land has been used for agricultural/horticultural activities, being the grazing of cattle and some growing of fodder crops. These activities are not considered likely to have caused contamination of the land.

A statutory declaration has been provided by the landowner to demonstrate that there has been no activities on the land since at least 1970 that may have caused contamination of the land. See Appendix 3.

The Planning Proposal will not result in a change in land use of the area as there is adequate room on the R5 zoned part of the proposed lot for the erection of a dwelling. The additional land proposed for the change in minimum lot size is and will remain forested land. The purpose of the change is to achieve an area of 12ha to meet the minimum lot size criteria for one additional lot/dwelling.

The subject land is considered to be suitable for the proposed change in minimum lot size and future residential development.

Watercourses and Groundwater

The land is traversed by one defined watercourse, as shown below.



Map 4: Watercourses Map

It is noted that the cadastre and topographical mapping does not align. The survey undertaken of the site confirms that Saddleback Trail is located within the road reserve. Saddleback Trail and the road reserve align with the dashed lines in the above map. Therefore, the extent of the watercourse within the subject land is less than as shown above.

The proposed subdivision would ensure that the watercourses crossing the site are retained with adequate setbacks. There are no works associated with the proposed subdivision that would be located within 40m of a watercourse and therefore the proposal would not require a Controlled Activity Approval under the Water Management Act 2000 at the development stage. A future development application would therefore not be Integrated Development.

Part of the land is mapped as being groundwater vulnerable, as shown below.



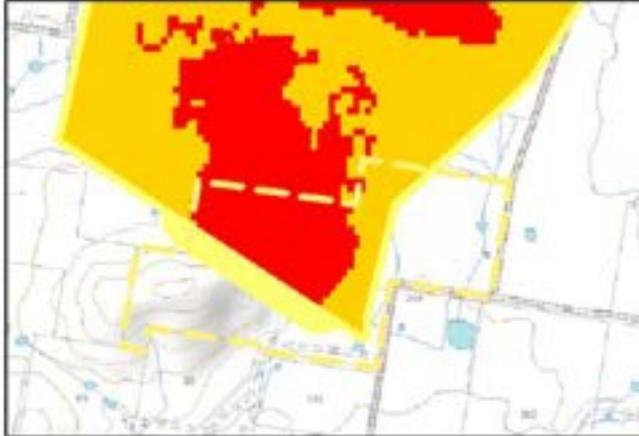
Map 5: Groundwater Vulnerability Map

To protect water quality (surface and groundwater), future on-site effluent management will need to be appropriately designed and located. An effluent disposal investigation report has been prepared for the planning proposal. The report demonstrates that the site can accommodate effluent disposal with adequate setbacks to watercourses and without detrimental impacts on groundwater.

Environmental Hazards

Bushfire

The subject land is partly mapped as bushfire prone as shown below.



Map 6: Bush fire prone land map

It is noted that the bushfire prone land mapping does not correlate with the extent of bushfire hazard on the land. Despite this mapping anomaly, the whole of the forested area of the site will be treated as a bush fire hazard for the purpose of assessment of Planning for Bushfire Protection 2019.

Subdivision of bushfire prone land for residential purposes requires a Bushfire Safety Authority under the Rural Fires Act 1997 at the development application stage. A future development application would be treated as Integrated Development for this reason also.

The proposed subdivision layout provides for a building envelope with a minimum 30m separation from the bushfire hazard, easily complying with the minimum 20m APZ required pursuant to Planning for Bushfire Protection 2019 (in relation to forests that are upslope of the dwelling). The available separation distance also provides for a dwelling to be constructed at a BAL-19 level (the NSW RFS do not support subdivisions where a BAL-40 or higher construction level is required).

The provision of a dwelling on the land can also meet the water supply for fire-fighting, services and landscaping provisions of Planning for Bushfire Protection 2019.

In relation to access, the proposed dwelling location would be approximately 350m from a sealed through road, in excess of the 200m requirement of Planning for Bushfire Protection. An alternative solution would need to be considered in relation to access, such as the identification of an alternative emergency egress route. An alternative route to Black Springs Road north of Saddleback Trail is achievable and could be formalised in the future subdivision of the land should this be required.

It is therefore considered that the planning proposal and potential future development is suitable for the site having regard to bushfire protection measures.

Flooding

The subject land is not mapped as flood prone.

QUESTION 10 *Has the planning proposal adequately addressed any social and economic effects?*

Yes. The addition of one rural residential lot and dwelling in the locality will have minimal social and economic impacts. A future dwelling on the additional lot can be located with adequate setbacks to adjoining land to minimise potential rural land use conflicts.

The proposal slightly increases the supply of rural residential land having a small positive economic impact in relation to land and housing supply and dwelling construction.

SECTION D STATE AND COMMONWEALTH INTERESTS

QUESTION 11 *Is there adequate public infrastructure for the planning proposal?*

Yes. Infrastructure issues considered in the development of the planning proposal are outlined below.

Sewer Services

The subject land is not connected to Council's reticulated sewer services and the proposed development will not generate demand for any connections. On-site effluent management will be required and the effluent disposal investigation report demonstrates that this is achievable on the site.

Water Supply

The subject land is not connected to Council's reticulated water supply system and the proposed development will not generate demand for any connections. On site water supply through a water tank for potable and fire-fighting purposes will be required. Additional water supply can be achieved through the construction of a dam on the land.

Traffic and Transport

No new road works are required for the planning proposal. The proposed lot has all weather access from Saddleback Trail. The provision of one additional rural-residential lot will not generate significant additional traffic to warrant any road upgrading, apart from the provision of a new driveway crossing.

Stormwater Management

Stormwater from future roofed and sealed areas can be collected in rainwater tanks and then discharged appropriately overland away from the dwelling and the effluent disposal area.

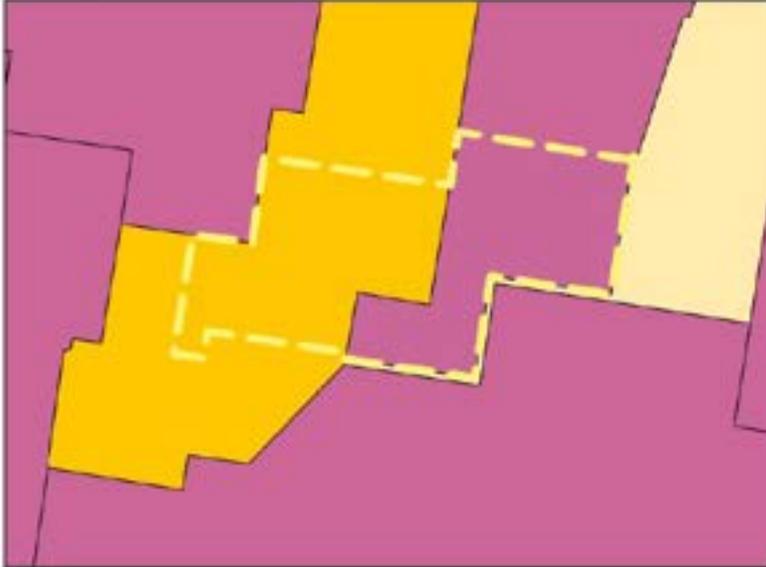
QUESTION 12 *What are the views of state and federal public authorities and government agencies consulted in order to inform the Gateway determination?*

Consultation with State and Commonwealth public authorities has not yet been undertaken. In issuing a Gateway Determination, the Department of Planning and Environment will outline those agencies to be consulted with.

A Scoping Report was prepared prior to the preparation of this planning proposal to facilitate consultation with Mid-Western Regional Council. No agency consultation was required by Council as part of this process.

Part 4 Mapping

Existing Minimum Lot Size



Map 7: Current Minimum Lot Size Map

Proposed Minimum Lot Size



Map 8: Proposed Minimum Lot Size Map

Part 5 Community consultation

The Department of Planning and Environment has confirmed community consultation requirements in the Gateway Determination issued on 5 April 2024. The Planning Proposal is required to be publicly exhibited for a minimum of 20 working days.

The Gateway Determination also requires consultation with the NSW Rural Fire Service and the Department of Climate Change, Energy, the Environment and Water (DCCEEW) – Biodiversity and Conservation Division (BCD) prior to the commencement of public exhibition.

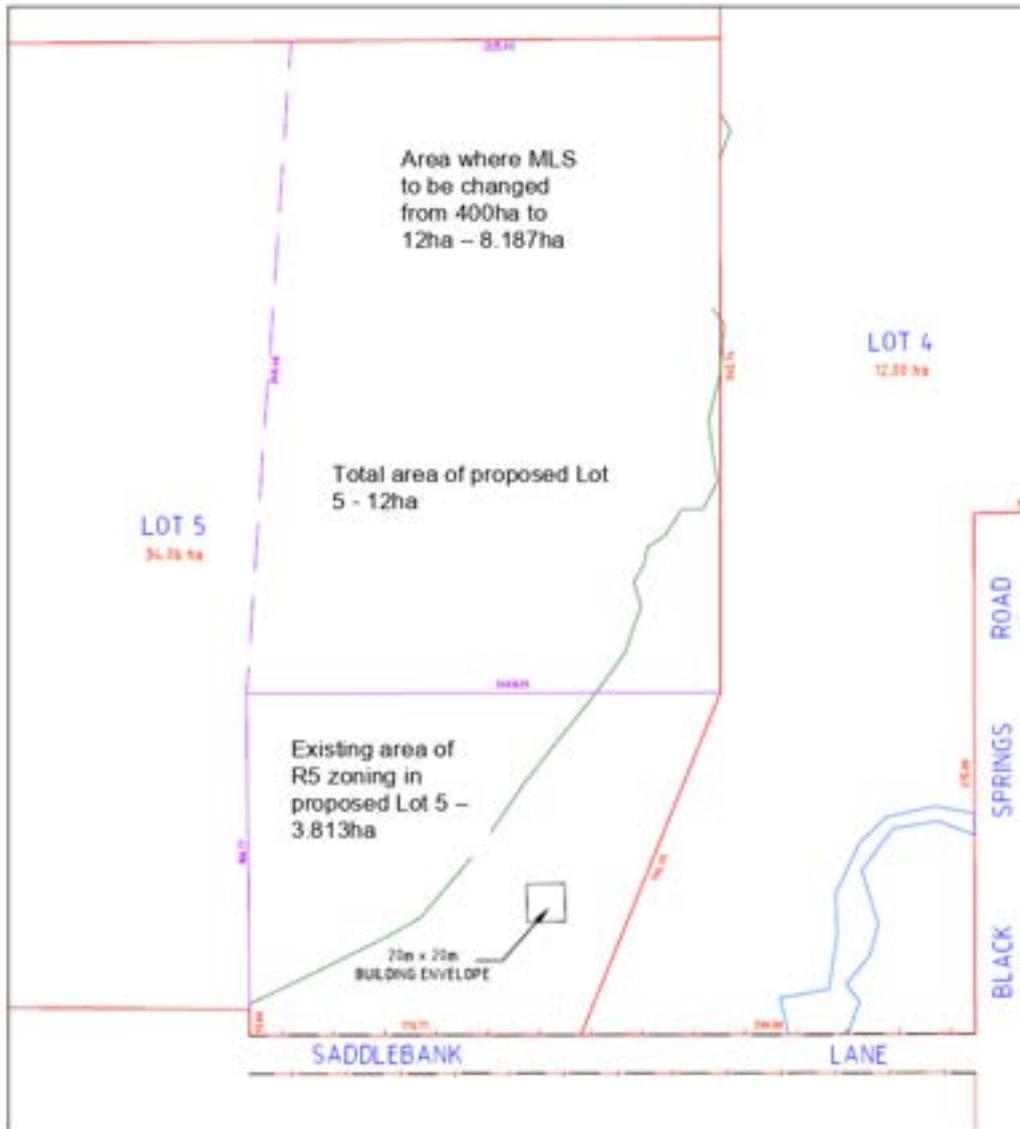
Part 6 Project timeline

The Project Timeline will assist with tracking the progress of the Planning Proposal through the various stages of consultation and approval. It is estimated that this amendment to Mid-Western Regional Local Environmental Plan 2013 will be completed by August 2024.

Estimated Timeline

Stage	Estimated Timeframe
Consideration by Council	October 2023
Council Decision	November 2023
Gateway Determination	April 2024
Pre exhibition	May 2023
Commencement and completion of public exhibition period	June 2024
Consideration of submissions	July 2024
Post exhibition review and additional studies	August 2024
Submission to the Department for finalisation (where applicable)	N/A
Gazettal of LEP amendment	October 2024

APPENDIX 1 – EXTRACT OF PROPOSED SUBDIVISION PLAN



APPENDIX 2 – CLEARANCE LETTER FROM MUDGEES LOCAL ABORIGINAL LAND COUNCIL



RE: Clearance Letter - Lot 110 DP1029542 Blacksprings Road

Dear Robert and Loretta,

On behalf of the Mudgee LALC I would like to thank you for the opportunity to conduct the recent assessment of your property at Lot 110 DP1029542 Blacksprings Road (Lots 1, 2, 4). Mudgee LALC Aboriginal Cultural Heritage Officer Mr Larry Foley has advised us of the outcomes of the assessment conducted on the 20/08/15.

Prior to the on ground assessment a desktop assessment was conducted which included a review of the AHIMS database. There were Aboriginal sites recorded in the region however none were identified as being potentially impacted by your development.

Whilst no Aboriginal Cultural Heritage Materials were identified we would recommend that a monitor be present during the initial removal of top soils to identify any potential Aboriginal Cultural Heritage Materials that may be unearthed.

Due to the lack of visibility no Aboriginal Heritage materials were identified during the assessment and as such we have no objection to the proposed development commencing.

If you have any queries regarding this assessment or require any further assistance please do not hesitate to contact our office.

Yours Sincerely,

Tony Lonsdale
A/G CEO
Mudgee LALC

Mudgee Local Aboriginal Land Council
PO Box 1096, Mudgee NSW 2850
Ph: 0268723711 Fax: 0268723722
Email: mudgeelalc@bigpond.com
ABN: 54 827 738 589

APPENDIX 3 – STATUTORY DECLARATION REGARDING SITE HISTORY

STATUTORY DECLARATION OATHS ACT 1900, NSW, EIGHTY SCHEDULES

I, Loretta Allen of 227 Blacksprings Road, do solemnly and sincerely declare that
[name of Declarant]
With regards to the history of Lot 110 DP1029542, my husband Robert, and I have lived on this property since 1998. The property has been owned by our family members or jointly in our names during this time. During the time we have lived at the property, land outside of our house yard, has only been used for cattle grazing. Previous to our residing here, Robert's parents owned the property, moving there in 1970. They used the land for grazing and some cropping of oats /pasture improvement. There have been no dwellings or sheds on land outside the existing yard. The existing house would at least be 94 years old. There has been periodic clearing/slashing for management of the land. Since 1998 the only weed management has been through use of Round Up and slashing. There are no bores on the land, only two dams in a proposed new Lot. There has been no bulk chemical or fuel storage on the land and no rubbish dumping sites outside of the house yard. To the best of our knowledge there have been no other activities that may have affected the land that we intend to subdivide.

And I make this solemn declaration conscientiously believing the same to be true, and by virtue of the provisions of the Oaths Act 1900.

Declared at: Nudgee on 24/3/2023.
[place] [date]

[signature of declarant]

In the presence of an authorised witness, who states:

I, Nadya Marshall, a Nadya Marshall
[name of authorised witness] [qualification of authorised witness]
Justice of the Peace NSW Reg. No. 258058

Certify the following matters concerning the making of this statutory declaration by the person who made it: [*please cross out any text that does not apply]

- ~~* I saw the face of the person OR * I did not see the face of the person because the person was wearing a face covering, but I am satisfied that the person had a special justification for not removing the covering; and~~
- * I have known the person for at least 12 months OR * I have confirmed the person's identity using an identification document and the document I relied on was Drivers Licence
[describe identification document relied on]


[signature of authorised witness]

24/3/2023
[date]

**APPENDIX 4 – EFFLUENT DISPOSAL INVESTIGATION REPORT
(UNDER SEPARATE COVER)**

8.3 Planning Proposal Lot 3 DP 1223039 - 277 Black Springs Road, Eurunderee

REPORT BY THE MANAGER STRATEGIC PLANNING
TO 15 NOVEMBER 2023 ORDINARY MEETING
GOV400103, LAN900155

RECOMMENDATION

That Council:

1. receive the report by the Manager Strategic Planning on the Planning Proposal Lot 3 DP 1223039, 277 Black Springs Road, Eurunderee;
2. provide initial support for the part rezoning from C3 Environmental Management to R5 Large Lot Residential and part change to minimum lot size from 400ha to 12ha of Lot 3 DP 1223039, 277 Black Springs Road, Eurunderee;
3. forward the Planning Proposal to amend the *Mid-Western Regional Local Environmental Plan 2012* to the NSW Department of Planning and Environment seeking a Gateway Determination in accordance with Section 3.34 of the *Environmental Planning and Assessment Act 1979*;
4. suggest as a condition of any future Gateway Determination, that a bushfire hazard assessment report, biodiversity assessment report and a land use conflict risk assessment be required; and
5. undertake community consultation as outlined within any approved Gateway Determination.

Executive summary

Council has received a Planning Proposal seeking an amendment to the *Mid-Western Regional Local Environmental Plan 2012* (LEP) to rezone part of Lot 3 DP 1223039 from C3 Environmental Management with a current minimum lot size of 400 hectares to R5 Large Lot Residential with a minimum lot size of 12ha.

The subject site is approximately 58.03 hectares in total. The subject site has frontage to both Black Springs Road and Saddleback Trail, approximately 9.2 kilometres north of Mudgee. Black Springs Road runs along the eastern boundary and Saddleback Trail to the south of the site.

The Planning Proposal has been considered in accordance with Council's Comprehensive Land Use Strategy (CLUS), specifically, Part C. Part C outlines the future large lot residential land supply opportunities around Mudgee and beyond. The northern part of Lot 3 DP 1223039 currently zoned C3 Environmental Management is located within a short-term opportunity area. The proposed rezoning and change to the minimum lot size is considered consistent with Part C of the CLUS.

The submitted Planning Proposal has been prepared generally in accordance with the structure outlined in the NSW Department Planning and Environment (DPE) *Local Environmental Plan Making Guideline*. The report outlines the context, intended outcomes, explanation of provisions and justification for the Planning Proposal.

The staff recommendation is to provide initial support for the Planning Proposal and to send to the Department of Planning and Environment (DPE) for a Gateway Determination with a request that a bushfire hazard report, biodiversity assessment report and a land use conflict risk assessment be required to be provided prior to community consultation. If the staff recommendation is supported, the Planning Proposal along with the Council resolution will be forwarded to DPE for Gateway Determination.

Disclosure of Interest

Nil

Detailed report

Planning Proposals

Planning Proposal is a term used to describe the process of rezoning or making an amendment to a Local Environmental Plan (LEP). A Planning Proposal application is a document that explains the intended effect of the LEP amendment and provides a strategic justification for doing so. DPE has issued the *Local Environmental Plan Making Guideline*, to provide guidance and information on the process for preparing planning proposals and making the amendment to the LEP.

Previous Planning proposals

A Planning Proposal was considered for the site in 2014. The Planning Proposal sought the rezoning and change to minimum lot size to achieve a 5-lot subdivision, Council only supported the rezoning to create of 4 lots. The fifth lot was not supported for the following reasons, as detailed in Business Paper from Ordinary Meeting 5 February 2014 (Item 6.3.4):

Lots 1-4 are supported, however lot 5 does not provide sufficient land within the proposed R5 part of the lot to meet the minimum lot size of 12ha recommended in Part 4.8.3 of the CLUS and prescribed in Council's LEP 2012. Any future dwelling on proposed lot 5 would need to factor-in bush fire asset protection zones, effluent disposal areas and chemical spray drift buffers to protect the residential use from adjacent agricultural activities. This would lead to a highly contained lot which is considered an undesirable outcome.

The current Planning Proposal before Council for consideration addresses bushfire asset protection zones and effluent disposal areas. It is noted, bushfire asset protection zones are addressed in the Planning Proposal, however, a comprehensive bushfire hazard report is recommended. The Planning Proposal generally discusses potential future land use conflict, however, to ensure this is appropriately considered a land use conflict risk assessment is recommended to be part of any future Gateway Determination.

The Gateway Process

DPE is responsible for assessing Planning Proposals through the Gateway Process. Details of the Gateway Process are outlined in the *Local Environmental Plan Making Guideline* (September 2022).

Gateway Timeline

The following table summarises the key components of making an amendment to the Mid-Western Regional Local Environmental Plan (LEP) and the progress of the current Planning Proposal through the various stages. The below table demonstrates the Planning Proposal is within the initial stage of the process.

Stage	Completed	Comment
Preparation of a Planning Proposal		
Planning Proposal lodged with Council	✓	September 2023

Staff undertake assessment	✓	July, August, September 2023
Council Decision to Support Proposal	✓	The Planning Proposal is being reported to 15 November 2023 meeting
Issue of Gateway Determination		
Council Requests Gateway Determination		
DP&E Issues Gateway Determination		
Gateway Conditions Satisfied		
Consultation		
Consultation with Relevant Agencies		
Public Exhibition		
Post-Exhibition Report to Council		
Finalisation of the Planning Proposal		
Council Exercises Delegation to Prepare LEP		
Draft LEP by Parliamentary Council		
Opinion Issued and LEP Made		

PROPOSAL CONTEXT

The subject site is currently split zoned C3 Environmental Management and R5 Large Lot Residential. The Planning Proposal seeks to rezone part of Lot 3 DP 1223039 (subject site) from C3 Environmental management with a current minimum subdivision lot size of 400 hectares to R5 Large Lot Residential with a minimum lot size of 12 ha. The maps below highlights the current and proposed zoning and current and proposed minimum lot size. The area of the site to be rezoned to R5 Large Lot Residential measures 8.187 hectares.

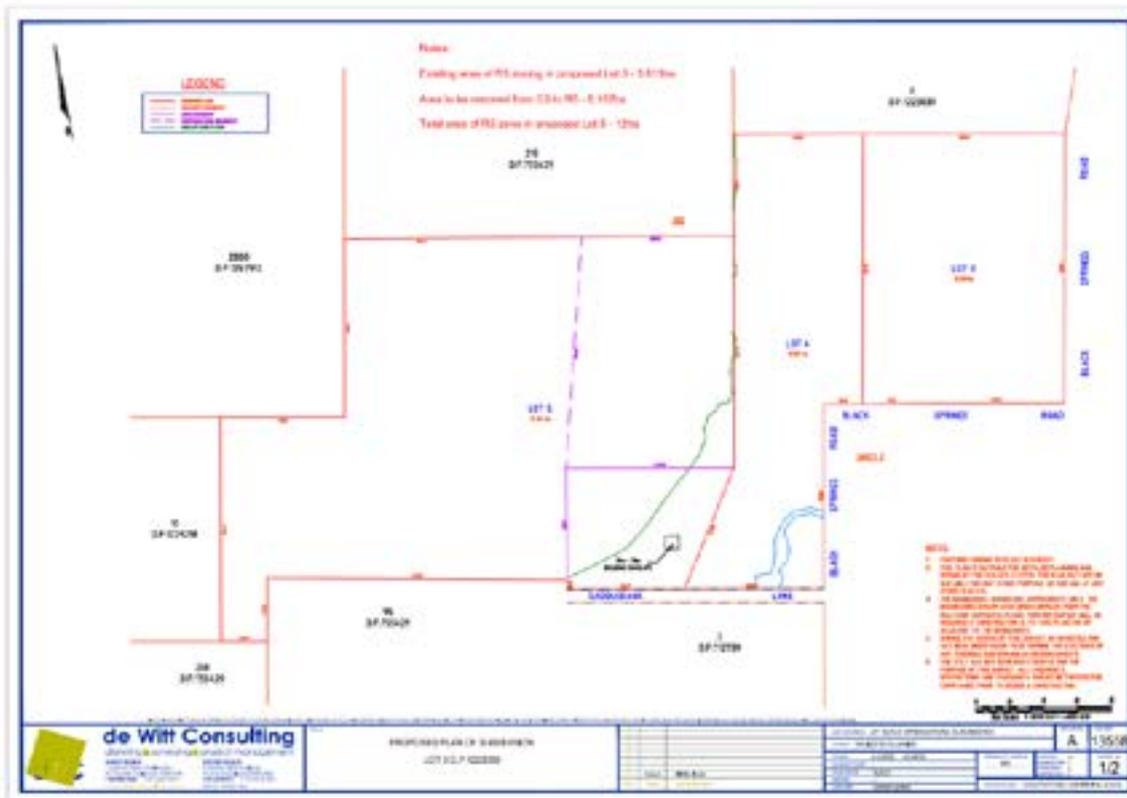


Current Zoning



Proposed Zoning

The proponent has provided a concept subdivision plan for the 12 ha lots, provided below. It is important to note that due to the established vegetation, 3 lots is the absolute maximum yield for the subject site.



INTENDED OUTCOMES

The intended outcome is that the subject site has the opportunity to be subdivided to create lots meeting the mapped minimum lot size subject to consideration through the development application process.

The proponent has outlined that the future sources of water will be onsite rainwater tanks and if feasible and allowable a dam may be established for non-potable water for lot 5. On-site effluent management for each lot is proposed.

EXPLANATION OF PROVISIONS

The Planning Proposal details how the objectives and intended outcomes will be achieved by:

- Amending part of the zone indicated on Land Zoning Map - Sheet LZN_006 and LZN_006F from C3 environmental management zone to R5 Large Lot Residential.
- Amending part of the minimum lot size indicated on the Lot Size Map – Sheet LSZ_006 and LSZ_006F from (AF) 400 hectares to (AB2) 12 hectares.

JUSTIFICATION

The DPE *Local Environmental Plan Making Guideline* outlines questions to consider when demonstrating the justification. The questions most pertinent in consideration of this Planning Proposal are discussed below.

Is the planning proposal a result of an endorsed local strategic planning statement, strategic study or report?

The Planning Proposal is generally consistent with the Local Strategic Planning Statement (LSPS) in particular, Planning Priority 2 'make available diverse, sustainable, adaptable and affordable housing options through effective land use planning'.

The Planning Proposal has been assessed in accordance with Council's Comprehensive Land Use Strategy (CLUS), specifically Part C. Part C Figure 4.3 *Regional Lifestyle opportunities 15km offset area surrounding Gulgong* outlines visually the large lot opportunities. An excerpt of Figure 4.3 is provided below. The identified red area generally aligns with the orange/yellow short-term opportunity area. It is acknowledged the yellow short-term opportunity area is vegetated, however the proponent has demonstrated there is sufficient cleared area on the proposed lot to support the erection of a future dwelling. Regardless, it is important as part of this process to understand the value of the established vegetation, accordingly, the preparation of a biodiversity assessment report is included in the recommendation.



Is the planning proposal the best means of achieving the objectives and intended outcomes, or is there a better way?

The rezoning of the subject site is the only means of achieving the objectives and intended outcomes of the Planning Proposal.

Is the planning proposal consistent with applicable Ministerial Directions (section 9.1 Directions)?

The Planning Proposal is generally consistent with the Ministerial Directions. The two Directions that are inconsistent – 9.1 Rural zones and 9.2 Rural lands – are justified by an endorsed strategy being the CLUS that identifies the subject site as a short-term opportunity.

Is there any likelihood that critical habitat or threatened species, populations or ecological communities or their habitats, will be adversely affected because of the proposal?

The vegetated areas of the subject site are identified on the Biodiversity Values Map, the Planning Proposal states that no vegetation removal is required to achieve the dwelling envelope. However, due to the rezoning on this area and additional land uses to be permissible on this land, is it appropriate for a biodiversity assessment report to be prepared (as included in the recommendation) as well as consultation be undertaken with the Biodiversity, Conservation and Science Directorate within the NSW Environment and Heritage.

Has the planning proposal adequately addressed any social and economic effects?

The Mudgee Local Aboriginal Land Council provided a clearance letter for the 2015 Planning Proposal. The clearance letter stated they supported the proposed subdivision facilitating the erection of dwellings. The clearance letter has been provided with this planning proposal.

The subject site does not contain any Heritage Items nor does it fall within a Conservation Area – General. The subject site is also not in close proximity to any heritage items.

What are the views of state and federal public authorities and government agencies consulted in order to inform the Gateway determination?

It is proposed that the following authorities and government agencies will be consulted as part of any exhibition port Gateway:

- NSW Environment and Heritage - Biodiversity, Conservation and Science Directorate
- Office of Water

LOCAL PLAN MAKING AUTHORITY

In accordance with the Local Environmental Planning Making Guideline, Council is to nominate the Local Plan Making Authority (LPMA) person who will be carrying out the work to amend the LEP. For basic LEP amendments, the Council usually nominates itself as the LPMA. In this instance as the LEP amendment is of a routine type, it is recommended that the General Manager be delegated to carry out the LEP making function on behalf of Council.

NEXT STEP

If Council supports the recommendation, the next step would involve forwarding the Planning Proposal and a Council resolution of initial support to the DPE seeking a Gateway Determination.

Community Plan implications

Theme	Looking After Our Community
Goal	Vibrant towns and villages
Strategy	Make available diverse, sustainable, adaptable and affordable housing options through effective land use planning

Strategic implications

Council Strategies

Mid-Western Regional Local Strategic Planning Statement, Our Place 2040
Mid-Western Regional Comprehensive Land Use Strategy, August 2010

Council Policies

The forwarding of the Planning Proposal will not require any change to relevant policies.

Legislation

The Planning Proposal has been considered in accordance with Division 3.4 Environmental Planning Instruments - LEPs (previously Division 4) Local Environmental Plans of the *Environmental Planning and Assessment Act 1979* and the *Mid-Western Regional Local Environmental Plan 2012*.

Financial implications

Nil

Associated Risks

If Council does not wish to provide initial support for the Planning Proposal, Council may resolve not to proceed with the Planning Proposal.

MID-WESTERN REGIONAL COUNCIL | ORDINARY MEETING - 15 NOVEMBER 2023
REPORT 8.3

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SARAH ARMSTRONG
MANAGER STRATEGIC PLANNING

ALINA AZAR
DIRECTOR DEVELOPMENT

30 October 2023

Attachments: 1. Planning Proposal. (separately attached)

APPROVED FOR SUBMISSION:

BRAD CAM
GENERAL MANAGER

8.5 Draft Employment Lands Strategy (Industrial) 2024 - Post Exhibition

REPORT BY THE MANAGER STRATEGIC PLANNING
TO 17 JULY 2024 ORDINARY MEETING
GOV400105, LAN900156

RECOMMENDATION

That Council:

1. receive the report by the Manager Strategic Planning on the *Draft Employment Lands Strategy (Industrial) 2024 - Post Exhibition*; and
2. adopt the *Draft Employment Lands Strategy (Industrial) 2024*.

Executive summary

The purpose of this report is to consider the submissions received the exhibition period and adopt the *Draft Employment Lands Strategy (Industrial) 2024 (Draft ELSI 2024)*, prepared by PSA Consulting (and Bull + Bear Economics) on behalf of Council.

The Strategy has been prepared to guide the planning and identification of the suitable supply of employment lands (industrial), meeting projected demands for sustainable employment growth in the Mid-Western Region (Region). The Draft ELSI 2024 will shape the future employment land in the Region. The ELSI focuses on the E3 – Productivity Support, E4 – General Industrial and E5 - Heavy Industrial zonings across the towns of the Region.

The Draft ELSI 2024 is based on a comprehensive economic analysis of the Region prepared by Bull + Bear Economics which is provided as an appendix to the Strategy. The economic analysis made the recommendation that additional land be identified in the Region.

The Draft ELSI 2024 will provide direction in terms of considering any planning proposals relating to employment land (industrial).

During the exhibition three submissions were received and Council accepted one late submission. Three submissions relate to Mudgee and the fourth is regarding Charbon. The submissions have been considered, summarised and staff comment has been provided in the body of this report. The submissions have not resulted in recommended changes to the exhibited *Draft Employment Lands Strategy (Industrial) 2024*.

The staff recommendation is to adopt the Draft ELSI 2024 as exhibited.

Detailed Report

STRUCTURE OF THE DRAFT EMPLOYMENT LANDS STRATEGY (INDUSTRIAL) 2024

The Strategy has been structured as follows:

1. Introduction
2. Employment lands within the Region

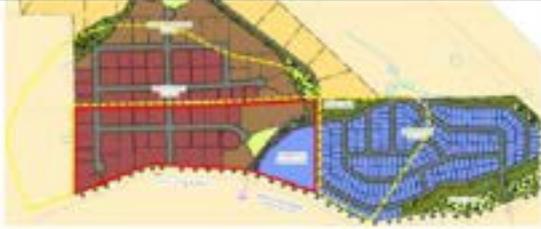
3. Demographics and key employment issues
4. Industrial demand and supply analysis
5. Stakeholder consultation
6. Industrial employment opportunities
7. Summary of recommendations

The Draft ELSI 2024 details opportunity areas in the towns of Gulgong, Kandos, Mudgee and Rylstone. The Draft ELSI 2024 as exhibited is provided as Attachment 1.

PUBLIC SUBMISSIONS

The Draft ELSI 2024 was placed on public exhibition for a period of 28 days. During this period Council received a total of four submissions. The submissions are provided as Attachment 2. The issues raised have been summarised in the table following and a staff comment provided below:

Issue raised in the submission	Council response
<p>18 Castlereagh Highway, Mudgee (Lot 40 DP1124695)</p> <p>Consider including land located within 18 Castlereagh Highway, Mudgee (Lot 40 DP1124695) as a potential area of consideration for an employment zone under the Draft ELSI.</p>  <p>3.88ha of potential employment land identified in Opportunity Map 2 of the Draft ELSI seems to be unsuitable for the uses anticipated under the RU4 zone and will create fragmentation of the prime agricultural land on the site. Should consider Lot 40 DP1124695 instead.</p>	<p>The Draft ELSI 2024 identifies a range of sites as being potentially suitable for short (1-5years), medium (5-10years) and long term (10years+) industrial supply, particularly in locations such as Mudgee and Gulgong.</p> <p>The additional 140+ hectares of land identified for these purposes provides over double the amount of raw land identified as being required. Therefore, there is no need for further future industrial land to be identified as part of the ELSI.</p> <p>The subject site was explored during the initial industrial site investigation phase of the ELSI. However, Lot 40 DP1124695 was ultimately removed from considerations due to the following reasons:</p> <ul style="list-style-type: none"> - It is acknowledged that whilst the site adjoins the new Bunnings site, there is an existing residence (sensitive use) on the site, which will limit the feasibility of it being developed for industrial purposes in the short term. - The site also serves as an important gateway/entrance point into Mudgee which is valued by the community. It is not considered that a future industrial use on this site would be the most landmark entrance point into the Mudgee township.
<p>38 Hill End Road, Caerleon (Lot 18 DP 1113002 Lot 1 DP 1181749) and 637 Castlereagh Highway, Menah (Lot 10 DP 1147292)</p> <p>In 2022 Barrson Pty Ltd lodged a rezoning scoping proposal on behalf of landowners at 38 Hill End Road Caerleon to Council, proposing a masterplan to rezone the land for a mix of land uses including urban, residential, industrial and rural uses. The masterplan was recently amended to include a school. This rezoning scoping proposal and updated masterplan has been submitted with the submission to the Draft ELSI 2024.</p> <p>The Draft ELSI 2024 is proposing a large section of the subject site (being 38 Hill End Road, Caerleon) to become industrial uses which is inconsistent with the proposed masterplan provided to Council.</p>	<p>As outlined in the Draft ELSI 2024, Opportunity 1 Map showing the potential short-medium term expansion opportunities for the existing North-West Mudgee industrial precinct off Hill End Road has been considered for future employment land.</p> <p>It is considered that the site identified for future employment land (as mapped in the Opportunity 1 Map) is the most ideal site for further industrial expansion, as it represents a logical extension to the existing approved and established industrial estate. The extent of Opportunity 1 aimed at responding to the topography of the landscape.</p> <p>The presence of a residential zoning or a school development within the vicinity of an existing or future industrial zoning would fundamentally impact the operation or cause cessation of existing and future industrial uses. This would lead to Council's inability to attract economic investment, if adjoining land uses constrain industrial activity.</p>

 <p>There is an existing riparian zone which creates a buffer between the existing industrial area and future school site/residential lands, as shown on the masterplan.</p> <p>Suggest reconsidering the mapped area for proposed employment land for Map No.4 within the Draft ELSI 2024.</p>	<p>The Draft ELSI 2024 does not advocate for the land identified for future industrial purposes to be rezoned, but recognises that developer-led Planning Proposals for rezoning would be needed, which must then be subject to ordinary application processes through Council.</p> <p>It is noted that the rezoning Scoping Proposal for rezoning of land located at 38 Hill End Road has been submitted to Council in 2022, with an amended masterplan received June 2024, however this is subject to a separate process. Council maintains the position that the proposal to introduce a sensitive land use located adjacent to the existing industrial land is of significant concern to Council and in attracting future economic investment to the Region.</p>
<p>Part of 3B Castlereagh Highway, Burrundulla Lot 6 DP1269918</p> <p>Suggest expanding the proposed employment land area in Opportunity 2 Map, to include 11 hectares of land on Lot 6 DP1269918. Has available services and is close to town</p>  <p>Suggest the Draft ELSI 2024 to provide accurate depiction of suitable available land in the locations identified – also supported by some additional clarification of the 'constraints' that the demarcation of land had been based upon.</p> <p>Clarify whether the mapping included in the documented opportunity area is more akin to a 'general indication' of the location identified and not a defined limit.</p> <p>If the Employment Land Strategy (Industrial) is to be used as a basis for determining substantial fees, it is requested that it be clearly noted in the Strategy that the total developable area is not absolutely defined, for the basis of determining a hard limit to a future Planning Proposal and consistency with mapping.</p>	<p>A larger extent of Lot 6 DP1269918 was initially considered during the industrial site investigation phase of the ELSI and has since been refined as shown in Opportunity 2 Map, taking into consideration the flooding constraints on the site.</p> <p>The current extent of Lot 6 indicated as potentially suitable for future employment purposes is considered to represent a reasonable extent, considering that the ELSI identifies an additional 140+ hectares of land for these purposes, which provides over double the amount of raw land identified as being required. Therefore, there is no need for further future industrial land to be identified as part of the ELSI.</p> <p>The draft ELSI has provided some clarity in terms of the constraints that the identification of potential employment lands was based upon.</p> <p>The mapped area for future employment land both in Opportunity 2 Map and all other maps is indicative only and is not absolutely defined. Further clarity could be provided at any future planning proposal scoping stage.</p>
<p>Charbon</p> <p>Charbon has not been considered under the Draft ELSI 2024.</p> <p>Charbon has a considerable brownfield site suitable for heavy industry at the now non-operating Centennial Coal colliery. This site has major rail and water assets and sufficient space to be energy independent and potentially energy exporting.</p>	<p>Charbon currently has no employment zoned land, notwithstanding that industrial uses may have operated in the area previously. However, the analysis conducted as part of the Draft ELSI 2024 did not identify the area as being strategically significant for future employment land.</p> <p>Kandos, as the neighbouring suburb of Charbon, contains sufficient supply of employment zoned land that should more than meet the long term demand of industrial uses in the area, including to service Charbon.</p>

18 Castlereagh Highway, Mudgee (Lot 40 DP1124695)

Staff recommendation

1. That the submission for 18 Castlereagh Highway, Mudgee (Lot 40 DP1124695) be noted, and that no amendment be made to the Draft ELSI 2024.

Option

1. That Council amend the Draft ELSI 2024 to include 18 Castlereagh Highway, Mudgee (Lot 40 DP1124695) as an opportunity in the Draft ELSI 2024; and

2. Place the amended Draft ELSI 2024 for a period of 28 days.

38 Hill End Road, Caerleon (Lot 18 DP 1113002 Lot 1 DP 1181749) and 637 Castlereagh Highway, Menah (Lot 10 DP 1147292)

Staff recommendation

1. That the submission for 38 Hill End Road, Caerleon (Lot 18 DP 1113002 Lot 1 DP 1181749) and 637 Castlereagh Highway, Menah (Lot 10 DP 1147292) be noted and that no amendment be made to the Draft ELSI 2024.

No option

There is no option provided. The consideration of any future planning proposal should progress independent to Draft ELSI 2024.

Part of 3B Castlereagh Highway, Burrundulla (Lot 6 DP1269918)

Staff recommendation

1. That the submission relating to part of 3B Castlereagh Highway, Burrundulla (Lot 6 DP1269918) be noted and that no amendment be made to the Draft ELSI 2024.

Option

1. That Council amend the Draft ELSI 2024 to include part of 3B Castlereagh Highway, Burrundulla (Lot 6 DP1269918) as an opportunity in the Draft ELSI 2024; and

2. Place the amended Draft ELSI 2024 for a period of 28 days.

Charbon

Staff recommendation

1. That the submission relating Charbon be noted and that no amendment be made to the Draft ELSI 2024.

Option

1. That Council amend the Draft ELSI 2024 to include an opportunity at Charbon in the Draft ELSI 2024; and

2. Place the amended Draft ELSI 2024 for a period of 28 days.

The staff recommendation does not require any substantive changes to the Draft ELSI 2024, accordingly the recommendation is to adopt the Draft ELSI 2024 and publish on Council's website.

Should Council resolve to amend the Draft ELSI 2024, the document will need to be again placed on public exhibition.

Disclosure of Interest

Nil

Community Plan implications

Theme	Building a Strong Local Economy
Goal	A prosperous and diversified economy
Strategy	Support the attraction and retention of a diverse range of businesses and industries

Strategic implications

Council Strategies

Mid-Western Regional Local Strategic Planning Statement, Our Place 2040.
Mid-Western Regional Council Comprehensive Land Use Strategy 2010 Part A, B and C.

Council Policies

The adoption of the Draft ELSI 2024 will not require any change to relevant policies.

Legislation

Environmental Planning and Assessment Act 1979
Mid-Western Regional Local Environmental Plan 2012.

Financial implications

Nil

Associated Risks

Underestimating demand for additional land supply could have a negative impact on the community through price increases or dislocation. However, overestimating demand can also negatively impact the community through Council funding additional infrastructure works that may not be required.

SARAH ARMSTRONG
MANAGER STRATEGIC PLANNING

ALINA AZAR
DIRECTOR DEVELOPMENT

18 June 2024

Attachments: 1. Submissions redacted.

APPROVED FOR SUBMISSION:

BRAD CAM
GENERAL MANAGER



14th June 2024

General Manager
Mid-Western Regional Council
Via email council@midwestern.nsw.gov.au

Attention Sarah Armstrong, Manager Strategic Planning

Dear Sarah,

RE: Submission – Draft Employment Lands Strategy – 18 Castlereagh Highway

The following submission has been prepared on behalf of Ann and Terry Quinn and relates specifically to the land at 18 Castlereagh Highway, Mudgee being Lot 40, DP 1124695 with an area of approximately 2ha.

We would like Council and PSA Consulting to consider including the site as a potential area of consideration for an employment zone under the Draft Employment Lands Strategy (ELSI). We acknowledge that it will still require site specific investigation and a planning proposal prior to rezoning.

There have been a number of discussions between Terry and council staff over more than 20 years over the potential future use of the land and a suitable zone that will facilitate a good development outcome for the land.

The site is currently zoned RU4 Primary Production Small Lots. The zone objectives include the promotion of employment and primary industry. Under the current zone, the land could accommodate a rural shed with a height of 7m and maximum area of 500sqm as exempt development under the code. Despite these provisions, this form of structure would be undesirable at this location given the gateway location.

In the context of the ELSI, broadening the opportunities for employment and commercial activities of the site would provide for a greater and potentially more suitable industrial or commercial outcome than that which exists under the current zone.

Objectives of zone

- *To enable sustainable primary industry and other compatible land uses.*
- *To encourage and promote diversity and employment opportunities in relation to primary industry enterprises, particularly those that require smaller lots or that are more intensive in nature.*

- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*
- *To ensure that land is available for intensive plant agriculture.*
- *To encourage diversity and promote employment opportunities related to primary industry enterprises, particularly those that require smaller holdings or are more intensive in nature.*

In addition, agriculture, including intensive plant agriculture is permitted without consent and there is a questions as to the suitability of the site for any form of agriculture and/or farm infrastructure in this visually prominent location.

The site is also an isolated rural zone with no potential to expand as a rural holding. A site compatibility certificate over rides the RU4 zone land immediately south which is currently being development for seniors housing. Council have also recently rezoned the adjoining land for a new Bunnings Store. A DA has been approved for the development of this land and as result in a significant building structure on the western boundary of the Quinn land, eroding the residential amenity currently enjoyed from the property.

The position of the land coupled with Council's decision to rezone the Bunnings site makes it a key site at the entrance to Mudgee from Sydney. The ELSI provided an opportunity for the site to be identified as a site for consideration, consistent with the adjoining land uses.

Figure 1 Subject Site



The ELSI provides an evidence base to support the identification of additional industrial/employment land. The ELSI analysis included:

1. Site location in proximity of existing industrial zoned lands;
2. Site access and accessibility to major transport networks;

3. Proximity to existing or future sensitive land uses;
4. Constraints and limitations to potential development;
5. Ability to be serviced;
6. Timeframes for delivery (i.e. short, medium or long term, based on the above factors); and
7. Feedback from stakeholder consultation conducted.

This has resulted in a small parcel of land being identified on Burrundulla Road (**Figure 2**). The Quinn land, when assessed against the same criteria, is equally, if not more suitable. Unlike the site identified, the Quinn land does not impact prime agricultural land, nor does it result in unnecessary fragmentation of prime agricultural land.

The zone of the Quinn land is unsuitable for the uses anticipated under the RU4 zone. An extension of the E3 zone will allow for the development of the site having regard to the Bunnings development and enable Council to manage and mitigate the visual impact of the approach to Mudgee.

Figure 2 Extract ELSI – South East Mudgee Opportunity Area



Summary

The site is an important and key parcel of land at the gateway to Mudgee. The current zone is unsuitable. Rural industrial development or exempt development more suited to larger, less prominent locations.

The inclusion of an additional 2ha in South East Mudgee under the ELSI seems insignificant in terms of the total area proposed in the ELSI increasing the area to 5.88 ha increasing and the overall area identified by only 3.25%.

As is clear in the ELSI it will still need to go through a site specific rezoning application and will afford both the landowners and Council the opportunity refine the planning controls and ensure that the future development on the land is consistent with an objective of enhancing the gateway to Mudgee.

Thank you for the opportunity to comment of the ELSI and we would be happy to meet with Council and/or PSA Consulting to discuss the site further.

Yours sincerely



Liz Densley
Director



right role planning



📍
📅 **date,**
12.06.2024
📄 **reference,**
39182-PL02_A

to,
The General Manager
Mid-Western Regional Council
PO Box 156
Mudgee NSW 2850

Dear Sir/Madam,

Submission – Draft Employment Lands Strategy (Industrial) 2024

Reference is made to the above-mentioned matter and Council's request for submissions to be made by Friday, 14th of June 2024. This letter, along with the enclosures, form part of the submission to the exhibited document.

Barnson Pty Ltd were engaged by the owners of 38 Hill End Road, DJ Woods and Co, towards the end of 2022 to prepare a Rezoning Scoping Proposal for the rezoning of land north of Carleon Estate, predominately known as 38 Hill end Road, Carleon. Ongoing discussions are being made with Council.

Upon review of the Draft Employment Lands Strategy (Industrial) 2024, it has been found that a large section of the subject site has been earmarked for industrial purposes. Figure 1 below shows the area in question.



Figure 1 – Map 4 of the Draft Employment Lands Strategy (Industrial) 2024

This is inconsistent with the master plan (Figure 2 below) provided to Council as part of the Scoping Report process.

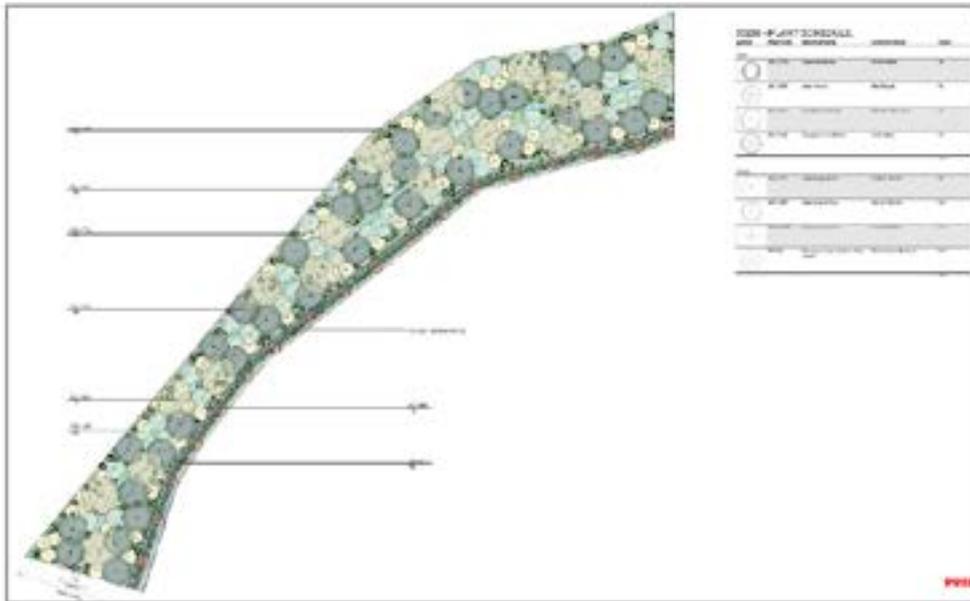


Figure 2 – Master Plan with school site and proposed buffer (prepared by Barnson Pty Ltd)

Note. Red indicates existing industrial zoned land and yellow indicates proposed industrial zoned lands under the Draft Industrial Lands Strategy 2024. This is an approximate representation only.

The following objections are provided in relation to the Draft Employment Lands Strategy (Industrial) 2014 currently on exhibition.

- A master plan has been prepared and is enclosed to this letter. The master plan shows a variety of proposed land uses, being Rural Residential, Employment and Residential lands on the subject site. The Draft Employment Lands Strategy (Industrial) 2024 is inconsistent with this master plan and the property owners future development intentions;
- The masterplan includes the expansion of the existing industrial area to the north, which is consistent with existing Strategic Documents (in particular the Comprehensive Land Use Strategy 2012);
- There is a significant riparian corridor traversing through the subject site between the proposed school site and the existing industrial area, measuring approximately 50m in distance. This presents an opportunity to create a substantial buffer between the industrial estate and residential lands to the south/southeast of the existing industrial area;
- A School is proposed within the existing industrial zoned area. It would be proposed to rezone this portion of land to R1 General Residential (or similar) with the existing riparian zone creating a buffer between the existing industrial area and future school site/residential lands. Figure 3 below shows the anticipated buffering arrangement;



The proposed buffer is a native restoration theme within the existing riparian corridor. The proposed school site shall be secured by diplomat fencing, lined/screened with soft evergreen hedging and decorative deciduous trees.

- Extending the industrial present to the east will impact the visual main entry point into Mudgee. Protecting Mudgee's main entrance point from the visual impact of industrial land uses should be paramount;
- One of the main drivers of the master plan is to avoid future land use conflict with the various zones. In doing so, the riparian corridors have been nominated as natural buffer zones and shall be heavily landscaped to ensure there is adequate separation between the industrial area and existing/future residential precinct. This shall adequately avoid land use conflict between the zones and also provide greenspace for future residential occupants;
- The master plan document has considered the Mudgee Sewerage Treatment Plant (STP) buffer zone, of which the Employment and Residential lands are partially impacted by it. It is unclear as to whether the Carleon developer has undertaken an Odour Assessment to determine the associated impacts and actual required buffer to the STP. An Odour Assessment shall be commissioned as part of the Planning Proposal to determine the required buffer zone and adjustment to the layout as required;
- It is imperative that Hill End Road be considered in Council's Strategic documents as a growth area, especially considering its proximity to Caerleon Estate, industrial lands and the presence of existing infrastructure in the locality. Caerleon represents the majority of residential growth and industrial for the Mudgee market, and as such, this area is considered to be the growth of the town.

In light of the above and enclosed documentation, it is requested that Council re-consider the mapped areas Map No. 4 as part of the Draft Employment Lands Strategy (Industrial) 2024. We



respectfully implore that Council consider this letter, the proposed master plan and rezoning scoping proposal in detail and request that the Draft Strategy be put back on notification, enabling our client to assess the supplementary information provided by Council. If this is unable to be pursued, it is requested that our clients concerns are raised at a Council meeting.

Yours faithfully,

BARNSON PTY LTD



Jack Massey
Senior Town Planner

Enclosed:

- Master Plan
- Rezoning Scoping Proposal

From: [Buzz Sanderson](#)
To: [Council](#)
Subject: Draft Employment Lands Policy
Date: Tuesday, 11 June 2024 9:56:43 AM

Dear Council

I was surprised that the draft policy did not make mention of Charbon where there is an operating lime/cement plant.

Charbon also has a considerable brownfield site suitable for heavy industry at the now non-operating Centennial Coal colliery. This site has a major rail and water assets and sufficient space to be energy independent and potentially energy exporting.

Charbon should be identified in the policy.

Regards, Buzz Sanderson

Dr R.J. [Buzz] Sanderson, BE PhD MIEAust CPEng NER
Sanderson & MacDonald Pty Ltd



04 June 2024

The General Manager
Mid-Western Regional Council
Via email – council @midwestern.nsw.gov.au

Dear Sir/Madam,

**SUBMISSION TO DRAFT EMPLOYMENT LANDS STRATEGY (INDUSTRIAL) 2024
LOT 1 DP810562 AND LOT 6 DP1269918 –
PART OF 3B SYDNEY ROAD BURRUNDULLA**

Please accept this submission on behalf of the landowner of the abovementioned land. The subject land falls within the land identified as South-East Mudgee Industrial Expansion Opportunity (Burrundulla Road). Based on interpretation of the Draft document it is assumed the land is earmarked as opportunity for future E4 General Industrial land. Overall, the Strategy is supported by the landowner for inclusion. However, the addition of a greater area of Lot 6 DP 1269918 is requested to be mapped, as part of the identified opportunity area.

It is understood the total developable area would need to be defined in a future planning proposal. It is suggested that the Strategy would be strengthened by having a more accurate depiction of suitable available land in the locations identified; also supported by some additional clarification of the 'constraint/s' the demarcation of land had been based upon. Alternatively, clarification whether the mapping included in the documented opportunity area is more akin to a 'general indication' of the location identified and not a defined limit.

Having clarity through mapping and descriptors used is encouraged. This is to avoid misinterpretation and hindrance to future development. The map identifies that constraints are defined to a high level only, and the future planning proposal would need to verify the extent of a developable area. The landowner had made a previous submission to Council regarding a greater area of land in the Opportunity area 2 that would be acceptable from their perspective for future development. The landowner is an experienced developer and has previously released industrial lots in the vicinity. In this context, and with the long-term experience and understanding of the constraints of the RU4 zoned land as farm managers, the review of the developable area is



requested. With the limited time available for a submission to the Draft Strategy, commissioning of constraint assessments is not practicable.

It is agreed the land in South-East Mudgee is well positioned and further opportunities for industrial development would be capitalised upon. However, a developer will likely only act upon feasible economic development. The inclusion of Lot 1 was previously addressed in a submission by the landowner. They acknowledge that this land would be more costly to develop and is currently associated with easements. This leaves an area of approx. 2.3ha within Lot 6 south of Burrundulla Road (based on the Map 3). This identified part of Lot 6, is limited in area, which is not likely to yield any significant supply of employment land and with limited return, is not likely to be sufficient to encourage a developer-led planning proposal. A greater developable area is available and should be nominated at this stage. The limited mapped section of Lot 6 identified as Opportunity 2 is considered too small and the part of Lot 1 in Opportunity 2 is not likely to be developed in the short-medium term without the landowner support.

In addition, Council is currently seeking upfront payment of \$10,370 for Planning Proposals which are identified as 'inconsistent' with a strategy, and this is expected to increase in the new financial year. If the Employment Land Strategy (Industrial) is to be used as a basis for determining substantial fees, it is requested that it be clearly noted in the Strategy that the total developable area is not absolutely defined, for the basis of determining a hard limit to a future Planning Proposal and consistency with mapping. Concern is raised that the Strategy is restrictive and limiting the identified areas without real constraint analysis. Please refer to the attached maps and greater area of land within Lot 6 DP 1269918 proposed to be considered as part of Opportunity 2 (**Attachment 1 - Maps**).

In summary, the landowner will support the rezoning of the land identified and the additional land identified below by virtue of its topography, availability of services and proximity to the town. In their opinion and market research, other commercial and light industrial businesses consider it ideally suited for the purpose and far superior to other land referred to in the draft strategy. From the speed of the sale of blocks recently developed by the landowner, it is evident there is pent up demand which is not satisfied by the alternative locations already available and zoned employment land. The landowner would be encouraged to proceed with a proposal in the short term to accommodate industrial land demand growth in support of the existing South-East Mudgee industrial lands, where additional land was recognised in Lot 6.

Should you require further information in relation to this matter or the contents of this correspondence, please do not hesitate to contact me on mob [REDACTED]

Yours Sincerely,

A black rectangular box redacting the signature of Emma Yule.

EMMA YULE
BAppSc, Grad Dip URP
t/a Atlas Environment and Planning

Attachment 1 – Maps



Attachment 1 - Maps

See Page 21 of Draft Mid-Western Employment Lands Strategy (Industrial) 2024



Map 3 – South-East Pidgeon (Industrial Employment Opportunity) (Burrumbidgee Road)

Suggested additional area to include in Opportunity 2:



LOT 6 DP1269918 – expanded area approximated in Lot 5. *No expansion of land mapped within Lot 1 is proposed in this submission.*



Draft Mid-Western Employment Lands Strategy (Industrial) 2024

DRAFT



Source: <https://www.midwestern.nsw.gov.au/Development>

15 August 2024



LAND USE PLANNING

DEVELOPMENT APPROVALS

TRANSPORT PLANNING

TRAFFIC ENGINEERING

PROGRAM MANAGEMENT

INFRASTRUCTURE

Mid-Western Regional Council
Draft Mid-Western Employment Lands Strategy (Industrial) 2024



DOCUMENT CONTROL

Document: Project Name: Mid-Western Employment Lands Strategy (Industrial)
PSA Job Number: 1647
Report Name: Draft Mid-Western Employment Lands Strategy (Industrial) 2024

This document has been prepared for:



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REVISION HISTORY

VERSION	DATE	DETAILS	AUTHOR	AUTHORISATION
V5 'Changes made as per Council resolution no. 161/24 (17/7/2024)'	15 August 2024	DRAFT	Danica McCarthy Shelley McCormack	<i>K. Burke</i> Kate Burke

GENERAL DISCLAIMER

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EXECUTIVE SUMMARY

Mid-Western Regional Council is committed to building a strong, resilient and sustainable industrial sector in the Mid-Western Regional local government area (the Region). Council has recognised the need to undertake further analysis to ensure appropriately zoned industrial land is available to meet demand and ensure Council's policy settings are supportive of new industrial opportunities. To enable this, the Mid-Western Regional Employment Lands Strategy (Industrial)(ELSI) has been developed, with a critical part of the study being the identification of additional sites which may potentially be suitable for future industrial development.

The Region is expected to be a key population and employment growth area of the Central West and Orana region in the short-term. Employment within the Region is projected to increase significantly between 2021 and 2026 from 11,068 workers to 19,480 workers. However, employment within the Region is anticipated to decrease significantly as construction is completed on a number of State Significant Development (SSD) projects. There is the potential for additional industrial employment opportunities to be generated in the Region to service these SSD projects.

There is also likely to be a significant decline in employment opportunities within the Region in the mining sector between 2021 and 2046, with the shift away from coal mining towards clean energy¹.

The analysis undertaken shows that the Region has sufficient industrial zoned land to meet its needs to 2046 and beyond, based on a direct comparison of supply against demand. However, further investigations highlight the composition of remaining supply does not meet the needs of prospective land users, is already committed or appropriately located to service the significant number of SSD projects coming online as part of the Central-West Orana Renewable Energy Zone (REZ).

The initial background economic analysis undertaken in support of the ELSI identified a need to identify ~40 hectares of raw land as a baseline figure to accommodate industrial land demand growth within the Region to 2046 (i.e. to service existing demand). However, it is recognised that the modelling undertaken to support this analysis was based on latest information available at the time and that industrial development may catalyse further investment in the medium term, which cannot be fully quantified at this point in time. Therefore, the ELSI suggests the need to identify at least ~60 hectares of raw land as a baseline figure to accommodate industrial land demand growth.

The ELSI identifies a range of sites as being potentially suitable for short (1-5 years), medium (5-10 years) and long term (10 years+) industrial supply, particularly in locations such as Mudgee and Gulgong, and allocates additional industrial land in the order of 141 hectares as follows:

	Land area (ha) Short Term (1-5 years)	Land area (ha) Medium Term (5-10 years)	Land area (ha) Long Term (10+ years)	Sub total
Mudgee	3.88 (South-East Mudgee) 36.69 (North-West Mudgee)			40.57
Gulgong	36.14		43.29	79.43
Rylstone	0.55		0.78	1.33
Ulan				0
Kandos			20.18	20.18
Sub total	40.57	36.69	64.25	141.51

The additional 141 hectares of land identified therefore provides over double the amount of raw land identified as being required.

With respect to the size of allotments needed to cater for anticipated demand, the growth in land demand is being driven mostly by service industry and warehouse and storage uses. The ELSI suggests that lots of up to 2 hectares in size and primarily within the E4 General Industry zone would be required and should be the main focus to

¹ Bull & Bear Economics (2024)



accommodate this demand profile. However, this Strategy encourages maximum flexibility in the delivery of future industrial lands and does not preclude industrial development on larger lot sizes, or for other purposes and in other industrial zones, where this can be supported through formal Planning Proposals for Council's consideration. Opportunities for additional E5 Heavy Industry zoned lands could be considered, where these can be suitably located and any impacts on adjoining properties (such as sensitive receptors), can be appropriately ameliorated.

It is critical to ensure that much of the additional short-term land identified is within proximity to the Central West Orana Renewable Energy Zone (to appropriately service this development) and within reasonable distance to the workforce (e.g. Gulgong and Mudgee).

The ELSI does not advocate for the land identified for future Industrial purposes to be rezoned, but recognises that developer-led Planning Proposals for rezoning would be needed, which must then be subject to ordinary application processes through Council. Should any land be subsequently rezoned, this would then contribute additional industrial zoned land at the start of the land supply pipeline.

As a consequence of the employment lands analysis undertaken, the sites located in Maps 15 to 18 of the ELSI should be recognised as providing future potential industrial employment lands in the short, medium and long term. The current zoning of these lands should be retained, recognising that there is technically significant land supply available to meet the baseline industrial needs of the Region beyond 2046, whilst acknowledging that much of this land may not be the most suitable for industrial development in the short term due to a range of factors. The ELSI provides the imprimatur for additional industrial lands within the Region to be identified and should be used as a guide for directing proponents as to where Council has earmarked future industrial lands in the Region over the Next 20 years. This will allow prospective businesses to secure sites, with flexibility in determining the most appropriate lot sizes and mix of industrial uses, which can then be addressed through formal Planning Proposals.



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LIST OF APPENDICES

APPENDIX 1 BACKGROUND ECONOMIC ANALYSIS REPORT

APPENDIX 2 BACKGROUND DOCUMENT ANALYSIS

LIST OF ACRONYMS

CLUS	Comprehensive Land Use Strategy
DCP	Development Control Plan
ELSI	Employment Lands Strategy (Industrial)
LEP	Local Environmental Plan
LGA	Local Government Area
LSPS	Local Strategic Planning Statement
MWRC	Mid-Western Regional Council
REZ	Renewable Energy Zone
SEPP	State Environmental Planning Policy
SSD	State Significant Development
URS	Urban Release Strategy

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1. INTRODUCTION

Mid-Western Regional Council is committed to building a strong, resilient and sustainable industrial sector in the Mid-Western Regional local government area (the Region). Council has recognised the need to undertake further analysis to ensure appropriately zoned industrial land is available to meet demand and ensure Council's policy settings are supportive of new industrial opportunities. To enable this, the Mid-Western Employment Lands Strategy (Industrial) (ELSI) has been developed, with a critical part of the study being the identification of additional sites which may potentially be suitable for future industrial development.

The Region is expected to be a key population and employment growth area of the Central West and Orana region in the short-term future. The Region had a population of approximately 25,714 people² at 2021, which is expected to grow to approximately 33,956 by 2041³.

Employment within the Region is projected to increase significantly between 2021 and 2026, from 11,068 workers to 19,480 workers, due to the construction phase of several State Significant Developments (SSD) for clean energy projects, as part of the Central-West Orana Renewable Energy Zone. However, employment within the Region is anticipated to decrease significantly as construction is completed on these projects, fluctuating to a total workforce of between ~11,751 workers and 12,801 workers⁴.

Overall, the SSD projects alone are anticipated to generate a peak of 8,789 workers around 2026, recognising that construction may not be completed until closer to 2028. Total construction employment is anticipated to peak in 2026 with 8,515 workers, while total operational employment is anticipated to peak across 2037 to 2045 with 776 workers⁵. These SSD projects must be considered as part of Council's response to the provision of sufficient lands for industrial development.

There is also likely to be a significant decline in employment opportunities within the Region in the mining sector between 2021 and 2046, with the shift away from coal mining towards clean energy⁶.

The Mid-Western Regional Comprehensive Land Use Strategy (CLUS) 2010 is the overarching land use strategy guiding planning over the next 25 years for the Region. The CLUS identifies specific locations of future industrial land development, however with remaining supply not meeting the needs of prospective land users, the ELSI has been developed to address the need for industrial land over a 20+ year period, with a focus on land zoned E3 Productivity Support, E4 General Industrial and E5 Heavy Industrial.

The ELSI provides strategic recommendations based on a detailed industrial supply and demand analysis, to ensure that an adequate supply of industrial employment lands have been identified to meet both the identified current and future demand. The Strategy is supported by a comprehensive background economic analysis report (**Appendix 1**), which provides the evidence base for the supply and demand analysis based on economic trends, within the ELSI.

1.1 VISION

The *Our Place 2040 Mid-Western Regional Local Strategic Planning Statement (LSPS)*, outlines the following vision for the Mid-Western Region:

To provide for sustainable growth and development, having regard to the Region's unique heritage, environment and rural character, and to support agricultural enterprises and the Region's economic base (LSPS, 2020)

Building on from this, the Vision for the ELSI is as follows:

² Australian Bureau of Statistics Estimated Resident Population (2023)

³ Bull & Bear Economics (2024)

⁴ Bull & Bear Economics (2024)

⁵ Bull & Bear Economics (2024)



1.3 MID-WESTERN REGIONAL EMPLOYMENT LANDS STRATEGY (INDUSTRIAL) STRUCTURE

The ELSI has been structured as follows:

1. Section 1 – Introduction
2. Section 2 – Employment Lands Within Mid-Western
3. Section 3 – Demographics and Key Employment Issues
4. Section 4 – Employment Activity and Demand and Supply Analysis
5. Section 5 – Industrial Employment Opportunities
6. Section 6 – Summary and Recommendations

1.4 POLICY CONTEXT

A review of the relevant background documents and policies has been undertaken to inform the preparation of the ELSI (**Appendix 2**). These documents and policies provide important background context in terms of Council’s established policy framework for the management of employment lands and the desired future for employment and economic development for the Region. A summary of these documents is provided in Table 1,

Table 1 – Background Document Review

Document	Document summary
Mid-Western Regional Comprehensive Land Use Strategy 2010 (Part C)	<p>The Mid-Western Regional Comprehensive Land Use Strategy (CLUS) 2010 provides a basis for identifying options to meet long term urban and rural growth needs across the Region until 2031.</p> <p>The CLUS includes Town Structure Plans (TSPs) for Mudgee, Gulgong, Rylstone and Kandos. The TSPs visually represent the outcomes of the strategy, which identifies the location of the future supply of land, including future industrial development opportunities. The CLUS has been considered when identifying potential future industrial sites as part of the ELSI, to ensure that any areas identified are consistent with the CLUS and do not encroach on land already identified for other purposes, such as for residential development.</p>
Mudgee and Gulgong Urban Release Strategy 2014	<p>The Mudgee and Gulgong Urban Release Strategy 2014 is a 20-year strategic framework that has been created to inform the release of residential land within the townships of Mudgee and Gulgong to meet housing needs and facilitate projected future growth.</p> <p>This strategy has been considered to ensure that the identification of potential future industrial sites as part of the ELSI do not interfere with the proposed urban release areas.</p>



Document	Document summary
Draft Mudgee and Gulgong Urban Release Strategy 2023 Update	<p>The draft Mudgee and Gulgong Urban Release Strategy 2023 Update provides an updated housing supply and demand analysis to the existing Mudgee and Gulgong Urban Release Strategy 2014.</p> <p>This Strategy has also been considered to ensure that the identification of potential future industrial sites as part of the ELSI do not interfere with the proposed urban release areas. Further, the updated projections have been utilised to feed into the background economic analysis which has been prepared in support of the ELSI (Appendix 1).</p>
Mid-Western Regional Council Retail Review Final Report 2005	<p>The Mid-Western Regional Council Retail Review Final Report 2005 provides a comprehensive review of retail and commercial needs in the Mid-Western region.</p> <p>The current direction of Council policy is the designation and facilitation of a bulky goods precinct to adjoin or as part of the Mudgee Industrial area focused on Sydney Road. However, an important issue for future policy development is the extent to which this area should be allowed or facilitated to develop as a major bulky goods precinct to meet the needs of the Shire and surrounding districts.</p> <p>The focus of the ELSI is on the provision of appropriate future industrial employment lands and it does not consider retail and commercial employment lands, as addressed by this Retail Review.</p>
Mid-Western Regional Economic Development Strategy – 2023 Update	<p>The Mid-Western Regional Economic Development Strategy – 2023 Update provides an updated evidence base to guide governments in policy and investment decisions related to long term economic growth. The Strategy provides an overview of key changes and trends that have occurred since 2018, an economic snapshot of the Region, identifies opportunities and constraints for future growth, and provides updated economic strategies.</p> <p>The Strategy identifies future release of industrial land, and proactive planning for industrial land as a key enabler of future economic growth for the Region, specifically growing industry clusters around mining, manufacturing, agriculture and renewable energy.</p>
Draft Central West and Orana Transport Plan	<p>The Draft Central West and Orana Transport Plan is a supporting plan of Future Transport 2056 and provides a strategic framework outlining how transport within the Region will be informed by changes in land use, population and travel demand.</p> <p>The draft Transport Plan has been considered in the preparation of the ELSI, to ensure that any potential future industrial sites identified are well-located and accessible to key transport infrastructure.</p>
Central West and Orana Regional Plan 2041	<p>The Central West and Orana Regional Plan 2041 is a strategic framework that informs the growth of the Region through a 20-year land use plan, with a focus on the next 5 years. The document outlines objectives (high level goals) for the Region which is</p>



Document	Document summary
	<p>supported by strategies, actions and collaborative activities that are to be implemented by varying government departments and councils.</p> <p>The high level goals identified within the plan have been considered in the preparation of the ELSI in terms of providing context to future development and industrial uses within the Region.</p>
<p>Our 2040 Mid-Western Regional Local Strategic Planning Statement 2020</p>	<p>The Mid-Western Regional Local Strategic Planning Statement 2020 provides a 20-year vision for land use planning in the , by outlining planning priorities for the Region and providing short, medium and long term strategic actions that support the outlined priorities.</p> <p>The identified planning priorities outline land use actions, some of which are relevant to the ELSI, including undertaking an industrial land use survey. The Vision established by the LSPS has also informed the preparation of a vision statement for the ELSI.</p>
<p>Mid-Western Local Environmental Plan 2012</p>	<p>The Mid-Western Regional Local Environmental Plan 2012 (LEP) is a statutory document that outlines legislative provisions on zoning, development processes and development application requirements, development standards, prohibited development, and other provisions.</p> <p>The Mid-Western LEP has been consulted in the preparation of the ELSI to ensure identified current and future industrial land comply with the provisions set under the Mid-Western LEP, as relevant.</p>
<p>Mid-Western Development Control Plan 2013</p>	<p>The Mid-Western Development Control Plan 2013 (DCP) supports the objectives of the LEP and sets out the definitions, standards and other provisions related to local development within the Region.</p> <p>The DCP has been broadly considered in the preparation of the ELSI to ensure identified current and future industrial land comply with the provisions set under the DCP.</p>
<p>Development Servicing Plan for Mid-Western Regional Council</p>	<p>The Water Supply Development Servicing Plan 2008 outlines water supply developer charges, and requirements related to the provision of water supply to the Region.</p> <p>The Sewerage Development Servicing Plan outlines sewerage developer charges, and requirements related to the provision of sewerage services to the Region.</p> <p>Any additional lands identified for future industrial employment as part of the ELSI must be capable of being adequately serviced, in order for it to be viable.</p>
<p>State Environmental Planning Policies</p>	<p>The NSW State Government has developed a number of State Environmental Planning Policies (SEPPs) to address significant State issues. SEPPs contain individual chapters that apply to certain areas or specific circumstances. In some cases, they may override Council LEPs and DCPs, while in other cases they are applied in conjunction with them. Several SEPPs were consolidated on 1 March 2022 (State Environmental Planning Policies Planning (nsw.gov.au)).</p>

Mid-Western Regional Council
Draft Mid-Western Employment Lands Strategy (Industrial) 2024



Document	Document summary
	<p>SEPPs which are of particular relevance to the consideration and preparation of the ELSI include:</p> <ul style="list-style-type: none">• Industry and Employment• Resilience and Hazards• Resources and Energy• Transport and Infrastructure

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2. EMPLOYMENT LANDS WITHIN THE MID-WESTERN REGION

2.1 WHAT ARE EMPLOYMENT LANDS?

Employment lands refers to the following types of activities:

- **Industrial activities** refers to the manufacturing, production, assembling, altering, formulating, repairing, renovating, ornamenting, finishing, cleaning, washing, dismantling, transforming, processing, recycling, adapting or servicing of, or the research and development of, any goods, substances, food, products or articles for commercial purposes, and includes any storage or transportation associated with any such activity.
 - *Light industrial* refers to a building or place used to carry out an industrial activity that does not interfere with the amenity of the neighbourhood by reason of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, wastewater, waste products, grit or oil, or otherwise, and includes high technology industry, home industry, artisan food and drink industry and creative industry.
 - *Heavy industry* refers to a building or place used to carry out an industrial activity that requires separation from other development because of the nature of the processes involved, or the materials used, stored or produced, and includes hazardous industry, or offensive industry.
- **Commercial activities** refers to activities carried out on a commercial premises, which includes:
 - *Business premises*: means a building or place on which an occupation, profession or trade (other than an industry) is carried on for the provision of services directly to members of the public on a regular basis.
 - *Office premises*: means a building or place used for the purpose of administrative, clerical, technical, professional or similar activities that do not include dealing with members of the public at the building or place on a direct and regular basis, except where such dealing is a minor activity (by appointment) that is ancillary to the main purpose for which the building or place is used.
 - *Retail premises*: means a building or place used for the purpose of selling items by retail, or hiring or displaying items for the purpose of selling them or hiring them out, whether the items are goods or materials (or whether also sold by wholesale).

For the purposes of the ELSI, the focus is on industrial development land and activities, as defined above.

2.2 WHICH EMPLOYMENT LANDS ARE CONSIDERED IN THIS STRATEGY?

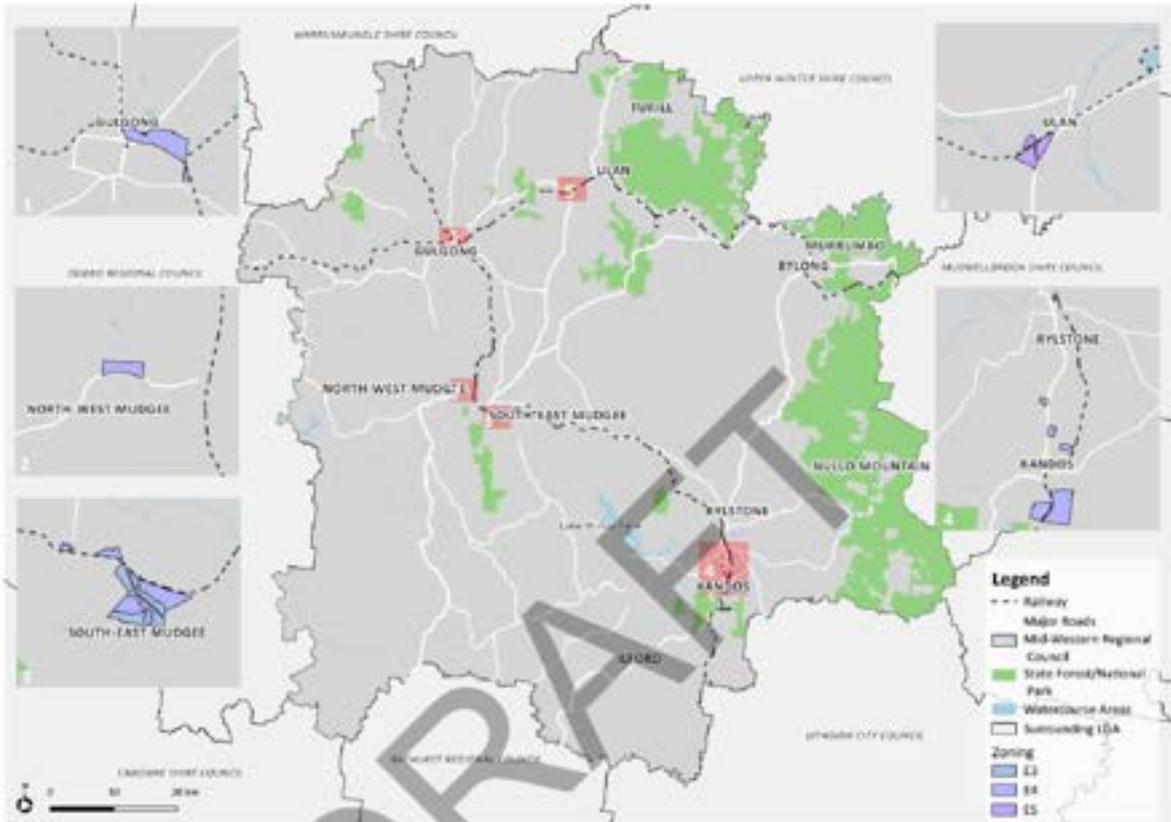
The Mid-Western Regional Comprehensive Land Use Strategy (CLUS) 2010 is the overarching land use strategy guiding planning over the next 25 years for the Mid-Western region. Town Structure Plans included as part of the CLUS visually represent the outcomes of the Strategy and specifically identify the location of the future supply of land, including for industrial development.

With the majority of remaining industrial land supply not meeting the needs of prospective land users, or is already committed or appropriately located to service the significant number of SSD projects coming online as part of the Central-West Orana Renewable Energy Zone (REZ), the ELSI specifically addresses the need for additional industrial land over a 20+ year period, and considers the following employment land zones (refer **Map 2**):

- E3 Productivity Support
- E4 General Industrial
- E5 Heavy Industrial



In addition, the ELSI also gives consideration to the Central-West Orana REZ and a number of SSDs for clean energy projects proposed in relation to the REZ. It considers the issues associated with planning for the significant (temporary) influx in the construction workforce to service these developments, as well as post-construction and what this means for industrial employment lands for the Region in the longer term.



Map 2 – Mid-Western Regional LGA Employment Zoned Lands



3. DEMOGRAPHIC AND KEY EMPLOYMENT ISSUES

The key demographics and employment issues relevant to the development of the ELSI are important as they assist in identifying the need (or otherwise) for additional employment lands for industrial development to service the Region.

3.1 SUMMARY OF KEY SOCIO-ECONOMIC CHARACTERISTICS

The Region's workforce is largely supported by the mining industry which employs 19.1% of the workforce. Mining has likely influenced demand for industrial land within the Region, alongside the agricultural sector.

Population growth across the Region has remained similar (albeit slightly lower) to the overall population growth across New South Wales.

The most significant industries in the Region are mining, retail trade, health care and social assistance, accommodation and food services, education and training, construction and agriculture. Of these industries, mining, construction and agriculture are of most relevance for industrial land provision.

More than 90% of the Mid-Western region's resident workers work and live within the Region. This indicates there are not large proportions of the resident population or the workforce who are travelling between LGAs to their place of work or residence. It is therefore critical to ensure that there is sufficient industrial land in the right areas to support industrial activity within the Region.

There are several major projects and SSDs which have recently commenced or are about to commence construction and operation. The construction and operations of these projects may have implications for industrial land demand which is investigated further throughout this Strategy.

3.2 EMPLOYMENT TRENDS

3.2.1 Industries of Significance

From 2016 to 2021, the most significant industries of employment within the Region shifted from mining and retail trade in 2016 to mining and health care and social assistance in 2021 (Refer Table 2-5 in Appendix 1).

This analysis identifies that the Region has relative strengths (in terms of employment outcomes in the following industry sectors):

- Agriculture, forestry and fishing (relative to NSW);
- Mining (relative to both Central West and Orana Regional Plan Area and NSW); and
- Accommodation and food services (relative to both Central West and Orana Regional Plan Area and NSW).

Between 2016 and 2021, employment shifts varied by industry sector, with employment in mining and health care and social assistance increasing; but a decline in the retail trade, agriculture, forestry and fishing.

The most dominant industries of employment across the Region are mining, health care and social assistance and retail trade. This analysis identifies mining, in particular coal mining, is the dominant industry supporting the Region's workforce.

3.2.1.1 Coal Mining

Coal mining was the most significant industry of employment in the Region as of the 2021 Census, employing an estimated 1,898 workers. There are three thermal coal mines in the Region (Wilpinjong, Ulan West and Underground and Moorlaben), all located around Ulan that produce a combined ~42 million tonnes (Mt) of coal per annum.



3.2.1.2 **Agriculture**

The agriculture sector provided employment for ~785 persons in the Region and generated a Gross Value Added (GVA) of approximately \$88 million in 2021, representing 0.5% of NSW GVA. The most significant agriculture product by GVA in 2021 was livestock production, followed by cereals production. Comparatively, the New South Wales agriculture sector reported a total GVA of approximately \$17.5 billion in 2021.

3.2.1.3 **Tourism**

The industries of retail trade, accommodation and food services employed approximately 1,974 persons in 2021 across the Region. Employment within these sectors is supported by tourism to the Region.

As of 2019, the Region welcomed a total of 691,000 tourists, whereby 410,000 tourists were domestic overnight travellers, 276,000 tourists were domestic day travellers, and 5,000 tourists were international visitors. The visitor market is dominated by domestic day trippers and domestic overnight visitors with very few international visitors, likely due to its distance from a major airport which can accommodate international flights. The Region's tourism industry generated an estimated \$199 million in total visitor expenditure.

3.2.2 **Journey to Work**

This section of the report provides an overview of the employment location of residents in the Region, as well as the residential location of employed persons, as of the 2016 and 2021 Censuses.

3.2.2.1 **Employment Location of Residents**

In 2016, there were 9,623 resident workers within the Region, which has since increased by 1,774 persons to 11,397 resident workers in 2021. The proportion of resident workers employed locally has declined marginally from 90.0% of resident workers in 2016 to 89.4% of resident workers in 2021. Notably, more than 4.0% of resident workers did not report a fixed place of work. This does not necessarily mean these persons do not work within the Region, rather it indicates that these workers do not have a permanent fixed office location. The most significant industry for these workers was construction, followed by fly in fly out (FIFO) workers.

Approximately 5.9% of resident workers travelled outside of the Region for work. The most significant LGAs Mid-Western resident workers travelled to were neighbouring LGAs such as Dubbo Regional Council, Lithgow City Council and Warrumbungle Shire Council.

3.2.2.2 **Residential Location of Workers**

Workers within region mostly lived within the Region. This is evident as the proportion of the working population who resided in the Region represented 92.1% of the working population in 2021, representing a slight increase from 2016.

The most significant places of usual residence for the working population remained relatively similar in 2016 and 2021 with the top LGAs being Warrumbungle Shire Council, Dubbo Regional Council, Lithgow City Council and Lake Macquarie City Council.

3.2.3 **Major Projects**

The Mid-Western Regional Economic Development Strategy – 2023 Update listed several private and public major projects which have occurred in the Region since 2018. These projects are relevant to the ELSI in that they create additional jobs, increase demand for supporting industrial uses and/or improve freight transport throughout the Region.

Council is considering the effects that a large number of SSDs will have on their economy. The majority of these projects are solar and wind farm constructions. The largest estimated construction workforce is expected for the Secure Now projects (combined total of 2,330 persons), while Ulan Coal reported the largest operational workforce (931 workers), followed by Bowdens Silver Mine (228 workers).

Figure 1 provides a summary of the key demographic information for the Region.

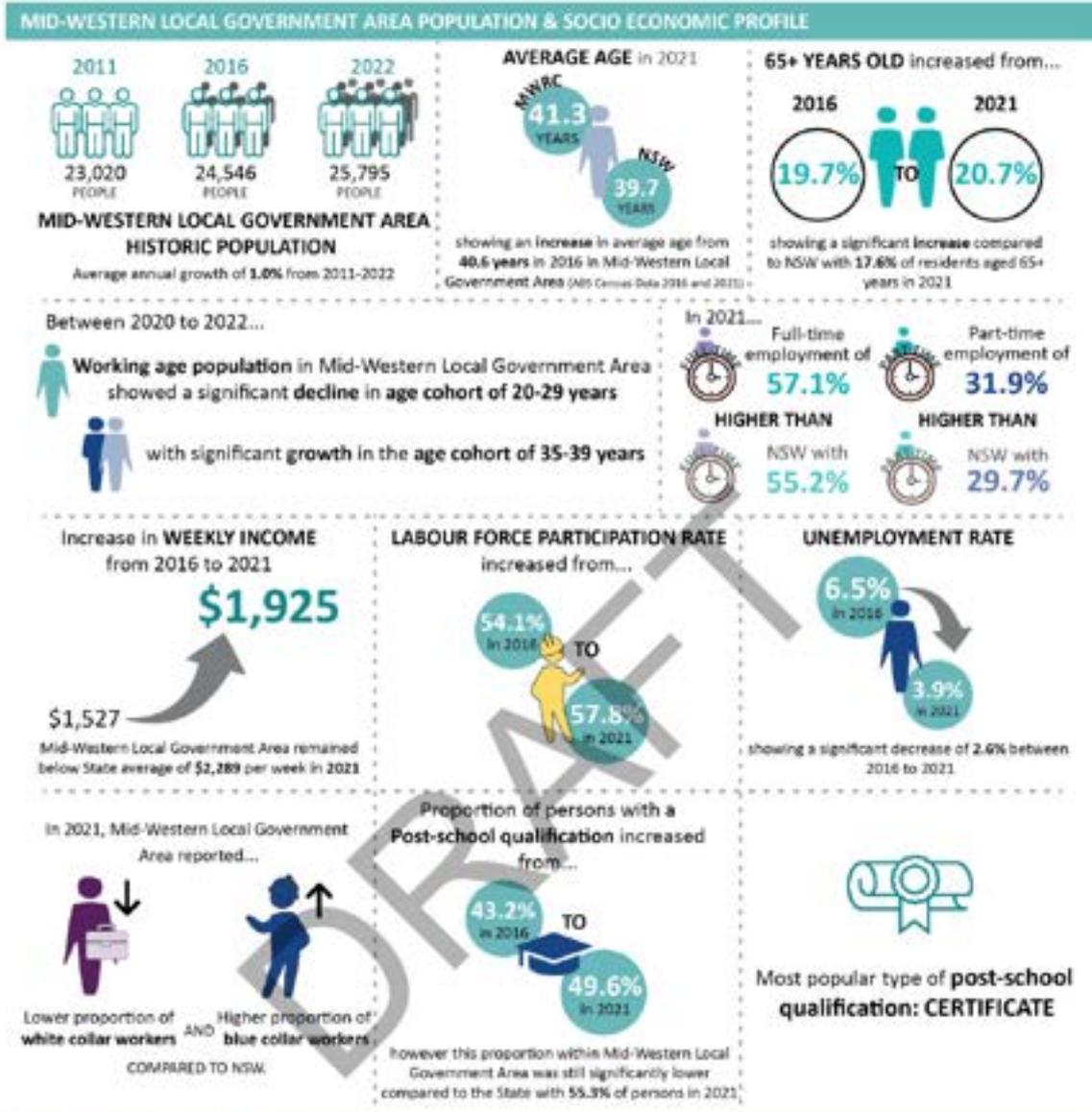


Figure 1 – Summary of Key Demographic Information for Mid-Western Regional LGA



3.3 IMPLICATIONS FOR INDUSTRIAL LAND

Based on the socio-demographic analysis and employment trends outlined above, the following implications have been identified when planning for the provision of future industrial employment lands within the Region:

- The Region's workforce is largely supported by the mining industry, which has likely influenced demand for industrial land within the Region, alongside the agricultural sector. There is also likely to be a significant decline in employment opportunities in the mining sector between 2021 and 2046, with the shift away from coal mining towards clean energy;
- Population growth across the Region has remained similar (albeit slightly lower), to the overall population growth across New South Wales;
- The most significant industries in the Region are mining, retail trade, health care and social assistance, accommodation and food services, education and training, construction and agriculture. Of these industries, mining, construction and agriculture are of most relevance for industrial land provision. It is also noted there has been an increase in the proportion of persons employed within the manufacturing sector;
- More than 90% of the Region's resident workers work and live within the Region. This indicates there are not large proportions of the resident population or the workforce who are travelling between LGAs to their place of work or residence. It is therefore critical to ensure there is sufficient industrial land in the right areas to support industrial activity within the Region; and
- There are several major projects and SSDs which have recently commenced or are about to commence construction and operation. The construction and operations of these projects will have implications for industrial land demand.



4. INDUSTRIAL DEMAND AND SUPPLY ANALYSIS

Below outlines the rate of industrial activity within the key townships and villages of the Region.

4.1 INDUSTRIAL ACTIVITY

4.1.1 Mudgee

4.1.1.1 South-East Mudgee

South-East Mudgee (refer Map 2) hosts the largest industrial precinct within the Region, which includes General Industrial (E4) and Productivity Support (E3) zoned land at Burrundulla. The industrial zoned land is separated into three main parcels, two small parcels of E4 zoned land above the rail line and a large industrial precinct below the rail line including both E4 and E3 zoned land. This rail line is not currently operational.

The E4 zone includes two vacant sites below the rail line, providing 0.96 hectares of vacant industrial land. There is also one vacant lot within the E3 zone on the corner of Lions Drive and Sydney Road, which is 5.38 hectares in size. It is understood that there is an approved development application for a Bunnings on this site. As such, this lot is expected to be developed in the short term. Lastly, there is a small site above the rail line that includes four residential sites totalling 0.3 hectares. While zoned E4, given the small scale of these allotments, they are considered unlikely to be redeveloped for industrial purposes despite the zoned intent.

These industrial areas are mostly built out with limited vacancies. The majority of industrial allotments within South-East Mudgee are small lots (less than half a hectare). The businesses within the E4 General Industrial zone include construction supplies (concrete, plumbing, electrical, windows, doors etc.), self-storage, truck repairs, towing, milling, agriculture supplies (pumps and irrigation, landscaping etc.), solar energy equipment suppliers and mechanics. The businesses within the E3 Productivity Support Zone have a stronger focus towards bulky goods retailers such as Bunnings, Homemakers Furniture and Harvey Norman, with other uses including car dealers, rural supplies and gyms. Notably, the Mudgee BIG4 Holiday Park is located within the E3 Productivity Support zone.

4.1.1.2 North-West Mudgee

There is a new industrial precinct (titles were registered in 2022) located in North-West Mudgee on Hill End Road (refer Map 2). This estate is largely vacant, with several sites under construction and the supply already brought to market. The industrial subdivision is made up of 30 lots with a total of approximately 19.5 hectares. Developments are already present on several lots, and property sales records indicate the sale of numerous lots within this estate, suggesting a significant portion of this land could be developed over the next 12 months.

4.1.2 Gulgong

The Gulgong industrial precinct is the second largest industrial precinct in the Region (after South-East Mudgee). There is one small E3 zoned lot within the precinct, with the remainder zoned E4.

The E3 zoned land is a 0.2 hectare lot on the corner of Station Street and Herbert Street which accommodates a mechanic and petrol station.

The E4 zoned land surrounds the Gulgong train station and includes land to the north and south of the rail line. Although it is significantly smaller than the South-East Mudgee Industrial Precinct, it has much larger lot sizes with industrial businesses more spread out across these lots. The lots are mostly larger than one hectare in size with only a handful of smaller lots (less than half a hectare). Key industrial businesses in this precinct include Nepean Conveyors, R & J Andrew's Haulage, Hardware & Welding Supplies, Gulgong transport depot and two storage unit businesses.

There is one 0.45 hectare vacant industrial site identified in Gulgong on the corner of Industrial Avenue and Saleyards Lane. In addition, a 2.78 hectare vacant industrial site was identified between Rouse Street and the rail



line. However, upon further investigation this lot is on Crown land and as such cannot be used for industrial purposes.

4.1.3 Ulan

The only E5 Heavy Industrial zoned land in the Region is in Ulan which is proximate to the three coal mines in the Region. This land consists of two lots either side of Toole Road and is largely vacant with only one industrial business on the site, namely the Holcim Australia – Ulan Concrete Plant. The entire industrial zone and surrounding Environmental Management zone is owned by the same company. Excluding the land with the Holcim Australia – Ulan Concrete Plant, there is approximately 20 hectares of vacant E5 Heavy Industrial zoned land at this site.

It is understood there is an approved development application for subdivision of the land along the Toole Road side of the rail line which is not yet registered. For the purposes of this assessment this land is still considered to be underutilised.

4.1.4 Rylstone

The industrial land at Rylstone consists of six lots within the E4 zone. The lots are between one and two hectares in size. All lots have been developed, leaving no vacant land within Rylstone.

4.1.5 Kandos

The industrial land in and around Kandos consists of four sites of E4 zoned land.

The site along Bylong Valley Way has three lots, one of which hosts the Kandos Sewage Treatment Plant, one lot has another industrial business and the large site hosts CBG Engineering Services. Surrounding the CBG Engineering Services building (on the same lot) there is approximately five hectares of vacant land.

The site north of Kandos closest to the rail line is approximately eight hectares and vacant. However, this lot is isolated and is not connected to the road network, which would likely act as a barrier to its uptake.

The lot to the south of the town hosts the old Kandos Cement Works and Quarry which is currently under care and maintenance. To the south of the Cement Works buildings there is approximately 30 hectares of vacant land within the industrial zone. There is also 30 hectares of industrial land to the west of the rail line which is also vacant.



4.2 INDUSTRIAL DEMAND

Based on the Mid-Western Regional Council industrial employment estimates (detailed in Section 6.2 of the background report in Appendix 1) and estimated demand generated by the State Significant Development (detailed in Section 6.3 of the background report in Appendix 1), total industrial employment is anticipated to increase from 1,979 workers in 2023 to 2,592 workers in 2041, before declining slightly to 2,490 workers in 2046.

Figure 2 summarises projected industrial employment in the Region between 2021 and 2046.

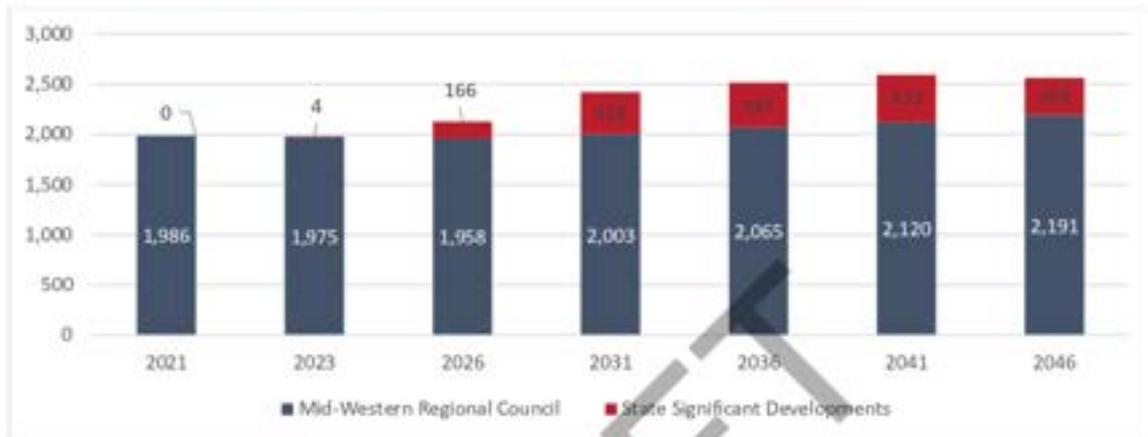


Figure 2 – Total Industrial Employment – Mid-Western Regional LGA, 2021 to 2046 (Source: Bull & Bear Economics, 2024)

This translates to demand for an additional 20.9 hectares of industrial allotments over and above current provision in 2041, with industrial land demand predominantly for service industry uses driven by the establishment of several SSDs within the Region. This demand decreases slightly to 2046 at ~19.7 hectares (refer Figure 3).

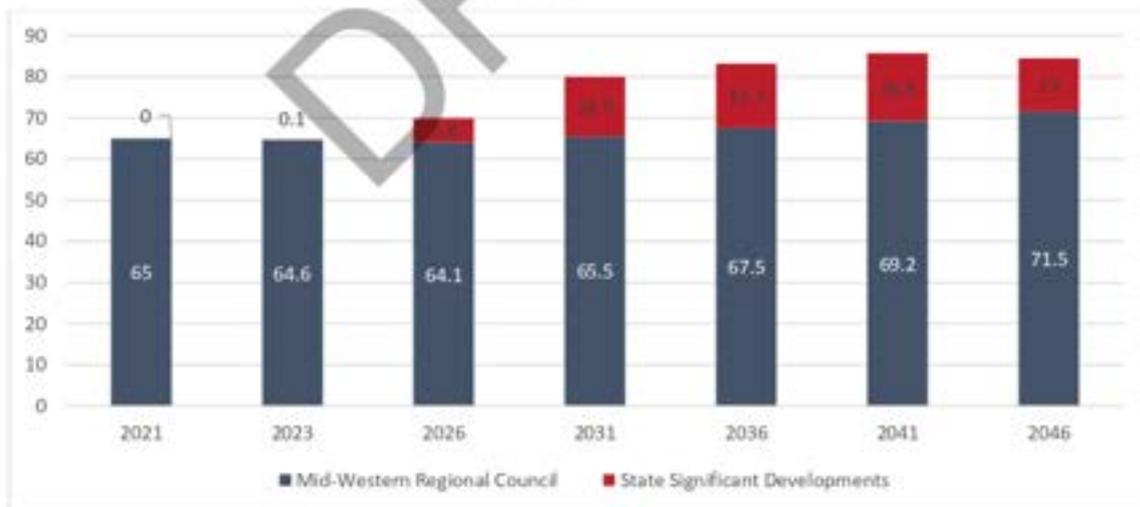


Figure 3 - Demand for Industrial Land Allotments (hectares) – Mid-Western Regional LGA, 2021 to 2046 (Source: Bull & Bear Economics, 2024)

It is critical to ensure that vacant industrial land is available within proximity to service the SSD projects, on allotments of a suitable size. The concentration of land demand within the service industry sector is suggestive of a need to ensure small allotments (up to two hectares in size, within the E4 General Industrial zone) are available



within proximity to the Central West-Orana Renewable Energy Zone (REZ), with Gulgong and Mudgee considered the most suitable locations to service this need.

However, this does not preclude the ELSI from identifying sites in other locations as also being potentially suitable for future industrial development, over the short to longer term.

4.3 INDUSTRIAL SUPPLY

Based on the analysis undertaken, in total there are 37 vacant lots constituting 94.37 hectares of vacant industrial land (36 lots on E4 zoned land (87.99 hectares) and one lot on E3 zoned land (5.38 hectares)) across the Region.

The majority of vacant industrial land is located in Kandos (68 hectares) and North-West Mudgee (16.80 hectares). Figure 4 summarises vacant industrial land and Table 3 summarises vacant industrial land by zone and locality across the Region as of November 2023.

The majority of remaining industrial land supply is on large allotments within Kandos and small allotments in North-West Mudgee. However, it is recognised that the vacant land in North-West Mudgee does not truly represent remaining industrial land supply, as these lots are already zoned for industrial purposes and have been registered.

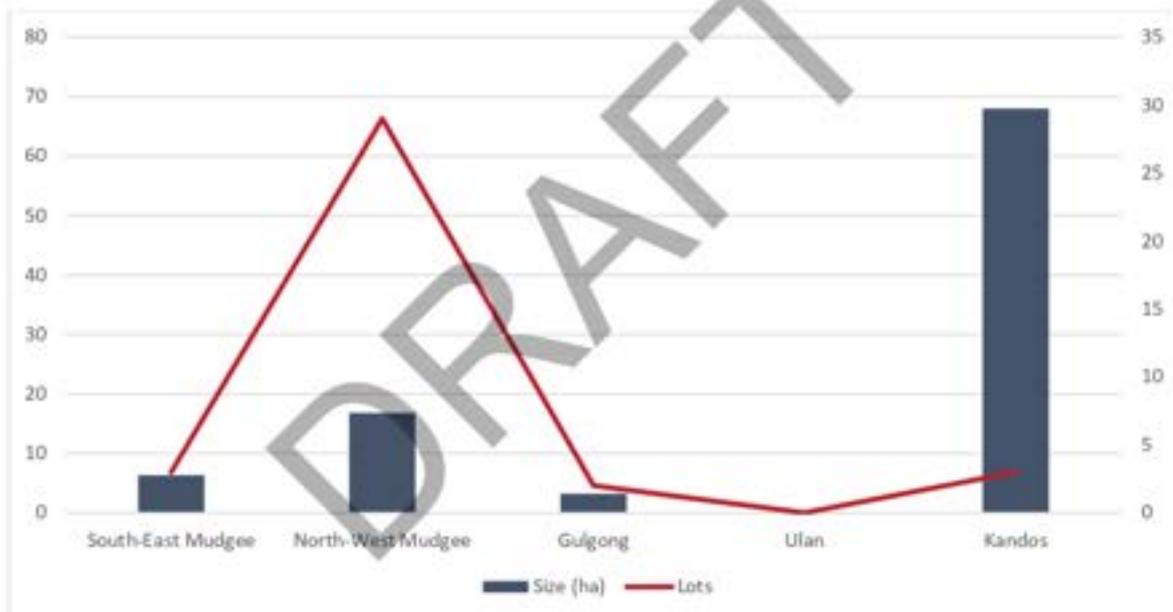


Figure 4 – Vacant Industrial Land (Source: Bull and Bear Economic, 2024)

Table 2: Vacant Industrial Land by Zone and Locality (Source: Bull and Bear Economics, 2024)

	Productivity Support (E3)	General Industrial (E4)	Heavy Industrial (E5)	Total
South-East Mudgee	5.38	0.96	0.00	6.34
North-West Mudgee	0.00	16.80	0.00	16.80
Gulgong	0.00	3.23	0.00	3.23
Ulan	0.00	0.00	0.00	0.00
Kandos	0.00	68.00	0.00	68.00
Total	5.38	88.99	0.00	94.37



4.3.1 E5 Heavy Industry Zoned Land

The Strategy recognises that the only E5 Heavy Industry zoned land is currently within Ulan, with approximately 20 hectares of vacant E5 Heavy Industry zoned land remaining in this locality. Further, it is recognised that there may be opportunities for some additional E5 Heavy Industry zoned land to be located within North-West Mudgee, however the proximity to sensitive land uses would need to be considered. A Planning Proposal would need to be brought forward and considered by Council, with sufficient justification provided.

Despite this, the ELSI encourages maximum flexibility in the development of future heavy industrial land. Should a suitable proposal be submitted which involves heavy industrial uses, then this could potentially be located on any future industrial site nominated within the Strategy, subject to verification of constraints and demonstrating that the site is suitable to accommodate these types of uses, being cognisant of adjoining land uses and necessary buffers and amelioration measures.

4.3.2 Summary of Analysis

The analysis identifies a significant amount of vacant industrial land within the Region, comprising 94.37 hectares of land, mostly contained within Kandos and North-West Mudgee. However, it has already been acknowledged that E4 zoned land within North-West Mudgee is not truly representative of remaining industrial land supply.

Vacant E4 zoned land within Kandos is on lots at least five hectares in size, pointing to a potential need to subdivide this land into smaller allotments to facilitate its development. However, its relative isolation from other population centres in the Region is likely to limit its appeal relative to other offerings within the Region.

There was no vacant E5 zoned land identified, pointing to a potential opportunity to zone additional land for these uses if required. An opportunity may exist to zone some land as E5 within North-West Mudgee, recognising the limitations of the existing E5 zoned land within Ulan. However, any policy decision made in this regard by Council would need to be cognisant of nearby adjoining sensitive land uses.

There was one vacant E3 zoned allotment identified in South-East Mudgee, which is just over five hectares in size, which already has an approved development application for a Bunnings, so this will also likely be developed in the short term. Opportunities for further land to be identified for future industrial purposes in South-East Mudgee should be explored, considering the limited vacancies which exist on current industrial zoned land in this area.

These factors all suggest that whilst significant opportunity appears available to accommodate industrial activity in the Region, it may not align with the expectations of industrial users, pointing to a potential need to identify additional land to facilitate future industrial land development.



5. STAKEHOLDER CONSULTATION

As part of the development of the ELSI, targeted stakeholder consultation was conducted with business and land owners and a public survey was also conducted. Below outlines the results of that consultation.

5.1 PUBLIC SURVEY

The public survey was made available on Council's website, between 12 January to 15 February 2024, with 170 responses received during this period.

A summary of the survey results are as follows:

- 88 per cent of those surveyed were supportive of more industrial activity / lands within the Region and were mainly supportive of light industrial activity, followed by heavy industrial activity;
- Suggested locations for more industrial activity /lands included Kandos, South-West Mudgee (Caerleon) and Gulgong;
- To incentivise more industrial activity, the community would like to see:
 - Appropriate separation / buffers from any functional tourist areas and residential areas;
 - Sufficient and appropriate road access (i.e. B-double routes) to support industrial uses, and heavy vehicle detours to avoid schools; and
 - Sufficient housing will be needed to support industrial employment lands, in providing a place for workers to live.
- Only 24 per cent of respondents would utilise or move their business if more industrial lands were available – ideal locations included South-East Mudgee, North-East Mudgee (Caerleon), Gulgong, Kandos or Rylstone;
- 62 per cent of respondents did not have any issues with any new or existing industrial activities within the area, however, some key concerns were raised around managing the amenity and other impacts of new or existing industrial activities on surrounding uses. Feedback received from the survey responses generally indicated broad support for the development of the ELSI.

5.2 STAKEHOLDER INTERVIEWS

Targeted interviews were conducted with real estate agents, business owners and members from the Chamber of Commerce. Nine interviews were completed with those willing to participate, consisting of five real estate agents, two business owners and two members from the Chamber of Commerce.

Key issues raised included:

- The need for more industrial land in Mudgee as this is the primary centre for the Region and there is already a shortage of land available which would likely be taken up if additional industrial land was brought to market;
- Business owners find that there are a need for larger sized blocks to support growing businesses, however, the demand for lot size varies across the industry;
- Land supply is apparent, but is still not readily available. There will be a lot of work needed by Council to incentivise the take up of earmarked industrial lands;
- Housing is critical to support the growth of the industrial sector, this is evident in seeing how renewables projects have had to manage this;
- Freight efficiencies to improve transit to Sydney and other major hubs will help boost industrial development.



The results of this stakeholder consultation was considered as part of the development of the ELSI and particularly in identifying potential sites for future industrial employment opportunities.

6. INDUSTRIAL EMPLOYMENT OPPORTUNITIES

There is anticipated demand for an additional 19.7 hectares of industrial allotments between 2023-2046. Given that there is currently approximately 91.6 hectares of vacant industrial land across the Region, this would suggest that there is theoretically remaining capacity to accommodate future industrial land demand to 2046, with significant remaining capacity beyond 2046.

Table 4 provides a comparison of the incremental industrial land demand against remaining vacant industrial land in the Region.

Table 3 - Supply Demand Balance Industrial Land – Mid-Western Regional LGA, 2023 to 2046 (Source: Bull & Bear Economics, 2024)

	2023	2026	2031	2036	2041	2046
Incremental Land Demand (on 2023 levels)	-	5.1	15.3	18.4	20.9	19.7
Vacant Land Supply (November 2023)	91.6	91.6	91.6	91.6	91.6	91.6
Supply Demand Balance	91.6	86.5	76.3	73.2	70.7	71.9

The analysis undertaken shows that the Region has sufficient industrial zoned land to meet its needs to 2046 and beyond, based on a direct comparison of supply against demand. However, further investigations highlight the composition of remaining supply does not meet the needs of prospective land users, is already committed or appropriately located to service the significant number of SSD projects coming online as part of the Central-West Orana Renewable Energy Zone (REZ).

The demand profile developed as part of the ELSI indicates industrial land demand to 2046 is predominantly for service industry uses, which are best accommodated on either E3 Productivity Support or E4 General Industrial zoned land. Advice from Council has also indicated a desire to relocate their depot, which is currently on a 2.4 hectare site in Mudgee. It is understood Council requires a site of approximately 9-10 hectares to accommodate this.

The following vacant land has been identified in the Region within the E3 Productivity Support and E4 General Industrial zones:

- E3 Productivity Support:
 - 5.38 hectares in Mudgee on a single lot;
- E4 General Industrial:
 - 16.8 hectares in North-West Mudgee;
 - 0.96 hectares in South-East Mudgee;
 - 0.45 hectares in Gulgong; and
 - 68 hectares in Kandos.

The vacant industrial land supply across the Region includes 68 hectares of vacant E4 General Industrial land in Kandos, which would need to be subdivided and serviced to facilitate industrial land take up of this land. Even with servicing and subdivision, this land is well removed from the major activity centres of Mudgee and Gulgong, making it a less desirable location for industrial businesses who rely on strong connectivity to population centres and transport routes. It is also noted this land is in single ownership and is removed from the Central West Orana REZ, which is a key driver of industrial land demand within the Region to 2046. However, this industrial zoned land is based around the old cement works and an historic land use approval, therefore it is recognised that this existing E4 zoned land does represent a constrained supply.



The remaining 23.59 hectares of vacant industrial land is situated across South-East Mudgee, North-West Mudgee and Gulgong. The majority of this land (16.80 hectares) is in the new industrial estate in North-West Mudgee, which was recently brought to market. Most of the lots within this estate are already sold, indicating that whilst this land is technically vacant, it is likely to be taken-up in the short term. The vacant industrial land in South-East Mudgee is largely on one lot in the E3 Productivity Support zone, which already has an approved development application for a Bunnings, so this will also likely be developed in the short term. Vacant industrial land in Gulgong consists of a single 0.45 hectare lot.

Council could consider the opportunity to expand industrial land provision particularly within Mudgee or Gulgong, for a range of potential uses. This includes:

- 9-10 hectare site to accommodate the relocated depot. This should be located in close proximity to the established population centre of Mudgee and within proximity to Gulgong, which is also identified for urban expansion;
- Opportunities for a range of E4 General Industrial zoned land in both Mudgee and Gulgong, which offer relative proximity to the Central West Orana REZ.

The initial background economic analysis undertaken in support of the ELSI identified a need to identify ~40 hectares of raw land as a baseline figure to accommodate industrial land demand growth within the Region to 2046 (i.e. to service existing demand). However, it is recognised that the modelling undertaken to support this analysis was based on latest information available at the time and that industrial development may catalyse further investment in the medium term, which cannot be fully quantified at this point in time. Therefore, the ELSI suggests the need to identify at least ~60 hectares of raw land as a baseline figure to accommodate industrial land demand growth.

In light of the above, an analysis of potential future industrial sites has been undertaken as part of the ELSI to assist Council in identifying areas that may have future potential for future industrial purposes. This analysis has considered a range of factors, including:

1. Site location in proximity to existing industrial zoned lands;
2. Site access and accessibility to major transport networks;
3. Proximity to existing or future sensitive land uses;
4. Constraints and limitations to potential development;
5. Ability to be serviced;
6. Timeframes for delivery (i.e. short, medium or long term, based on the above factors); and
7. Feedback from stakeholder consultation conducted.

Below outlines the additional land identified for potential industrial purposes by location, in informing the recommendations outlined in section 7, for Council to take forward.



6.1 OPPORTUNITIES

6.1.1 South-East Mudgee

Map 3 indicates a site within South-East Mudgee on Burrundulla Road, which is suggested as a potential short-medium term industrial expansion opportunity. The site is located to the immediate east of the existing industrial estate in South-East Mudgee, which is serviced and well located. It represents a logical extension opportunity of the existing industrial area and is relatively flat land, which is suited to industrial development.

Whilst it is understood that part of the greater site may potentially be subject to flooding (as indicated in the 2021 Flood Study), an area that may be suitable for development has been nominated. This site builds upon the well-established industrial area already located within the main township of the Region, recognising that there are limited industrial land vacancies within Mudgee and any further opportunities provided will likely be capitalised upon.

Map 4 also indicates an additional site which has been included to reflect Council resolution no. 161/24, based on the Council meeting held on 17 July 2024.



Map 3 – South-East Mudgee Industrial Expansion Opportunity (Burrundulla Road)



Map 4 - South-East Mudgee Industrial Expansion Opportunity (Castlereagh Highway)



6.1.2 North-West Mudgee

North-West Mudgee is ideally located to provide additional industrial land supply for E4 zoned land in the short-medium term, in close proximity to the main township of Mudgee. There may also be potential for some additional E5 Heavy Industrial zoned land to be provided for within North-West Mudgee in the longer term, noting that the only available E5 land in the Region is currently located in Ulan and is held in single ownership. However, proximity to nearby sensitive land uses including the emerging residential estate to the south means that this would warrant very careful consideration by Council moving forward.

Map 5 indicates the potential short-medium term expansion opportunities for the existing North-West Mudgee industrial precinct off Hill End Road, with consideration being given to a number of factors such as adjacent sensitive land uses, the emerging new residential estate to the south (and the potential for industrial traffic to mix with residential traffic on Hill End Road) and proximity to the Castlereagh Highway, servicing and constraints (including topography).



Map 5 – North-West Mudgee Industrial Expansion Opportunity (Hill End Road)



6.1.3 Gulgong

Vacant industrial land in Gulgong currently consists of a single 0.45 hectare lot. Given Gulgong's location within the Central West Orana REZ and the potential opportunities afforded by this, additional sites for further industrial employment lands have been considered.

Whilst many of the sites analysed were found to be unsuitable due to access constraints or being improved by newer housing stock which is unlikely to be demolished in the short-medium term, there are a number of sites within Gulgong which have been identified as potentially suitable for short and longer-term industrial development opportunities. These sites are shown in Maps 6-10 and seek to leverage off their proximity to existing industrial lands and the proximity to the railway line.

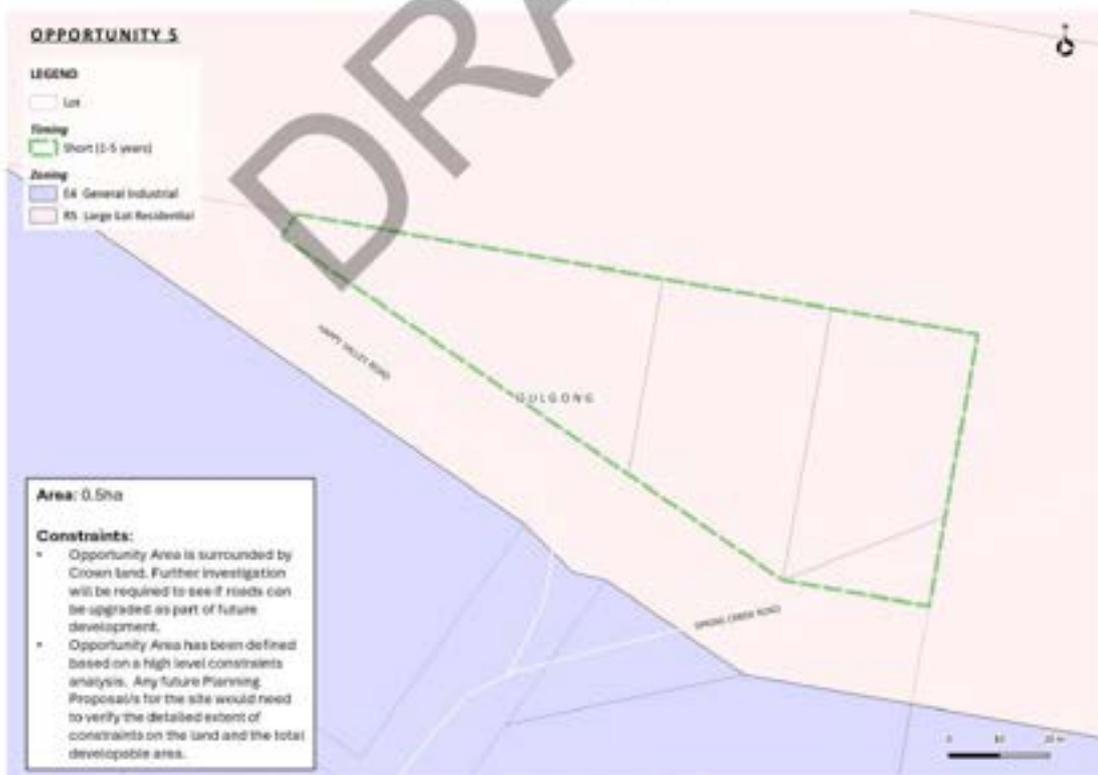


Map 6 – Gulgong Industrial Expansion Opportunity (Henry Lawson Drive)

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Map 7 – Gulgong Industrial Expansion Opportunity (Spring Creek Road)



Map 8 – Gulgong Industrial Expansion Opportunity (Happy Valley Road)



Map 9 – Gulgong Industrial Expansion Opportunity (Nugget lane)



Map 10 – Gulgong Industrial Expansion Opportunity (Spring Creek Road and Snelsons Lane)

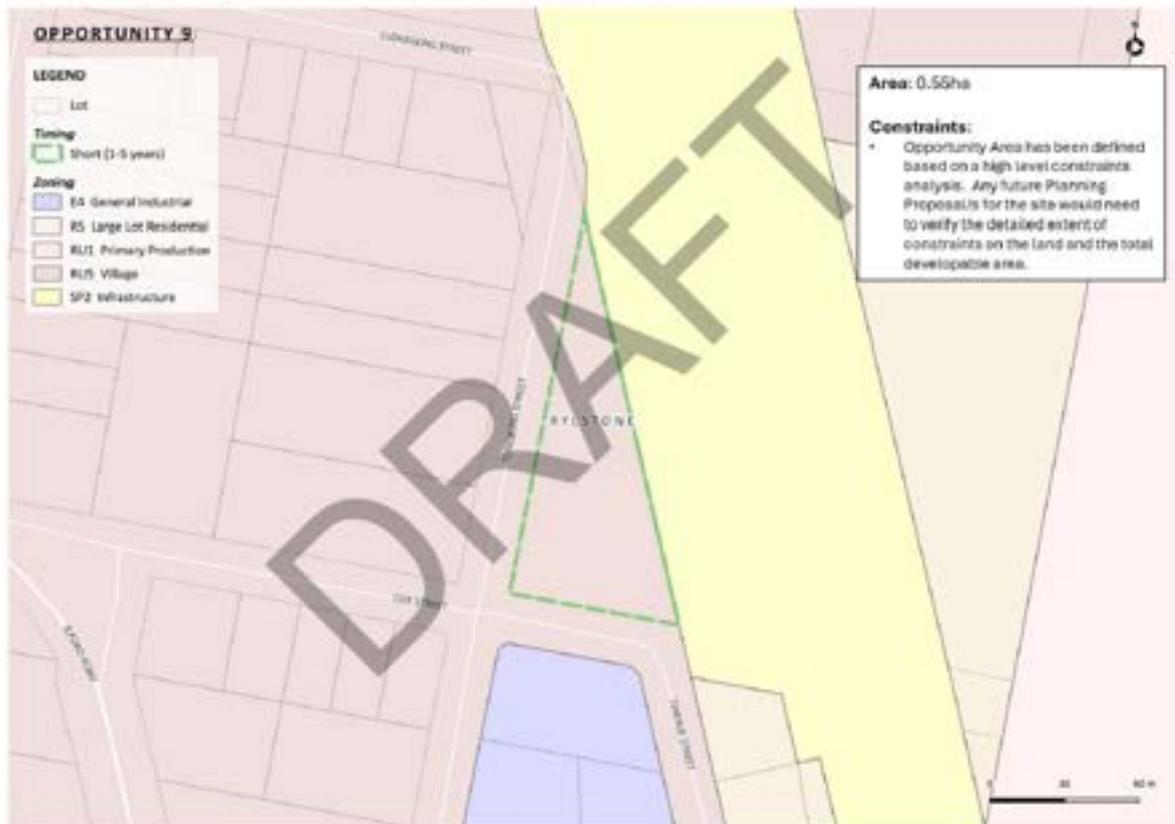


6.1.4 Ulan

Ulan currently contains the only E5 Heavy Industrial zoned land within the Region. This land is comprised of two lots and is largely vacant, with only the Holcim Australia – Ulan Concrete Batching Plant operating on the site. There is approximately 20 hectares of vacant E5 Heavy Industrial zoned land at this site. In light of this, there have been no further industrial employment lands opportunities identified for Ulan as part of the ELSI.

6.1.5 Rylstone

The industrial estate at Rylstone is relatively small and contained, comprising of a series of smaller lots. As there is currently no vacant land within Rylstone, some opportunities for potential industrial land have been identified in Map 11 and Map 12. Map 11 represents the short term priority site despite being located across the road from the existing industrial estate. The site on Piper Street as shown in Map 12 is currently constrained by significant vegetation, despite being located to the immediate south of the industrial area and representing a more logical expansion opportunity. This has been identified as a long term opportunity.



Map 11 – Rylstone Industrial Expansion Opportunity (Tongbong Street)

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Map 12 – Rylstone Industrial Expansion Opportunity (Piper Street)

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6.1.6 Kandos

The existing land zoned for industrial purposes in Kandos is currently largely vacant, representing approximately 68 hectares of vacant land. Much of the vacant land within Kandos is on lots at least five hectares in size, which could indicate a need to subdivide this land into smaller allotments to facilitate their uptake. However, despite its relative isolation from other population centres in the Region which could limit its appeal relative to other offerings within the Region, Council should still consider encouraging the development of the existing industrial zoned land in Kandos, provided that impacts on adjoining sensitive land uses can be appropriately managed. However, this industrial zoned land is based around the old cement works and an historic land use approval, therefore it is recognised that this existing E4 zoned land does represent a constrained supply.

Map 13 reiterates existing industrial zoned land in Kandos as being a medium term opportunity for future industrial land, with the extent of the potentially developable area being rationalised due to the site analysis undertaken. Map 14 represents a new site to the immediate east of the area shown on Map 13, which although not zoned for industrial purposes, may represent a potential long-term industrial land opportunity, although this is seen as a lower priority.



Map 13 – Kandos Industrial Opportunity (Cooper Drive)



Map 14 – Kandos Industrial Opportunity (Dabee Road)

6.2 SUMMARY OF SITES

The ELSI identifies a number of sites that could potentially be suitable for a range of short, medium and long term industrial employment needs. Some of these sites represent short term opportunities, while others represent a longer term opportunity.

The analysis undertaken shows that the Region has sufficient industrial zoned land to meet its needs to 2046 and beyond based on a direct comparison of supply against demand. However, further investigations highlight the composition of remaining supply does not meet the needs of prospective land users, is already committed or appropriately located to service the significant number of SSD projects coming online as part of the Central-West Orana Renewable Energy Zone (REZ).

The initial background economic analysis undertaken in support of the ELSI identified a need to identify ~40 hectares of raw land as a baseline figure to accommodate industrial land demand growth within the Region to 2046 (i.e. to service existing demand). However, it is recognised that the modelling undertaken to support this analysis was based on latest information available at the time and that industrial development may catalyse further investment in the medium term, which cannot be fully quantified at this point in time. Therefore, the ELSI suggests the need to identify at least ~60 hectares of raw land as a baseline figure to accommodate industrial land demand growth.

The ELSI identifies a range of sites as being potentially suitable for short (1-5 years), medium (5-10 years) and long term (15 years+) industrial supply, particularly in locations such as Mudgee and Gulgong, which allocates additional industrial land in the order of 141 hectares as follows:



	Land area (ha) Short Term (1-5 years)	Land area (ha) Medium Term (5-10 years)	Land area (ha) Long Term (10+ years)	Sub total
Mudgee	3.88 (South-East Mudgee) 36.69 (North-West Mudgee)			40.57
Gulgong	36.14		43.29	79.43
Rylstone	0.55		0.78	1.33
Ulan				0
Kandos			20.18	20.18
Sub total	40.57	36.69	64.25	141.51

The additional 141 hectares identified therefore provides over double the amount of raw land required.

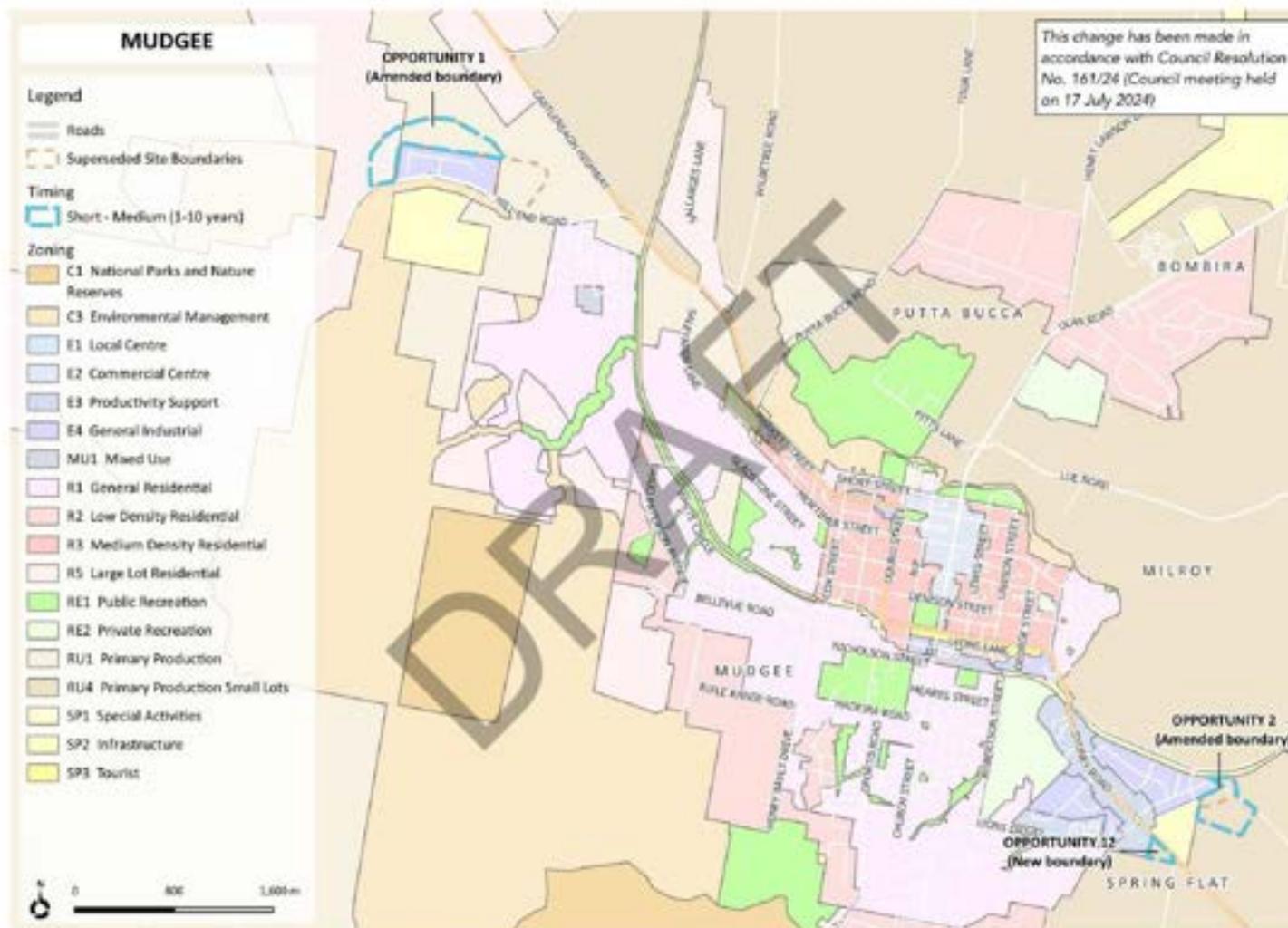
With respect to the size of allotments needed to cater for anticipated demand, the growth in land demand is being driven mostly by service industry and warehouse and storage uses. The ELSI suggests that lots of up to 2 hectares in size and primarily within the E4 General Industry zone would be required and should be the main focus to accommodate this demand profile. However, this Strategy encourages maximum flexibility in the delivery of future industrial lands and does not preclude industrial development on larger lot sizes, or for other purposes and in other industrial zones, where this can be supported through formal Planning Proposals for Council's consideration. Opportunities for additional E5 Heavy Industry zoned lands could be considered, where these can be suitably located and any impacts on adjoining properties (such as sensitive receptors), can be appropriately ameliorated.

It is critical to ensure that much of the additional short term land identified is within proximity to the Central West Orana Renewable Energy Zone (to appropriately service this development) and within reasonable distance to the workforce (e.g. Gulgong and Mudgee).

The ELSI does not advocate for the land identified for future Industrial purposes to be rezoned, but recognises that developer-led Planning Proposals for rezoning would be needed, which must then be subject to ordinary application processes through Council. Should any land be subsequently rezoned, this would then contribute additional industrial zoned land at the start of the land supply pipeline.

As a consequence of the employment lands analysis undertaken, the sites located in Maps 15 to 18 of the ELSI should be recognised as providing future potential industrial employment lands in the short, medium and long term. The current zoning of these lands should be retained, recognising that there is technically significant land supply available to meet the baseline industrial needs of the Region beyond 2046, whilst acknowledging that much of this land may not be the most suitable for industrial development in the short term due to a range of factors. The ELSI provides the imprimatur for additional industrial lands within the Region to be identified and should be used as a guide for directing proponents as to where Council has earmarked future industrial lands in the Region over the Next 20 years. This will allow prospective businesses to secure sites, with flexibility in determining the most appropriate lot sizes and mix of industrial uses, which can then be addressed through formal Planning Proposals.

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Map 15 – Summary of Industrial Opportunity Sites (Mudgee)



Map 16- Summary of Industrial Opportunity Sites (Gulgong)



6.3 CENTRAL-WEST ORANA RENEWABLE ENERGY ZONE

The background analysis conducted to inform the preparation of the ELSI, identifies that the NSW Government has announced several Renewable Energy Zones (REZ) including the Central-West Orana REZ which covers part of the Region, including Mudgee and Gulgong. REZs combine renewable energy infrastructure (solar and wind farms), storage (batteries and pumped hydro) and high-voltage transmission infrastructure. Connecting these allows REZs to capitalise on economies of scale to deliver cheap, reliable and clean energy (Energy Co, 2023). The Central-West Orana REZ covers 20,000 km² covering towns such as Mudgee, Gulgong, Dubbo and Mendooran. It is expected to generate six gigawatts of power. Some of the key projects (existing and planned) within this REZ in the Region include:

- Beryl Solar Farm;
- Merotherie Energy Hub;
- Wollar Switching Station;
- Barneys Reef Wind Farm;
- Bellambi Heights Battery Energy Storage System;
- Tallawang Solar Farm;
- Birriwa Solar Farm and Battery Energy Storage System;
- Narrangamba Solar;
- Stubbo Solar Farm; and
- Ulan Solar Farm.

ACEN Australia has proposed an 800MW 12-hour pumped hydro project (Phoenix Pumped Hydro) 35km west of Mudgee. This project is intended to provide long-duration storage for the above mentioned solar and wind generated energy (ACEN Australia, 2023).

Whilst these projects are not being built on industrial land, they do contribute to demand for industrial land through their reliance on supporting industrial businesses (e.g. solar farm manufacturers, construction etc.). The large clustering of solar farms, wind farms and battery energy storage systems, may provide sufficient economies of scale for industrial businesses supporting these projects to locate within the Region.

As such, it is important that Council identify additional industrial employment lands to accommodate such opportunities, should the need arise in the future as a result of the SSD projects being developed as part of the REZ.

6.4 TRANSITION FROM MINING

In the move to a low carbon economy, coal production will decline in the Region, which will reduce employment opportunities within the sector. However, there appears to be limited supply chain businesses on industrial land servicing the mining sector relative to other economies highly reliant on coal mining for employment opportunity. The closure of mines can represent economic opportunity. Rehabilitation of mining land can create possible land opportunities in the form of crop production; grazing for livestock; nature conservation and eco-tourism; and forestry.

Opportunity exists for viticulture and other agricultural operations in the Region to adopt innovative technologies and processes. However, it is anticipated supply chain businesses who provide these services will predominately be located beyond the Region, in recognition of the relatively small size of the Region's economy relative to other agricultural regions in New South Wales.

As a key part of the broader Central West Orana REZ, the Region is positioned to benefit significantly from the establishment of several clean energy projects.



6.5 OPPORTUNITY FOR INTER-MODAL TERMINAL

There are two rail lines which pass through and stop within the Region. One rail line passes through Gulgong and Ulan which on a broader level connects Dubbo with Newcastle. Within the Region, this line is largely used by the coal mines around Ulan to transport coal intrastate and to the Port of Newcastle for exports. The second rail line is a branch off the Main West line coming out of Sydney which passes through Kandos and ends at Rylstone. These two lines were previously connected as part of the Gwabegar railway line; however, in 2007 the line between Kandos and Gulgong was closed due to lack of demand. In 2018 the line between Rylstone and Kandos was reinstated to operate heritage trains between the two towns.

Figure 5 displays the railway lines across New South Wales including the lines through Gulgong/Ulan, the line to Kandos/Rylstone and the closed line between Rylstone and Gulgong.



Figure 5 – Railway Lines in New South Wales (Source: Wikipedia (2024) in Bull & Bear Economics, 2024)

The rail line passing through Gulgong and Ulan is the most direct route between Dubbo, Mid-Western Regional Council and Newcastle including the Port of Newcastle. The Port of Newcastle is the largest bulk shipping port on Australia's east coast and Australia's largest terminal for coal exports as such strong connections to this port are beneficial to Mid-Western Regional Council's economy (Transport for NSW, 2023). Gulgong's train station is not operational with freight only trains passing through the station. The only place in the Region where trains on this line stops is at the three coal mines in Ulan. Currently the rail line is not at full capacity and the most significant use of this line is the Ulan coal mines meaning the potential closure of these mines (given the trend towards renewable energy) would significantly impact utilisation of this rail line. The Inland Rail project (currently under construction) offers significant opportunity for this rail line.

However, the opportunity for an intermodal terminal within the Region in the medium to long term is likely limited due to associated cost, competitive offerings within the broader region and absence of critical mass to support the terminal in the foreseeable future.



7. SUMMARY AND RECOMMENDATIONS

As discussed throughout this report, the Region technically has sufficient zoned industrial zoned land to meet its needs to 2046 and beyond based on a direct comparison of supply against demand. However, further investigations highlight the composition of remaining supply does not meet the needs of prospective land users, is already committed or appropriately located to service the significant number of SSD projects coming online as part of the Central-West Orana REZ.

The initial background economic analysis undertaken in support of the ELSI identified a need to identify ~40 hectares of raw land as a baseline figure to accommodate industrial land demand growth within the Region to 2046 (i.e. to service existing demand). However, it is recognised that the modelling undertaken to support this analysis was based on latest information available at the time and that industrial development may catalyse further investment in the medium term, which cannot be fully quantified at this point in time. Therefore, the ELSI suggests the need to identify at least ~60 hectares of raw land as a baseline figure to accommodate industrial land demand growth.

In light of the above, an analysis of potential future industrial sites has been undertaken as part of the ELSI to assist Council in identifying areas that may have future potential for future industrial purposes in the longer term. This analysis has considered a range of factors, including:

- Site location in proximity to existing industrial zoned lands;
- Site access and accessibility to major transport network;
- Proximity to existing or future sensitive land uses;
- Constraints and limitations to potential development;
- Ability to be serviced;
- Level of priority (i.e. short, medium or long term opportunity, based on the above factors); and
- Feedback from stakeholder consultation conducted.

The ELSI identifies a range of sites as being potentially suitable for short (1-5 years), medium (5-10 years) and long term (15 years+) industrial supply, particularly in locations such as Mudgee and Gulgong, which allocates additional industrial land in the order of 141 hectares.

The ELSI encourages maximum flexibility in the delivery of future industrial lands in terms of a mix of lot sizes, industrial use types and industrial zones, where this can be supported through formal Planning Proposals for Council's consideration. Opportunities for additional E5 Heavy Industry zoned lands could be considered, where these can be suitably located and any impacts on adjoining properties (such as sensitive receptors), can be appropriately ameliorated.

In addition to identifying additional lands for future long-term industrial employment, it is also noted that as coal production declines in the Region, that this will reduce employment opportunities within the sector, which currently contributes a significant portion of jobs for the Region. The closure of mines can represent economic opportunity, with the rehabilitation of mining land creating possible land opportunities in the form of crop production, grazing for livestock, nature conservation and eco-tourism and forestry.

Opportunity exists for viticulture and other agricultural operations in the Region to adopt innovative technologies and processes. However, it is anticipated supply chain businesses who provide these services will predominantly be located beyond the Region, in recognition of the relatively small size of the Region, relative to other agricultural regions in New South Wales.

The Region is well-positioned to benefit significantly from the establishment of several major clean energy projects as part of the broader Central West Orana REZ, with short-term employment estimates contributing to significant jobs in the Region. The challenge will be in capturing some of the flow-on effects of those projects in terms of their potential to generate ongoing demand for associated industrial employment lands and businesses.



As a consequence of the employment lands analysis undertaken, the sites located in Maps 15 to 18 of the ELSI should be recognised as providing future potential industrial employment lands in the short, medium and long term. The current zoning of these lands should be retained, recognising that there is technically significant land supply available to meet the baseline industrial needs of the Region beyond 2046, whilst acknowledging that much of this land may not be the most suitable for industrial development in the short term due to a range of factors. The ELSI provides the imprimatur for additional industrial lands within the Region to be identified and should be used as a guide for directing proponents as to where Council has earmarked future industrial lands in the Region over the next 20 years. This will allow prospective businesses to secure sites, with flexibility in determining the most appropriate lot sizes and mix of industrial uses, which can then be addressed through formal Planning Proposals.

DRAFT

Mid-Western Regional Council
Draft Mid-Western Employment Lands Strategy (Industrial) 2024



APPENDIX 1 BACKGROUND ECONOMIC ANALYSIS REPORT	AP01
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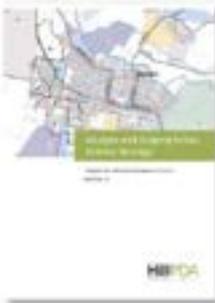


APPENDIX 2 BACKGROUND DOCUMENT ANALYSIS

AP02

STRATEGIC DOCUMENTS

Mudgee and Gulgong Urban Release Strategy 2014



The Mudgee and Gulgong Urban Release Strategy 2014 is a 20-year strategic framework that has been created to inform the release of residential land within the townships of Mudgee and Gulgong to meet housing needs and facilitate projected future growth. The analysis is based on demographic trends, housing markets and land use constraints.

Key recommendations include increasing housing density in town centres, providing a range of housing typologies, protecting employment lands and high value agricultural land, and concentrating development in existing residential zones and around existing and planned infrastructure to maximise use.

This strategy has been used to ensure that the identification of industrial sites as part of the Employment Lands Strategy (Industrial) do not interfere with the proposed urban release areas.

Draft Mudgee and Gulgong Urban Release Strategy 2023 Update



The draft Mudgee and Gulgong Urban Release Strategy 2023 provides an updated housing supply and demand analysis to the existing Mudgee and Gulgong Urban Release Strategy 2014 (as outlined above). The updated strategy will:

- Assess the supply and demand of residential land and the status of previously identified urban release areas;
- Recommend any required changes to facilitate anticipated demand shortfalls;
- Inform Council's strategic planning works and servicing; and
- Provide a framework for the systemic release of residential land to manage the balance of supply and demand.

This strategy has been used to ensure that the identification of industrial sites as part of the Employment Lands Strategy (Industrial) do not interfere with the proposed urban release areas.

Mid-Western Regional Comprehensive Land Use Strategy 2010 (part c)



The Mid-Western Regional Comprehensive Land Use Strategy (CLUS) 2010 provides a basis for identifying options to meet long term urban and rural growth needs across the Region until 2031.

The purpose of the strategy is to identify environmental, social and economic opportunities and constraints and weigh these against land supply and demand pressures to inform strategic planning direction for future infrastructure and service needs in the Region.

The CLUS includes Town Structure Plans (TSPs) for Mudgee, Gulgong, Rylstone and Kandos. The TSPs visually represent the outcomes of the strategy, which identifies the location of the future supply of land, including future industrial development opportunities.



Mid-Western Regional Council Retail Review Final Report 2005



The Mid-Western Regional Council Retail Review Final Report 2005 provides a comprehensive review of retail and commercial needs in the Mid-western region.

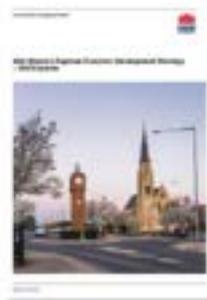
Analysis of shopping behaviour, tenancy surveys, forecasted population growth trends and stakeholder/community workshops within the areas of Mudgee, Gulgong, Rylstone and Kandos were undertaken to provide policy development recommendations.

Recommendations provided facilitate the long term planning and management of the Region's activity centres that best meet the needs of existing and future communities. The proposed policies are accompanied by actions and programs focused on ensuring activity centres will be maintained and viable central places

for the foreseeable future.

The current direction of Council policy is the designation and facilitation of a bulky goods precinct to adjoin or as part of the Mudgee Industrial area focused on Sydney Road. However, an important issue for future policy development is the extent to which this area should be allowed or facilitated to develop as a major bulky goods precinct to meet the needs of the Shire and surrounding districts.

Mid-Western Regional Economic Development Strategy –2023 Update



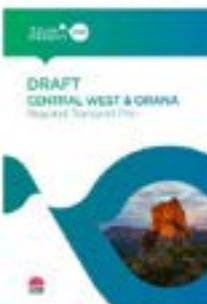
The Mid-Western Regional Economic Development Strategy – 2023 Update provides an updated evidence base to guide governments in policy and investment decisions related to long term economic growth. The strategy provides an overview of key changes and trends that have occurred since 2018, an economic snapshot of the Region, identifies opportunities and constraints for future growth, and provides updated economic strategies.

The key industries in the Region are mining, agriculture and tourism, which continue to drive economic and population growth. Drought, bushfires, floods, and the mouse plague have significantly impacted the Region environmentally and economically in previous years.

Trends impacting the Region's industries, employment and economy includes digital transformation including remote working arrangements, changing migration patterns, shift towards renewable resources, and increasing climate uncertainty.

The strategy identifies future release of industrial land, and proactive planning for industrial land as a key enabler of future economic growth for the Region, specifically growing industry clusters around mining, manufacturing, agriculture and renewable energy.

Draft Central West and Orana Transport Plan



The Draft Central West and Orana Transport Plan is a supporting plan of Future Transport 2056 and is a strategic framework outlining how NSW transport will be informed by changes in land use, population and travel demand across the Region.

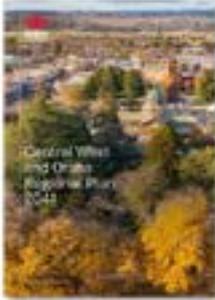
The draft plan provides an overview of current trends and uses within the central west and Orana region, and outlines necessary transport infrastructure, services and policies needed to make active and public transport a viable alternative to private vehicle use, to support the 2041 regional transport vision.

The draft plan supports industry growth by outlining a number of objectives and corresponding initiatives that aim to improve freight network connectivity, improve connectivity and transport options for commuters, as well as reduce transport emissions.



The draft plan has been used to support the development of the Employment Lands Strategy (Industrial) by taking into consideration the planned development for the Central West and Orana region impacting the Region and general objectives that impact upon the provision and use of current and future industrial land.

Central West and Orana Regional Plan 2041



The Central West and Orana Regional Plan 2041 is a strategic framework that informs the growth of the Region through a 20-year land use plan, with a focus on the next 5 years. The document outlines objectives (high level goals) for the Region which is supported by strategies, actions and collaborative activities that are to be implemented by varying government departments and councils.

The Regional plan identified the Region as having strong economic and industry growth with continued mine expansions, continued growth of construction and manufacturing industries supported by mining, State Significant Developments and expected expansion of tourism industries. The plan also identified the Region as having naturally occurring asbestos that could present a health hazard if affected by ground disturbing activities, which should be considered in planning future industry uses.

The plan identifies objectives and strategies related to future industrial land uses of the Central West and Orana Region which apply to the Region. Key objectives include:

- Leverage existing industries and employment areas and support new and innovative economic enterprises
- Improve economic diversification of existing mining economies
- Sustainably manage extractive resource land and grow the critical minerals sector
- Support the State's transition to Net Zero by 2050 and deliver the Central–West Orana Renewable Energy Zone
- Leverage inter-regional transport connections

The high level goals identified within the plan have been considered in the preparation of the Employment Lands Strategy (Industrial) in terms of providing context to future development and industrial uses within the Region.

CURRENT PLANNING INSTRUMENTS

The current relevant planning instruments demonstrates land use regulations for industrial zoned land and planning guidelines for industrial uses, and does not address strategic industrial lands. A summary of the Mid-Western Local Environmental Plan, relevant Development Control Plans and relevant State Environmental Planning Policies have been completed below.

MID-WESTERN LOCAL STRATEGIC PLANNING STATEMENT 2020



The Mid-Western Local Strategic Planning Statement 2020 provides a 20-year vision for land use planning in the Region, by outlining planning priorities for the Region and providing short, medium and long term strategic actions that support the outlined priorities.

The mid-western local strategic planning statement 2020 has been used to identify key planning priorities related to industrial development within the Mid-Western Region, which should be considered in the preparation of the Employment Lands Strategy (Industrial).

This includes:

- Planning priority 6: Minimise the impact of mining and other development on the natural environment,



- Planning priority 7: support the attraction and retention of a diverse range of businesses and industries
- Planning priority 8: provide leadership on economic development initiatives and identify resources and infrastructure required to drive investment and economic growth in the Region
- Planning priority 9: support the expansion of essential infrastructure and services to match business and industry development in the Region
- Planning Priority 10: Develop a regional transport network in partnership with government agencies, that grows with the needs of residents and businesses.

The identified planning priorities outline land use actions relevant to the Employment Lands Strategy (Industrial), including actions such as undertaking an industrial land use survey, mapping freight and logistic routes, mapping heavy vehicle bypasses, as well as outlining council actions.

MID-WESTERN LOCAL ENVIRONMENTAL PLAN 2012

The Mid-Western Regional Local Environmental Plan 2012 is a statutory document that outlines legislative provisions on zoning, development processes and development application requirements, development standards, prohibited development, and other provisions.

The Mid-Western Local Environmental Plan 2012 outlines the provisions, objectives and planning parameters related to:

- Productivity Support (E3)
- General Industrial (E4)
- Heavy Industrial (E5)

The plan also identifies other provisions related to industry development including provisions related to light industry, home industry as well as provisions related to boundaries and buffers between industrial zones and other zones.

The Mid-Western Local Environmental Plan 2012 has been consulted in the preparation of the Employment Lands Strategy (Industrial) to ensure identified current and future industrial land comply with the provisions set under the Mid-Western Local Environmental Plan 2012.

MID-WESTERN DEVELOPMENT CONTROL PLAN 2013



The Mid-Western Development Control Plan 2013 supports the objectives of the Local Environmental Plan and sets out the definitions, standards and other provisions related to local development within the Region.

The DCP outlines local standards for industrial development, including provisions relating to lot sizes, design, signage, car parking requirements, subdivision, performance targets, exemptions and other general provisions.

The DCP has been broadly considered in the preparation of the Employment Lands Strategy (Industrial) to ensure identified current and future industrial land comply with the provisions set under the DCP



DEVELOPMENT SERVICING PLAN FOR MID-WESTERN REGIONAL COUNCIL

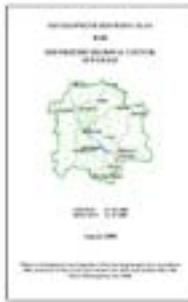
Water Supply 2008



The Water Supply Development Servicing Plan outlines water supply developer charges, and requirements related to the provision of water supply to the Region (relating to flow, pressure, quantity and frequency of restrictions), as well as identifying existing infrastructure and scheduling proposed works to meet increasing water supply demand caused by development. The plan maps the existing town water supply service areas of Mudgee, Gulgong, Rylstone, Kandos and Charbon and Clandulla, and outlines applicable charges for varying developments, including industrial developments. The plan includes methods of calculation, cost estimates and levels of service.

Identification of existing infrastructure has been broadly considered in the preparation of the Employment Lands Strategy (Industrial) in considering future industrial land supply.

Sewerage 2008



The Sewerage Development Servicing Plan outlines sewerage developer charges, and requirements related to the provision of sewerage services to the Region (relating to pump station capacity, collector main capacity and treated effluent quality), as well as identifying existing infrastructure and scheduling proposed works to meet increasing sewerage service demand caused by development. The plan maps the existing sewerage service areas of Mudgee, Gulgong, Rylstone, and Kandos, and outlines applicable charges for varying developments, including industrial developments. The plan includes methods of calculation, cost estimates and levels of service.

Identification of existing infrastructure has been broadly considered in the preparation of the Employment Land Strategy (Industrial) in considering future industrial land supply.

STATE ENVIRONMENTAL PLANNING POLICIES

State Environmental Planning Policy (Industry and Employment)

State Environmental Planning Policy (industry and employment) is NSW state legislation outlining development controls, development application processes and general provisions related to development of industry and employment lands, with the aim of protecting and enhancing land with employment purposes.

The State Environmental Planning Policy (industry and employment) outlines the objectives, and provisions related to development permitted without consent, development permitted with consent, and prohibited development within the light industrial and general industrial zones. The State Environmental Planning Policy (industry and employment) also outlines general provisions related to industrial zones and usages such as signage and advertising, and controls relating to industrial retail outlets.

The State Environmental Planning Policy (industry and employment) has been broadly considered in the preparation of the Employment Lands Strategy (Industrial) to ensure identified current and future industrial land comply with the provisions set under the State Environmental Planning Policy (Industry and Employment)

State Environmental Planning Policy (Resilience and Hazards)

State Environmental Planning policy (Resilience and Hazards) is NSW state legislation outlining development controls, development application processes, and general provisions related to development within the coastal zone, development of hazardous and offensive development and the remediation of land.

The State Environmental Planning policy (Resilience and Hazards) outlines provisions related to hazardous and offensive development including definitions, considerations of departmental guidelines, storage facilities and



provisions on where development consent is required. Provisions are also outlined in terms of the development process for potentially hazardous and potentially offensive development including the preparation of preliminary hazard analysis, matters for consideration by consent authorities and advertising of applications.

Provisions related to the remediation of land include definitions, considerations in determining a development application, provisions relating to remediation work permissible, remediation work needing consent, remediation work not needing consent as well as other general provisions.

The State Environmental Planning policy (Resilience and Hazards) has been broadly considered in the preparation of the Employment Lands Strategy (Industrial) to ensure identified current and future industrial land comply with the provisions set under the State Environmental Planning policy (Resilience and Hazards).

State Environmental Planning Policy (Resources and Energy)

State Environmental Planning policy (Resources and Energy) is NSW state legislation outlining development controls, development application processes and general provisions related to mining, petroleum production and extractive industries.

The State Environmental Planning policy (Resources and Energy) outlines provisions related to mining, petroleum production and extractive industries in terms of development permissible without consent, development permissible with consent, determination of permissible development under local environmental plans, prohibited development, exempt development as well as matters for consideration within development applications. The State Environmental Planning policy (Resources and Energy) also outlines provisions relating to mining and petroleum development on strategic agricultural land, which includes development application provisions and provisions relating to site verification certificates, gateway certificates, and gateway panels.

The State Environmental Planning policy (Resources and Energy) has been broadly considered in the preparation of the Employment Lands Strategy (Industrial) to ensure identified current and future industrial land comply with the provisions set under the State Environmental Planning policy (Resources and Energy).

State Environmental Planning Policy (Transport and Infrastructure)

State Environmental Planning policy (transport and infrastructure) is NSW state legislation outlining provisions related to the delivery of infrastructure across the state. Development controls, development application processes and general provisions are outlined for infrastructure, educational establishments and childcare facilities, major infrastructure corridors, specific ports, and Moorebank Freight Intermodal Precinct.

A wide range of provisions related to infrastructure development are provided some of which include consultation processes, use of state land, complying development and development controls for a variety of land use zones. Objectives, and development controls provisions such as permitted without consent, permitted with consent, and prohibited development are outlined for general industrial, light industrial, and heavy industrial zones.

The State Environmental Planning policy (transport and infrastructure) has been broadly considered in the preparation of the Employment Lands Strategy (Industrial) to ensure identified current and future industrial land comply with the provisions set under the State Environmental Planning policy (transport and infrastructure).



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The General Manager
Mid-Western Regional Council
PO Box 156
Mudgee NSW 2850

3 September 2024

Email: council@midwestern.nsw.gov.au

Attention please: Sarah Armstrong: Manager, Strategic Planning

Dear Sarah,

RE: SUBMISSION TO DRAFT EMPLOYMENT LANDS STRATEGY (INDUSTRIAL) 2024: OBJECTION TO INCLUSION OF 18 CASTLEREAGH HIGHWAY, MUDGEE (LOT 40 DP 1124695) WITHIN THE EMPLOYMENT LANDS STRATEGY (INDUSTRIAL) 2024 (OPPORTUNITY AREA 12).

Thank you for the opportunity to provide a submission to the Draft Employment Lands Strategy (Industrial) 2024 (Draft ELS(I) 2024) (2nd public exhibition: 16 August – 13 September 2024).

We act on behalf of Justin and Shannon Bull in relation to their property located at 16 Spring Flat Road, Spring Flat, Mudgee (Lot 1 DP1096525). Our clients' property is adjacent to 18 Castlereagh Highway, Mudgee (Lot 40 DP 1124695). Lot 40 located immediately to the north.

On behalf of our clients, we formally object to the inclusion of 18 Castlereagh Highway, Mudgee (Lot 40 DP 1124695) as part of Opportunity 12 location for Employment Lands in the Employment Lands Strategy (Industrial) 2024 (ELS(I) 2024).

We are aware of the report by the Manager Strategic Planning (Report 8.5, Ordinary Meeting, 17 July 2024, pp. 75-79) where the Manager's recommendation specified in relation to 18 Castlereagh Highway, Mudgee states:

Our ref: 20-400

"The Draft ELSI 2024 identifies a range of sites as being potentially suitable for short (1-5 years), medium (5-10 years) and long term (10 years+) industrial supply, particularly in locations such as Mudgee and Gulgong.

The additional 140+ hectares of land identified for these purposes provides over double the amount of raw land identified as being required. Therefore, there is no need for further future industrial land to be identified as part of the ELSI.

The subject site was explored during the initial industrial site investigation phase of the ELSI. However, Lot 40 DP1124695 was ultimately removed from considerations due to the following reasons:

- It is acknowledged that whilst the site adjoins the new Bunnings site, there is an existing residence (sensitive use) on the site, which will limit the feasibility of it being developed for industrial purposes in the short term.*
- The site also serves as an important gateway/entrance point into Mudgee which is valued by the community. It is not considered that a future industrial use on this site would be the most landmark entrance point into the Mudgee township."*

Clearly, Council's town planning staff (vide Manager, Strategic Planning and Director, Development) are not supportive of Lot 40 being included as 'employment land' within the ELS(I) 2024.

Further to our support of the Manager Strategic Planning recommendation on this matter, we formally object to the inclusion of 18 Castlereagh Highway, Mudgee (Lot 40 DP 1124695) as part of Opportunity 12 location for Employment Lands in the ELS(I) 2024 for the following (additional) reasons, viz:

1. Contradiction to Council's Existing Strategic Land Use Planning Policy.

The land at 18 Castlereagh Highway, Mudgee (Lot 40 DP 1124695) has already been identified for urban (residential) release purposes consistent with the Mid-Western Regional Comprehensive Land Use Strategy (CLUS) (originally endorsed by Council in August 2010) and included as an Urban Release Area in the Urban Release Strategy 2014 (Area 19). The site is also included as an Urban Release Area in the Urban Release Strategy 2023 (Area 19) adopted by Council in October, 2023. See **Figures 1** and **2**.

Ref: 20-400 – Bul: Objection Draft Employment Lands Strategy (Industrial) 2024 (2nd public exhibition: 16 August – 13 September 2024).

Our ref: 20-400

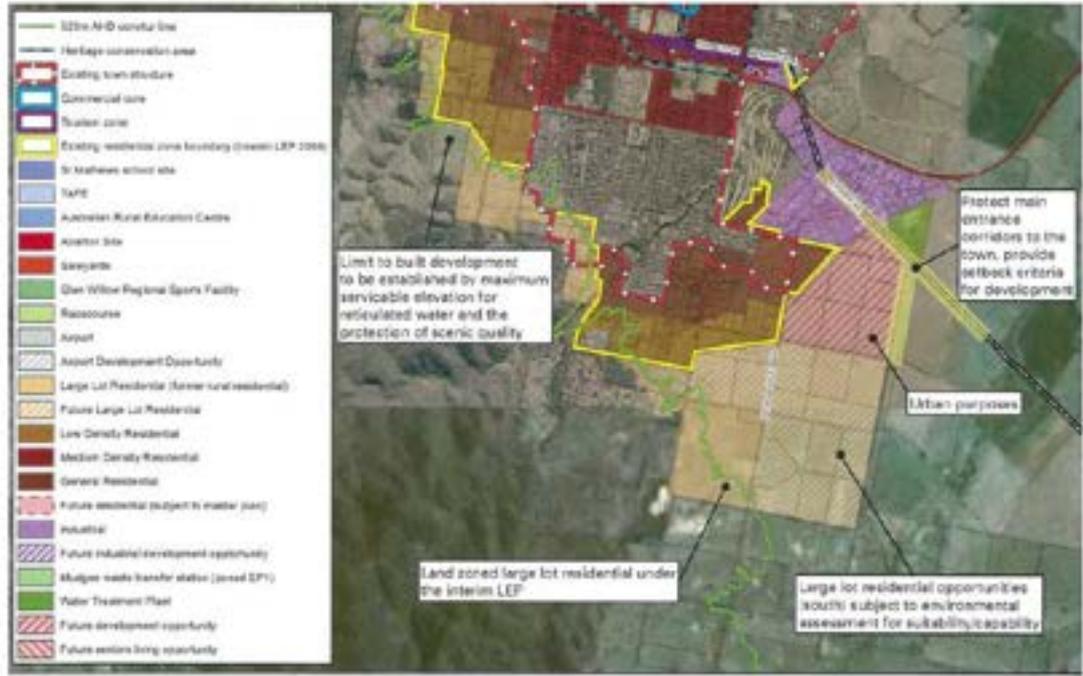


Figure 1: Mudgee Town Structure Plan (CLUS, MWRC, 2010)

Ref: 20-400 – Built: Objection Draft Employment Lands Strategy (Industrial) 2024 (2nd public exhibition: 16 August – 13 September 2024).

Our ref: 20-400



Figure 2: Mudgee Urban Release Areas (URS, 2023)

Council advises that the URS 2023 (adopted by Council, October 2023) is relevant for the period 2021-2041.

Mudgee's population is projected to grow to between 13,290 and 13,422 persons by 2031, and to between 15,123 and 15,424 persons by 2041. Using the average of the two population projection scenarios (13,356 by 2031, and 15,274 by 2041) and assuming Mudgee's average household size remains consistent at 2.4 persons per dwelling, Mudgee will need:

- 982 additional dwellings by 2031
- 1,941 additional dwellings by 2041.

Ref: 20-400 – Bull: Objection Draft Employment Lands Strategy (Industrial) 2024 (2nd public exhibition: 16 August – 13 September 2024).

Our ref: 20-400

This equates to an average of 97 additional dwellings per year over the period to 2041. (URS 2023).

The provision of residential lots from 18 Castlereagh Highway, Mudgee (Lot 40 DP 1124695) will assist in meeting projected demand for housing in the Mudgee locality, including requirements to adequately provide the housing requirements associated with Renewable Energy Zones in Mudgee (and Gulgong).

Any decision to include 18 Castlereagh Highway, Mudgee (Lot 40 DP 1124695) as employment lands rather than land earmarked for residential land is contrary to Council's adopted strategic land use policy position and substantially detracts from the requirements of the Council and the State Government to urgently provide supply of housing to NSW.

2. Oversupply of Industrial Land.

The Draft ELS(I) 2024 specifies a critical part of the study being the identification of additional sites (beyond existing zoning) within MWRC LGA which may be potentially suitable for future industrial development to 2046.

The Draft ELS(I) 2024 identifies a range of additional potential sites as being potentially suitable for short term (1-5 years), medium term (5-10 years) and long term (10+ years) industrial development (particularly in locations at Mudgee and Gulgong) and allocates additional land in the order of 141 hectares.

Notwithstanding Council's premise that the composition of the existing supply of industrial land does not necessarily meet the needs of prospective land users, the Draft ELS(I) 2024 suggests the need to identify approximately 60 hectares of raw land as a baseline figure to accommodate industrial land growth.

Given the intended suggestion of including approximately 60 hectares of raw land to accommodate industrial land growth we do not concur with the provision of 141 hectares of additional raw land being identified for potential inclusion as industrial land supply. This is obviously more than double the suggested 'additional' capacity and, if land is rezoned in totality, will have a detrimental impact on industrial land supply/demand efficiencies and associated land costs in the LGA.

The provision of an additional 2 ha (approximate) of potential employment land at 18 Castlereagh Highway, Mudgee (Lot 40 DP 1124695) is unnecessary and unwarranted in the circumstances.

3. Gateway Location and Entry – Mudgee Town Entry via Castlereagh Highway: Visual Impact Considerations.

Ref: 20-400 – Bul: Objection Draft Employment Lands Strategy (Industrial) 2024 (2nd public exhibition: 16 August – 13 September 2024).

Our ref: 20-400

The significant amounts of vehicular traffic entering Mudgee via the Castlereagh Highway (including many tourists coming to Mudgee) should be provided with a positive Gateway Entry, consistent with Council's vision to provide a positive visual message to encourage population to the area.

There are currently a limited number of opportunities within which to provide a positive visual entry at this Gateway Entry to Mudgee.

18 Castlereagh Highway, Mudgee (Lot 40 DP 1124695) is the pre-eminent location to which drivers visually refer when entering Mudgee from the Castlereagh Highway. Allowing any industrial development on this property would severely detract from Council's ability to positively enhance the entry to Mudgee at this significant gateway site.

4. Submission to (First Exhibition) Draft Employment Lands Strategy (Industrial) 2024 (Draft ELS(I)) 2024: Planning Consultant on behalf of 18 Castlereagh Highway, Mudgee (Lot 40 DP 1124695).

The submission to the first exhibition of the Draft ELS(I) 2024 made on behalf of the land owners of 18 Castlereagh Highway, Mudgee (Lot 40 DP 1124695) failed to provide a substantive town planning rationale for inclusion of the land within the strategy for future industrial purposes.

5. Pre-existing lodgement of Scoping Report (Pre-empting formal lodgement of a Planning Proposal) for 16 Spring Flat Road, Spring Flat, Mudgee (Lot 1 DP1096525) [our clients' land, Justin and Shannon Bull]: Potential for significant land use conflict with any industrial development to the north.

On behalf of our clients, a Scoping Report was lodged with Council on 28 June 2024. The Scoping Report pre-empts the lodgement of a formal Planning Proposal seeking to rezone 16 Spring Flat Road, Spring Flat to R2 Low Density Residential pursuant to the Mid-Western Regional Local Environmental Plan 2012 (MWR LEP 2012) creating (minimum) 2000m² lots.

The redevelopment of our clients' land for residential purposes is consistent with Council's adopted land use policy position for the Spring Flat locality, supplying vital urban land stock to Mudgee in the short term, meeting the strategic land use requirements of Council and the State Government providing an urgent supply of housing to NSW.

A concept plan illustrating the intended subsequent low-density residential subdivision of the land (following any land rezoning) into twenty-one (21) lots is illustrated below.

Ref: 20-400 – Bull: Objection Draft Employment Lands Strategy (Industrial) 2024 (2nd public exhibition: 16 August – 13 September 2024).

Our ref: 20-400

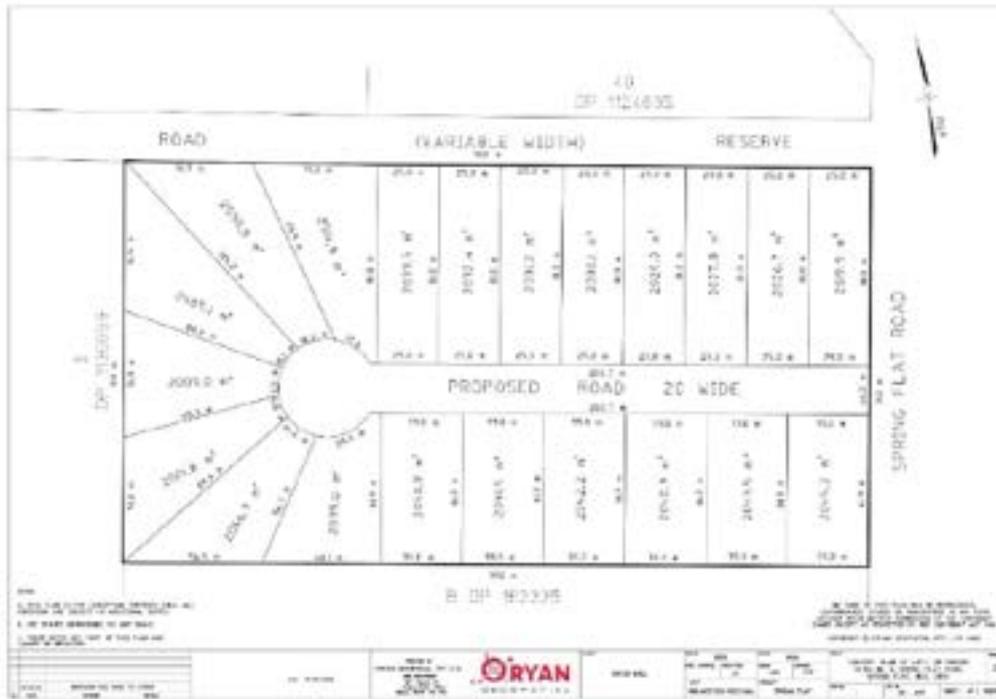


Figure 3: Planning Proposal Concept Plan for Future Site Subdivision: 16 Spring Flat Road, Spring Flat

Table 1 illustrates proposed alterations to zoning and minimum lot size.

	Current	Proposed
Land Zoning	RU4 Primary Production Small Lots	R2 Low Density Residential
Minimum Lot Size	20 Ha	2000m ²

Table 1: Current and Proposed LEP Development Controls

The proposed timeframe for the intended release of lots is short term (within 5 years) and is primarily contingent on the land rezoning process and availability of reticulated water and sewer to the site (1-5 years), including augmentation requirements and associated servicing plans.

Ref: 20-400 – But: Objection Draft Employment Lands Strategy (Industrial) 2024 (2nd public exhibition: 16 August – 13 September 2024).

Our ref: 20-400

Our clients are prepared to instigate the proposed development of the land at the earliest opportunity.

In rezoning our clients' land for residential purposes and subsequently finalising a plan for urban subdivision (see above) we are concerned about and object to the potential inclusion of 18 Castlereagh Highway, Mudgee (Lot 40 DP 1124695 within the ELS(I) 2024 for industrial purposes. The close proximity between residential and industrial land uses is tantamount to land use conflict. It would be inappropriate for our clients to experience a reduction in the supply and land value of potential lots as a result of adjoining land being earmarked for industrial purposes, be that by way of required separation distances between incompatible land uses and/or perception of residential land having lesser value due to adjacent industrial land.

On behalf of our clients, and on the basis of this submission, we formally object to the inclusion of 18 Castlereagh Highway, Mudgee (Lot 40 DP 1124695) within the ELS(I) 2024 for industrial purposes.

We would be pleased to elaborate on any matters raised in our objection.

We would appreciate your acknowledgement of our objection.

Yours faithfully,

A solid black rectangular box used to redact the signature of the representative.

O'Ryan Geospatial

7 August 2024

General Manager
Mid-Western Regional Council
Via email council@midwestern.nsw.gov.au

Attention Sarah Armstrong, Manager Strategic Planning

Dear Sarah,

RE: Submission – Draft Employment Lands Strategy – 194 Hill End Road, Caerleon

The following submission has been prepared in response to the re-exhibition of the Draft Employment Lands Strategy (DELS).

The DELS identifies an expansion of the existing E4 General Industry zone on Hill End Road adjoining our property. The existing industrial land has been subdivided and we generally support the inclusion of an expanded area to the north and west, however, request that council also consider a reduction in the speed limit to better align with the existing and future development.

Addressing the speed environment should be part of the broader strategic consideration in the context of expansion of employment and industrial land opportunities in the region.

Over the past decade development has intensified from the intersection of Hill End Road Gibsons Lane. There is a combination of light vehicle residential traffic to heavy vehicles accessing both the waste depot and the industrial estate and an increasing number of light vehicles originating further along Hill End Road. The multiple access points and poor sight distances and 100 km/h speed limit amount to an increasing dangerous road environment.

Transport for NSW (TfNSW) works with local government and the community to establish speed limits that are proportionate to the traffic environment and consistent with the NSW Speed Zoning Standard. We request that council work with TfNSW to reduce the speed limit from 100 km/h to 80 km/h between the Intersection with the Castlereagh Highway to Gibsons Lane. The rationale is as follows:

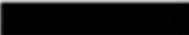
- Road traffic on Hill End Rd is increasing and the turning on/off this main road is becoming a safety issue.
- There are a number of traffic generating developments resulting in a cumulation of traffic movements from a range of vehicle types. The uses include; Caerleon residential area, Mudgee waste management facility, Solar Farm, the new industrial estate, Bandalong Cottages accommodation, the junction to Old Graitai Rd, the Mudgee Pistol Club, A1 Earthworx Quarry and the junction to Gibsons Lane.
- Gibsons Lane makes the commencement of a winding stretch of road heading towards Mudgee that is also heavily vegetated on both sides and a wildlife corridor.

A reduction of the speed limit between Gibsons Lane and the Castlereagh Highway will greatly improve the amenity and safety of this part of the growth peri-urban part of Mudgee.

Yours Sincerely



Peter Shearman
On behalf of the Shearman Family
194 Hill End Rd
Caerleon





STATE OF OUR REGION REPORT 2021-2024

MID-WESTERN REGIONAL COUNCIL





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Mid-Western Regional Council

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MAYOR FOR TERM	Cr Des Kennedy
GENERAL MANAGER	Brad Cam

INTRODUCTION



PURPOSE AND CONTEXT OF THIS REPORT

The State of our Region Report 2021-2024 has been prepared in accordance with the Integrated Planning and Reporting requirements of the Local Government Act 1993. This report provides an account of the outgoing Council's achievements and effectiveness over the past three years in advancing the objectives of the Towards 2040 Community Plan.

The Towards 2040 Community Plan's purpose is to set out the communities' vision for the future – where we are, where we want to be, how we will get there, and how we know that we are there. The State of our Region report aims to inform and guide the incoming Council by reviewing the progress made in the previous term identifying areas for future focus.



MESSAGE FROM THE GENERAL MANAGER



“ I am pleased to present the 2024 State of our Region Report, highlighting the accomplishments of the previous Council and providing a snapshot of where we are at. I look forward to collaborating with the newly elected Council to build on these successes and deliver future projects that enhance the quality of life for all residents across our region. ”

As we conclude this term, I am pleased to reflect on the significant progress and accomplishments that Mid-Western Regional Council has achieved. This period has been marked by notable growth and transformation, driven by Council's dedication to improving the quality of life for residents in Mudgee, Gulgong, Rylstone, Kandos, and surrounding villages.

During this term, we have focused on delivering vital projects and services that address the evolving needs of residents. Notable achievements include urban and rural road reseals and sealed road extensions completed. Council has completed the Cultural Workshops building at Mudgee Arts Precinct providing facilities that support creative and educational community needs. The regions playgrounds have seen substantial upgrades to play equipment along with shade sails providing a fun and safe environment for children.

Additionally, the new Council solar array has strategically positioned us to manage future energy costs effectively, enhancing Council's economic stability. In 2022 Council received the states top local government award - the AR Bluett award. This is testament to Council's employees who give their all, and are passionate about providing for their community.

These successes are the result of the hard work and commitment of our Council staff and the invaluable feedback from our community. Looking ahead, we remain focused on maintaining transparency, fostering engagement, and advancing initiatives that enhance the well-being and prosperity of our region.

A stylized, handwritten signature in white ink on a blue background, representing Brad Cam.

BRAD CAM
GENERAL MANAGER

COMMUNITY STRATEGIC PLAN

The Towards 2040 Community Plan outlines our collective vision for the year 2040, answering four fundamental questions: where we stand today, where we aspire to be, the path to get there, and how we'll gauge our progress.

This plan presents a unique opportunity for collaboration between Council and our community to strategically cultivate sustainable communities that mirror our local values and ambitions. It empowers the community to define and harmonise economic, social, cultural, and environmental objectives for our region. In crafting the Towards 2040 Community Plan, the community played a pivotal role, with more than 1,500 individuals participating in diverse consultation and community engagement initiatives.

The key goals identified are outlined here.

 <p>Looking After Our Community</p>	<ul style="list-style-type: none"> 1.1 A safe and healthy community 1.2 Vibrant towns and villages 1.3 Effective and efficient delivery of infrastructure 1.4 Meet the diverse needs of the community and create a sense of belonging 	 <p>Connecting Our Region</p>	<ul style="list-style-type: none"> 4.1 High quality road network that is safe and efficient 4.2 Efficient connection of the region to major towns and cities 4.3 An active travel network within the region
 <p>Protecting Our Natural Environment</p>	<ul style="list-style-type: none"> 2.1 Protect and enhance our natural environment 2.2 Provide total water cycle management 2.3 Live in a clean and environmentally sustainable way 	 <p>Good Government</p>	<ul style="list-style-type: none"> 5.1 Strong civic leadership 5.2 Good communications and engagement 5.3 An effective and efficient organisation
 <p>Building a Strong Local Economy</p>	<ul style="list-style-type: none"> 3.1 A prosperous and diversified economy 3.2 An attractive business and economic environment 3.3 A range of rewarding and fulfilling career opportunities to attract and retain residents 		

PREVIOUS TERM COUNCILLORS



▲ Cr Des Kennedy
MAYOR



▲ Cr Sam Paine
DEPUTY MAYOR

Mid-Western Regional Council is represented by nine Councillors including a Mayor elected every two years from within.

Councillors are elected to a four year term, with the most recent elections occurring in December 2021, which saw 9 candidates elected to serve the Mid-Western Region. Councillors elected were Paul Cavalier, Des Kennedy, Katie Dicker, Peter Shelley, Percy Thompson, Alex Karavas, Sam Paine, Robbie Palmer and Phil Stoddart.

The impact of the COVID-19 pandemic resulted in the 2020 Local government elections being postponed to 4 December 2021, which has seen this Council proceeding for a three year term.

The three year term of the outgoing Council concluded with Local Government elections held in September 2024.



Cr Paul Cavalier



Cr Katie Dicker



Cr Alex Karavas



Cr Robbie Palmer



Cr Peter Shelley



Cr Phil Stoddart



Cr Percy Thompson

REPORTING HIGHLIGHTS



MUDGEES ARTS PRECINCT

Opened in August 2021 the gallery was awarded the 2022 NSW Country Division Award for public architecture.

CULTURAL WORKSHOPS BUILDING

Situated near Mudgee CBD, this project provides facilities that support creative and educational pursuits within the community.

COUNTRY UNIVERSITIES CENTRE (CUC)

Opened in March 2024, the new CUC enables local student's to pursue university studies without leaving the region.



PUTTA BUCCA WETLANDS UPGRADE

Upgrades included a new boardwalk, picnic shelters, sheltered BBQ area and car parking. The wetlands provide an educational resource for schools and encourages outdoor activity.

MUDGEES RIVER WALK

This scenic walk stretching from Lawson Park to Glen Willow offers residents and visitors an opportunity to enjoy Mudgee's natural environment.

COUNCIL SOLAR ARRAY

Council has constructed a solar array with 9,048 panels. This is expected to reduce annual running costs by approximately \$600,000.



FLAVOURS OF MUDGEES

Flavours of Mudgee is Council's flagship event. In 2023 the street festival featuring the region's best produce celebrated its 10th anniversary.

CENTRAL WEST ENTREPRENEURS SUMMIT

This event is designed to mentor, encourage and inspire business owners and budding entrepreneurs with insightful sessions led by guest speakers.

MUDGEES VALLEY PARK

Mudgee Valley Park has seen significant expansion with 38 new cabins installed, increasing the accommodation capacity at the park supporting the region's growing demand for worker and tourism accommodation.



URBAN AND RURAL ROAD RESEALS COMPLETED

Council has completed the resealing of urban and rural roads helping to maintain and improve the quality of road infrastructure.

SEALED ROAD EXTENSIONS COMPLETED

Council has completed an extensive program of sealed road extensions totalling 58.8 kilometres.

AIRPORT AMBULANCE WAITING BAY

Mudgee Airport ambulance waiting bay has been upgraded enhancing conditions for medical personnel and patients.



COMMUNITY ENGAGEMENT STRATEGY AND POLICY

The Strategy was adopted to ensure that Council's engagement with the community involves a diverse range of methods and reaches the whole community.

MUDGEES AND GULGONG URBAN RELEASE STRATEGY

This strategy provides a comprehensive residential land audit, analysing zoning, supply, and demand trends up to 2041.

MIGRATING ENTERPRISE RESOURCE PLANNING TO THE CLOUD THROUGH TECHNOLOGY ONE

This improvement has significantly improved Council's agility and adaptability in a dynamic business environment.

LOOKING AFTER OUR COMMUNITY

KEY ACHIEVEMENTS



Cultural Workshops Building

Mudgee Arts Precinct (MAP)

The Mudgee Arts Precinct, which opened in 2021, has hosted several successful exhibitions, including the Wynne exhibition, MAP Portrait Prize, and Guwayu: for all time. In 2022, the building received the prestigious World Architectural Festival Award, an accolade that celebrates architectural excellence from across the globe.

The precinct's design is a striking blend of old and new, paying homage to the region's rich heritage. To have the building recognised on the world stage, alongside projects from around the globe, is a tremendous achievement.

Cultural Workshops Building

The opening of the Mudgee Arts Precinct (MAP) Cultural Workshops in 2023 represents a significant milestone in the outgoing Council's efforts to enhance the region's cultural and educational infrastructure. This fully accessible, multipurpose facility in the heart of Mudgee offers a versatile space designed to meet the diverse needs of the community, fostering creative thinking, education, collaboration, and development.

The centre features a range of hireable spaces suitable for various activities, including a

digital classroom and technical suite equipped with recording and editing facilities, large and small workshop areas, co-working spaces, and internal and external breakout areas. A kitchenette and high-speed Wi-Fi further enhance the functionality of the space.

Located within the Mudgee Arts Precinct and just steps away from the main gallery, café and Mudgee Region Tourism, the MAP Cultural Workshops are ideally situated near the Mudgee CBD, sculpture walk, the serene Cudjiegong River and surrounding parks. This project provides state-of-the-art facilities that support creative and educational pursuits within the community.

New Grandstand at Mudgee Showground

The 150-seat grandstand at the Mudgee Showground was completed early 2023. Overlooking the main arena, the grandstand includes adjoining storage and office space, catering to the diverse needs of community groups that regularly use the facility.

Council successfully secured grant funding to bring this project to fruition, obtaining \$500,000 through the NSW Government's Drought Communities Programme and \$250,000 through Resources for Regions. The previous grandstand was demolished.

KEY ACHIEVEMENTS

after failing to meet modern safety standards, making this new development a vital addition to the Showground's infrastructure.

Mudgee Pound Renovation

The pound has undergone a significant renovation and expansion, enhancing its functionality and appeal. The project included a new office space for staff, upgraded isolation pens for cats and dogs with improved amenities, a welcoming reception area, and the addition of unisex toilets to increase accessibility. These improvements provide better care for animals and a more inviting experience for visitors.

Kandos Rotary Park and Lawson Park Playground Upgrades

Upgrades have been completed at both Lawson Park and Kandos Rotary Park playgrounds, enhancing community spaces. At Lawson Park, the playground now features a pirate ship design, encouraging climbing, imaginative play, and role-playing, with new slides adding to the fun. The area has also benefited from the installation of new seating, tables, and landscaping, creating a more welcoming environment. The expansion of rubber impact-absorbing material throughout the

playground further demonstrates Council's focus on safety.

Kandos Rotary Park playground also had substantial improvements. A new climbing tower and skyrider zip line were introduced, offering more adventure for children. The addition of extra seating and expanded impact-absorbing material continues to prioritise both safety and comfort for all park visitors.

Rylstone Showground Playground

In 2023 Council completed an all-new inclusive play space at the Rylstone Showground. The playground features an inclusive carousel, swings, a climbing tower with slides, flying fox, sensory play stations, nature play stations, shaded seating, and a picnic area, offering a fun and accessible environment for all children. The project was made possible through funding secured from Round 4 of the NSW Government's Everyone Can Play in NSW grant program, matched with funding provided by Council.

Glen Willow Sporting Complex Lighting Upgrades

Glen Willow Sporting Complex has undergone significant lighting upgrades, at the main stadium. The stadium now boasts 1500 lux lighting, greatly improving

visibility and safety during night games. Additionally, fields 5 and 6 have been upgraded with LED lighting, offering training-standard illumination through the replacement of 16 light fittings on four 15-metre poles. These improvements ensure better lighting conditions for players and spectators alike.

New Country Universities Centre Mudgee Region

Council built and contributed funding towards the Country Universities Centre (CUC), in Mudgee. This facility is transforming local higher education by enabling students to pursue university studies without leaving the region.

The Mudgee CUC offers state-of-the-art study facilities, including a terminal room, a shared tutorial room, small break-out areas, and indoor/outdoor social spaces. Local students can access these resources at no cost, with support from a dedicated Centre Manager and a community of peers.

This centre has over 100 students enrolled, reinforcing Mudgee's role as a key educational hub in the region. Council's investment in this project highlights the commitment to enhancing educational opportunities for the local community.

Upgrades to Red Hill Cottage in Gulgong

The renovations at Red Hill, Gulgong, have revitalised a key local tourism asset. The project included the restoration of the historic Miners Cottage and the construction of new public amenities at the Gulgong Gold Experience.

The restored Miners Cottage now serves as a welcoming hub for visitors, featuring tea rooms, gift shop, fully-equipped kitchen, bathroom, and a dedicated visitor information centre. These enhancements are designed to enrich the visitor experience, offering both practical amenities and a space to learn more about Gulgong's rich mining heritage.

The Miners Cottage is expected to attract more visitors to the region, encourage longer stays, and contribute to local economic growth.

Flirtation Hill Viewing Platform and BBQ Area

Council has completed infrastructure improvements at Flirtation Hill, a project made possible through a \$375,000 contribution from the NSW Government's Regional Tourism Activation Fund. This project included a new eco-tourism



KEY ACHIEVEMENTS

platform, seating, lighting, barbecue area, amenities and carpark, offering locals and visitors a perfect spot to take in the scenic beauty of Mudgee.

Upgrades to Billy Dunn Oval Gulgong

The construction of new amenities at Gulgong's Billy Dunn Oval has been successfully completed. This facility now features female change rooms, toilets, showers, a referee's bathroom, and storeroom, addressing the need for dedicated spaces for female players, enhancing their experience and participation in local sports.

This project was made possible through a \$122,000 grant from the NSW Government's Stronger Country Communities Fund, with Council contributing an additional \$140,000.

Kandos and Rylstone Dog Parks

The Rylstone Showground and Kandos Darton Park now feature off-leash dog areas, enhancing recreational spaces for residents and their pets. The Rylstone Showground, located by the Cudgegong River, offers a scenic setting and is adjacent to the recently upgraded children's sensory playground. Meanwhile, the Kandos Dog

Park provides a secure, fenced area with amenities including seating, shelter, and drinking water for dogs. Both projects were funded through the NSW Government's Stronger Country Communities Fund.

Victoria Park Mudgee Fence Replacement

A freshly constructed fence now surrounds Victoria Park in Mudgee. The traditional white picket barrier has elevated the park's overall look. Council secured funding for the project through the NSW Government's Stronger Country Communities Fund.

Playground Shade Sails

Shade sails have been installed and updated at parks and playgrounds across the region as part of Council's ongoing commitment to improve facilities. Gulgong Adventure Playground received an additional shade sail along with shade sails installed at Kandos, Rylstone and Mudgee. The upgrades ensure the enjoyment and safety of children and parents using our local playgrounds. Council secured funding through the NSW Government's Resources for Regions Fund (Round 7) to deliver the project.



Gulgong Adventure Playground

PROTECTING OUR NATURAL ENVIRONMENT

KEY ACHIEVEMENTS



PROTECTING OUR
NATURAL ENVIRONMENT



Lawson Park, Mudgee

Kandos Waste Transfer Station Office and Shop

The Kandos Waste Transfer Station has undergone improvements, including the establishment of a new office and shop. These upgrades provide a comfortable workspace for staff and offer the community a convenient location to access waste management services. The shop also contributes to sustainability by offering repurposed and recycled items, encouraging waste reduction, and promoting environmentally conscious practices within the region.

LED Street Light Upgrades (energy efficient)

Council has upgraded street lighting across the region. The installation of energy-efficient LED street lights is a step forward in reducing Council's carbon footprint. These new lights consume less energy, resulting in a substantial decrease in greenhouse gas emissions through energy supply. Additionally, the LED lights have a longer lifespan, reducing the need for frequent replacements and minimising waste. This initiative not only aligns with Council's environmental sustainability goals but also delivers long-term cost savings for the community.

Aerial Fauna Crossings Installed

In 2022, Council improved its environmental protection efforts by installing aerial fauna

crossing assets in high-risk areas, particularly along main roads and highways. Two aerial fauna crossings were installed above Wollar Road in the Munghorn Gap, spanning approximately 25 metres. These crossings are designed to provide safe passage for small animals across the busy road, such as possums and gliders. This initiative complements other wildlife protection measures, including the installation of nesting boxes, which were created through a collaborative effort between Council and the local Men's Shed.

The crossings are strategically placed along the road corridor to replace habitat lost during a three-year road safety upgrade. This upgrade involved the realignment of two dangerous curves on this critical arterial road, which connects the Mid-Western Region to the Upper Hunter. The crossings are a vital component of Council's ongoing commitment to safeguarding local wildlife.

Council Solar Array

This term, Council constructed a solar array with 9,048 solar panels, becoming the first regional council in Australia to invest in its own solar array.

The 5MW of energy generated will power various council buildings and facilities, reducing annual running costs by approximately \$600,000. To further enhance energy efficiency, Council is exploring battery

KEY ACHIEVEMENTS

storage options to manage and store excess power.

This initiative not only supports sustainable energy practices but also aligns with the government target to reduce greenhouse emissions by 2030.

Putta Bucca Wetlands Upgrade

Putta Bucca Wetlands has undergone upgrades, enhancing its appeal as a key destination for residents, visitors, and school groups. Recent improvements include the addition of a 68-metre boardwalk, three picnic shelters, upgraded car parking, sheltered barbecue area, and native bee garden. These enhancements not only provide more opportunities for people to engage with the natural environment but also solidify the Wetlands as an important educational resource for local schools, integrating the nature reserve into their curriculum. The Wetlands represent a valuable investment in the region's natural heritage, encouraging outdoor activity and environmental awareness.

Mudgee River Walk

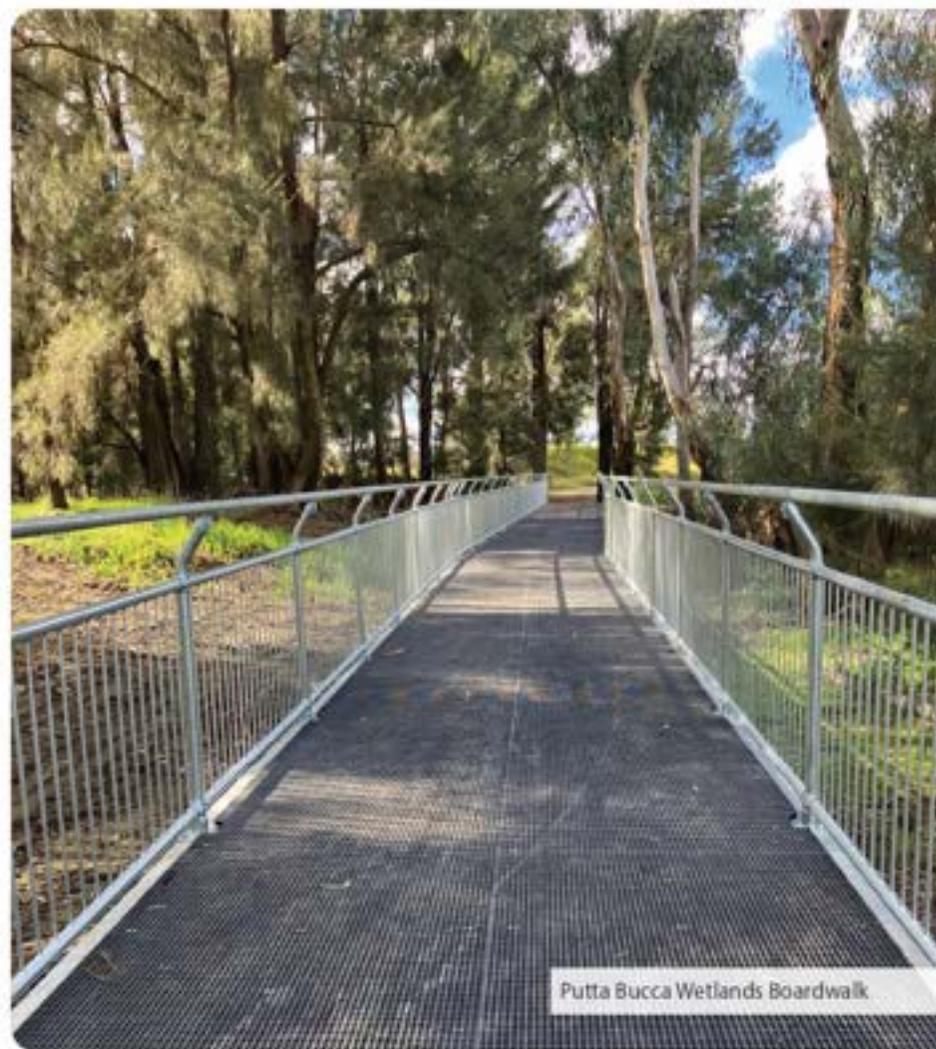
Council has completed the Mudgee River Walk, a significant addition to the region's community recreational spaces. Stretching along the Cudgegong River in Lawson Park and continuing through Glen Willow to connect with Putta Bucca, this

scenic walk offers residents and visitors an opportunity to enjoy Mudgee's natural beauty. Designed to be inclusive, the walk is accessible for people of all ages and abilities.

Weed Control

The Weeds Team has surpassed its roadside spray targets through a successful collaboration between Council, Water NSW, and Local Land Services, aimed at addressing biosecurity weed and feral animal control on the leased Windamere Dam foreshore blocks. This effort involved coordinating meetings to discuss the extent of the issue, the legal biosecurity obligations, and the roles of each stakeholder. Water NSW developed the NSW Water Windamere Action Plan, which included detailed mapping and a yearly control program.

Initial inspections in late 2022, conducted jointly by the Weeds Team and Local Land Services, allowed both parties to address their specific biosecurity concerns. A subsequent round of inspections in June 2023 evaluated the results of the Year 1 spraying program under the Action Plan. These inspections revealed promising outcomes for the initial blackberry spraying. Ongoing collaboration with leaseholders and Water NSW is progressing towards a comprehensive plan.



Putta Bucca Wetlands Boardwalk

KEY ACHIEVEMENTS

Smart Water Meters and Portal

Between 2019 and 2022, Council installed smart water meters in 9,000 connections across the region as part of a multi-year project aimed at reducing water wastage. Before these meters were introduced, up to 140 million litres of water were lost annually due to leaks. The new meters provide real-time data to the YourWater portal, enabling both Council and residents to monitor water usage more effectively.

These meters relay data to Council every hour, allowing the Water Team to quickly identify and address major leaks. Residents can access their daily water consumption via the YourWater portal, helping them better understand peak usage times and find ways to conserve water.

Launched in 2022, the customer portal also allows users to pay bills and set up alerts for potential leaks and periods of high usage. This proactive system not only promotes water conservation but also offers an estimated \$445,000 in annual savings to ratepayers by preventing water loss.

During the drought of 2015/16, when 140 million litres were lost due to leaks, the importance of real-time monitoring became even clearer. With this network now in place, the region is better equipped to manage water resources efficiently.

Rural Water Filling Stations

In 2022, Council completed upgrades to Rural Water Filling Stations in Mudgee, Gulgong, and Rylstone, enhancing access to emergency water for rural residents. The upgrades included 25mm and 50mm outlets, enabling faster flow rates and reduced fill times, ensuring that residents can efficiently access potable water. Registration for access is required, and residents can complete this process on Council's website by filling out the Rural Fill Access Form. Once registered, users can access the stations 24/7 through the Smart City Control App or a swipe card.



PROTECTING OUR
NATURAL ENVIRONMENT



Rural Water Filling Station

BUILDING A STRONG LOCAL ECONOMY KEY ACHIEVEMENTS



2024 Central West Entrepreneurs Summit

Mudgee Valley Park Upgrades

Mudgee Valley Park has undergone a significant expansion, with 38 new cabins installed. This development has substantially increased the accommodation capacity in the park, addressing the growing demand for beds in the region. In addition to the new cabins, the project included upgrades to internal roads and electrical infrastructure, ensuring the park meets modern standards and enhances visitor experience.

The ongoing improvements at Mudgee Valley Park reflect Council's dedication to fostering tourism growth and enhancing the region's appeal as a premier destination.

Acquisition of Operations at Mudgee Riverside Park

Council's recent take over of operations at Mudgee Riverside Park represents a significant step in enhancing the management of this key recreational facility. This transition has led to the implementation of improved facilities, enhanced safety measures, and equitable pricing for visitors. Council is committed to maintaining this space as a well-managed and accessible destination,

providing ongoing benefits to both residents and tourists.

Flavours of Mudgee

Flavours of Mudgee, held annually during September, has established itself as the region's premier food and wine event. Celebrating its 10th anniversary in 2023, this event transforms the CBD's tree-lined streets into a vibrant showcase of the region's finest primary producers. Flavours of Mudgee not only enhances the local community spirit but also contributes significantly to the economy. Its growing popularity continues to make the event a key feature on the region's event calendar.

Central West Entrepreneurs Summit

The Central West Entrepreneurs Summit is a cornerstone event, designed to mentor, encourage, and inspire business owners and budding entrepreneurs. The summit provides an invaluable platform for attendees to be educated and inspired, fostering business growth through insightful sessions led by guest speakers.

Networking has been a key focus, offering opportunities for participants to connect with like-minded entrepreneurs, resulting in meaningful relationships that extend beyond the Summit.

The Summit has served as a launchpad for new opportunities by exposing participants to a range of perspectives, innovative strategies, and latest industry trends.

Economic Think Tank

This annual event continues to be a key platform for Council to engage with local industry and business sectors. The forum facilitates discussions on the local economy, regional projects, pressing local issues, opportunities, and business support for economic growth.

The annual gatherings bring together participants, including local business owners and key personnel from sectors such as mining, small businesses, tourism, construction, agriculture, healthcare, and education, alongside representatives from state government agencies.

Major Events at Glen Willow

In 2021-2023, Mudgee proudly hosted the Charity Shield at Glen Willow Stadium. This event, made possible through a successful partnership between Council, South Sydney Rabbitohs, and St George Illawarra Dragons. The game has become a highlight for fans, with the Charity Shield returning each year to showcase

KEY ACHIEVEMENTS

the match. The event generates significant social and economic benefits, injecting millions of dollars into the local economy.

Glen Willow Stadium hosted Telstra Premiership matches from 2021 to 2023, with Council partnering with the Manly Sea Eagles to bring these high-profile games to the region.

Other high profile games include the NRL trial match between St George Illawarra Dragons V Wests Tigers, Central Coast Mariners V Macarthur FC, and a range of carnivals culminating in over \$28.5 million in economic benefit to the local economy between 2022 and 2024.

Choose Mudgee Region Marketing Campaign

The Choose Mudgee Region website is a key resource, offering up-to-date information on investment opportunities, job openings, population statistics, and detailed insights into the region's towns and villages. The website was launched in 2020 during the pandemic and was supported by billboards as part of the promotion to attract new residents to the region. Recently, Council launched a refreshed marketing campaign for the Choose Mudgee Region initiative to attract new residents and investors. The campaign features advertising on buses in Western

Sydney, complemented by targeted social media posts and ads. This initiative continues to play a vital role in Council's strategy to showcase the region and encourage growth.

2023 Mudgee Glow

Funded by the Reconnecting Regional NSW Community Events Program, Mudgee Glow transformed the CBD with stunning light projections on prominent buildings such as the Mudgee Town Hall and the Post Office. Market Street was adorned with fairy lights, and Robertson Park hosted entertainment and food trucks. The event attracted thousands of residents and visitors, who explored the CBD enjoying the illuminated atmosphere.

New Hangar for Lease at Mudgee Airport

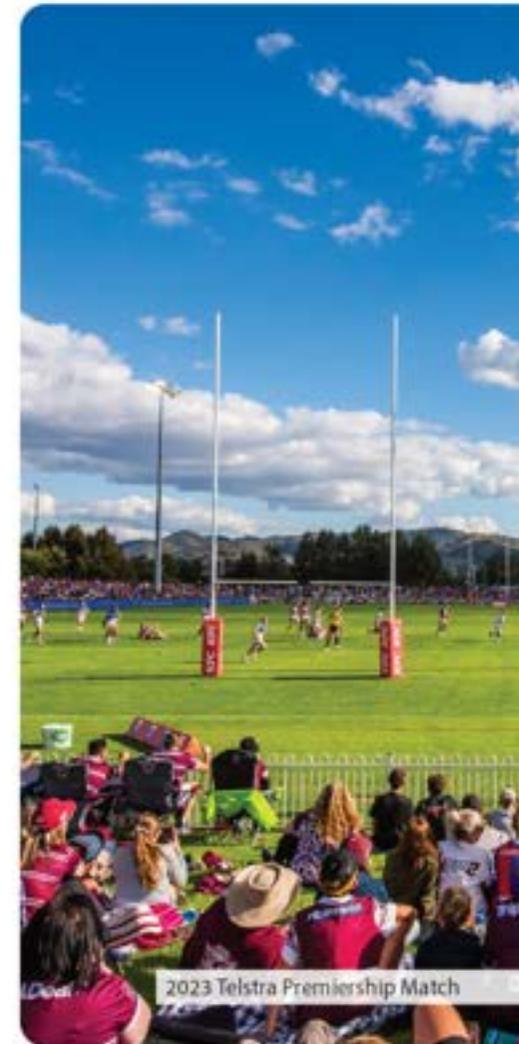
A new hangar is available for lease at Mudgee Airport, enhancing the region's economic infrastructure. This facility is designed to attract aviation-related businesses and bolster the local economy by providing amenities for aircraft storage and maintenance. The addition of this hangar increases the operational capacity of the airport and creates new opportunities for business growth and employment, further contributing to the region's economic development.

Rylstone Caravan Park Upgrades

During the first phase of improvements at the Rylstone Caravan Park, a new amenities structure was constructed. The amenities facility includes restrooms, showers, storage space, laundry area, baby changing station, reception office, and an outdoor camp kitchen. This addition plays a vital role in enhancing the services offered to visitors at the facility. Furthermore, the previous amenities building was dismantled as part of the initial phase of upgrades. Council secured \$154,525 through the NSW Government's Stronger Country Communities Fund, and contributed \$499,809 towards the project.

Business and Economic Profile

Council continues to support local businesses and the broader community through the regular updating of the Business and Economic Profile. This comprehensive resource provides valuable insights into the region's economic landscape, helping businesses make informed decisions and foster economic growth. By keeping this profile current, we ensure that businesses have access to the latest data and trends, enhancing their ability to thrive in our region. This initiative underscores Council's commitment to economic development, offering a vital tool for the community's ongoing success.



KEY ACHIEVEMENTS



Cudgegong Waters Park Upgrades

Council has undertaken substantial improvements at Cudgegong Waters Park, culminating in the construction of a new amenities building. This upgrade includes accessible bathrooms and showers, laundry facility, storage room, and camp kitchen, enhancing the park's facilities and overall visitor experience.

Mudgee Team Training Village

Construction has commenced on the accommodation facility at Mudgee Team Training Village, which will feature 32 individual bedrooms for up to 96 guests with ensembles across two buildings, offering flexible configurations to cater to a range of guest needs.

Designed with modern amenities, the facility will include spacious common areas, lounges, and workspaces, providing comfort and convenience for visitors. The accommodation will complement other village amenities, such as dining and fitness facilities, ensuring a well-rounded experience for all guests.

The village's main facility building is designed to support both training and relaxation, featuring a fully equipped gym

with premium equipment, two seminar rooms and a large dining area alongside a commercial kitchen capable of catering to large groups. Additional amenities include a laundry for guests, games room and prayer room. Outdoors, guests can access hot and cold pools for post-training recovery, as well as a fire pit and BBQ facilities, ideal for team bonding.

Saleyards Subdivision

The Saleyards Lane subdivision in Mudgee has marked significant progress as part of Council's strategic development initiatives. Stage one, completed in 2020, delivered 26 residential lots, all of which have been sold.

The latest subdivision in Stage two at Saleyards Lane offers 22 new residential lots, positioned in proximity to schools, parks, and local amenities. This development provides an excellent opportunity for residents and investors to be part of Mudgee's growing community, with a variety of lot sizes available to suit diverse housing needs. The project underscores Council's commitment to sustainable and well-planned urban growth.



Mudgee Post Office, Mudgee Glow

CONNECTING OUR REGION

KEY ACHIEVEMENTS



Airport Ambulance Waiting Bay

Mudgee Airport's ambulance waiting bay has undergone significant upgrades to enhance conditions for medical personnel and patients. The improvements included the construction and fit-out of two internal rooms, offering a secure and comfortable environment for patients and their families awaiting transfer. Additional enhancements included new signage, updated line marking, and the establishment of dedicated aeromedical parking. The project was supported by \$50,000 from Round 3 of the Australian Government's Regional Airports Program, with matched funding provided by Council.

Urban and Rural Road Reseals Completed

Council has completed the resealing of both urban and rural roads throughout the region. This comprehensive project has been a key part of Council's efforts to maintain and improve the quality of road infrastructure across the region.

Resealing works included Coxs Creek Road, Aarons Pass Road, Lower Plambong Road, Botobolar Road, Queens Pinch Road, Coricudgy Road and Pyramul Road.

The resealing work has significantly improved the condition of the road network, addressing issues such as surface wear and tear, and ensuring safer and more efficient travel for all road users, whilst extending the lifespan of these roads and reducing the need for more extensive repairs.

58.8km Sealed Road Extensions Completed

Over the past term, Council has completed an extensive program of sealed road extensions, totalling 58.8 kilometres. This significant achievement reflects our commitment to improving infrastructure and enhancing connectivity throughout the region.

Footpath Upgrades

Council has completed significant upgrades to pedestrian pathways across the Mid-Western Region. Key improvements were made on Cudgegong Street in Rylstone, Rogers Street extending south toward Dabee Road in Kandos, Tallawang Street to Medley Street in Gulgong, Ulan Road Mudgee and Lions Drive Mudgee. These enhancements have substantially improved pedestrian access and safety in these areas.

KEY ACHIEVEMENTS



Completed Road Projects

Council's commitment to road repairs has seen many upgrades to the region's infrastructure. Recent rehabilitation and widening works have been completed at Honeysuckle Creek, Bylong Valley Way 1.6km; Gollan Road 1km; Wollar Rd 4km and Lue Road 1km. These projects have greatly improved the safety and connectivity of our region.

Bridge at Glen Willow Sporting Complex

The Glen Willow shared pathway is completed, with the path connecting Glen Willow Regional Sporting Complex to Putta Bucca Road. The project includes a bridge over Lawson Creek and provides alternative accessibility to the sporting complex. Roundabouts are being constructed to improve the safety of users of the new transport connection. Council secured \$3.11 million through the NSW Government's Resources for Regions Fund, and \$1.68 million through the Australian Government's Local Roads and Community Infrastructure Program for the transport connection project.

Goodman Creek Bridge

The replacement of this aging infrastructure was funded through the NSW Government's Fixing Country Bridges Program. This initiative, which allocated \$1.2 million to our region, aims to enhance regional connectivity and improve resilience against natural disasters. The new bridge on Spring Creek Road facilitates smoother freight movement and enhances road safety for the community.

Goulburn River Bridge

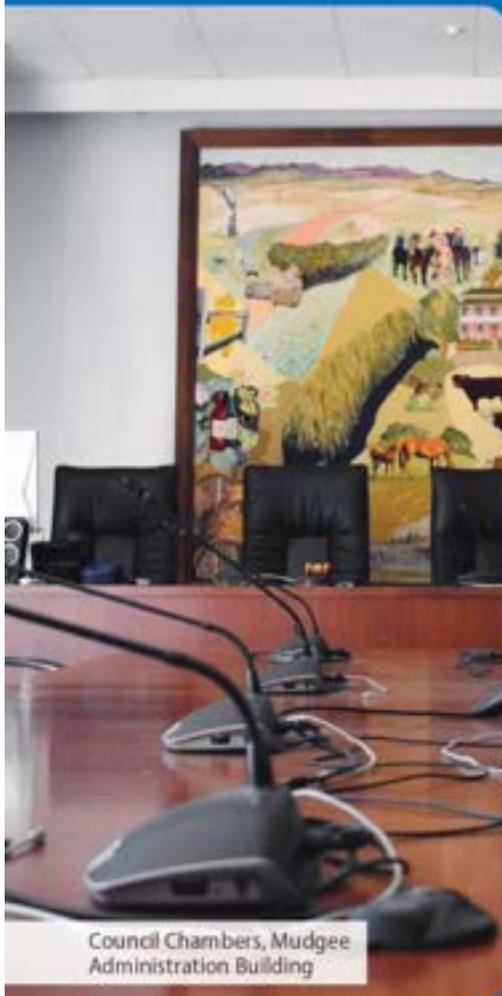
The Goulburn River Bridge project was completed in 2022, providing a wider bridge to replace the 130-year-old structure that had been subject to safety concerns and load restrictions, forcing vehicles, particularly freight, to take a 90km detour via Gulgong to reach Ulan.

The new bridge is specifically designed to accommodate heavy vehicles, including those servicing the coal mines at Ulan. Secured through NSW Government funding, this upgrade ensures safer and more efficient transport for both passenger and freight movements, bolstering the region's infrastructure for years to come.



Bridge at Glen Willow Sporting Complex

GOOD GOVERNMENT KEY ACHIEVEMENTS



Council Chambers, Mudgee
Administration Building

Community Engagement Strategy and Policy

In December 2022 a revised Community Engagement Strategy was adopted to ensure that Council's engagement with the community involves a diverse range of methods to reach all stakeholders so that the community have input in the decision-making processes shaping the Mid-Western Region. The development of this strategy was based on social justice principles, for engagement with the local community when developing plans, determining and prioritising key activities and gathering feedback on services delivered by Council.

Community Satisfaction Survey

Council's Community Satisfaction Survey conducted in 2024, gathers feedback on our organisational performance and identifies community needs and priorities.

The insights obtained from the survey are vital for the development of the Community Plan. This plan defines Council's vision for the future and sets out strategies to achieve our goals.

The results will influence future actions and help ensure that initiatives are aligned with community needs and aspirations.

Mudgee and Gulgong Urban Release Strategy

This Strategy provides a comprehensive residential land audit, analysing zoning, supply and demand trends up to 2041, and infrastructure requirements. The Strategy supports staff in making informed decisions about rezoning land for market release and initiating land use strategy work to plan for future land supply.

Reporting Program Upgrades – Migrating ERP to the Cloud through TechnologyOne

Council successfully migrated its enterprise resource planning (ERP) system to the cloud with TechnologyOne, delivering several key benefits. Cloud access has facilitated remote collaboration, while advanced security protocols and compliance measures safeguard Council data. The system's automatic updates and maintenance ease IT responsibilities, and its disaster recovery capabilities support business continuity. Enhanced analytics and insights have bolstered data-driven decision-making, and aligns with environmental sustainability goals by reducing our carbon footprint. This upgrade has significantly improved Council's agility and adaptability in a dynamic business environment.

Council's New Website

Council launched its new website in December 2021 following a six-month development and testing period. The website was built in-house by the Communications Team utilising the OpenCities platform, sourcing and producing content for the organisation's more than 70 business units and key functions. A major component of this site is the 100+ forms and applications that are now digital and can be submitted online.

Prior to the development, the majority of Council forms and applications were either in PDF soft copy or hard copy format, but neither could be submitted online, nor payments made online. The new site integrates an online booking platform that allows customers to book one of 33 venues available for hire. Its highly accurate search tool has expedited access to information and has seen a notable correlation in the reduction of front counter enquiries allowing Customer Service to perform other critical functions.

PERFORMANCE MEASURES

LOOKING AFTER OUR COMMUNITY



Goal

Performance Measure

Start of term

End of term

A safe and healthy community

An increase in the proportion of people who feel safe in our community



546

Reported assaults in the region

↓ 27



519

Reported assaults in the region



99

99 reported incidents of break and enter

↑ 3



102

102 reported incidents of break and enter



Volunteers assisted with various community activities, including Meals on Wheels, Community Transport, Rotary Clubs of Mudgee and monthly Mudgee Town Hall Cinema operations



150+

Volunteers assisted with various community activities, including Meals on Wheels, Community Transport, Youth Services and the monthly Mudgee Town Hall Cinema operations

Vibrant towns and villages

Development is of a high quality in keeping with the character of our towns and villages



10%

Greater variation is reported to Council for consideration. Development is undertaken in accordance with Council's Development Control Plan



10%

Greater variation is reported to Council for consideration. Development is undertaken in accordance with Council's Development Control Plan

Effective and efficient delivery of infrastructure

An increase in the proportion of people who are satisfied with infrastructure conditions and service levels

17% Very satisfied

38% satisfied
 31% somewhat satisfied
 10% not very satisfied
 4% not at all satisfied

↓ 2%

15% Very satisfied

32% satisfied
 29% somewhat satisfied
 17% not very satisfied
 7% not at all satisfied

PERFORMANCE MEASURES

LOOKING AFTER OUR COMMUNITY



Goal

Effective and efficient delivery of infrastructure

Performance Measure

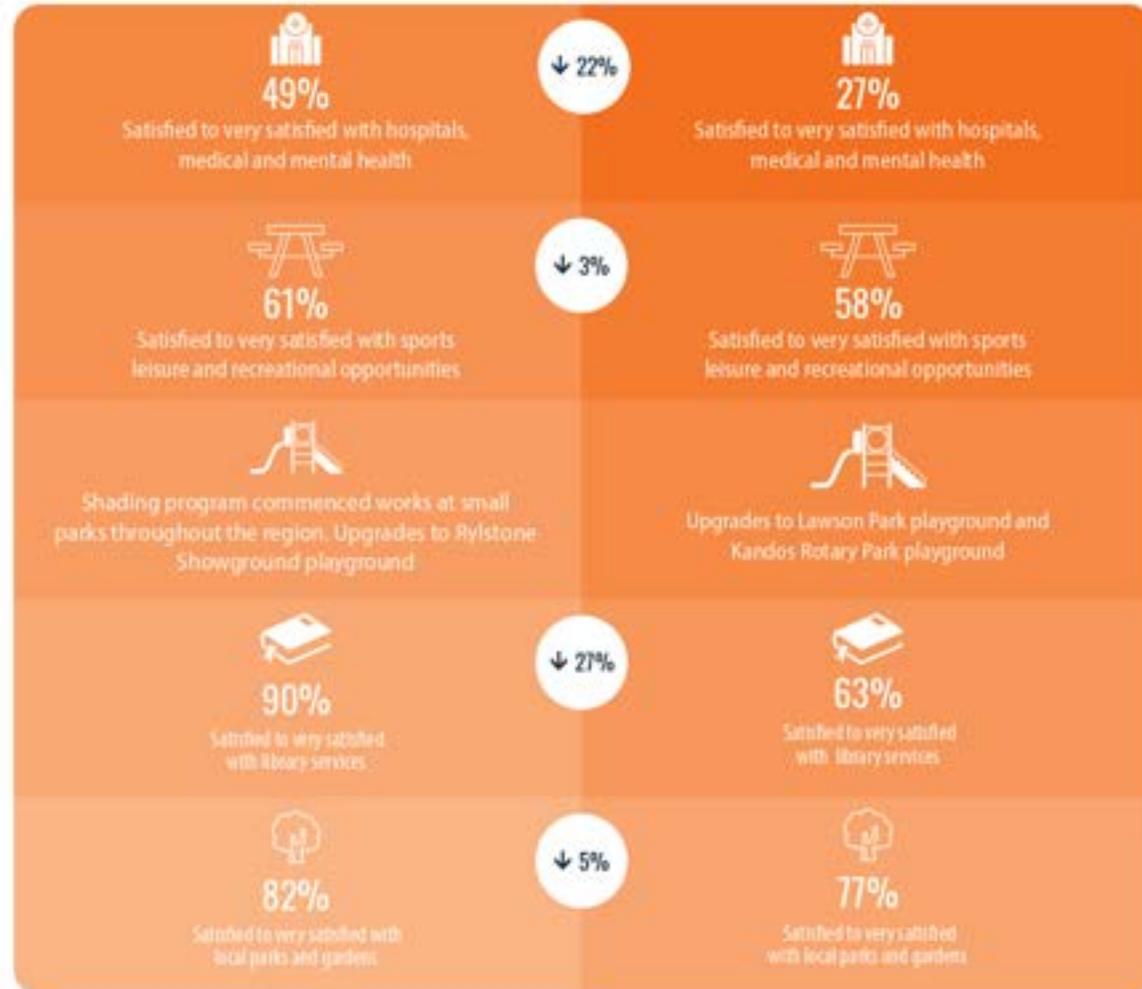
An increase in the proportion of people who feel they have equitable access to community services and facilities to meet their needs

Improved playground and recreational facilities

An increase in the proportion of community members who are satisfied with the range and quality of community and cultural facilities and opportunities

Start of term

End of term



PERFORMANCE MEASURES

LOOKING AFTER OUR COMMUNITY



Goal

Effective and efficient delivery of infrastructure

Performance Measure

An increase in the proportion of community members who are satisfied with the range and quality of community and cultural facilities and opportunities

Start of term



78%

Satisfied to very satisfied with Showgrounds

↓ 8%

End of term



70%

Satisfied to very satisfied with Showgrounds

Meet the diverse needs of the community and create a sense of belonging

An increase in community participation in sporting and recreational activities



3,656

Sports Council participants

↑ 8%



3,957

Sports Council participants



104,279

Swimming Pool visitations

↑ 17%



122,051

Swimming Pool visitations

An increase in the proportion of new housing stock that is affordable housing



Council is investigating affordable housing sites across the local government area to attract key workers to the region



Grant application submitted to secure grant funding towards the construction of affordable key worker housing
 Council has released subdivision for housing at Saleyards Lane, Mudgee

PERFORMANCE MEASURES

PROTECTING OUR NATURAL ENVIRONMENT



Goal

Performance Measure

Start of term

End of term

Protect and enhance our natural environment

Minimise damage to our natural environment from economic activities



Provide total water cycle management

Improved standards of water quality in our waterways

PERFORMANCE MEASURES

PROTECTING OUR NATURAL ENVIRONMENT



Goal

Performance Measure

Start of term

End of term

Provide total water cycle management

Meet best practice management guidelines for water supply

An increase in the use of alternative water sources

- Annual Drinking Water Management System Report provided to Council, NSW Health
- Continued review and completion of line items in Drinking Water Management System Improvement Plan
- Annual Circular 18 Report provided to NSW DPIE

- Annual Drinking Water Management System Report provided to Council, NSW Health
- Continued review and completion of line items in Drinking Water Management System Improvement Plan
- Annual Circular 18 Report provided to NSW DPIE



Council is investigating ways to increase the use of alternative water sources



Council is investigating ways to increase the use of alternative water sources including changing from potable water

Live in a clean and environmentally sustainable way

A reduction in tonnes of waste to landfill per capita



2,563

Tonnes recycled vs diverted waste at Mudgee Waste Facility (eg tyres, mattresses, oil, e-waste)

↓ 28%



2,490

Tonnes recycled vs diverted waste at Mudgee Waste Facility (eg tyres, mattresses, oil, e-waste)



2,828

Tonnes recycle vs diverted waste - FOGO Collection

↓ 26%



2,100

Tonnes recycle vs diverted waste - FOGO Collection



There has not been any increase in the use of alternative energy sources. Council is investigating a solar array



Council has invested in a new solar array with 9,048 panels

PERFORMANCE MEASURES BUILDING A STRONG LOCAL ECONOMY



Goal

Performance Measure

Start of term

End of term

A prosperous and diversified economy

Decreased unemployment



PERFORMANCE MEASURES BUILDING A STRONG LOCAL ECONOMY



Goal

An attractive business and economic environment

Performance Measure

Increased economic activity in the region

Start of term

End of term



An increase in available housing stock

PERFORMANCE MEASURES BUILDING A STRONG LOCAL ECONOMY



Goal

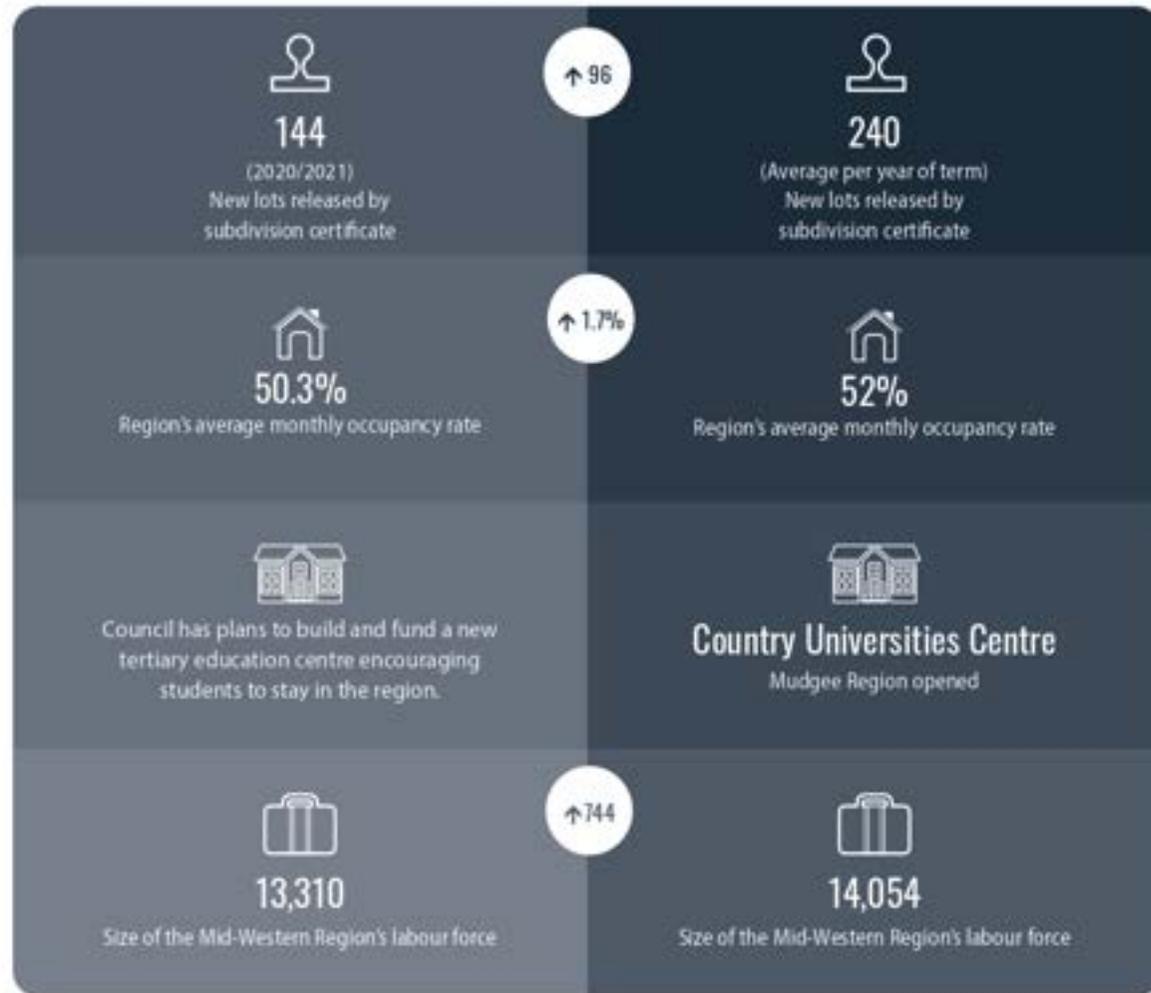
Performance Measure

Start of term

End of term

An attractive business and economic environment

An increase in available housing stock



An increase in the number of visitors

A range of rewarding and fulfilling career opportunities to attract and retain residents

An increase in the availability of educational offerings in the region

An increase in the size of the local labour force

PERFORMANCE MEASURES CONNECTING OUR REGION



Goal

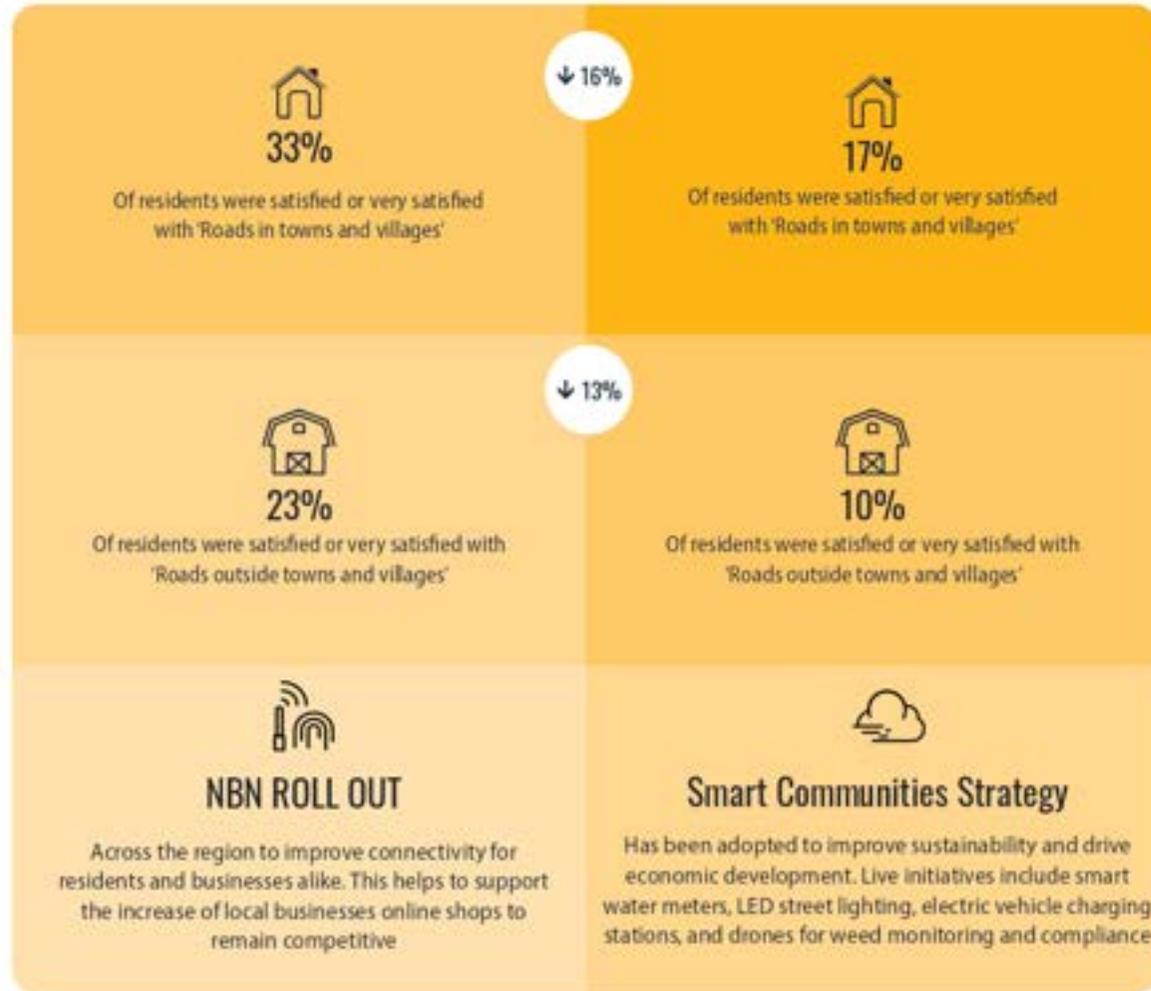
Performance Measure

Start of term

End of term

High quality road network that is safe and efficient

An increase in the proportion of community members who are satisfied with road conditions



Efficient connection of the region to major towns and cities

Increase in the take up of technologies to support lifestyle and economic activities

PERFORMANCE MEASURES CONNECTING OUR REGION



Goal

Performance Measure

Start of term

End of term

Efficient connection of the region to major towns and cities

Improve mobile and broadband coverage across the region

Increase in the average condition of road surfaces

An active travel network within the region

An increase in the availability of viable and affordable public transport options

Increased access to and usage of shared pathways



Council pursued grant opportunities and lobbied for improved mobile coverage and internet speeds. Council received regular updates and raised issues related to NBN rollout and coverage

Connectivity Plan developed

In collaboration with Telstra and NBN which identifies priorities for connectivity infrastructure and can be used to support grant applications to achieve this. Fixed wireless upgrades have been completed in Grattal, Hargraves and Rylstone



2 (good) - 3 (acceptable)

Condition of the sealed roads due to Council's annual Road Seal Program. Unsealed roads have a condition of 3



2 (good) - 3 (acceptable)

Condition of the sealed and unsealed roads due to Council's annual Road Seal Program. This has been affected by flooding in 2022, after which the average conditions for sealed roads were 2 - 3 and unsealed roads were 4 - 5 (poor to failure)



22%

Of residents agree that public transport is adequate and accessible for their needs. Transport for NSW undertook a trial for public transport between Mudgee, Gulgong and Dubbo. Results demonstrated this was under-utilised

↓ 7%



15%

Of residents agree that public transport is adequate and accessible for their needs. New trial bus in Rylstone to Mudgee and Gulgong to Mudgee



Council has renewed numerous footpaths that were in poor condition as well as extended the footpath/cycle-way network in all four of the major centres



850m

Of footpaths upgraded and renewed as prioritised in the Pedestrian Access and Mobility Plan. Council has adopted a new Walking and Cycling Strategy

PERFORMANCE MEASURES GOOD GOVERNMENT



Goal

Performance Measure

Start of term

End of term

Strong civic leadership

Compliance with the Office of Local Government's 'Promoting Better Practice' program



Council has followed guidelines from the 'Promoting Better Practice' program to ensure greater transparency and deliver quality service to the community.



Council now completes Health Check Reports through Local Government NSW. This is a governance health check that assists Councils in providing better services to the community.

Good communication and engagement

An increase in the proportion of community members who are satisfied with the provision of information by Council



51%

Of the community were satisfied to very satisfied with Council's provision of information

↓ 10%



41%

Of the community were satisfied to very satisfied with Council's provision of information



55%

Of residents were satisfied with the way their customer service contact was handled

↑ 3%



58%

Of residents were satisfied with the way their customer service contact was handled

PERFORMANCE MEASURES GOOD GOVERNMENT



Goal

An effective and efficient organisation

Performance Measure

An increase in the percentage of service requests completed within established time frames

Meet Office of Local Government's performance benchmarks

An increase in the percentage of correspondence and other contact acknowledged and completed within 14 days

Start of term

End of term

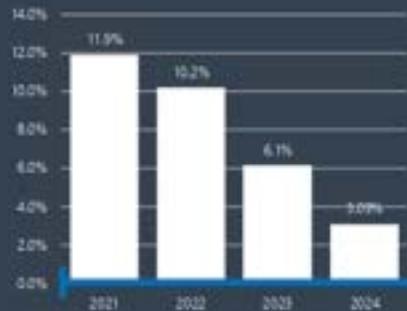


FINANCIAL PERFORMANCE MEASURES

OPERATING PERFORMANCE RATIO

This ratio measures Council's achievement of containing operating expenditure within operating revenue.

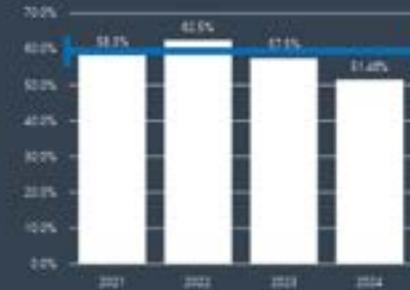
The benchmark is equal to or greater than 0%



OWN SOURCE OPERATING REVENUE

This ratio measures fiscal flexibility. It is the degree of reliance on external funding sources such as operating grants and contributions.

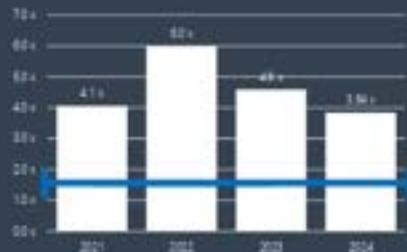
The benchmark is equal to or greater than 60%



UNRESTRICTED CURRENT RATIO

This ratio is designed to assess the adequacy of working capital and its ability to satisfy obligations in the short term for the unrestricted activities of Council.

The benchmark is equal to or greater than 1.5x



RATES, ANNUAL CHARGES, INTEREST AND EXTRA CHARGES OUTSTANDING PERCENTAGE

This ratio is designed to assess the impact of uncollected rates and annual charges on Council's liquidity and the adequacy of recovery efforts.

The benchmark is equal to or less than 10%



DEBT SERVICE COVER RATIO

This ratio measures the availability of operating cash to service debt including interest, principal and lease payments.

The benchmark for this ratio is greater than 2.0x



LOOKING AHEAD

As we reflect on the achievements of this term, Council remains committed to building a sustainable, resilient, and vibrant community. In the coming years, focus will continue to be on fostering economic growth, enhancing community wellbeing, and protecting our region's natural assets.

Key priorities include developing infrastructure that supports population growth, maintaining our position as a major tourism destination, and ensuring our region remains attractive for both new residents and businesses. The ongoing commitment to improving local amenities and expanding services will be vital to meet the needs of our growing community. Addressing housing affordability and availability will be a priority as more people seek to call the region home.

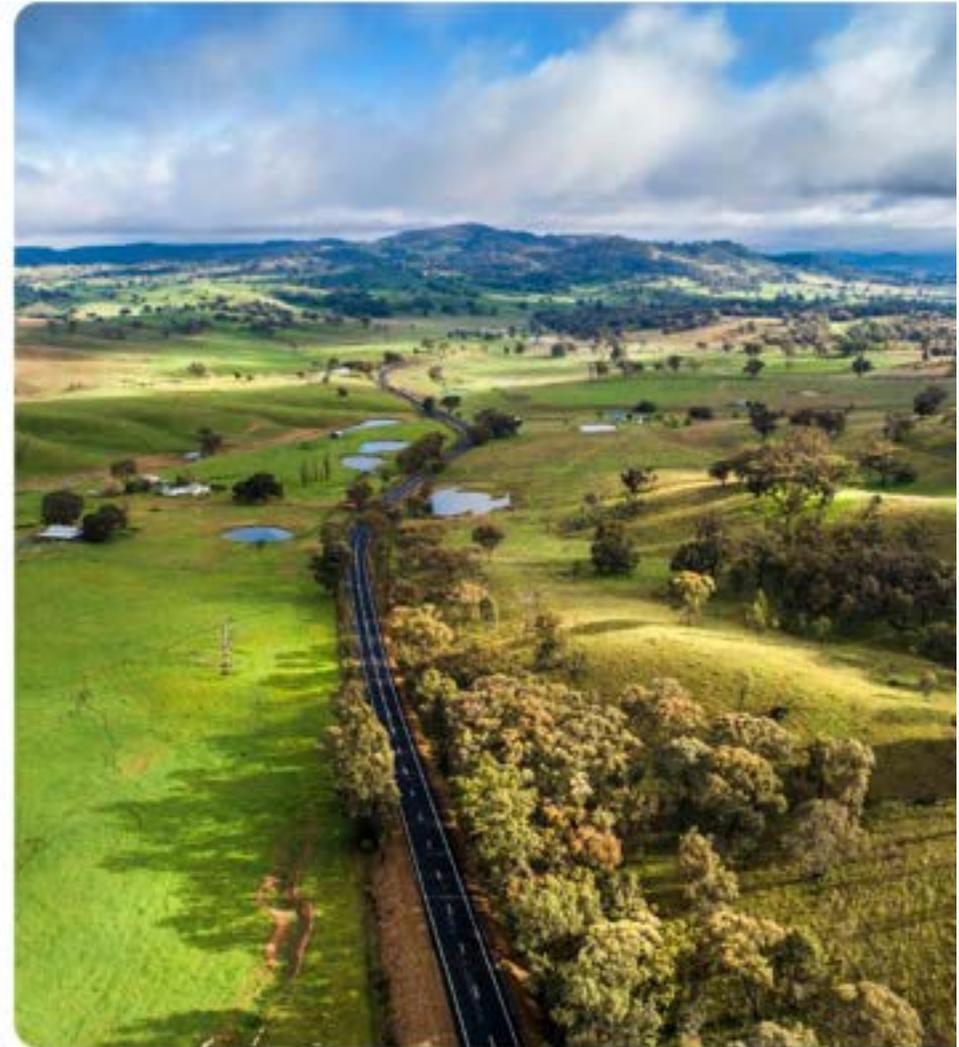
As further developments continue in the Central-West Orana Renewable Energy Zone, balancing development with services and environmental preservation is a significant challenge, as we strive to

protect the landscapes and natural beauty that define and attract tourism to the region.

With a changing minerals sector and forecast closure of coal mines in the future it is vital that the region positions itself for change and invites new industries into the local economic landscape. Planning and strategy is key in ensuring the region's economy remains healthy with continual growth.

Climate resilience is becoming an increasingly important focus, with the need to adapt infrastructure and services to withstand more frequent and intense weather events. Additionally, securing long-term financial sustainability amidst changing economic conditions will require strategic planning and prudent management of resources.

Through collaboration, innovation, and forward-thinking policies, we are confident that we can navigate these challenges and continue to shape a prosperous future for the Mid-Western Region.



midwestern.nsw.gov.au

MID-WESTERN REGIONAL COUNCIL
PO Box 156, Mudgee NSW 2850

86 Market Street MUDGEE
109 Herbert Street GULGONG
77 Louee Street RYLSTONE

Ph: 1300 765 002 or (02) 6378 2850
email: council@midwestern.nsw.gov.au





MID-WESTERN REGIONAL COUNCIL
RECEIVED - HYLSTONE
19 SEP 2024
CUSTOMER SERVICE CENTRE

Application Form

APPLICANTS DETAILS

Name of Organisation	Kandos Rylstone Men's Shed
Contact Person	[REDACTED]
Address	[REDACTED]
Phone	[REDACTED]
Email	[REDACTED]
ABN	63571198084
Bank Account Name	Kandos Rylstone Men's Shed Inc
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	NWRC Rate Relief	
Amount of funding requested	\$ 1,284.00	
Start and Finish date	START (click to link)	FINISH (click to link)
	N/A	N/A
Briefly, describe Project / Activity	This rate relief is to be used for the day to day expenses incurred in the running of the Men's Shed.	

COMMUNITY GRANTS

ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

This grant will be used to fund our Men's Shed's work and help to our local community.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

Our Shed has a current membership of 17. We do small jobs and repairs for the local residents. Also any assistance for local community projects

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

We have a good relationship with the Kandos Community Charity Shop, repairing items for sale and the testing of electrical appliances. We provide assistance to local schools and churches for various projects. Also to local community groups, charities and businesses. For example we make toys free of charge for the Shoebox Appeal and do unpaid work for those in need.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

N/A

COMMUNITY GRANTS

Community Grant (amount sought from Council)	\$ 1,284.00
Project Income	
Expected Sales Revenue i.e. Entry Fee, Membership Sales	
Other Income	
TOTAL INCOME	\$ 1,284.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	\$ 1,284.00
TOTAL EXPENDITURE	\$ 1,284.00

TOTAL SURPLUS / DEFICIT	\$ 0.00
--------------------------------	----------------

If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

N/A

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>

COMMUNITY GRANTS

Has your organisation/group previously received a Community Grant from Council?

YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
---	---

If yes, please advise date and amount

DATE / YEAR 22/11/2023	AMOUNT \$ 1,231.00
---------------------------	-----------------------

Did your group return the acquittal form?

YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
---	---

Closing bank balance from the most recent bank statement or treasurer's report

\$ 3,130.44

Comment on cash set aside for specific projects (optional)

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES <input checked="" type="radio"/>	NO <input type="radio"/>

A copy of the group's/organisation's public liability insurance

YES <input type="radio"/>	NO <input checked="" type="radio"/>
------------------------------	--

Where the group intends to purchase equipment, a copy of the quote/s obtained

YES <input type="radio"/>	NO <input checked="" type="radio"/>
------------------------------	--

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

YES <input type="radio"/>	NO <input checked="" type="radio"/>
------------------------------	--

If your group is not incorporated, please supply a letter from your auspicing body

YES <input type="radio"/>	NO <input checked="" type="radio"/>
------------------------------	--

AUTHORISATION OF APPLICANT

Name

Position

Date

19/09/2024

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
- I am aware that this application will be reproduced in the Council Business Paper, and authorise public release of information provided.

COMMUNITY GRANTS

SUBMIT YOUR APPLICATION

EMAIL: After you complete this digital form, please save it to your computer and email to council@midwestern.nsw.gov.au

DELIVER TO: Customer Service Locations

86 Market Street
MUDGEE

109 Herbert Street
GULGONG

77 Louise Street
RYLSTONE

MAIL TO: Mid-Western Regional Council
Attn: Finance Department
PO Box 156
MUDGEE NSW 2850

SUBMIT ONLINE

COMMUNITY GRANTS POLICY

PRINT MY APPLICATION



Application Form

APPLICANTS DETAILS

Name of Organisation	Kandos Rylstone Film Society Inc
Contact Person	[REDACTED]
Address	PO Box 105 RYLSTONE NSW 2849
Phone	[REDACTED]
Email	[REDACTED]
ABN	67 621 207 383
Bank Account Name	[REDACTED]
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Indoor Screen Purchase and Installation	
Amount of funding requested	\$ 12,481.70	
Start and Finish date	START (click to link)	FINISH (click to link)
	12/10/2024	11/12/2024
Briefly, describe Project / Activity	Install fixed audio-visual equipment, which can be used by all the community, and alleviate the heavy lifting of the existing set up in the Rylstone Memorial Hall. Existing equipment will continue to be made available to other community and school groups. (They will just have to erect it themselves.)	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

The Kandos Rylstone Film Society (KRFS) has been running on a volunteer basis since 2020. KRFS is run by a small band of willing volunteers and to date we have successfully screened 12 movies each year at the Rylstone Hall, the number of attendees each month varies from 35 - 60.
We offer a movie and a meal every month.
The KRFS also supports the local Primary school with its outdoor screen.
The KRFS also support other local not for profit groups by setting up and running screenings for them, we have also supported Kandos CWA by running a movie for the garden fairs.
Kandos and Rylstone are somewhat isolated and many of our patrons would otherwise never get to the movies due to their age and mobility, we supply a great outing for many locals.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

We have records to prove that our monthly movies are attended by 35 - 60 local people and the membership is continuing to grow.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

Twin Town Players also utilise the Rylstone Hall and we have been collaborating with them over the past 4 years, they support our application and if successful will be involved in the placement with the council.
Kandos CWA garden fair.
Watershed Landcare Inc.
Wiradjuni Centre Kandos.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

KRFS have successfully screened a movie every month since 2020.
KRFS also help other community groups with screenings.
Our volunteer group are having trouble erecting the screen & taking it down.

Our volunteers have had knees replaced, loss of fine motor movement in hands making it almost impossible to press the screen onto the frame and the frame is quite heavy, we are in a precarious position of being unable to continue this great service unless we can obtain new volunteers (which has been impossible as we are an aging population & most of the movie goers are in their 70's - late 80's) or obtain a grant to make the running of the movies less labor intensive.

COMMUNITY GRANTS

Project Income	Community Grant (amount sought from Council)	\$ 12,481.70
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	
	Other Income	
TOTAL INCOME		\$ 12,481.70

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure		\$ 12,481.70
TOTAL EXPENDITURE		\$ 12,481.70

TOTAL SURPLUS / DEFICIT	\$ 0.00
--------------------------------	----------------

If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input checked="" type="radio"/>	<input type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>



Has your organisation/group previously received a Community Grant from Council?

YES (click to tick)	NO (click to tick)
<input checked="" type="radio"/>	<input type="radio"/>

If yes, please advise date and amount

DATE / YEAR	AMOUNT
3/2/23	\$ 5,398.00

Did your group return the acquittal form?

YES (click to tick)	NO (click to tick)
<input checked="" type="radio"/>	<input type="radio"/>

Closing bank balance from the most recent bank statement or treasurer's report

\$ 12,902.02

Comment on cash set aside for specific projects (optional)

Cash is set aside for - Public Liability Insurance, Film Society of Australia membership, NSW Fair Trading memberships, Film Royalties, Hall Hire, Replacement and Repair of projector and audio-visual equipment.
Event Funding - Xmas in July Dinner and Christmas Function, reimbursement of cooking costs to volunteers who provide meals and refreshments.

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES	NO
<input checked="" type="radio"/>	<input type="radio"/>

A copy of the group's/organisation's public liability insurance

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the group intends to purchase equipment, a copy of the quote/s obtained

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

If your group is not incorporated, please supply a letter from your auspicing body

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

AUTHORISATION OF APPLICANT

Name

Position

Secretary

Date

16/09/2024

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
- I am aware that this application will be reproduced in the Council Business Paper, and authorise public release of information provided.



SUBMIT YOUR APPLICATION

EMAIL: After you complete this digital form, please save it to your computer and email to council@midwestern.nsw.gov.au

DELIVER TO: Customer Service Locations

88 Market Street
MUDGEE

100 Herbert Street
GULGONG

77 Louisa Street
RYLSTONE

MAIL TO: Mid-Western Regional Council
Attn: Finance Department
PO Box 158
MUDGEE NSW 2850

[SUBMIT ONLINE](#)

[COMMUNITY GRANTS POLICY](#)

[PRINT MY APPLICATION](#)



Application Form

APPLICANTS DETAILS

Name of Organisation	Rotary Club of Mudgee Inc and Rotary Club of Mudgee Sunrise Inc (combined project)
Contact Person	[REDACTED]
Address	[REDACTED]
Phone	[REDACTED]
Email	[REDACTED]
ABN	81995982085
Bank Account Name	[REDACTED]
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Mudgee Showground Carols
Amount of funding requested	\$ 5,000.00
Start and Finish date	START (click to link) Saturday, 21st December, 2024
	FINISH (click to link) Saturday, 21st December, 2024
Briefly, describe Project / Activity	Project/activity is annual celebration of Christmas for Mudgee community. The event gives Mudgee families and others the opportunity to come together to celebrate Christmas in an alcohol-free family environment. Santa lands on Showground in a Commercial Helicopter sponsored helicopter. The event comes to a conclusion with a fantastic fireworks spectacular.



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

The opportunity for members of the Mid-Western Region community to come together to celebrate the Christmas spirit in an alcohol-free environment is very special. The feeling of the evening is one of goodwill and friendship.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

An audience of around 3,500 is expected and around 100 people, including local bands, school choirs, etc., will be part of those leading the crowd with Christmas Carols.

Apart from the 3,500 at the Showground, many cars line the fences to witness the firework finale. Many of these are families with very small children.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

The two Mudgee Rotary clubs work closely together for this event.

We also work with 1st Mudgee Scouts, Mudgee VRA, Mudgee RFS, St John Ambulance and anticipate that in 2024 Mudgee Pre-School Kindergarten will again assist with face-painting.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

The two Mudgee Rotary clubs have run this even very successful for 12 years. We believe the event will be at least as successful as previous years.

In 2022, Mudgee Showground Carols returned to the area near the main pavilion - and this proved as successful as previous years.

It would be appreciated if, as in previous years, Council would also sponsor the Showground hire fee and waive the associated bond.

It would also be appreciated if Council would assist the Mudgee Rotary clubs and Mudgee Showground Carols by sponsoring the erection of the Carols banners in early December and removing them in early January.

COMMUNITY GRANTS

Project Income	Community Grant (amount sought from Council)	\$ 5,000.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	\$ 3,500.00
	Other Income	\$ 36,000.00
TOTAL INCOME		\$ 44,500.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	Audio equipment and fireworks	\$ 31,000.00
	Candles and fees to musical director, camera person, sound tech, etc.	\$ 8,000.00
	Miscellaneous expenses	\$ 500.00
	Donations to assisting organisations	\$ 5,000.00
TOTAL EXPENDITURE		\$ 44,500.00

TOTAL SURPLUS / DEFICIT	\$ 0.00
--------------------------------	----------------

If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

In accordance with our agreement with Mid-Western Regional Council, small profits raised are being consolidated to enable us to build a contingency against poor sponsorship or wet weather in future years.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

Is your group/organisation Incorporated?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>

COMMUNITY GRANTS

Has your organisation/group previously received a Community Grant from Council?

YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
---	---

If yes, please advise date and amount

DATE / YEAR <input type="text"/>	AMOUNT \$ <input type="text"/>
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Did your group return the acquittal form?

YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
---	---

Closing bank balance from the most recent bank statement or treasurer's report

Comment on cash set aside for specific projects (optional)

These funds are part of the contingency being built (as mentioned previously). Between now and Carols, funds are retained to ensure the required cash flow is available to fund Carols, bearing in mind sponsorship is not always available prior to the event. Additional information is available on request - eg. public liability insurance and bank statements.

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES <input type="radio"/>	NO <input checked="" type="radio"/>

A copy of the group's/organisation's public liability insurance

YES <input type="radio"/>	NO <input checked="" type="radio"/>
------------------------------	--

Where the group intends to purchase equipment, a copy of the quote/s obtained

YES <input checked="" type="radio"/>	NO <input type="radio"/>
---	-----------------------------

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

YES <input checked="" type="radio"/>	NO <input type="radio"/>
---	-----------------------------

If your group is not incorporated, please supply a letter from your auspicing body

YES <input checked="" type="radio"/>	NO <input type="radio"/>
---	-----------------------------

AUTHORISATION OF APPLICANT

Name

Position

Date

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
- I am aware that this application will be reproduced in the Council Business Paper, and authorise public release of information provided.

SUBMIT YOUR APPLICATION

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Attn: Finance Department
PO Box 158
MUDGEE NSW 2850

SUBMIT ONLINE

COMMUNITY GRANTS POLICY

PRINT MY APPLICATION





Application Form

APPLICANTS DETAILS

Name of Organisation	Northern NSW Helicopter Rescue Service Limited
Contact Person	[REDACTED]
Address	[REDACTED]
Phone	[REDACTED]
Email	[REDACTED]
ABN	40 002 862 026
Bank Account Name	Westpac
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Contribution to fund an emergency aeromedical mission	
Amount of funding requested	\$ 1,000.00	
Start and Finish date	START (click to link)	FINISH (click to link)
	20/09/2024	31/03/2025
Briefly, describe Project / Activity	We seek your generous support to contribute to the costs of an aeromedical mission we undertake in the Mid Western Council Region within the next year. The Westpac Rescue Helicopter is tasked for pre-hospital emergencies, inter hospital transfers when their condition is time critical or if they cannot be accessed by ground-based emergency services.	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

In our regional and rural operations, our aeromedical service functions as a mobile emergency department, providing critical care and transport for patients with life-threatening conditions. Our rapid response and timely treatment significantly increase the chances of positive outcomes for those in urgent need.

Tasked by NSW Ambulance in response to Triple Zero calls, our vital service meets a clear community need. Since July 2023, we have conducted 10 aeromedical missions in the Mid Western region including emergencies near Mudgee and Bylong, involving motor vehicle accidents, machinery incidents and animal-related injuries. Our mission is to be there for the community 24/7, whenever needed.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

Given the nature of our aeromedical service, resident participation is typically passive, as our missions are activated in response to emergency Triple 000 situations rather than scheduled events. However, the community's awareness and support are crucial. We anticipate strong resident engagement through fundraising efforts, advocacy, and community partnerships, which help sustain and expand our vital services. The community's participation reflects their understanding of the importance of having a reliable, life-saving aeromedical resource available whenever and wherever it's needed. Each year we conduct over 1,500 aeromedical missions from our bases located in Belmont, Lismore and Tamworth.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

The Westpac Rescue Helicopter Service relies on the generous support of our community, to help fundraise over \$14M each year, with funding being a collaborative effort through various channels.

Donations are a vital part of sustaining our mission, encompassing , major sponsorships and corporate support from companies such as Westpac, Council grants, workplace giving programs, individual contributions, bequests, major events, Volunteer support (6 Op Shops and 38 Volunteer Support groups) thanks to over 850 registered volunteers, and funding from philanthropic trusts and foundations.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

Our organisation has a proven track record of delivering critical aeromedical services across regional and rural areas, functioning as a mobile emergency department. Operating since 1975, we have consistently demonstrated our capacity to respond swiftly and effectively to life-threatening emergency situations.

Tasked by NSW Ambulance, we conduct over 1,500 missions per year, serving a population of 1.5 million across Northern NSW providing rapid medical intervention and transport for patients in urgent need. Our highly trained Rescue Crews and helicopter fleet are equipped to manage a wide range of emergencies, from motor vehicle accidents to complex medical conditions, to search and rescue missions over land and water. Our commitment to being available 24/7 ensures that we can meet the needs of the community whenever required.

COMMUNITY GRANTS

Project Income	Community Grant (amount sought from Council)	\$ 1,000.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	\$ 0.00
	Other Income	\$ 0.00
TOTAL INCOME		\$ 1,000.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	

TOTAL EXPENDITURE	\$ 0.00
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TOTAL SURPLUS / DEFICIT	\$ 1,000.00
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If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input checked="" type="radio"/>	<input type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>

COMMUNITY GRANTS

Has your organisation/group previously received a Community Grant from Council?

YES (click to tick) <input type="radio"/>	NO (click to tick) <input checked="" type="radio"/>
--	--

If yes, please advise date and amount

DATE / YEAR <input type="text"/>	AMOUNT \$ <input type="text"/>
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Did your group return the acquittal form?

YES (click to tick) <input type="radio"/>	NO (click to tick) <input checked="" type="radio"/>
--	--

Closing bank balance from the most recent bank statement or treasurer's report

\$ 5,312,568.00

Comment on cash set aside for specific projects (optional)

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES <input checked="" type="radio"/>	NO <input type="radio"/>

A copy of the group's/organisation's public liability insurance

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the group intends to purchase equipment, a copy of the quote/s obtained

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

If your group is not incorporated, please supply a letter from your auspicing body

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

AUTHORISATION OF APPLICANT

Name

Position

Grants Officer

Date

22 8 24

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
- I am aware that this application will be reproduced in the Council Business Paper, and authorise public release of information provided.



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PO Box 158
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Application Form

APPLICANTS DETAILS

Name of Organisation	Kandos Rylstone Community Radio Inc
Contact Person	[REDACTED]
Address	[REDACTED]
Phone	[REDACTED]
Email	[REDACTED]
ABN	99 620 347 393
Bank Account Name	[REDACTED]
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Monthly District Community Capers Newsletter	
Amount of funding requested	\$ 12,000.00	
Start and Finish date	START (click to link)	FINISH (click to link)
	01/07/2024	30/06/2025
Briefly, describe Project / Activity	Publish and distribute monthly district community newsletter Community Capers across the region.	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

Through publicising events, items of interest, community announcements and services across a range of providers each month. Through acknowledging residents and organisations that deserve recognition each month and publicising government grants that benefit our region. Community Capers has a strong focus on promoting tourism across the Mid-Western Region and strongly publicizes all sporting, food and drink events and other major events across our four main towns.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

The newsletter is available to residents and visitors across the district every month at many locations around Rylstone and Kandos. It is sent to all rural mailboxes and all PO Boxes. It is also available at information outlets in Mudgee, Rylstone and Kandos and Council's offices in Mudgee and Rylstone. Community Capers is available in colour on KRR's website at krrfm.org.au and the rylstone.com website. Participants include over 20 organisations and groups who contact us regularly with updates and requests to be included in our newsletter.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

The newsletter has been published for over 25 years. We are supported by a number of community groups including Rotary, Scouts, Fire Brigades, Rescue Squad, Kandos and Rylstone CWA, Cementa, Rylstone Kandos Show Society, Rylstone and Mudgee Swap meets, Rylstone and Kandos Community Markets, Rylstone and District Historical Society, Kandos Museum, the Charity Shop - Kandos, Rylstone District Environment Society, Rylstone District Care and Transport, Meals on Wheels and Rylstone StreetFeast. Many other community groups also contact Community Capers each month to update information or place new information. We also support and include information and news releases sent to us by Mid-Western Regional Council. Community volunteers help fold and distribute the newsletter each month.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

Kandos Rylstone Community Radio took over the publishing of Community Capers from the local business group more than 15 years ago. It is printed in Mudgee by Lynx Printing Service and is folded and distributed each month by a group of volunteers from KRR and the community. We are now currently publishing issue number 305.

COMMUNITY GRANTS

Project Income	Community Grant (amount sought from Council)	\$ 12,000.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	\$ 4,890.00
	Other Income	
TOTAL INCOME		\$ 16,890.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	Printing	\$ 8,650.00
	Postage and Delivery	\$ 2,700.00
	Edrting, Layout and Distribution	\$ 5,500.00
TOTAL EXPENDITURE		\$ 16,850.00

TOTAL SURPLUS / DEFICIT	\$ 40.00
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If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

Our application shows a surplus of \$40.00. This amount will be used to cover unexpected costs incurred during the year such as increased postage or printing fees.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>

COMMUNITY GRANTS

Has your organisation/group previously received a Community Grant from Council?

YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
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If yes, please advise date and amount

DATE / YEAR 01/07/2023	AMOUNT \$ 12,000.00
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Did your group return the acquittal form?

YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
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Closing bank balance from the most recent bank statement or treasurer's report

\$ 15,306.49

Comment on cash set aside for specific projects (optional)

Our annual licence fees, news broadcast fees and CBAA membership fees are due this month and will cost around \$5,500. This will leave us with a balance of around \$10,000. A massive equipment failure such as a transmitter could cost in the vicinity of \$10,000.

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES <input checked="" type="radio"/>	NO <input type="radio"/>

A copy of the group's/organisation's public liability insurance

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the group intends to purchase equipment, a copy of the quote/s obtained

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

If your group is not incorporated, please supply a letter from your auspicing body

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

AUTHORISATION OF APPLICANT

Name

[REDACTED]

Position

President

Date

04/07/2024

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
- I am aware that this application will be reproduced in the Council Business Paper, and authorise public release of information provided.

SUBMIT YOUR APPLICATION

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Attn: Finance Department
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Application Form

APPLICANTS DETAILS

Name of Organisation	Gulgong Memorial Hall Committee
Contact Person	[REDACTED]
Address	[REDACTED]
Phone	[REDACTED]
Email	[REDACTED]
ABN	N/A
Bank Account Name	
BSB	
Account Number	

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Gulgong Christmas Celebration	
Amount of funding requested	\$ 5,000.00	
Start and Finish date	START (click to link)	FINISH (click to link)
	14/12/24	14/12/24
Briefly, describe Project / Activity	A community family event to celebrate Christmas for the residents of Gulgong and surrounding areas.	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

It is an opportunity for people to get together and socialize, COVID restrictions permitting! And for the children to have their photo's with Santa.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

200 - 300

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

We are hoping to include many local groups, including Rural Fire Brigade, Local Schools, Gulgong Men's Shed, Rugby Club, etc.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

We have run this activity for many years, and have proven our ability to run a successful event. Previous events included jumping castles, photos with Santa, BBQ music, chocolate wheel, face painting, fairy floss, water slide etc.

COMMUNITY GRANTS

Project Income	Community Grant (amount sought from Council)	\$ 5,000.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	
	Other Income	\$ 1,000.00
TOTAL INCOME		\$ 6,000.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	Equipment - jumping castle	\$ 700.00
	activities e.g. water pistols, tattoos,	\$ 850.00
	Entertainment	\$ 450.00
	community groups support	\$ 1,500.00
	Food and Drink	\$ 1,800.00
	Sanitary Photos	\$ 600.00
TOTAL EXPENDITURE		\$ 5,900.00

TOTAL SURPLUS / DEFICIT	\$ 100.00
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If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

Any excess funds will be returned to Council.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input type="radio"/>	<input checked="" type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input type="radio"/>	<input checked="" type="radio"/>



Has your organisation/group previously received a Community Grant from Council?

YES (click to tick)	NO (click to tick)
<input checked="" type="radio"/>	<input type="radio"/>

If yes, please advise date and amount

DATE / YEAR	AMOUNT
2023	\$ 3,000.00

Did your group return the acquittal form?

YES (click to tick)	NO (click to tick)
<input checked="" type="radio"/>	<input type="radio"/>

Closing bank balance from the most recent bank statement or treasurer's report

\$ 1,041.84

Comment on cash set aside for specific projects (optional)

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES	NO
<input checked="" type="radio"/>	<input type="radio"/>

A copy of the group's/organisation's public liability insurance

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the group intends to purchase equipment, a copy of the quote/s obtained

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

If your group is not incorporated, please supply a letter from your auspicing body

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

AUTHORISATION OF APPLICANT

Name

Position

Secretary

Date

1st August 2024

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
- I am aware that this application will be reproduced in the Council Business Paper, and authorise public release of information provided.



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Application Form

APPLICANTS DETAILS

Name of Organisation	Mudgee Arts Council Inc
Contact Person	[REDACTED]
Address	7 [REDACTED] M [REDACTED]
Phone	0 [REDACTED]
Email	m [REDACTED]
ABN	21 557 410 913
Bank Account Name	[REDACTED]
BSB	
Account Number	

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Kiddallon groundskeeping	
Amount of funding requested	\$ 6,490.00	
Start and Finish date	START (click to link)	FINISH (click to link)
	1/12/24	30/06/25
Briefly, describe Project / Activity	<p>This grant would allow the Mudgee Arts Council to purchase a John Deere S120 ride-on mower for the maintenance of the community arts facility Kiddallon Education Centre. The Arts Council, which rents Kiddallon from MWRC, is a consortium of five community groups that use and manage this facility. The mower would assist us in better looking after this community asset.</p>	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

Ongoing maintenance will respect and enhance the historic Kildallon house, and ensure safe and appealing access to numerous high quality and accessible cultural and education programs for all ages and abilities.
By providing facilities for rehearsals, classes, performances and more, Kildallon gives equitable access to a range of places and spaces for all in the community.
The collaborative partnership between users strengthens the relationships between local community groups.
The mission of Kildallon, to provide a local home for multiple arts and education organisations, supports arts and cultural development across the region.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

Kildallon receives 2000 visits per month, based on usage records kept by the five volunteer organisations that make up the Arts Council. Additionally, music teachers and music students visit every weekday afternoon, and the Country University Centre has more than 100 student members. The upkeep of the grounds also keeps the facility tidy for events that are open to even more members of the public, including performances and fairs.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

The Mudgee Arts Council, which rents the Kildallon building from council, is a collaboration between five community groups who have their homes at Kildallon - Mudgee Performing Arts Society, Mudgee Concert Band, Mudgee Readers' Festival, Cudgegong Canera Club, and the seniors education group University of the Third Age which is the biggest user of the site with 217 members, and 38 social, intellectual, practical and physical classes presented by local volunteers. Additionally, Kildallon is used by many local music teachers who hire rooms, the Kindemusik children's music class, and the Country Universities Centre. All these groups benefit from the building and grounds being maintained for safety and visual appeal and have supported this grant application.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

Mudgee Arts Council has managed and maintained Kildallon since 2022, paying rent regularly to council and keeping a Memorandum of Understanding and a good working relationship with MWRC. The grounds are currently mown by a volunteer member of the Mudgee Arts Council using his own mower, and rather than leave this job resting on one volunteer and his vehicle, we would like to purchase a mower to continue to maintain this wonderful public asset. Our volunteer mower and the broader organisation have proven our ability to protect and improve Kildallon and to work with council.

COMMUNITY GRANTS

Project Income	Community Grant (amount sought from Council)	\$ 6,490.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	
	Other Income	
TOTAL INCOME		\$ 6,490.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	John Deere S120 ride-on mower	\$ 6,490.00
TOTAL EXPENDITURE		\$ 6,490.00

TOTAL SURPLUS / DEFICIT	\$ 0.00
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If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

Any small surplus will be used on fuel for the mower.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>



Has your organisation/group previously received a Community Grant from Council?

YES (click to tick) <input type="radio"/>	NO (click to tick) <input checked="" type="radio"/>
--	--

If yes, please advise date and amount

DATE / YEAR <input type="text"/>	AMOUNT \$ <input type="text"/>
-------------------------------------	-----------------------------------

Did your group return the acquittal form?

YES (click to tick) <input type="radio"/>	NO (click to tick) <input checked="" type="radio"/>
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Closing bank balance from the most recent bank statement or treasurer's report

\$ 8,765.72

Comment on cash set aside for specific projects (optional)

Cash reserves are used for cleaning, maintenance, community projects, rent to council, insurance. Income is from grants, fundraisers, and room hire.

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES	NO
<input checked="" type="radio"/>	<input type="radio"/>

A copy of the group's/organisation's public liability insurance

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the group intends to purchase equipment, a copy of the quote/s obtained

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

If your group is not incorporated, please supply a letter from your auspicing body

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

AUTHORISATION OF APPLICANT

Name

Position

Date

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
- I am aware that this application will be reproduced in the Council Business Paper, and authorise public release of information provided.

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109 Herbert Street
GULGONG

77 Louisa Street
RYLSTONE

MAIL TO: Mid-Western Regional Council
Attn: Finance Department
PO Box 158
MUDGEE NSW 2850

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Application Form

APPLICANTS DETAILS

Name of Organisation	Mudgee Readers' Festival
Contact Person	[REDACTED]
Address	[REDACTED]
Phone	[REDACTED]
Email	[REDACTED]
ABN	35 862 941 318
Bank Account Name	Mudgee Readers Festival Inc
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Annual Readers' Festival Events	
Amount of funding requested	\$ 1,240.00	
Start and Finish date	START (click to link)	FINISH (click to link)
	17/08/2024	19/08/2024
Briefly, describe Project / Activity	Annual readers' festival events. The volunteer led Mudgee Readers' Festival organises author talks and sessions over two days. Plus Book Lovers' Trivia Fundraising Night on 16/8!	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

The Mudgee Readers' Festival helps to contribute to the Mid-Western Region's cultural identity. We collaborate with the local Aboriginal Lands Council, local cultural groups and bring best-selling authors to the region to ensure events across the weekend attract locals and visitors alike.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

200-500 local residents plus tourists.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

We collaborate with the Aboriginal Land Council for a 'Zine' Project, the local library, a myriad of local businesses to help facilitate the events, as well as local and visiting creatives.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

The Mudgee Readers' Festival has been operating successfully since 2010, and we have held particular events in the Town Hall Theatre for many years in the past.

COMMUNITY GRANTS

Project Income	Community Grant (amount sought from Council)	\$ 1,240.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	\$ 0.00
	Other Income	
TOTAL INCOME		\$ 1,240.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure		
TOTAL EXPENDITURE		\$ 0.00

TOTAL SURPLUS / DEFICIT	\$ 1,240.00
--------------------------------	--------------------

If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

The grant money will be used to pay for the hire fee of the Town Hall Theatre for the days of the festival and the booking on the 11/6/24. We would like as many people to book the events as possible but make them free to access for the community, so we won't be collecting any revenue for events that are utilised by this grant.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input checked="" type="radio"/>	<input type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>



Has your organisation/group previously received a Community Grant from Council?

YES (click to tick)	NO (click to tick)
<input checked="" type="radio"/>	<input type="radio"/>

If yes, please advise date and amount

DATE / YEAR	AMOUNT
2023	\$ 476.00

Did your group return the acquittal form?

YES (click to tick)	NO (click to tick)
<input type="radio"/>	<input checked="" type="radio"/>

Closing bank balance from the most recent bank statement or treasurer's report

Comment on cash set aside for specific projects (optional)

Unsure of previous council grants for Town Hall booking.

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES	NO
<input checked="" type="radio"/>	<input type="radio"/>

A copy of the group's/organisation's public liability insurance

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the group intends to purchase equipment, a copy of the quote/s obtained

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

If your group is not incorporated, please supply a letter from your auspicing body

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

AUTHORISATION OF APPLICANT

Name

Position

Date

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
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Application Form

APPLICANTS DETAILS

Name of Organisation	Riding for the disabled association NSW, Mudgee centre
Contact Person	[REDACTED]
Address	Mudgee Showground
Phone	[REDACTED]
Email	[REDACTED]
ABN	92553932696
Bank Account Name	[REDACTED]
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Providing the boys with a home	
Amount of funding requested		
Start and Finish date	START (click to link)	FINISH (click to link)
	01/08/2024	01/01/2025
Briefly, describe Project / Activity	Coving the agistment of 2 of the horses for RDA	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

It will enable our participants with disabilities from Mudgee and Gulgong the opportunity to have 5 horses available for equine therapy close at hand

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

35 participants, plus 2 schools, Life skills plus and their support network and families.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

Mudgee Public school
Gulgong public school
Cudgegong valley public school
Lifeskills plus Mudgee

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

Every Wednesday of school term we provide equine therapy to the disabled community. We need to agist 2 of the 5 horses in town in order for us to be able to facilitate transportation of the horses to the showground for the program.
We have the use of 1 vehicle that can tow 2 horses at a time. 2 horses are bought in from upper Botobolar and time constraints do not allow us to do the trip twice so we agist the horses at allawah in Mudgee.

COMMUNITY GRANTS

Project Income	Community Grant (amount sought from Council)	\$ 5,797.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	\$ 0.00
	Other Income	\$ 0.00
TOTAL INCOME		\$ 5,797.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	Theo	\$ 2,898.50
	Toby	\$ 2,898.50

TOTAL EXPENDITURE	\$ 5,797.00
--------------------------	--------------------

TOTAL SURPLUS / DEFICIT	\$ 0.00
--------------------------------	----------------

If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input type="radio"/>	<input checked="" type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>



Has your organisation/group previously received a Community Grant from Council?

YES (click to tick) <input type="radio"/>	NO (click to tick) <input checked="" type="radio"/>
--	--

If yes, please advise date and amount

DATE / YEAR <input type="text"/>	AMOUNT \$ <input type="text"/>
-------------------------------------	-----------------------------------

Did your group return the acquittal form?

YES (click to tick) <input type="radio"/>	NO (click to tick) <input checked="" type="radio"/>
--	--

Closing bank balance from the most recent bank statement or treasurer's report

\$ 38,911.82

Comment on cash set aside for specific projects (optional)

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

	SUPPLIED? (click to tick)	
	YES	NO
A copy of the group's/organisation's most recent bank statement or treasurer's report	<input checked="" type="radio"/>	<input type="radio"/>
A copy of the group's/organisation's public liability insurance	<input checked="" type="radio"/>	<input type="radio"/>
Where the group intends to purchase equipment, a copy of the quote/s obtained	<input checked="" type="radio"/>	<input type="radio"/>
Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required	<input checked="" type="radio"/>	<input type="radio"/>
If your group is not incorporated, please supply a letter from your auspicing body	<input checked="" type="radio"/>	<input type="radio"/>

AUTHORISATION OF APPLICANT

Name	<div style="background-color: black; width: 100px; height: 15px;"></div>
Position	President
Date	20/07/2024

- I confirm that the information contained in the application form and within the attachments are true and correct.
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COMMUNITY GRANTS POLICY

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Application Form

APPLICANTS DETAILS

Name of Organisation	Western Region Academy of Sport Inc (WRAS)
Contact Person	[REDACTED]
Address	[REDACTED]
Phone	[REDACTED]
Email	[REDACTED]
ABN	71 734 318 096
Bank Account Name	Western Region Academy of Sport
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Annual operation of the Western Region Academy of Sport	
Amount of funding requested	\$ 1,662.00	
Start and Finish date	START (click to link)	FINISH (click to link)
	01 July 2024	30 June 2025
Briefly, describe Project / Activity	WRAS provides regional athletes and coaches with pathways to progress to higher levels of sports representation. Athletes receive intensive training sessions, education, sports performance support and elite level competition. WRAS members receive opportunities not necessarily available to other regional sportspeople.	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

Athletes selected in WRAS programs are provided with opportunities to be identified by State Sporting Organisations and progress to higher levels of sports representation. WRAS also focuses on athletes' holistic development through off-field education helping them to become excellent role models in their community. Local sporting associations benefit from the enhanced skills and knowledge of WRAS coaches, managers and umpires when they volunteer in their hometowns. WRAS supports Mid-Western local business paying a local gym to provide weekly sessions for athletes, paying for basketball court hire and pool usage, accommodation and hotels to host an inter-academy triathlon camp with athletes attending from across NSW and the ACT. WRAS members from the Mid-Western region are supported with travel subsidies when it is necessary to travel outside the region for elite level competitions.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

In 2024/25 WRAS will conduct programs for athletics, basketball, cycling, golf, high-performance, hockey, Indigenous talent, future stars, netball, netball umpires, para-sport and triathlon. Nominations for these programs open in July and August 2024. Mid-Western athletes and coaches are encouraged to apply for positions in these programs. Information will be available on the WRAS website, Facebook and emailed to local sporting associations. Community members are able to apply for positions on the WRAS Board of Management - advised in April prior to the AGM in May each year.
In 2023/24 - 13 Mid-Western community members were involved with WRAS - 6 basketball, 1 triathlon, 1 hockey, 1 Indigenous talent program and 3 netball. 1 basketball coach was appointed to join the WRAS basketball squad staff team.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

WRAS shares information about our programs for talented junior athletes with regional sporting associations and schools to ensure athletes and coaches are aware of the opportunities available to them.
Each year WRAS provide Councillors with information about WRAS athletes in the Mid-Western Regional Council area. A copy of the 2023-24 summary is attached. The WRAS Executive Officer met with Mid-Western Regional Councillors in 2023 to provide further information about WRAS programs and the support provided to local athletes and coaches.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

WRAS has been operating since 1991 and has granted scholarships to nearly 5000 athletes from the 17 LGAs in our catchment. In 2023/24 WRAS supported 138 athletes and 23 regional coaches and managers.
Many WRAS graduates have gone on to represent NSW or Australia in their chosen sport including Paralympian Kurt Fearnley and cyclist Mark Renshaw. WRAS will be represented at the 2024 Olympic and Paralympic Games by Lachlan Sharp (hockey) and Emilie Miller (wheelchair rugby).
Mid-Western and WRAS graduate athlete, Alesha Bennetts (WRAS athlete from 2020-2022) will represent Australia at the U20 World Athletics Championships in Lima, Peru for the 400m hurdles event.

COMMUNITY GRANTS

Project Income	Community Grant (amount sought from Council)	\$ 1,002.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	\$ 88,000.00
	Other Income	\$ 462,428.00
TOTAL INCOME		\$ 533,090.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	Sports programs	\$ 121,800.00
	Education	\$ 10,000.00
	Travel	\$ 40,000.00
	Staff	\$ 320,000.00
	Operating expenses	\$ 12,000.00
TOTAL EXPENDITURE		\$ 503,800.00

TOTAL SURPLUS / DEFICIT	\$ 29,290.00
--------------------------------	---------------------

If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

WRAS is a not-for-profit organisation supported by an annual contribution from the NSW Government. It is expected that WRAS maintains a cash reserve equivalent to at least 12-18 months operating expenses. Any surplus goes towards this goal.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

Is your group/organisation Incorporated?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>

COMMUNITY GRANTS

Has your organisation/group previously received a Community Grant from Council?

YES (click to tick)	NO (click to tick)
<input checked="" type="radio"/>	<input type="radio"/>

If yes, please advise date and amount

DATE / YEAR	AMOUNT
2023	\$ 2,500.00

Did your group return the acquittal form?

YES (click to tick)	NO (click to tick)
<input checked="" type="radio"/>	<input type="radio"/>

Closing bank balance from the most recent bank statement or treasurer's report

\$ 506,386.33

Comment on cash set aside for specific projects (optional)

WRAS audited financial statements for year ended 31 December 2023 have been provided to Council (not approved for publication). WRAS is a not for profit organisation supported by annual contributions from the NSW Government. WRAS is expected to maintain cash reserve equivalent to >12 months operating expenses. Unspent \$ from one program are spent on future programs.

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES	NO
<input checked="" type="radio"/>	<input type="radio"/>

A copy of the group's/organisation's public liability insurance

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the group intends to purchase equipment, a copy of the quote/s obtained

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

If your group is not incorporated, please supply a letter from your auspicing body

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

AUTHORISATION OF APPLICANT

Name

[REDACTED]

Position

Executive Officer

Date

17 July 2024

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
- I am aware that this application will be reproduced in the Council Business Paper, and authorise public release of information provided.



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**Kandos Museum Incorporated**

ABN 26 432 815 374



Mr Brad Cam
General Manager
Mid-Western Regional Council
Market St
Mudgee NSW 2850

22 July 2024

Dear Sir,

Re: Rates at Kandos Station

We have been in dispute for 12 months or more as to whether the rates are payable by the museum on the property generally referred to as Kandos Railway Station.

The museum enjoys a license from the owners of the station, the Transport Asset Holding Entity (TAHE), to use the station on a non-exclusive basis for community purposes.

It is our understanding, based upon advice, that the property is not rateable and that our use does not make it so.

Further, it is our understanding that you are the recipient of advice to the contrary.

You assert that we owe you money for rates and charges in arrears whilst we contend that it you that owe us money for rates and charges that have been levied and paid in the past.

We understand that you do not wish to test your position by this matter proceeding at court and we see no benefit for either party in doing so.

You have suggested that we make an application to you for financial support through your Community Grants programme as a way of recognising and supporting the museum in its efforts to ensure that the station, a landmark in Kandos, does not fall into neglect.

Without Prejudice

In light of our conversation of Thursday last, 18th July, we suggest:

- 1) That the council grant a quantum to meet the rates and charges for the Kandos Station for the period of 5 years to be applied from the date 1st July 2023 until the date 30th June 2028, spanning 5 fiscal years and as they arise.
- 2) That the museum withdraws its claim against you.

Kandos Museum – Always an event

- 3) That to aid the museum in the ongoing care and maintenance of the station grounds and the museum gardens, that the grant be extended to include the gardening equipment itemised and that these funds be released with in the coming month or so.

In anticipation of you finding this suggestion acceptable we have completed a Community Grants application form containing a crude estimate of the rates and charges. You will also find following a quotation for the gardening equipment listed below.

Gardening Equipment

Toro Lawn Mower – Model 21864	\$1609
Toro Leaf Blower (skin) – Model 57825T	\$179
Toro Hedge Trimmer (skin) – Model 51855T	\$199
Toro String Trimmer (skin) – Model 51835T	\$239
Toro 60V, 2.5Ah Battery – Model 81825	\$214
Toro 60V, 2A Battery Charger – Model 81802	\$85
Total	\$2525 inc GST

We hope that you will find our suggestion satisfactory. We would appreciate your indication in early course.



President, Kandos Museum Inc.



Application Form

APPLICANTS DETAILS

Name of Organisation	Kandos Museum Inc
Contact Person	[REDACTED]
Address	[REDACTED]
Phone	[REDACTED]
Email	[REDACTED]
ABN	26432815374
Bank Account Name	Kandos Museum
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Kandos Railway Station Rates and garden activity support	
Amount of funding requested	\$ 12,525.00	
Start and Finish date	START (click to tick)	FINISH (click to tick)
	1 July 2023	30 June 2028
Briefly, describe Project / Activity	Maintain and use the Kandos Railway Station and its gardens.	

COMMUNITYGRANTS

ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Please limit number of characters)

This funding will enable the museum to continue to support the Kandos community through its use of and tending of the Kandos Railway Station.
The station is at the entry point to the centre of Kandos and its appearance is a key determinant to how the township is regarded by visitors and locals alike.
The station also plays a key role in community activities, such as Cementa, and it would be a poor reflection upon the town and LGA (and the owners) for the station to fall into disrepair as has happened so often elsewhere.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Please limit number of characters)

2000

lots of people visit and use the station

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Please limit number of characters)

mid

NFP Law
TAHE
Minister for Regional Transport
Transport Heritage NSW

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Please limit number of characters)

Kandos Museum's capacity to undertake this project has been demonstrated.

COMMUNITY GRANTS

Project Income	Community Grant (amount sought from Council)	\$ 12,525.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	
	Other Income	
TOTAL INCOME		\$ 12,525.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	Rates and Charges Kandos Station FY24, to be confirmed by MWRC	\$ 2,000.00
	Rates and Charges Kandos Station FY25, to be confirmed by MWRC	\$ 2,000.00
	Rates and Charges Kandos Station FY26, to be confirmed by MWRC	\$ 2,000.00
	Rates and Charges Kandos Station FY27, to be confirmed by MWRC	\$ 2,000.00
	Rates and Charges Kandos Station FY28, to be confirmed by MWRC	\$ 2,000.00
	Gardening equipment as per attached quotation	\$ 2,525.00
TOTAL EXPENDITURE		\$ 12,525.00
TOTAL SURPLUS / DEFICIT		\$ 0.00

If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

Rates and Charges are estimates.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input checked="" type="radio"/>	<input type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>

COMMUNITY GRANTS

Has your organisation/group previously received a Community Grant from Council?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
If yes, please advise date and amount	DATE / YEAR <input type="text"/>	AMOUNT \$ <input type="text"/>
Did your group return the acquittal form?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
Closing bank balance from the most recent bank statement or treasurer's report	<input type="text"/>	
Comment on cash set aside for specific projects (optional)	Not applicable	

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered

	SUPPLIED? (click to tick)	
	YES	NO
A copy of the group's/organisation's most recent bank statement or treasurer's report	<input type="radio"/>	<input checked="" type="radio"/>
A copy of the group's/organisation's public liability insurance	<input checked="" type="radio"/>	<input type="radio"/>
Where the group intends to purchase equipment, a copy of the quote/s obtained	<input checked="" type="radio"/>	<input type="radio"/>
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If your group is not incorporated, please supply a letter from your auspicing body	<input checked="" type="radio"/>	<input type="radio"/>

AUTHORISATION OF APPLICANT

Name	<div style="background-color: black; width: 100px; height: 15px;"></div>
Position	president
Date	22 July 2024

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
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COMMUNITYGRANTS

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COMMUNITY GRANTS POLICY

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MONTHLY BUDGET REVIEW – 30 SEPTEMBER 2024

ATTACHMENT 1 – CAPITAL
PROGRAM UPDATE

16 OCTOBER 2024

MID-WESTERN REGIONAL COUNCIL
FINANCE



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Budget Variations

Funding Summary

Funding Source		Total
Asset Replacement Reserve		69,000
Capital Program Reserve	-	353,507
Family Cay Care Reserve		30,005
Grants		491,039
Plant Replacement Reserve		34,348
Kandos Bequest Reserve		120,897
Unrestricted cash		171,088
Unspent grants		548
Unspent Loans	-	531,597
Sewer Unrestricted Cash		2,001
		33,822

2024/2025 Variations

Fund	Project Name	Variation Description	Expense Change	Revenue Change	Funding Source 1	Funding Source 2
General	STREETSCAPE - RFS HAZARD REDUCTION	RFS roadside slashing program for 2024/25	182,100	-182,100	Grants	
General	OW - MR633 SHOULDER & CULVERT WIDENING	Additional funding approved for outstanding works.	158,396	-158,396	Grants	
General	GLEN WILLOW SPORTS GROUND UPGRADES	Revoting 2024 FY budget for NSW football Legacy Fund 2023/24 - Round 2	140,000	-70,000	Grants	
General	URBAN RESEALS HORATIO AND SYDNEY ROAD SHOULDERS	Add budget due to revision of the urban reseals program	105,000	0	Unrestricted cash	
General	KANDOS HALL - UPGRADES	Transfer of \$52,332 from other Kandos Hall projects. Additional budget added for Kandos hall emergency repair \$13,500 for remediation works and \$ 16,500 for construction of retaining wall.	82,332	0	Asset Replacement Reserve	
General	URBAN RESEALS - MINOR WORKS (<10K) CHARBON	Add budget due to revision of the urban reseals program	61,189	0	Unrestricted cash	
General	URBAN REHAB - LAWSON ST SEGMENT 20	Rehabilitation of the road to widen and strengthen the pavement, providing an 8m seal on a 9m pavement and good drainage throughout	58,980	-58,980	Grants	
General	URBAN RESEALS ROBBERT HODDLE GROVE AND YARRA COURT	Add budget due to revision of the urban reseals program	48,000	0	Unrestricted cash	

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Fund	Project Name	Variation Description	Expense Change	Revenue Change	Funding Source 1	Funding Source 2
General	PLANT PURCHASES	Additional budget required as needed to purchase a mower instead of a trailer and a trailer for Glen willow Additional budget required as needed to purchase a mower instead of a trailer and a trailer for Glen willow	34,348	0	Plant Replacement Reserve	
General	CAPITAL WORKS - KANDOS PRESCHOOL	Emergency funds sought and approved by the General Manager. Water ingress problems which have resulting in complications with the vinyl floor.	33,000	0	Asset Replacement Reserve	
General	URBAN RESEALS MADERIA ROAD	Add budget due to revision of the urban reseals program	33,000	0	Unrestricted cash	
General	FAMILY DAY CARE	FDC Sustainability grant received in 2024 FY budget revote	30,005	0	Grants	
General	URBAN REHAB - ROBERTSON ST	Finalise the seal and footpath works for this project using \$24,346 unspent grant	30,000	-24,346	Grants	Unrestricted cash
General	GLEN WILLOW - HOCKEY FIELD AND AMENITIES INVESTIGATION	Hockey Field and Amenities Investigation was not completed prior year. To bring back funds from 2024 into 2025.	26,811	0	Capital Program Reserve	
General	RED HILL MUSEUM OPERATIONS	As per the exit agreement with MWRC there is still payments to be made until June 2025.	24,000	0	Unrestricted cash	
General	STREETSCAPE MTCE CBD ROADS CREW	To add in budget required to contractor costs	21,999	0	Unrestricted cash	
General	ORANA WATER UTILITIES ALLIANCE	Budget for employee overheads	19,439	0	Unrestricted cash	
General	URBAN RESEALS DEWHURST DRIVE	Add budget due to revision of the urban reseals program	19,000	0	Unrestricted cash	
General	CAPITAL WORKS - GULGONG PRESCHOOL	Emergency funds requested and approved by the general manager. Issues regarding water ingress at the Gulgong Preschool.	18,000	0	Asset Replacement Reserve	

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Fund	Project Name	Variation Description	Expense Change	Revenue Change	Funding Source 1	Funding Source 2
General	INFORMATION TECHNOLOGY OPERATIONS	Budget required for New E-Tendering System	17,000	0		
General	URBAN RESEALS COX STREET LUE	Add budget due to revision of the urban reseals program	16,000	0	Unrestricted cash	
General	THIRD STREET SEGMENT	Add budget due to revision of the urban reseals program	14,000	0	Unrestricted cash	
General	CAPITAL UPGRADE - RYLSTONE DEPOT	Emergency funding sought and approved by the General Manager. Termite affected areas identified on supporting posts in the Rylstone depot and are seeking to replace them with steel.	10,000	0	Asset Replacement Reserve	
General	PROCUREMENT	Additional legal budget required as the wet & dry plant hire contract is due for renewal.	8,720	0	Unrestricted cash	
General	CAPITAL UPGRADE - MUDGE DEPOT		8,000	0	Asset Replacement Reserve	
General	CUDGEONG WATERS CARAVAN PARK - KIOSK & OFFICE	Budget added in to cover the cost for the door issue in Cudgeong water caravan park to be funded from retention money.	7,761	0	Unrestricted cash	
General	ULP LINE REPLACEMENT	Additional budget required for testing due to fuel contamination issues	6,000	0	Unrestricted cash	
General	URBAN RELEASE STRATEGY - MUDGE & GULGONG	Final payment for the Urban release strategy project.	2,080	0	Capital Program Reserve	
General	BUSHFIRE RECOVERY - ILFORD HALL (DRFA)	Delays in completing the project are due to contractor availability. Unspent grant from previous year.	548	0	Unspent grants	
General	URBAN RESEALS - MAYNE ST SEG 20-90	Update urban reseal program	-1,948	0	Unrestricted cash	

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Fund	Project Name	Variation Description	Expense Change	Revenue Change	Funding Source 1	Funding Source 2
General	URBAN RESEALS - MINOR WORKS (<10K) KANDOS	Reduce budget as resealing is not required. Funds directed to other urban reseals	-2,000	0	Unrestricted cash	
General	URBAN RESEALS - MINOR WORKS (<10K) BOMBIRA	Remove budget as resealing is not required. Funds directed to other urban reseals	-5,000	0	Unrestricted cash	
General	URBAN RESEALS - MINOR WORKS (<10K) RYLSTONE	Reduce budget as resealing is not required. Funds directed to other urban reseals	-5,000	0	Unrestricted cash	
General	URBAN RESEALS - TREFUSIS AVENUE SEGMENT 10 MUDGEE	Remove budget as resealing is not required. Funds directed to other urban reseals	-7,000	0	Unrestricted cash	
General	URBAN RESEALS - MINOR WORKS (<10K) WOLLAR	Remove budget as resealing is not required. Funds directed to other urban reseals	-8,000	0	Unrestricted cash	
General	KANDOS HALL INTERNAL REPAIRS	Combining project for Kandos Hall	-8,005	0	Asset Replacement Reserve	
General	URBAN RESEALS - SCULLY STREET SEG 10-40 GULGONG	Remove budget as resealing is not required. Funds directed to other urban reseals	-10,000	0	Unrestricted cash	
General	URBAN RESEALS - SECOND STREET SEGMENT 20 MUDGEE	Remove budget as resealing is not required. Funds directed to other urban reseals	-10,000	0	Unrestricted cash	
General	URBAN RESEALS - COHEN STREET SEGMENT 10 MUDGEE	Remove budget as resealing is not required. Funds directed to other urban reseals	-11,000	0	Unrestricted cash	
General	URBAN RESEALS - ABERNETHY CLOSE SEGMENT 10 MUDGEE	Remove budget as resealing is not required. Funds directed to other urban reseals	-13,000	0	Unrestricted cash	

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Fund	Project Name	Variation Description	Expense Change	Revenue Change	Funding Source 1	Funding Source 2
General	URBAN RESEALS - BELMORE STREET - MUDGEES SEGMENT 10	Remove budget as resealing is not required. Funds directed to other urban reseals	-16,000	0	Unrestricted cash	
General	URBAN RESEALS - MINOR WORKS (<10K) GULGONG	Reduce budget as resealing is not required. Funds directed to other urban reseals	-22,000	0	Unrestricted cash	
General	URBAN RESEAL - MORTIMER STREET MUDGEES	Remove budget as resealing is not required. Funds directed to other urban reseals	-31,000	0	Unrestricted cash	
General	URBAN RESEALS - ROBERT HODDLE GROVE SEG 20 GULGONG	Remove budget as resealing is not required. Funds directed to other urban reseals	-43,000	0	Unrestricted cash	
General	KANDOS HALL & LIBRARY - EXTERNAL PAINTING & KITCHEN UPGRADE	Combining project for Kandos Hall	-44,327	0	Asset Replacement Reserve	
General	URBAN RESEAL - PERRY STREET SEG 70	Remove budget as resealing is not required. Funds directed to other urban reseals	-47,000	0	Unrestricted cash	
General	URBAN RESEALS - MINOR WORKS (<10K) MUDGEES	Reduce budget as resealing is not required. Funds directed to other urban reseals	-54,000	0	Unrestricted cash	
General	SOLAR FARM INITIATIVE - STAGE 3	Amend current year budget for overspend in prior year	-314,011	52,727	Capital Program Reserve	Grants
General	MUDGEES VALLEY PARK EXPANSION	Reduce budget for overspend in previous year.	-531,597	0	Unspent Loans	
Sewer	SEWER T'MENT WKS OPS & MAINT MUDGEES	Budget sludge dewatering requirement is operational not capital	100,000	0	Sewer Reserve	

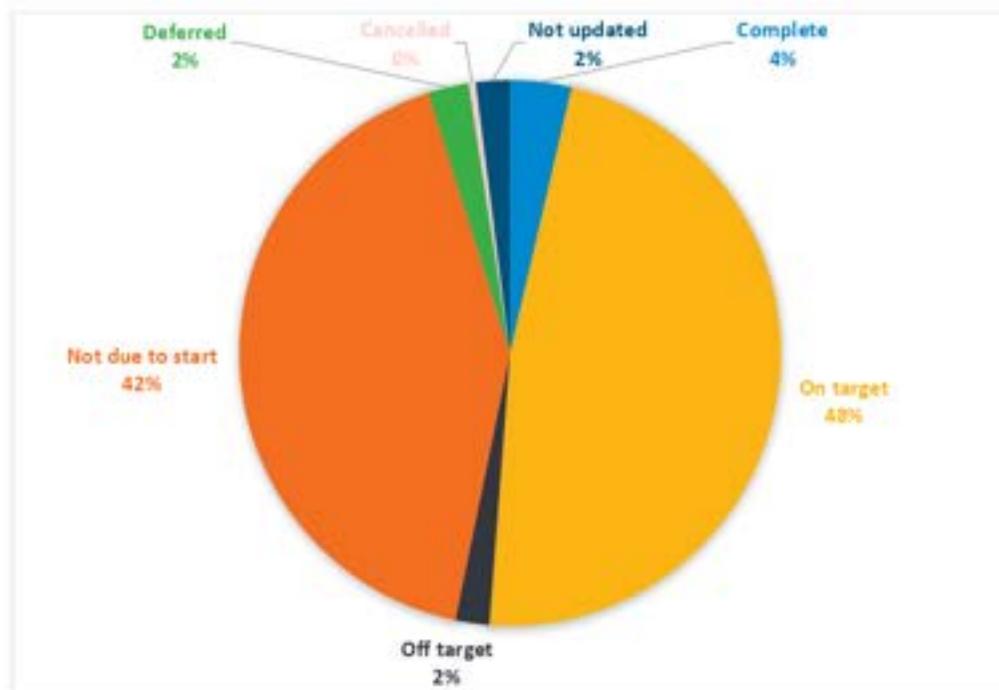
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Fund	Project Name	Variation Description	Expense Change	Revenue Change	Funding Source 1	Funding Source 2
Sewer	SEWER EASEMENT & LAND MATTERS	Additional budget required for legal cost Caerleon Sewer Pump Station	2,001	0	Sewer Reserve	
Sewer	MUDGEES STP SLUDGE DEWATERING IMPROVEMENTS	Budget sludge dewatering requirement is operational not capital	-100,000	0	Sewer Reserve	
Water	WATER MAINS - GOOLMA RD GULGONG	Allocate capital budget only to project	380,000	0	Water Reserve	
Water	WATER MAINS - BLIGH ST GULGONG	Allocate capital budget only to project	110,000	0	Water Reserve	
Water	WATER MAINS - PRINCE ST GULGONG	Allocate capital budget only to project	60,000	0	Water Reserve	
Water	WATER MAINS - BAWDEN ST, MUDGEES	Water Mains - Capital budget only budget split for 2025 FY	20,000	0	Water Reserve	
Water	WATER MAINS - LAWSON ST MUDGEES	Allocate capital budget only to project	20,000	0	Water Reserve	
Water	WATER MAINS - BAYLY STREET	Budget adjustment to enable payment of Invoice in project Bayly St WM Renewal Project	15,000	0	Water Reserve	
Water	WATER MAINS - TALLAWONG ROAD	Budget adjustment to enable payment of Invoice in project Bayly St WM Renewal Project and Tallawong Road WM Renewal	6,000	0	Water Reserve	
Water	WATER MAINS - CAPITAL BUDGET ONLY	Budget adjustment to enable payment of Invoice in project Bayly St WM Renewal Project and Tallawong Road WM Renewal \$590,000 Budget split to new water project	-611,000	0	Water Reserve	
Total			33,822			

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Capital Works Program

Summary of Capital Works Program



246
Capital Projects

\$88.6 M
Budget

\$13.2 M
Commitments

\$ 12 M
Actual YTD

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Completed Projects Since last Report

\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget
GULGONG POOL - FILTERS	40	0	40	23	56%
PROPERTY PURCHASE - 191 DENISON STREET	299	0	299	276	92%
SCULPTURES ACROSS THE REGION	35	0	35	17	47%
PUTTA BUCCA WETLANDS - BOARDWALK EXTENSION	56	0	56	57	101%
WATER MAINS - BAYLY STREET	0	15	15	15	101%
WATER MAINS - TALLAWANG ROAD	0	6	6	6	103%
WATER MAINS - BULGA ST, GULGONG	27	0	27	11	41%
SALEYARDS - BATHROOM RENOVATIONS	21	0	21	19	90%
SALEYARDS - LIGHTING REPLACEMENT	10	0	10	4	40%

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Capital project list

\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
Looking after our Community									
RURAL FIRE SERVICE - CLANDULLA STATION EXTENSION (CAPITAL)	265	0	265	0	0%	8	On target	Jun-25	
RURAL FIRE SERVICE - COOKS GAP STATION UPGRADE (CAPITAL)	22	0	22	0	0%	1	On target	Jun-25	
RURAL FIRE SERVICE - LAND MATTERS	15	0	15	0	0%	0	Not due to start		
FAMILY DAY CARE - EXTERNAL WORKS	60	0	60	0	0%	0	Deferred	Apr-26	
YOUTH SERVICES VEHICLE PURCHASE	10	0	10	0	0%	0	On target	Sep-24	
GULGONG YOUTH CENTRE - CAPITAL (REQUIRES GRANT)	150	0	150	0	0%	0	Not due to start	Jun-25	
COMM. TRANSPORT - VEHICLE PURCHASE	130	0	130	0	0%	0	On target	Dec-24	
COUNTRY UNIVERSITY CENTRE CAPITAL	165	0	165	21	13%	11	On target	Dec-24	
CEMETERY CAPITAL PROGRAM	17	0	17	10	57%	0	On target	Jun-25	
CEMETERY EXPANSION - MUDGEE & GULGONG RYLSTONE CEMETERY - FRONT FENCE REPLACEMENT	40	0	40	0	0%	0	On target		
ILFORD CEMETERY - FENCE REPLACEMENT	60	0	60	8	14%	19	On target		
PUBLIC TOILET - MUDGEE RIVER WALKING TRACK	25	0	25	0	0%	0	On target		
PUBLIC TOILETS - SIMPKINS PARK KANDOS CAP (REQUIRES GRANT)	150	0	150	25	17%	99	Not due to start	Jun-25	
PUBLIC TOILETS - SIMPKINS PARK KANDOS CAP (REQUIRES GRANT)	500	0	500	2	0%	0	Not due to start	Jun-25	
LIBRARY BOOKS	96	0	96	43	45%	0	On target	Jun-25	
HARGRAVES COURT HOUSE BUILDING - EXTERNAL WORKS	44	0	44	0	0%	0	Deferred	Apr-26	

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
CAPITAL UPGRADE - KILDALLON	50	0	50	0	0%	47	On target	Dec-24	
COMMUNITY ELECTRICAL INVESTIGATION & UPGRADES	85	0	85	1	1%	0	On target	Jun-25	
CRUDINE HALL - ROOF REPLACEMENT	100	0	100	9	9%	2	On target	Jun-25	
CAPITAL WORKS - GULGONG PRESCHOOL	0	18	18	0	0%	0	On target	Oct-24	
CAPITAL UPGRADE - KANDOS PRESCHOOL	0	33	33	0	0%	0	On target	Oct-24	
KANDOS HALL - UPGRADES	50	82	132	30	22%	23	On target	Dec-24	
CAPITAL UPGRADE - RYLSTONE MEMORIAL HALL	86	0	86	0	0%	31	On target	Mar-25	
TOWN HALL - EXTERNAL BRICKWORK	100	0	100	0	0%	0	Deferred	Apr-26	
KANDOS HALL & LIBRARY - EXTERNAL PAINTING & KITCHEN UPGRADE	44	(44)	0	4	0%	0	On target	Dec-24	
KANDOS HALL & LIBRARY - TOILETS	105	0	105	1	1%	0	On target	Dec-24	
KANDOS HALL INTERNAL REPAIRS	8	(8)	0	0	0%	0	On target	Oct-24	
MUDGEES POOL - WATERPARK IMPROVEMENTS	100	0	100	9	9%	0	On target	Jun-25	
GULGONG POOL - CLUB HOUSE UPGRADE	50	0	50	0	0%	0	On target		
MUDGEES POOL HEATERS	80	0	80	0	0%	0	On target	Jun-25	
LIGHTING UPGRADE - POOLS	50	0	50	0	0%	0	On target	Jun-25	
KANDOS POOL - CHAIR LIFT	17	0	17	0	0%	15	On target		
KANDOS POOL - EXPANSION JOINTS	10	0	10	0	0%	0	Not due to start		
KANDOS POOL - PERIMETER FENCING	30	0	30	0	0%	0	Not due to start		
GULGONG POOL - FILTERS	40	0	40	23	56%	0	Complete		
GULGONG POOL - CONCOURSE REPAIRS	45	0	45	0	0%	0	On target		
GULGONG POOL STARTING BLOCKS	40	0	40	0	0%	0	On target	Jun-25	
GULGONG POOL HEATERS	105	0	105	0	0%	0	On target	Jun-25	
BILLY DUNN SPORTING COMPLEX - FIELD 2 LIGHTING	456	0	456	0	0%	0	Not due to start		

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
GLEN WILLOW SPORTS GROUND UPGRADES	0	140	140	0	0%	0	Not due to start	Jun-24	
SOCCER TOUCH CLUBHOUSE - INTERNAL REFURBISHMENT	25	0	25	1	3%	14	On target	Oct-24	
GULGONG TENNIS COURTS	218	0	218	9	4%	168	On target	Sep-24	
RYLSTONE SHOWGROUND - PUMP SHED REPLACEMENT	20	0	20	0	0%	0	On target	Jun-24	
GLEN WILLOW FIELD ONE REFURBISHMENT	940	0	940	0	0%	622	Not due to start		
VICTORIA PARK GULGONG- GRANDSTAND IMPROVEMENTS	33	0	33	0	0%	0	Not due to start	Feb-25	
MUDGEES TEAM TRAINING VILLAGE	8,724	0	8,724	3,408	39%	4,187	On target	Jun-25	
GLEN WILLOW - PUMP TRACK	950	0	950	10	1%	674	On target	Dec-24	
VICTORIA PARK GULGONG - CANTEEN EQUIPMENT	10	0	10	7	75%	0	On target	Jun-24	
GLEN WILLOW PARKING - LIGHTING AND SECURITY	76	0	76	0	0%	0	On target	Jun-24	
GLEN WILLOW - NETBALL PRECINCT UPGRADE	142	0	142	5	4%	6	Not due to start	Oct-24	
GLEN WILLOW - STADIUM ELEVATOR REPLACEMENT	311	0	311	0	0%	0	Not due to start		
GLEN WILLOW - STADIUM EXTERNAL WORKS AND INTERNAL PAINTING	144	0	144	21	14%	107	Off target	Feb-25	
PROPERTY PURCHASE - 191 DENISON STREET	299	0	299	276	92%	0	Complete	Jun-24	
PUTTA BUCCA PROPERTY UPGRADE	200	0	200	17	8%	8	On target	Jun-25	
VICTORIA PARK MUDGEES - SIGHT SCREENS & SEATING	80	0	80	0	0%	0	Not due to start	Sep-24	
VICTORIA PARK GULGONG - STORAGE SHED	30	0	30	0	0%	0	On target		
RYLSTONE SHOWGROUND ARENA - UPGRADE	770	0	770	0	0%	4	On target	Oct-24	
MUDGEES SHOWGROUND NORTH TOILET - UPGRADE	50	0	50	3	6%	33	On target	Dec-24	

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
RECREATIONAL PROPERTY MATTERS	12	0	12	0	0%	3	On target	Jun-24	
MUDGEER RIVERSIDE WALKING TRACK PLAYGROUND	200	0	200	0	0%	0	On target	Jun-25	
WINDEYER VILLAGE - PLAYGROUND	120	0	120	0	0%	0	On target		
ROBERTSON PARK - EQUIPMENT UPGRADE	159	0	159	0	0%	0	Not due to start		
KANDOS INCLUSIVE ADVENTURE PLAYSPACE	117	0	117	4	3%	0	On target		
PROTECTIVE FENCE - WHITE CRESCENT KANDOS	20	0	20	0	0%	0	Not due to start		
ELECTRIC BBQ - KANDOS & RYLSTONE PLAYGROUND	10	0	10	9	88%	0	On target		
LAWSON PARK UPGRADES - FENCE & PATHWAY	99	0	99	0	0%	21	On target		
ROBERTSON PARK MUDGEER - RENEWAL	64	0	64	0	0%	0	Not due to start		
STREET SCAPE IMPROVEMENTS	33	0	33	0	0%	0	Not due to start		
SCULPTURES ACROSS THE REGION	35	0	35	17	47%	0	Complete	Jun-24	
RYLSTONE RIVER WALK - IMPROVEMENT	754	0	754	5	1%	0	On target	Jun-25	
PLAYGROUND SHADING PROGRAM	49	0	49	0	0%	0	Not due to start		
PARK BIN REPLACEMENT	32	0	32	1	3%	0	On target	Feb-25	
PLAYGROUND RUBBER SOFTFALL PROGRAM	60	0	60	0	0%	0	Not due to start		
GLEN WILLOW SOCCER PLAYGROUND REP	207	0	207	0	0%	0	Not due to start		
DARTON PARK - WATER BUBBLER & AMENITIES BLOCK	8	0	8	6	80%	0	On target		
PLAYGROUND EQUIPMENT UPGRADE - LAWSON PARK MUDGEER	98	0	98	4	4%	0	On target		
FLIRTATION HILL MUDGEER - MASTER PLAN WORKS	80	0	80	2	2%	0	On target	Jul-24	
Total	18,578	221	18,799	3,990	21%	6,104			

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
Protecting our Natural Environment									
RURAL WASTE DEPOT UPGRADES	233	0	233	0	0%	0	On target	May-25	
MUDGEE WASTE DEPOT UPGRADES	129	0	129	0	0%	79	On target	May-25	
NEW TIP CELL CONSTRUCTION	2,382	0	2,382	1,088	46%	727	On target	Oct-24	Nov-24
HOOGLIFT BINS	65	0	65	0	0%	0	Not due to start	Dec-24	
LANDFILL GAS CAPTURE	50	0	50	0	0%	0	Not due to start	Jun-25	
STREETSCAPE - STREET BINS	9	0	9	0	0%	0	Not due to start	Feb-25	
DRAINAGE CAPITAL IMPROVEMENTS	271	0	271	0	0%	0	Not due to start	Jun-25	
CAUSEWAY IMPROVEMENTS	65	0	65	3	5%	0	On target	Dec-24	
STORMWATER DRAINAGE - BOMBIRA AVENUE	898	0	898	289	32%	141	On target	Nov-24	
STORMWATER DRAINAGE - GEORGE ST KANDOS	30	0	30	0	0%	0	Not due to start		
MEMORIAL PARK MUDGEE - DRAINAGE IMPROVEMENT	25	0	25	0	0%	18	On target	Jun-24	
PUTTA BUCCA WETLANDS CAPITAL	18	0	18	4	21%	4	On target	Dec-24	
PUTTA BUCCA WETLANDS - BOARDWALK EXTENSION	56	0	56	57	101%	0	Complete		
WATER NEW CONNECTIONS	103	0	103	53	51%	4	On target	Jun-25	
WATER AUGMENTATION - MUDGEE HEADWORKS	697	0	697	10	1%	7	On target	Jun-25	
WATER DISTRIBUTION - MUDGEE	3,825	0	3,825	0	0%	0	Not due to start	Jun-26	

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
WATER TELEMETRY	150	0	150	0	0%	0	On target	Jun-25	
WATER RYLSTONE DAM WALL & EROSION PROTECTION	415	0	415	2	0%	10	Off target	Jan-25	Jun-25
WATER MAINS - CAPITAL BUDGET ONLY	1,100	(611)	489	0	0%	0	Not updated	Jun-25	
WATER MAINS - BAYLY STREET	0	15	15	15	101%	0	Complete	Jun-24	
WATER MAINS - TALLAWANG ROAD	0	6	6	6	103%	0	Complete	Jun-24	
WATER MAINS - SYDNEY ROAD	230	0	230	38	17%	198	On target	Oct-24	
WATER MAINS - NRAR WATER METER PROJECT	65	0	65	0	0%	9	Off target	Jun-24	
WATER MAINS - FITZROY ST, GULGONG	137	0	137	117	85%	2	Not updated	Jun-25	
WATER MAINS - BAWDEN ST, MUDGEE	100	20	120	84	70%	0	On target	Oct-24	
WATER MAINS - BULGA ST, GULGONG	27	0	27	11	41%	0	Complete	Jun-25	Jul-25
WATER MAINS - WILBERTREE ST GULGONG	201	0	201	19	10%	7	On target	Dec-24	
WATER MAINS - GOOLMA RD GULGONG	0	380	380	0	0%	0	Not due to start	Jun-25	
WATER MAINS - LAWSON ST MUDGEE	0	20	20	0	0%	0	Not due to start	Jun-25	
WATER MAINS - BLIGH ST GULGONG	0	110	110	0	0%	0	Not due to start	Jun-25	
WATER MAINS - PRINCE ST GULGONG	0	60	60	0	0%	0	Not due to start	Jun-25	
WATER PUMP STATION - CAPITAL RENEWALS	176	0	176	0	0%	32	On target	Jun-25	
WATER RESERVOIR - BUDGET ONLY	1,525	0	1,525	0	0%	0	Not due to start	Jun-25	
WATER RESERVOIR - FLIRTATION HILL GULGONG	250	0	250	0	0%	0	Not due to start	Jun-25	
WATER RESERVOIR - FLIRTATION HILL MUDGEE	105	0	105	0	0%	39	Off target	Aug-24	Nov-24
RAW WATER SYSTEMS RENEWALS	22	0	22	0	0%	0	Not updated	Jun-25	
WATER TREATMENT PLANT - RENEWALS	300	0	300	4	1%	12	On target	Jun-25	
WATER TREATMENT RYLSTONE UPGRADES	136	0	136	93	68%	10	On target	Jan-25	
SEWER NEW CONNECTIONS	50	0	50	26	52%	1	On target	Jun-25	

FINANCE | MONTHLY BUDGET REVIEW – 30 SEPTEMBER 2024

\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
SEWER AUGMENTATION - GULGONG	900	0	900	0	0%	0	Not due to start	Jun-25	
SEWER AUGMENTATION - RYLSTONE & KANDOS	524	0	524	4	1%	18	On target	Jun-25	
SEWER AUGMENTATION - MUDGEE	9,045	0	9,045	0	0%	0	Not due to start	Jun-26	
MUDGEE SEWERAGE NETWORK & TREATMENT PLANT UPGRADE	1,593	0	1,593	0	0%	0	Not due to start	Jun-26	
SEWER TELEMETRY	150	0	150	0	0%	0	On target	Jun-25	
CAPITAL UPGRADES - SEWER MAINS	600	0	600	0	0%	0	Not updated	Jun-25	
SEWER PUMP STATION - CAPITAL RENEWALS	80	0	80	0	0%	0	Not due to start	Jun-25	
SEWER TREATMENT WORKS - RENEWALS	115	0	115	0	0%	2	On target	Jun-25	
MUDGEE STP SLUDGE DEWATERING IMPROVEMENTS	100	(100)	0	3	0%	0	Cancelled		
SEWER TREATMENT WORKS - GULGONG STP SPILLWAY	30	0	30	0	0%	0	Not due to start	Apr-25	
SEWER EASEMENT & LAND MATTERS	8	2	10	0	0%	0	Not updated	Jun-25	
Total	26,991	(98)	26,893	1,926	7%	1,320			

Building a Strong Local Economy

CUDGEGONG WATERS CARAVAN PARK - KIOSK & OFFICE	0	8	8	(7)	-92%	0	Not due to start		
MUDGEE VALLEY PARK EXPANSION	5,000	(532)	4,468	1,076	24%	924	On target	Jun-25	
MUDGEE VALLEY PARK - CARETAKER HOUSE RENOVATION	45	0	45	18	41%	0	On target	Jun-24	Sep-24
RYLSTONE CARAVAN PARK STAGE 2	148	0	148	9	6%	84	On target	Feb-25	
MUDGEE VALLEY PARK - COMMERCIAL DRYER	16	0	16	0	0%	0	On target	Sep-24	

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
MUDGEY VALLEY PARK - SECURITY CAMERAS	15	0	15	0	0%	0	Not due to start	Dec-24	
MUDGEY VALLEY PARK - ACQUISITION & RENOVATION OF CABIN	99	0	99	0	0%	24	On target	Jan-25	
CHRISTMAS DECORATION PURCHASES	10	0	10	0	0%	0	Not due to start		
EVENTS STORAGE COMPOUND	92	0	92	47	51%	13	On target	Dec-24	
SIGNAGE UPGRADE	177	0	177	0	0%	0	On target	Jun-25	
SALEYARDS - POST AND RAIL REPLACEMENT	11	0	11	2	19%	1	On target	Jun-25	
SALEYARDS - BATHROOM RENOVATIONS	21	0	21	19	90%	0	Complete	Jun-24	
SALEYARDS - LIGHTING REPLACEMENT	10	0	10	4	40%	3	Complete		
SALEYARDS - TRUCK WASH BAY PUMP REPLACEMENT	6	0	6	0	0%	0	On target	Jun-25	
PROPERTY - EX SALEYARDS STAGE II	50	0	50	23	46%	15	On target		
PROPERTY - BURRUNDULLA AVE CONCEPT PLAN	236	0	236	16	7%	6	Not due to start		
MORTIMER ST PRECINCT EXTERNAL PAINTING	48	0	48	0	0%	0	Not due to start	Mar-25	
COMMERCIAL PROP - GOWRIE CHILDCARE CENTRE EXTENSION	300	0	300	0	0%	0	Not due to start	Jun-26	
Total	6,284	(524)	5,760	1,207	21%	1,070			

Connecting our Region

URBAN RESEALS - HERBERT ST GULGONG	20	0	20	0	0%	0	Not due to start	Apr-25	
URBAN RESEALS - MAYNE ST SEG 20-90	62	(2)	60	0	0%	0	Not due to start	Apr-25	
URBAN RESEALS - ROBERT HODDLE GROVE SEG 20 GULGONG	43	(43)	0	0	0%	0	Not due to start	Apr-25	

FINANCE | MONTHLY BUDGET REVIEW - 30 SEPTEMBER 2024

\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
URBAN RESEALS - BUNDERRA STREET SEG 10 GULGONG	14	0	14	38	268%	0	On target	Apr-25	
URBAN RESEALS - SCULLY STREET SEG 10-40 GULGONG	10	(10)	0	0	0%	0	Not due to start	Apr-25	
URBAN RESEALS - STOTT STREET SEGMENT 10,20 GULGONG	10	0	10	0	0%	0	Not due to start	Apr-25	
URBAN RESEALS - TALLAWANG ROAD SEGMENT 10-30 GULGONG	20	0	20	17	83%	0	On target	Apr-25	Nov-24
URBAN RESEALS - WILBETREE STREET SEGMENT 10-50 GULGONG	19	0	19	18	93%	0	On target	Apr-25	
URBAN RESEALS - YARAANDOO STREET SEGMENT 10 GULGONG	13	0	13	10	80%	0	On target	Apr-25	
URBAN RESEALS - CAROLINA CRESCENT SEGMENT 10-30 MUDGEE	21	0	21	0	0%	0	Not due to start	Apr-25	
URBAN RESEALS - COHEN STREET SEGMENT 10 MUDGEE	11	(11)	0	0	0%	0	Not due to start	Apr-25	
URBAN RESEALS - MOUNTAIN VIEW ROAD SEGMENT 10,20 MUDGEE	25	0	25	0	0%	0	Not due to start	Apr-25	
URBAN RESEALS - SECOND STREET SEGMENT 20 MUDGEE	10	(10)	0	0	0%	0	Not due to start	Apr-25	
URBAN RESEALS - TREFUSIS AVENUE SEGMENT 10 MUDGEE	25	(7)	18	0	0%	0	Not due to start	Apr-25	
URBAN RESEALS - BROADHEAD ROAD SEGMENT 10 SPRINGFL	10	0	10	0	0%	0	Not due to start	Apr-25	
URBAN RESEAL - MORTIMER STREET MUDGEE	31	(31)	0	0	0%	0	Not due to start	Apr-25	
URBAN RESEAL - PERRY STREET SEG 70	47	(47)	0	0	0%	3	Not due to start	Apr-25	
URBAN RESEAL - THIRD STREET SEG 10 TO 40	0	14	14	0	0%	0	Not due to start	Apr-25	
URBAN RESEALS - BELMORE STREET - MUDGEE SEGMENT 10	16	(16)	0	0	0%	0	Not due to start	Apr-25	

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
URBAN RESEALS - ABERNETHY CLOSE SEGMENT 10 MUDGEE	13	(13)	0	0	0%	0	Not due to start	Apr-25	
URBAN RESEALS - LEWIS STREET SEG 10 MUDGEE	10	0	10	0	0%	0	Not due to start	Apr-25	
URBAN ROADS KERB & GUTTER CAPITAL	121	0	121	0	0%	0	Not due to start	Jun-25	
URBAN REHAB - ROBERTSON ST SEG 90	38	30	68	51	75%	16	On target	Sep-24	
URBAN REHAB - LAWSON ST SEGMENT 20	454	59	513	7	1%	0	On target	Apr-25	Dec-24
URBAN HEAVY PATCHING	28	0	28	5	18%	0	On target	Jun-25	
URBAN RESEALS - WYNELLA STREET GULGONG	21	0	21	17	82%	0	On target	Apr-25	Nov-24
RESHEETING - URBAN ROADS	12	0	12	0	0%	0	Not due to start	Jun-25	
URBAN ROAD - HONE CREEK DRIVE EXTENSION	118	0	118	7	6%	22	On target	May-25	
BRUCE/BROADHEAD ROAD STAGE 1 UPGRADE	880	0	880	11	1%	139	On target	Jun-25	
HEAVY PATCHING - URBAN ROADS (RERRF)	114	0	114	0	0%	0	Not due to start	Jun-25	
URBAN RESEALS - DEWHURST DRIVE SEGMENT 60	0	19	19	0	0%	16	Not due to start	Apr-25	
URBAN RESEALS - MADEIRA ROAD SEGMENT 45-50	0	33	33	0	0%	2	Not due to start	Apr-25	
URBAN RESEALS - SHOULDER SYDNEY ROAD HORATIO ST	0	105	105	0	0%	0	Not due to start	Apr-25	
URBAN RESEALS - ROBERT HODDLE GROVE & YARRA COURT	0	48	48	40	83%	0	On target	Apr-25	
URBAN RESEALS - COX STREET LUE	0	16	16	0	0%	0	Not due to start	Apr-25	
URBAN ROADS LAND MATTERS CAPITAL	16	0	16	0	3%	5	On target		
RURAL RESEALS - COXS CREEK ROAD SEG 10,20,5 RYLSTONE	88	0	88	0	0%	0	Not due to start	Apr-25	
RURAL RESEALS - LAHEYS CREEK RD SEG 10-30	138	0	138	0	0%	0	Not due to start	Apr-25	

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
RURAL RESEALS - NARRANGO ROAD SEG 10 RYLSTONE	44	0	44	0	0%	0	Not due to start	Apr-25	
RURAL RESEALS - ILFORD HALL ROAD SEGMENT 20,25 ILFORD	70	0	70	0	0%	0	Not due to start	Apr-25	
RURAL RESEALS - BERYL RD	50	0	50	0	0%	0	Not due to start	Apr-25	
RURAL RESEAL - WINDEYER RD	77	0	77	0	0%	0	Not due to start	Apr-25	
RURAL RESEALS - QUEENS PINCH RD	171	0	171	0	0%	0	Not due to start	Apr-25	
RURAL RESEALS - COOPER DRIVE	205	0	205	0	0%	0	Not due to start	Apr-25	
RURAL RESEALS - NULLO MOUNTAIN SEG 20	44	0	44	0	0%	0	Not due to start	Apr-25	
RURAL REHAB - CUDGEGONG RD	1,542	0	1,542	9	1%	0	On target	Mar-25	
RURAL REHAB - LUE ROAD MOUNTKNOW	515	0	515	16	3%	21	On target	Mar-25	
HEAVY PATCHING	56	0	56	0	0%	13	On target	Jun-25	
RURAL RESEALS - ULAN-WOLLAR ROAD SEG 10-90	383	0	383	0	0%	0	Not due to start	Apr-25	
RURAL RESEALS - LINBURN LANE	137	0	137	0	0%	91	Not due to start	Apr-25	
RURAL RESEALS - PYANGLE ROAD LUE	7	0	7	0	0%	0	Not due to start	Apr-25	
HEAVY PATCHING - BLUE SPRING RD	242	0	242	0	0%	0	Not due to start	Apr-25	
HEAVY PATCHING - RIDGE ROAD	310	0	310	0	0%	0	Not due to start	Apr-25	
HEAVY PATCHING - COOPER DRIVE	405	0	405	0	0%	0	Not due to start	Apr-25	
HEAVY PATCHING - LUE ROAD	190	0	190	0	0%	0	Not due to start	Apr-25	
HEAVY PATCHING - NARRANGO ROAD	130	0	130	1	1%	0	Not due to start	Apr-25	

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
HEAVY PATCHING - ULAN WOLLAR, BOTOBOLAR & ROCKY WATERHOLE RD	218	0	218	0	0%	0	Not due to start	Apr-25	
HEAVY PATCHING - LOCAL SEALED ROADS (RERRF)	219	0	219	0	0%	0	Not due to start	Apr-25	
REHAB - LUE ROAD MUDGEE	210	0	210	0	0%	0	Not due to start	Apr-25	
RURAL SEALED ROAD LAND MATTERS	57	0	57	6	10%	0	Not due to start		
REG RDS RESEALS - BYLONG VALLEY WAY MR215	391	0	391	0	0%	0	Not due to start	Apr-25	
REG RDS RESEALS - HILL END ROAD MR216	194	0	194	0	0%	0	Not due to start	Apr-25	
REG RDS RESEALS - WOLLAR ROAD MR 208	133	0	133	0	0%	0	Not due to start	Apr-25	
RURAL HEAVY PATCHING - GOLLAN ROAD	297	0	297	33	11%	2	On target	Dec-24	
HILL END ROAD SAFETY IMPROVEMENTS	538	0	538	303	56%	72	On target	Sep-24	Oct-24
RESEAL ULAN ROAD - TURILL AREA	476	0	476	0	0%	0	On target	Apr-25	
REG RDS RESEALS - BYLONG VALLEY WAY MR 208	120	0	120	0	0%	0	Not due to start	Apr-25	
REG RDS RESEALS - GOLLAN ROAD MR 7512	94	0	94	0	0%	0	Not due to start	Apr-25	
RURAL SEALED REGIONAL ROAD LAND MATTERS CAPITAL	11	0	11	0	0%	0	Not due to start		
SEAL EXTENSION - CORICUDGY ROAD STAGE 2	1,529	0	1,529	449	29%	449	On target	Dec-24	
SEAL EXTENSION - QUEENS PINCH RD CAUSEWAY UPGRADES AND GUARD	252	0	252	0	0%	0	Not due to start	Jun-25	
SEAL EXTENSION - SCOTTS LANE GULGONG	59	0	59	6	10%	0	On target	Jun-25	
BIRRIWA BUS ROUTE SOUTH - DRAINAGE & CULVERTS	159	0	159	2	1%	0	On target	Jun-25	
HEAVY PATCHING - WARRANGUNIA ROAD	105	0	105	4	4%	2	On target	Dec-24	
RESHEETING	2,298	0	2,298	972	42%	274	On target	Jun-25	

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
UNSEALED ROADS LAND MATTERS CAPITAL	106	0	106	7	7%	4	Not due to start		
BRIDGE TO PUTTA BUCCA ROAD	280	0	280	160	57%	0	On target	Jun-25	
REGIONAL ROAD BRIDGE CAPITAL	64	0	64	34	53%	14	On target	Jun-25	
ULAN ROAD - REHABS, WIDENING AND CONFORMING RESEALS - BUDGET	255	0	255	0	0%	5	On target	Jun-25	
ULAN ROAD - REHAB MUDGEE RACECOURSE	800	0	800	22	3%	395	On target	Dec-24	
FOOTPATH REPLACEMENT (REQUIRES GRANT)	949	0	949	25	3%	1	Deferred		
FOOTWAYS - BUS SHELTERS	20	0	20	0	0%	0	Not due to start	Jun-25	
PEDESTRIAN ACCESS AND MOBILITY PLAN WORKS (REQUIRES GRANT)	1,031	0	1,031	9	1%	0	On target	Jun-25	
NEW BUS SHELTERS - 59 LIONS DRIVE & APEX PARK MUDGEE	40	0	40	0	0%	0	Not due to start	Jun-25	
AIRPORT - DRAINAGE PLAN DEVELOPMENT	27	0	27	0	0%	21	On target	Jun-24	Sep-24
Total	17,967	134	18,101	2,280	13%	1,568			

Good Government

CAPITAL UPGRADE - RYLSTONE DEPOT	0	10	10	0	0%	0	On target	Oct-24	
OLD POLICE STATION CAPITAL	20	0	20	0	0%	0	Deferred	Apr-26	
BUILDINGS MASTER KEY SYSTEM	60	0	60	0	0%	0	Not due to start	May-25	
MUDGEE ADMIN BUILDING EXTENSION	447	0	447	0	0%	315	Not due to start		
MUDGEE ADMIN BUILDING - PAINTING AND REPAIRS	27	0	27	0	1%	0	On target	Mar-25	
MUDGEE OPERATIONS - OFFICE UPGRADES	225	0	225	8	4%	2	Not due to start	Jun-25	
IT OFFICE UPGRADES	75	0	75	0	0%	5		Dec-24	

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
PEOPLE & PERFORMANCE BUILDING - UPGRADES	30	0	30	7	22%	12	On target	Oct-24	
MUDGEES PARKS & GARDEN SHED AND COMPOUND UPGRADE	50	0	50	0	0%	0	Not due to start	Mar-25	
COMMUNITY DIRECTORATE & IT OFFICE - HVAC UPGRADE	25	0	25	0	0%	35	On target	Dec-24	
IT - NETWORK UPGRADES	4	0	4	9	251%	0	On target		
PLANT PURCHASES	10,456	34	10,490	942	9%	1,379	On target	Jun-25	
PLANT PURCHASES - NEW	76	0	76	0	0%	0	On target		
MUDGEES DEPOT CAPITAL WORKS	0	8	8	0	0%	0	Not due to start	Sep-24	
SOLAR FARM INITIATIVE - STAGE 3 BATTERY ENERGY STORAGE SYSTEM	3,600	(314)	3,286	1,632	50%	1,430	Off target	Dec-24	Mar-25
ULP LINE REPLACEMENT	3,645	0	3,645	0	0%	0	Deferred		
ULP LINE REPLACEMENT	38	6	44	27	62%	3	On target		
Total	18,777	(256)	18,521	2,625	14%	3,181			
Total Capital Works Program	88,597	(522)	88,074	12,027	14%	13,243			

Key Operating Projects

\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget
Looking after our Community					
URBAN RELEASE STRATEGY - MUDGEE & GULGONG	0	2	2	0	0%
EMPLOYMENT LANDS STRATEGY - MUDGEE HEIGHT MASTERPLAN	158	0	158	0	0%
HOUSING STRATEGY	198	0	198	28	14%
DEVELOPMENT CONTROL PLAN REVIEW	250	0	250	0	0%
Total	606	2	608	28	5%
Protecting our Natural Environment					
MUDGEE FLOODPLAIN MANAGEMENT PLAN STAGE 2	0	0	0	0	0%
STORMWATER MASTER PLANNING MUDGEE DEVELOPMENT	196	0	196	0	0%
Total	196	0	196	0	0%
Building a Strong Local Economy					
MAJOR EVENTS GLEN WILLOW	1,203	0	1,203	5	0%
Total	1,203	0	1,203	5	0%
Connecting our Region					
RURAL UNSEALED ROADS GRADING PROGRAM	2,242	0	2,242	616	27%
AIRPORT - MASTERPLAN UPGRADE	46	0	46	14	31%

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget
STATE ROADS ADMINISTRATION	226	0	226	57	25%
RM - SCHEDULED MAINTENANCE	1,473	0	1,473	213	14%
OW - BUDGET ONLY	0	0	0	0	0%
OW - RESURFACING IMPROVEMENTS	298	0	298	0	0%
OW - HEAVY PATCHING	582	0	582	1	0%
OW - RESEALS	0	0	0	0	0%
OW - RESEALS MR54	38	0	38	0	0%
OW - MISC ACCIDENTS	62	0	62	16	27%
OW - TWO-MILE FLAT SAFETY - SHOULDER WIDENING WO308.22.13/16	0	0	0	1	0%
OW - SAFER ROADS PROGRAM MENAH	3,157	0	3,157	0	0%
OW - GOLLAN RD HEAVY PATCHING	0	0	0	0	0%
OW - CASTLEREAGH HIGHWAY SIGN INSTALLATION	8	0	8	3	39%
OW - RESEALS SH18	1,869	0	1,869	0	0%
OW - RESEAL MR633	290	0	290	0	0%
OW - MR633 SHOULDER & CULVERT WIDENING	0	158	158	134	85%
Total	10,290	158	10,448	1,057	10%



QUARTERLY BUDGET
REVIEW STATEMENT
JUNE 2024

ATTACHMENTS

16 OCTOBER 2024

MID-WESTERN REGIONAL COUNCIL
MID-WESTERN REGIONAL COUNCIL
FINANCE



FINANCE |
QUARTERLY BUDGET REVIEW STATEMENT
JUNE 2024

THIS DOCUMENT HAS BEEN PREPARED BY AMANDA AVNELL, FINANCIAL PLANNING COORDINATOR FOR MID-WESTERN REGIONAL COUNCIL.

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Material Budget Variances

BUILDING A STRONG LOCAL ECONOMY	
CARAVAN PARKS	\$195K Favourable
Caravan Park - Riverside \$160K Favourable	Income above budget due to high occupancy rates. First year of operation electricity much higher than expected by \$24k and wages high due to high occupancy.
Caravan Park - Cudgegong Waters \$18K Favourable	Income is higher than budgeted for the Cudgegong Waters Park
Caravan Park - Rylstone \$-10K Unfavourable	
Caravan Park - Mudgee Valley Park \$133K Favourable	Savings on M&C due to Moolarben contract (lower turnover of cabins) and large savings on electricity.
Cudgegong Waters - Water And Sewer Operations \$95K Favourable	Savings realised
Mudgee Valley Park Non-Capital Works \$17K Favourable	Revoted budget not utilised.
Cudgegong Waters Caravan Park - Kiosk & Office \$38K Favourable	Project complete with savings realised
Mudgee Valley Park Expansion \$-533K Unfavourable	Multi-year project. 2024/25 budget reduced for overspend in 2023/24.
Cudgegong Waters - Amenities And Kitchen \$-6K Unfavourable	
Caravan Park - Cudgegong Waters Capital \$33K Favourable	Project complete with savings realised
Mudgee Valley Park - Caretaker House Renovation \$45K Favourable	Multi-year project. Budget revoted into 2024/25
Rylstone Caravan Park Stage 2 \$13K Favourable	Multi-year project. Budget revoted into 2024/25
Caravan Park - Riverside - Capital \$41K Favourable	Minor Repair works are ongoing. Budget has been revoted into 2024/25
Caravan Park - Riverside - Cabin \$18K Favourable	Project complete with savings recognised
Cudgegong Waters Caravan Park - Demolition Of Residence \$35K Favourable	Revoted budget to 2024/25. Budget added late in the financial year.
Mudgee Valley Park - Acquisition & Renovation Of Cabin \$99K Favourable	Sale settlement was only completed in June 2024 therefore budget for renovation revoted into 2024/25
TOURISM & AREA PROMOTIONS	\$182K Favourable
Tourism Operations \$-15K Unfavourable	Telephone expenses not included in budget. This has been included in the budget going forward for future years.
Event Management Assistance \$2K Favourable	
Event Operations \$-10K Unfavourable	Materials and consumables, operating lease payments and software and licensing expenses higher than expected.
Major Events Glen Willow \$32K Favourable	Income below budget due to grant income not successful, A-league game not proceeding and only 1 NRL match in 2024 due to teams travelling to Las Vegas. Resulted in underspend of budget.
Flavours Of Mudgee \$-19K Unfavourable	Council was unsuccessful in obtaining one of the 10k grants for the Flavours of Mudgee event
Young Entrepreneurs Summit \$1K Favourable	
Christmas Decoration Purchases \$11K Favourable	Budget revotes for the fit out storage for the Gulgong decorations
Events Storage Compound \$92K Favourable	Limited time to progress due to late budget addition. Budget revoted into 2024/25
Signage Upgrade \$92K Favourable	Boarder signage complete. Budget revoted for the Glen Willow wayfinding signage works which are nearing completion
Street Tree Lighting \$-4K Unfavourable	

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BUILDING A STRONG LOCAL ECONOMY	
ECONOMIC DEVELOPMENT	\$67K Favourable
Economic Development \$45K Favourable	Variance due to team not going out of region and therefore there is no overtime or travel and accommodation expenses. Contractors expense under budget.
Electric Vehicle Charging Station - Capital \$4K Favourable	
Electric Vehicle Charging Station - Operating \$6K Favourable	
State Significant Development Strategy \$12K Favourable	Project complete with savings recognised
SALEYARDS & MARKETS	\$62K Favourable
Saleyards Administration \$34K Favourable	Income exceeded budget due to high throughput at Saleyards
Saleyards - Post And Rail Replacement \$5K Favourable	
Saleyards - Bathroom Renovations \$21K Favourable	Final works to be complete in 2024/25
Saleyards - Truck Wash Bay Pump Replacement \$1K Favourable	
REAL ESTATE DEVELOPMENT	\$748K Favourable
Property - Income \$64K Favourable	Legal expenses are lower than anticipated and property rental higher than budgeted.
Property - Ex Saleyards Stage II \$331K Favourable	Revoted budget to 2024/25 for Multi-year project.
Property - Burrundulla Land Development \$1K Favourable	
Property - Pitts Lane \$7K Favourable	
Property - Mellon St \$9K Favourable	
Property - Burrundulla Ave Concept Plan \$86K Favourable	Revoted budget to 2024/25 for Multi-year project.
Commercial Prop - Administration \$156K Favourable	Property revaluations completed resulting in a \$146k gain.
Commercial Prop - Aerodrome Cottage \$1K Favourable	
Commercial Prop - Red Hill Cottage \$-1K Unfavourable	
Commercial Prop - Mortimer Precint \$17K Favourable	Property rental income is higher than anticipated. Legal expenses are less than anticipated
Commercial Prop - Gowrie Childcare Centre \$14K Favourable	Cost to purchase land lower than anticipated.
Commercial Property - George Campbell Drive \$64K Favourable	Savings realised on legal expenses.

CONNECTING OUR REGION	
URBAN RDS -LOCAL	\$369K Favourable
Street Sign Replacements \$6K Favourable	
Urban Roads Maintenance - Sealed \$91K Favourable	Savings realised.
Urban Roads - Administration \$133K Favourable	Disposal of assets (non-cash) lower than expected.
Mudgee CBD Parking Improvement \$15K Favourable	Scope undesigned and therefore unspent.
Urban Reseals - Minor Works (<10K) Gulgong \$4K Favourable	
Urban Reseals - Minor Works (<10K) Rylstone \$-7K Unfavourable	

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CONNECTING OUR REGION	
Urban Reseals - Minor Works (<10K) Windeyer \$2K Favourable	
Broadhead/Bruce Road Intersection Concept Plan \$2K Favourable	
Road Safety Audits \$28K Favourable	Budget not utilised during the year
Urban Reseals - Herbert St Gulgong \$39K Favourable	Savings realised.
Urban Reseals - Gladstone St Seg 140 - 160 \$-7K Unfavourable	
Urban Reseals - Mcgregor Place \$1K Favourable	
Urban Reseal - Donoghue Street \$1K Favourable	
Urban Reseal - Adams Street \$1K Favourable	
Urban Reseal - Swords Court \$1K Favourable	
Urban Reseal - Vera Court \$2K Favourable	
Urban Reseal - Winbourne Street \$7K Favourable	
Urban Reseals - Jacques Street Kandos \$14K Favourable	Savings realised.
Urban Reseal - Mortimer Street Mudgee \$-1K Unfavourable	
Urban Roads Kerb & Gutter Capital \$-2K Unfavourable	
Urban Rehab - Robertson St Seg 90 \$38K Favourable	Remaining budget revoted as works not complete due to increase in scope agreed when savings were apparent.
Urban Heavy Patching \$3K Favourable	
Road Extension - Between Putta Bucca & Glen Willow \$-91K Unfavourable	Overspend due to increased scope being asphaltting of intersection to be covered from savings in other projects.
Resheeting - Urban Roads \$4K Favourable	
Road Safety Improvements - Mudgee Schools \$8K Favourable	
Urban Road - Hone Creek Drive Extension \$68K Favourable	Revoted to 2024/25. Works not yet commenced
Urban Roads Land Matters Capital \$25K Favourable	No land matters during the year for Urban Roads
Natural Disaster Tallawang Street \$-18K Unfavourable	Unable to claim oncosts for Flood Damage Natural disaster funded project.
High Pedestrian Activity Area 40Km/H \$2K Favourable	
URBAN RDS -REGIONAL	\$1 Unfavourable
Natural Disaster Goolma Rd \$-1K Unfavourable	
SEALED RURAL RDS -LOCAL	\$742K Favourable
Rural Sealed Roads Administration \$838K Favourable	2024/25 Financial Assistance grant received in 2023/24 resulting in higher than anticipated income \$1.37million variance. Disposal of assets (non-cash) higher than expected 485k variance. Depreciation (non-cash) higher than expected 46k
Rural Sealed Roads Maintenance \$-105K Unfavourable	Overspend due to required maintenance.
Rural Sealed Roads Signage \$-3K Unfavourable	
Tree Lopping Along Roads \$18K Favourable	Savings realised.
New Road Naming Signage \$3K Favourable	
Rural Rd Mtce - Charbon Area \$-7K Unfavourable	
Natural Disaster Puggon Road Causeway (\$-1K Unfavourable	
Natural Disaster Wilbetree Road \$-3K Unfavourable	
Natural Disaster Lue Road Repairs \$1K Favourable	
Natural Disaster Laheys Creek Rd \$-4K Unfavourable	
Natural Disaster Bocoble Rd \$-2K Unfavourable	

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CONNECTING OUR REGION	
Natural Disaster Baskerville Drive \$-2K Unfavourable	
Natural Disaster Henry Lawson Dr \$-28K Unfavourable	Unable to claim oncosts for Flood Damage Natural disaster funded project.
Natural Disaster Windeyer Rd \$-1K Unfavourable	
Natural Disaster Yarrabin Rd \$-1K Unfavourable	
Natural Disaster Mebul Road \$-1K Unfavourable	
Natural Disaster Cudgegong Road \$-5K Unfavourable	
Natural Disaster Spring Creek Road \$-13K Unfavourable	Unable to claim oncosts for Flood Damage Natural disaster funded project.
Heavy Patch - Beryl Road \$-2K Unfavourable	
Heavy Patch - Laheys Creek Road \$-1K Unfavourable	
Heavy Patch - Maggie Lane \$-7K Unfavourable	
Heavy Patch - Spring Creek Road \$-5K Unfavourable	
Heavy Patch - Spring Ridge Road \$-11K Unfavourable	Overspend due to scope change
Linemarking Sealed Local Roads \$13K Favourable	Savings realised.
Rural Reseal - Henry Lawson Drive \$-27K Unfavourable	Overspend due to additional preparation work required.
Lgrs Road Safety Program \$-2K Unfavourable	
Rural Reseal - Minor Works (<10k) \$-8K Unfavourable	
Rural Reseal - Barneys Reef Road \$9K Favourable	
Rural Reseal - Mebul Road \$-2K Unfavourable	
Rural Reseal - Lue Rd \$5K Favourable	
Rural Reseal - Glen Alice Rd \$-3K Unfavourable	
Rural Reseal - Yarrowonga Rd \$19K Favourable	Savings realised.
Rural Reseal - Pyramul Rd \$-5K Unfavourable	
Rural Reseals - Dabee Road Kandos \$-21K Unfavourable	Overspend due to additional preparation work required.
Rural Rehab - Cudgegong Rd Carwell \$24K Favourable	Savings realised.
Heavy Patching \$39K Favourable	Savings realised.
Ulan Wollar Road - Stage 1 \$7K Favourable	
Rural Reseal - Budgee Budgee \$-14K Unfavourable	Overspend due to additional preparation work required.
Rural Reseals - Kaludabah Road Cullenbo \$7K Favourable	
Rural Reseals - Pyangle Road Lue \$7K Favourable	
Rural Reseals - Camerons Road Runnings \$-2K Unfavourable	
Ulan Wollar Rd - Railway Signage \$-1K Unfavourable	
Rural Reseals - Summerhill Road \$-1K Unfavourable	
Rural Sealed Road Land Matters \$44K Favourable	Legal expenses and consultants ongoing budget revoted into 2024/25.
SEALED RURAL RDS - REGIONAL	\$347K Favourable
Rural Sealed Regional Road Admin \$381K Favourable	Disposal of assets (non-cash) lower than expected.
Rural Sealed Regional Road Shoulder Maintenance \$-5K Unfavourable	
Reg Rds Sealed - Natural Disaster \$-1K Unfavourable	
Regional Roads - Line Marking \$1K Favourable	
Cope Road Maintenance - Vpa \$105K Favourable	Change in scope resulting in recognition as capital rather than maintenance

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CONNECTING OUR REGION	
Rural Sealed Regional Road - Accidents \$1K Favourable	
Natural Disaster Ulan Road - Cooyal Creek \$-1K Unfavourable	
Natural Disaster Wollar Road Repairs \$-5K Unfavourable	
Natural Disaster Bylong Valley Way Repairs \$-3K Unfavourable	
Natural Disaster Bvw Growie Road Landslide \$-3K Unfavourable	
Natural Disaster Ulan Rd - Wattlegrove Ln \$-1K Unfavourable	
Natural Disaster Bvw Budden Gap \$-19K Unfavourable	Unable to claim oncosts for Flood Damage Natural disaster funded project.
Heavy Patch - Bylong Valley Way \$-25K Unfavourable	Overspend due to scope creep
Heavy Patch - Hill End Road \$-17K Unfavourable	Overspend due to scope creep
Reg Rds Reseals - Wollar Road Mr 208 \$1K Favourable	
Rural Heavy Patching - Gollan Road \$-1K Unfavourable	
Cope Road Capital- Vpa \$-106K Unfavourable	Change in scope resulting in recognition as capital rather than maintenance
Munghorn Gap Shoulder Widening Blackspot \$44K Favourable	Property matters resolved under budget
Bvw Upgrade Rnsw 2080 \$40K Favourable	Property matters resolved under budget
Currans Cutting - Wollar Road - Acquisition Fencing \$5K Favourable	
Reseal Ulan Road - Turill Area \$-53K Unfavourable	Overspend due to scope creep
Rural Sealed Regional Road Land Matters Capital \$11K Favourable	No land matters during the year for Regional Roads
UNSEALED RURAL RDS -LOCAL	\$1329K Favourable
Rural Unsealed Roads Administration \$1397K Favourable	2024/25 Financial Assistance grant received in 2023/24 resulting in higher than anticipated income \$1.37million variance.
Rural Unsealed Roads Grading Program \$-47K Unfavourable	Overspend due to required maintenance
Gravel Pit Remediation \$11K Favourable	Budget not utilised during the year
Rural Unsealed Roads - Accidents \$1K Favourable	
Natural Disaster Bara Road \$-2K Unfavourable	
Natural Disaster White Cedar Road \$-2K Unfavourable	
Natural Disaster Nullo Mountain Road \$-3K Unfavourable	
Natural Disaster Barneys Reef Road Repairs \$-5K Unfavourable	
Natural Disaster Jennings Rd \$-1K Unfavourable	
Natural Disaster Browie Road \$-2K Unfavourable	
Natural Disaster Old Grattai Rd \$-1K Unfavourable	
Natural Disaster Bowles Lane \$2K Favourable	
Natural Disaster Coxs Creek Trail \$1K Favourable	
Natural Disaster Upper Mebul Roa \$-5K Unfavourable	
Natural Disaster Birriwa Bus Route North \$-24K Unfavourable	Unable to claim oncosts for Flood Damage Natural disaster funded project.
Natural Disaster Birriwa Bus Route South \$-16K Unfavourable	Unable to claim oncosts for Flood Damage Natural disaster funded project.
Natural Disaster Kaludabah Road \$-2K Unfavourable	
Natural Disaster Pinelea Road \$-5K Unfavourable	

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CONNECTING OUR REGION	
Natural Disaster Lambing Hill Road \$-7K Unfavourable	
Badgers Lane (Now Maintained) \$-39K Unfavourable	Overspend due to gravel costs allocated after reporting savings last quart review which reduced the budget
Seal Extension - Queens Pinch Rd \$-105K Unfavourable	Savings realised
Seal Extension - Coxs Creek Rd \$-24K Unfavourable	Overspend due to price increases from original grant application
Seal Extension - Mebul Rd \$2K Favourable	
Seal Extension - Botobolar Rd \$123K Favourable	Savings realised.
Seal Extension - Coricudgy Road \$-21K Unfavourable	Grant revenue from the local government recovery grant not received
Seal Extension - Coricudgy Road Stage 2 \$33K Favourable	Multi year grant funded project revoked.
Seal Extension - Queens Pinch Rd Causeway Upgrades And Guard \$-1K Unfavourable	
Seal Extension - Scotts Lane Gulgong \$16K Favourable	Savings realised
Resheeting \$12K Favourable	Savings realised
Unsealed Roads Land Matters Capital \$51K Favourable	Revoted budget into 2024/25 for legal matter.
Natural Disaster Whittaker Lane \$-4K Unfavourable	
Natural Disaster Greenhills Lane \$-2K Unfavourable	
BRIDGES RURAL RDS -LOCAL	\$183K Favourable
Local Sealed Bridge Maintenance \$223K Favourable	Savings due to resources not available. Non-cash developer contributed assets
Natural Disaster Havilah Bridge Lue Road \$-1K Unfavourable	
Natural Disaster Queens Pinch Rd Culvert \$-1K Unfavourable	
Henry Lawson Drive Bridge \$-36K Unfavourable	Change in scope resulting in recognition as capital rather than maintenance
Goodiman Creek Bridge Replacement \$-2K Unfavourable	
BRIDGES RURAL RDS REGIONAL	\$8K Favourable
Regional Rural Sealed Bridge Maintenance \$14K Favourable	Savings due to resources not available
Natural Disaster Rylstone Bridge Bw \$-7K Unfavourable	
Ulan Road Strategy \$1K Favourable	
Ulan Road - Reseals Linburn And Ulan Areas \$-1K Unfavourable	
FOOTPATHS	\$76K Favourable
Footways - Maintenance \$21K Favourable	Savings realised
Footways - Administration \$92K Favourable	Recognition of developer contributed footpath (non-cash)
Walking And Cycling Program Strategic Plan \$4K Favourable	
Footpath Replacement (Requires Grant) \$-11K Unfavourable	Overspend due to scope increase
Robertson Road - Golf Course Fence \$-8K Unfavourable	
Pedestrian Access And Mobility Plan Works (Requires Grant) \$-23K Unfavourable	Overspend due to scope increase
AERODROMES	\$151K Favourable

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CONNECTING OUR REGION	
Airport - Operations & Maintenance \$79K Favourable	Income from landing fees are 92k higher than expected
Airport Hanger And Studio \$-1K Unfavourable	
Airport - Drainage Plan Development \$27K Favourable	Remaining budget revoted. Works are near completion
Airport - Masterplan Upgrade \$46K Favourable	Remaining budget revoted. Waiting on Drainage Plan and PCN Report to complete Masterplan
Airport Hanger 4 Access To Taxiway \$1K Favourable	
PARKING AREAS	\$8010K Favourable
Carparking - Administration \$8011K Favourable	Recognition of developer contributed kerb and gutter assets (non-cash)
STATE ROADS	\$146K Favourable
RM - Scheduled Maintenance \$16K Favourable	Budget did not include a gross margin for the State Roads maintenance works Revoted budget to 2024/25
OW - Heavy Patching \$357K Favourable	Unable to claim misc. accidents
OW - Misc Accidents \$-34K Unfavourable	Quarter 3 budget reduction was incorrectly only reduced for expenses
OW - Safer Roads Program Cudgegong \$-348K Unfavourable	
OW - Ilford Sign Installation \$-4K Unfavourable	Project complete with savings realised
OW - Springfield Widened Centre Line \$154K Favourable	
OW - Castlereagh Highway Sign Installation \$9K Favourable	
OW - Mr54 Sofala Sign Installation \$-6K Unfavourable	
OW - Reseals Sh18 \$27K Favourable	Budget didn't include margin for state road
OW - Reseal Mr633 \$33K Favourable	Budget didn't include margin for state road
OW - Mr633 Shoulder & Culvert Widening \$-99K Unfavourable	Spending went over original agreed amount due to additional works required. Agreement set in 2024/25 to provide additional funding for these costs. Project complete with savings realised
OW - Safety To Intersection \$27K Favourable	Project complete with savings realised
OW - Hw18 Speed Zone Installation \$13K Favourable	Budget didn't include margin for state road
STREET LIGHTING	\$60 Unfavourable
Street Light Maintenance \$-52K Unfavourable	Variance due to high electricity prices
Led Streetlighting Upgrade \$-8K Unfavourable	
GOOD GOVERNMENT	
GOVERNANCE	\$64K Favourable
Members Expenses \$30K Favourable	Savings realised. Lobbying expenses are less than expected
Code Of Conduct Committee \$9K Favourable	
Election \$2K Favourable	
Council Donations & Contributions \$2K Favourable	
Village Subsidy Program \$31K Favourable	Savings realised. Donations to Village groups less than expected.
Australia Day Celebrations \$1K Favourable	
Citizenship Ceremony \$-1K Unfavourable	
Audit & Risk Committee \$17K Favourable	Savings realised.
Orana Water Utilities Alliance \$-26K Unfavourable	The project officer role was not filled July to September 2023. No salary was being paid during this period. Unspent funds has been recognised as contract liability which was not budgeted for.
Owua Small Projects \$-2K Unfavourable	
CORPORATE SUPPORT	\$657K Favourable

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GOOD GOVERNMENT	
Insurance - General \$-2K Unfavourable	Salaries and wages are lower than anticipated due to vacancies throughout the year
Corporate Buildings Admin \$18K Favourable	
Corporate - Administration Centre Gulgong \$-1K Unfavourable	High energy, water and waste tipping costs
Corporate - Administration Centre Mudgee \$-13K Unfavourable	
Corporate - Administration Centre Rylstone \$-1K Unfavourable	
Corporate - Ex Police Building \$-6K Unfavourable	
Corporate - Family Day Care Offices \$1K Favourable	
Corporate - It Office \$-1K Unfavourable	
Corporate - Community Directorate Office \$-2K Unfavourable	
Corporate - Operations Admin Office \$2K Favourable	
Corporate - The Stables \$2K Favourable	
Corporate - Cahill Park Clubhouse \$7K Favourable	
Buildings Major Projects Admin \$34K Favourable	Salaries and wages have been coded to the relevant major project
Corporate - Key & Lock Maintenance \$-3K Unfavourable	Original budget sought was only for around \$41k. No energy, water or waste costings have been applied to this budget
Corporate - Recreational Building Operational \$45K Favourable	
Rylstone Administration - Building Painting \$9K Favourable	
Old Police Station Capital \$5K Favourable	
Buildings Master Key System \$3K Favourable	Revoted budget to 2024/25. Further investigation to be undertaken.
Mudgee Admin Building Extension \$147K Favourable	
Mudgee Admin Building - East Wing Offices Reconfiguration \$-1K Unfavourable	
Carmel Croan Building - Roof Restoration \$9K Favourable	
Corporate Governance \$-61K Unfavourable	Salaries and wages are \$43k over budget due to new position (Compliance Officer) which is now included in 2024/25 budget. Printing \$10k over budget.
Customer Services \$41K Favourable	Savings due to staff vacancies during the year. Salaries and wages are \$25k under budget due to staff vacancies and unreplaced leave
Records Operations \$32K Favourable	
Executive Support \$-10K Unfavourable	Savings due to staff vacancies during the year. Savings realised on advertising costs
Corporate Planning \$9K Favourable	
Corporate Development \$22K Favourable	Budget not utilised during the year
Community News & Advertising \$30K Favourable	
Government Lobbying \$-4K Unfavourable	
Strategic Initiatives \$41K Favourable	
Corporate Advertising \$3K Favourable	Revoted budget into 2024/25. Consultants procured and progressing.
Adverse Event Plan \$1K Favourable	
Road Closures Planning Proposal \$20K Favourable	There were several vacancies during the year including Manager of People and Performance, Recruitment and Engagement Officer and HR officer.
Human Resources \$59K Favourable	
Staff Recruitment & Retention \$46K Favourable	Staff recruitment costs are lower than anticipated.
Staff Training, Conferences & Seminars \$-13K Unfavourable	Leave entitlement accruals are higher than anticipated.
Staff Leave Entitlements \$-407K Unfavourable	

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GOOD GOVERNMENT	
Workplace Health & Safety \$108K Favourable	The WHS Coordinator was only part time and there was a vacancy for the risk officer during the year.
Financial Services \$-81K Unfavourable	
Revenue Collection \$55K Favourable	High recovery of legal costs and savings realised due to staff vacancies during the year.
Plans Of Management - Crown Lands \$141K Favourable	Revoted budget into 2024/25 as Red Hill, Gulgong & Cemeteries Plans of Management's are not yet complete.
Stores & Purchasing \$161K Favourable	Higher than expected internal overheads
Procurement \$155K Favourable	Savings realised due to staff vacancies during the year.
Information Technology Operations \$3K Favourable	
IT Special Projects \$-3K Unfavourable	
IT - Network Upgrades \$50K Favourable	Project complete with savings realised.
IT Corporate Software \$7K Favourable	
MID-WESTERN OPERATIONS	\$47 Unfavourable
Mid-Western Operations Administration \$-48K Unfavourable	Increase in Fringe benefit tax and salaries and wages during the year
Mwrc Ops Admin - 48 Depot Rd \$4K Favourable	
Mwrc Ops Admin - 23 Depot Road \$-3K Unfavourable	
ENGINEERING & WORKS - ASSETS	\$772 Unfavourable
Asset Management Admin \$24K Favourable	Savings realised due to staff vacancies during the year.
Development Engineering Operations \$140K Favourable	Savings due to contractor being utilised and costed to the energyco and Rez impacts project
Plant Operations Fund \$403K Favourable	Larger than expected gain on disposal of assets. Internal plant hire income lower than anticipated High energy, water and waste tipping costs
Council Works Depots - Buildings \$-45K Unfavourable	
Council Works Depot Operations \$12K Favourable	Internal plant hire income higher than anticipated
Communications - Remote Facilities \$9K Favourable	
Plant Purchases \$-507K Unfavourable	Plant purchases higher than anticipated due to market. Revoted budget to 2024/25 for purchases of Trailer for Parks and gardens and an additional ranger vehicle
Plant Purchases - New \$90K Favourable	
Capital Upgrade - Rylstone Depot \$-3K Unfavourable	
Solar Farm Initiative - Stage 3 \$-270K Unfavourable	This is a multi-year project. 2024/25 budget reduced by the overspend in 2023/24.
Solar Arrays - Operations \$27K Favourable	Position vacancy for longer than anticipated, and savings on Battery System consulting works.
Book Value Of P&E Sold \$-652K Unfavourable	Higher than anticipated book value of plant sold
OTHER BUSINESS UNDERTAKINGS	\$52K Favourable
Private Wks General-Budget \$-19K Unfavourable	
Mudgee Golf Club Footpath \$-15K Unfavourable	Reversal of the balance of the footpath construction bond
Natmarc Industries \$1K Favourable	
Lv. Esb Pty Ltd \$-2K Unfavourable	
Mudgee Running Festival \$-3K Unfavourable	
Renasant Regional Pty Ltd \$3K Favourable	
Tfnsw Ulan Road Speed Zone Changes \$3K Favourable	
The Oriental Hotel Replace 40Mm Smart Water Meter & Old Ball \$-1K Unfavourable	
Hines Construction 2 X 100Mm Service Lines & Meters Stage 2 \$14K Favourable	Margin on private works realised
Sa Carr & Company Pty Ltd New Road Crossing Shutdown & Works \$6K Favourable	
Dave Carter \$1K Favourable	

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GOOD GOVERNMENT	
J & A Sydney Pty Ltd (Evan Hayes) \$-2K Unfavourable	
A1 Earthworx = Ulan Coal Carparks \$2K Favourable	
Stubbo Solar Farms Sign Installation \$9K Favourable	
Stuctor Projects Pty Ltd \$6K Favourable	
Dubbo Regional Council \$1K Favourable	
Adam James Kelly \$3K Favourable	
Andrew Radzievic \$3K Favourable	
Mudgee Golf Club \$5K Favourable	
Mudgee Show Traffic Management \$-1K Unfavourable	
Tba - Roads \$2K Favourable	
Tba - Roads \$2K Favourable	
Tba - Roads \$1K Favourable	
Tba - Roads \$10K Favourable	
Tba - Roads \$2K Favourable	
Tba - Roads \$1K Favourable	
Tba - Water & Sewer \$8K Favourable	
Tba - Water & Sewer \$9K Favourable	
Tba - Water & Sewer \$1K Favourable	
GENERAL PURPOSE INCOME	\$4496K Favourable
General Purpose Revenue \$4496K Favourable	2024/25 Financial Assistance grant received in 2024/25 resulting in higher than anticipated income \$4.8million variance.
DEVELOPER CONTRIBUTIONS	\$5168K Favourable
General Fund Developer Contributions \$2426K Favourable	Increase in development in the area resulting in increase in developer contributions and Voluntary planning income
S64 Water Contributions \$2056K Favourable	Increase in subdivision development in the area resulting in increase in developer contributions
S64 Sewer Contributions \$686K Favourable	Increase in subdivision development in the area resulting in increase in developer contributions
LOOKING AFTER OUR COMMUNITY	
FIRE PROTECTION	\$4046K Favourable
Rural Fire Service - General Operations \$3953K Favourable	Non-cash asset contribution for the RFS Fire Control Centre
Rural Fire Service - Stations & Sheds (Operating) \$63K Favourable	Savings realised. Underspending allocated to unspent grants
Rural Fire Service - Vehicles \$-3K Unfavourable	
Rural Fire Service - Fire Fighting Fund \$4K Favourable	
Rural Fire Service - Fcc Building Misc \$4K Favourable	
Rural Fire Service - Crudine Station Upgrade (Operating) \$-2K Unfavourable	
Bushfire Recovery - Ilford Hall (Drfa) \$1K Favourable	
Bushfire Recovery - Olinda Hall (Drfa) \$9K Favourable	
Rural Fire Service - Lue Station (Capital) \$3K Favourable	
Rural Fire Service - Water Tank Maintenance \$11K Favourable	Savings realised. Underspending allocated to unspent grants
Rural Fire Service - Botobolar Station (Capital) \$-1K Unfavourable	

LOOKING AFTER OUR COMMUNITY	
Rural Fire Service - Clandulla Station Extension (Capital) \$-9K Unfavourable	
Rural Fire Service - Mudgee Airbase Shed (Capital) \$14K Favourable	Project complete, savings realised
S44 March 2023 \$2K Favourable	
Rural Fire Service - Crudine Station Upgrade (Capital) \$2K Favourable	
Rural Fire Service - Mudgee Hq \$-1K Unfavourable	
Rural Fire Service - Birriwa Rbf \$-1K Unfavourable	
ANIMAL CONTROL	\$45K Favourable
Animal & Pest Control \$28K Favourable	Salaries and wages are \$26K under budget due to staff vacancies and unreplaced leave
Mudgee Pound Upgrade - Renovation & Extension \$3K Favourable	
Mudgee Pound Operational \$14K Favourable	Operating cost under budget. No costings for energy, water waste costed to this project
EMERGENCY SERVICES	\$4 Unfavourable
State Emergency Services \$13K Favourable	Security system for SES completed by SES Facility
Local Emergency Management Committee \$-2K Unfavourable	
Emergency Services - Flood Feb 2022 (Drfa) \$-1K Unfavourable	
Resilience & Risk Reduction Officer \$-14K Unfavourable	Unspent grants from prior year have been used before making further claims thus no revenue was received this year. Project was actually underspent due to cost savings in delivering the Get Ready Expo and remaining funds will be directed in to additional disaster preparedness community engagement activities and capacity building
PUB ORDER & SAFETY OTHER	\$63K Favourable
Parking Control \$63K Favourable	Salaries and wages are \$56K under budget due to staff vacancies and unreplaced leave
PUBLIC HEALTH	\$175K Favourable
Public Health Registrations & Inspections \$175K Favourable	Savings in employee salaries and overheads as a consequence of the employment of Trainee EHO in lieu of a Senior EHO and there is a new s68 Plumbing & Drainage inspection program which subsequent fees generated were greater than expected
HEALTH OTHER	\$24K Favourable
Doctors \$6K Favourable	
Healthy Communities Alliance \$11K Favourable	Savings realised for the year
Uow Scholarship \$7K Favourable	
COMMUNITY SERVICES ADMINISTRATION	\$88K Favourable
Community Services Administration \$70K Favourable	Change in staffing during the year resulting in lower than anticipated salaries and wages.
Community Builders \$16K Favourable	Community Builders Partnership grant higher than anticipated.

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 QUARTERLY BUDGET REVIEW STATEMENT
 JUNE 2024

LOOKING AFTER OUR COMMUNITY	
Seniors Week \$2K Favourable	
FAMILY DAY CARE	\$39K Favourable
Family Day Care \$39K Favourable	Reduction in activities due to fewer family day care providers available
YOUTH SERVICES	\$135K Favourable
Youth Services Administration \$110K Favourable	Additional grant income received
Youth Week \$-1K Unfavourable	
Youth Services Vehicle Purchase \$26K Favourable	Youth Services vehicle note purchased. Budget revoted
AGED & DISABLED	\$74K Favourable
Meals On Wheels \$-21K Unfavourable	Client contributions lower than expected.
Community Transport \$74K Favourable	Savings due to Trips booking system was not implemented during the year. Higher than anticipated grants were received for the Commonwealth Home Supporting Program and HRT grants
Ironed Out Operations \$16K Favourable	Treatment of Property rental per accounting standard resulting in favourable outcome
Aged Care Units - Louee Street Rylstone \$1K Favourable	
Aged Care Units - Mudgee Street Rylstone \$-2K Unfavourable	
Aged Care Units - Cooyal/Anderson St Gulgong \$7K Favourable	
EDUCATION	\$730 Unfavourable
Country University Centre Capital \$-722K Unfavourable	The grant for the university was not successful.
Country University Centre Operating \$-8K Unfavourable	
HOUSING	\$2 Unfavourable
Lg Housing - Income \$-10K Unfavourable	Housing Plus maintenance costs for community housing required.
Lg Housing - Denison Street Units \$7K Favourable	
Lg Housing - Walter Street Units \$1K Favourable	
TOWN PLANNING	\$162K Favourable
Strategic Planning \$-4K Unfavourable	
Urban Release Strategy - Mudgee & Gulgong \$12K Favourable	Project complete with savings realised
Employment Lands Strategy - Mudgee Height Masterplan \$8K Favourable	
Housing Strategy \$-2K Unfavourable	
Gis Cobar \$1K Favourable	
Development Control \$33K Favourable	
Heritage - Local Heritage Advisors \$11K Favourable	Savings realised
Heritage - Local Heritage Places \$-2K Unfavourable	
Nsw Planning Portal Api Integration \$105K Favourable	Implementation of planning portal complete with savings realised. Council portion of funding was not required.

LOOKING AFTER OUR COMMUNITY	
PUBLIC CEMETERIES	\$16 Unfavourable
Cemetery Mtce - Mwrc Operations \$-25K Unfavourable	Increase in water costs to maintain expanded lawn cemetery sections
Cemetery Rural \$22K Favourable	Savings realised
Cemetery Mtce - Administration \$-47K Unfavourable	Cemetery fees lower than anticipated
Cemetery Signage Replacement \$5K Favourable	
Cemetery Capital Program \$-13K Unfavourable	Works for the cemetery expansion project
Cemetery Expansion - Mudgee & Gulgong \$40K Favourable	Revised budget into 2024/25.
Cemetery Signage Upgrade \$1K Favourable	
PUBLIC CONVENIENCES	\$19K Favourable
Public Toilets - General Operations \$2K Favourable	
Public Toilets - Rylstone \$-1K Unfavourable	
Public Toilets - Ilford Rest Stop \$-17K Unfavourable	Grant income for rest stop was unsuccessful
Public Toilets - Rotary Park Kandos Upgrade \$-1K Unfavourable	
Public Toilets - St John'S Anglican Church \$36K Favourable	Project complete with savings realised
PUBLIC LIBRARIES	\$85K Favourable
Library - General Operations \$99K Favourable	Salaries and wages savings due to vacancies during the year. State Libraries grant is higher than anticipated.
Library - Special Projects \$-5K Unfavourable	
Library Books \$-1K Unfavourable	
Library - Special Projects - Capital \$-11K Unfavourable	A portion of the funding for the Local Priority grant was used for capital purchases
Library Building - Mudgee \$1K Favourable	
Library Building - Kandos \$1K Favourable	
Mudgee Library Air Conditioning \$1K Favourable	
COMMUNITY CENTRES	\$38K Favourable
Community Centres - Hargraves Court \$10K Favourable	
Community Centres - 70 Court Street \$10K Favourable	
Community Centres - Old Gulgong Fire Station \$18K Favourable	Building not utilised much during the year. Minimal maintenance required.
PUBLIC HALLS	\$134K Favourable
Community Buildings Administration \$-5K Unfavourable	
Public Halls - Goolma Hall \$3K Favourable	
Public Halls - Gulgong Memorial Hall \$8K Favourable	
Public Halls - Kandos \$4K Favourable	
Public Halls - Mudgee Town Hall \$1K Favourable	
Public Halls - Rylstone \$5K Favourable	
Public Halls - Kandos Preschool \$13K Favourable	Adjustment in rental agreement resulting in higher rental income.
Public Halls - Rylstone Showground Amenities \$-2K Unfavourable	
Public Halls - Rylstone Small Hall (Guides Hall) \$8K Favourable	

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 JUNE 2024

LOOKING AFTER OUR COMMUNITY	
Mudgee Town Hall Cinema Operations \$-23K Unfavourable	Safe tickets are low due cinema equipment failure during the year resulting in films not running for a portion of the year.
Capital Upgrade - Kildallion \$2K Favourable	
Community Electrical Investigation & Upgrades \$2K Favourable	
Public Halls - Audio Upgrades \$2K Favourable	
Capital Upgrade - Town Hall Cinema Equipment \$3K Favourable	
Capital Upgrade - Rylstone Memorial Hall Air Conditioning \$34K Favourable	Project complete with savings realised
Kandos Hall & Library - External Painting & Kitchen Upgrade \$44K Favourable	Revoted budget for further upgrades to be completed
Kandos Hall & Library - Toilets \$-1K Unfavourable	
Rylstone Showground - Amenities Change Room Upgrade (Require \$4K Favourable	
Gulgong Men'S Shed - External Wall Replacement \$2K Favourable	
Town Hall Theatre - Dressing Room Amenities Upgrade \$24K Favourable	Project complete with savings realised
Kandos Hall Internal Repairs \$8K Favourable	
SWIMMING POOLS	
Pool Operations - Mudgee \$-83K Unfavourable	\$81K Favourable Increase in staff wages to maintain safety, noting increase in pool visitations by 10,000
Pool Operations - Gulgong \$-65K Unfavourable	Increase in staff wages to maintain safety, noting increase in pool visitations by 7,000
Pool Operations - Kandos \$-13K Unfavourable	Increase in staff wages to maintain safety, noting increase in pool visitations by 4,000
Mudgee Pool Heaters \$80K Favourable	Revoted to 2024/25. Time constraints to complete during pool season, scheduled to be completed in the 2024 season closure.
Mudgee Pool Storage Shed Upgrade \$9K Favourable	
Lighting Upgrade - Pools \$50K Favourable	Revoted to 2024/25. Lighting design completed. Work to be completed during the pool off-season.
Gulgong Pool Heaters \$105K Favourable	Revoted to 2024/25. Time constraints to complete during pool season, scheduled to be completed in the 2024 season closure.
SPORTING GROUNDS	
Active Parks - Mwrc Operations \$23K Favourable	\$1106K Favourable
Active Parks - Building Maintenance \$-6K Unfavourable	
Council Recreation Strategy Development \$-1K Unfavourable	
Active Parks - Administration \$-46K Unfavourable	
Active Parks - Glen Willow Maintenance \$-55K Unfavourable	Increase in open space maintenance activities
Skate Park Maintenance \$12K Favourable	Savings realised
Active Parks - Relamp Sports Lighting \$49K Favourable	Budget revoted into 2024/25. Investigation work complete on all sporting grounds lighting to which confirmed significant relamping works required. For this reason, works to be completed at the completion of the winter sports season

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QUARTERLY BUDGET REVIEW STATEMENT
JUNE 2024

LOOKING AFTER OUR COMMUNITY	
Active Parks - Glen Willow Building Maintenance \$6K Favourable	
Glen Willow - Hockey Field And Amenities Investigation \$27K Favourable	Project to continue into 2024/25
Glen Willow - Viewing Platform \$7K Favourable	
Glen Willow Sports Ground Upgrades \$-84K Unfavourable	Works completed on the Glen Willow roads unable to be claimed through grant funding
Mudgee Showgrounds - Amenities \$1K Favourable	
Billy Dunn Oval - Upgrades \$9K Favourable	
Rylstone Showground - Pump Shed Replacement \$20K Favourable	Budget revoted into 2024/25. Funds only secured in last quarterly budget review to which works could not be completed by the end of the financial year.
Clandulla Recreation Park Amenities \$3K Favourable	
Victoria Park Gulgong- Grandstand Improvements \$15K Favourable	Revoted budget into 2024/25 for project at final stages.
Glen Willow - Network Access Fibre Connectivity \$108K Favourable	Project to continue into 2024/25
Glen Willow Stormwater Reticulation System \$-2K Unfavourable	
Mudgee Team Training Village \$-76K Unfavourable	Multi-year Project ahead of schedule. 2024/25 budget adjusted for overspend.
Glen Willow - Pump Track \$337K Favourable	Multi-year project. Budget revoted into 2024/25
Victoria Park Gulgong - Canteen Equipment \$10K Favourable	
Glen Willow Parking - Lighting And Security \$76K Favourable	Budget revoted into 2024/25. Projected delayed to allow Roads department to confirm their street lighting design and fitting selection.
Victoria Park Gulgong - Amenities Upgrade \$-17K Unfavourable	Income budget overstated.
Glen Willow - Netball Precinct Upgrade \$1K Favourable	
Glen Willow - Stadium Lighting Upgrade \$286K Favourable	Project complete with savings.
Billy Dunn Grandstand - Toilets And External Paintwork \$28K Favourable	Project complete with savings realised.
Waratah Park Field Renovation \$41K Favourable	Project complete with savings realised
Property Purchase - 191 Denison Street \$299K Favourable	Revoted budget into 2024/25. Property yet to be settled
Rylstone Showground Cricket Net Replacemen \$-10K Unfavourable	
Mudgee Sports Council \$3K Favourable	
Mudgee Showground Operations \$-49K Unfavourable	Increased camping/event activities required increased maintenance activities. Also significant increase in utility fees result in much higher utility costs.
Rylstone Showground Capital \$20K Favourable	Pump shed replacement budget not utilised
Rylstone Sports Council \$1K Favourable	
Mudgee Showgrounds - Road Rehab And Fencing \$-1K Unfavourable	
Victoria Park Gulgong - Road And Car Park Seal \$-1K Unfavourable	

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 QUARTERLY BUDGET REVIEW STATEMENT
 JUNE 2024

LOOKING AFTER OUR COMMUNITY	
Rylstone Showground Access Road \$57K Favourable	Unspent funds from another Local government recovery funding project where savings realised has been used for the Rylstone Showground Access Road project. This project was completed in 2022/23 and originally funded from unrestricted cash. This has now been fully funded from Local government recovery funding.
Mudgee Showground Livestock Holding Yards \$3K Favourable	
Recreational Property Matters \$12K Favourable	Savings realised
PARKS & GARDENS	\$408K Favourable
Passive Parks - MWRC Operations \$51K Favourable	Water expenses higher than anticipated
Passive Parks - Building Maintenance \$1K Favourable	
Open Space - Waste Collection \$38K Favourable	Internal plant hire expense lower than anticipated.
Passive Parks - Administration \$-68K Unfavourable	Loss on disposal of assets higher than anticipated
Red Hill Reserve - Maintenance \$6K Favourable	
Drainage Reserve Maintenance \$4K Favourable	
Sculptures Across The Region - Maintenance \$22K Favourable	Savings realised
Flirtation Hill Tree Removal \$-2K Unfavourable	
Red Hill Museum Operations \$64K Favourable	Red Hill Museum project cancelled. Costs to finalise agreements and legal matters still outstanding to continue into 2024/25
Red Hill - Building Maintenance \$24K Favourable	Operational costs lower than forecasted.
Robertson Park Mudgee Masterplan \$7K Favourable	
Training Camp Existing Dwelling \$1K Favourable	
Passive Parks - Landscaping Improvements \$3K Favourable	
Kandos Inclusive Adventure Playspace \$42K Favourable	Multi-year project. Budget revoted into 2024/25
Public Spaces - Install Camera & Security Lighting \$-3K Unfavourable	
Electric Bbq - Kandos & Rylstone Playground \$7K Favourable	
Shade Sail - Mudgee Dog Park \$1K Favourable	
Sculptures Across The Region \$6K Favourable	
Jack Tindale Park Roads \$-2K Unfavourable	
Apex Park Gulgong - Irrigation Renewal \$4K Favourable	
Playground Shading Program \$37K Favourable	Grant income received and utilised from Resources for Regions
Park Bin Replacement \$32K Favourable	Revoted budget into 2024/25 to continue bin replacements.
Playground Rubber Softfall Program \$-1K Unfavourable	
Rotunda Park Kandos - Rotunda Works \$5K Favourable	
Playground Equipment Upgrade - Lawson Park Mudgee \$99K Favourable	Multi-year project. Budget revoted into 2024/25
Lawson Park Mudgee -Irrigation Renewal \$2K Favourable	
Mudgee Riverside - Walking Track Improvements \$18K Favourable	Project to continue into 2024/25

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LOOKING AFTER OUR COMMUNITY	
Flirtation Hill Mudgee - Master Plan Works \$9K Favourable	
ART GALLERIES	\$88K Favourable
Art Gallery Operations \$74K Favourable	Savings in salaries and wages due to vacancies and electricity costs lower than anticipated.
Art Gallery Exhibition Program \$-4K Unfavourable	
Art Gallery Maintenance \$19K Favourable	Lower than anticipated maintenance costs.
Art Gallery Work Shop Maintenance \$-2K Unfavourable	
BUILDING CONTROL	\$135K Favourable
Building Regulatory Services \$135K Favourable	Increase in Councils buildings certification services generated greater than expected income
URBAN RDS -LOCAL	\$28 Unfavourable
Street Scape Maintenance \$-17K Unfavourable	Trees removed as per risk management vetting activities. Arborist reports assisted with this and subsequent maintenance activity requirements.
Town Approaches Maintenance \$-15K Unfavourable	Prolonged growing season required additional contractor mowing activities, noting minimal frosts experienced this season.
Streetscape - RFS Hazard Reduction \$-3K Unfavourable	
Street Scape Improvements \$4K Favourable	
Streetscape - Street Bins \$3K Favourable	
PROTECTION OUR NATURAL ENVIRONMENT	
PRIORITY WEEDS	\$104K Favourable
Weeds Inspection \$94K Favourable	Savings realised due to vacancies during the year
Weed Control - Council Roads \$-7K Unfavourable	
Weed Control - Crown Lands \$18K Favourable	Budget not utilised during the year
DOMESTIC WASTE MANAGEMENT	\$56K Favourable
Domestic Waste Management \$81K Favourable	Grant pension subsidy budget error resulting in 118k favourable result for revenue. Higher than anticipated spending in salaries and wages and internal plant hire for 37k
Organics Collection System Program \$-25K Unfavourable	
OTHER WASTE MANAGEMENT	\$2572K Favourable
Waste - General Operations \$230K Favourable	Higher than anticipated tipping fees and interest on other funds.
Waste - Commercial Waste \$139K Favourable	Internal income for tipping fees are higher than budgeted
WTS Operations \$88K Favourable	Savings realised for salaries and wages and internal plant hire.
Mudgee Recycling Operations \$-62K Unfavourable	Recycling income is lower than anticipated
Rural Waste Depot Upgrades \$6K Favourable	
Mudgee Waste Depot Upgrades \$89K Favourable	Revoted budget into 2024/25 for the new litter fencing
New Tip Cell Construction \$1906K Favourable	Revoted budget into 2024/25 for multi-year project
Waste Sites Rehabilitation \$172K Favourable	Budget moved to separate project for accounting recognition of provision
Kandos WTS Office Replacement \$4K Favourable	
STORM WATER DRAINAGE	\$6569K Favourable

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 QUARTERLY BUDGET REVIEW STATEMENT
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PROTECTION OUR NATURAL ENVIRONMENT	
Drainage Administration \$5592K Favourable	Recognition of found stormwater assets (non-cash)
Drainage Maintenance \$81K Favourable	Savings realised
Drainage Maintenance - Culvert Replacement \$-23K Unfavourable	Overspend due to required replacements.
Natural Disaster Melrose Causeway \$-1K Unfavourable	
Natural Disaster Campbells Ck Rd Causeway \$-1K Unfavourable	
Natural Disaster Wallawaugh Rd Causeway \$-2K Unfavourable	
Natural Disaster Barigan Road Causeway \$-4K Unfavourable	
Culvert Installations \$29K Favourable	Overspend due to required repairs
Causeway Improvements \$-3K Unfavourable	
Mudgee Flood Study & Floodplain Management Plan \$31K Favourable	Project to continue into 2024/25
Mudgee Floodplain Management Plan Stage 2 \$-36K Unfavourable	Higher than expected consultancy expenses
Natural Disaster Coxs Crown Road Causeway (Requires Grant) \$10K Favourable	Revote Flood Damage Natural disaster funded
Natural Disaster Mogo Road Causeway \$1K Favourable	
Natural Disaster Sweepy Rd (Old Coach) Causeway \$-4K Unfavourable	
Stormwater Drainage - Bombira Avenue \$872K Favourable	Budget revoted into 2024/25
Memorial Park Mudgee - Drainage Improvement \$25K Favourable	Budget revoted into 2024/25
ENVIRONMENTAL PROTECTION	\$28K Favourable
Environment - Administration \$-1K Unfavourable	
Environment - Projects \$20K Favourable	Savings realised
Environment - Community Initiatives \$1K Favourable	
Env - Cudgegong River \$-5K Unfavourable	
Env - Putta Bucca Wetlands \$7K Favourable	
Putta Bucca Wetlands Capital \$6K Favourable	
Natural Disaster Putta Bucca Wetlands Track (Requires Grant) \$2K Favourable	
WATER SUPPLIES	\$1362K Favourable
Water Management & Administration \$1040K Favourable	Water usage for residential has increased significantly in comparison to previous years
Water Management Studies \$79K Favourable	Budget revoted to 2024/25 for the multi-year strategy project.
Water Supply Education \$21K Favourable	Budget not utilised during the year
Rural Water Fill Station \$12K Favourable	Quarter 3 budget reduction was overestimated and hence expenses closer to original budget.
Water Mains Ops & Maint \$-35K Unfavourable	There was an increase in material costs later in the financial year.
Water Meter Ops & Maint \$-29K Unfavourable	Salaries and wages and materials and consumables higher than anticipated.
Water New Connections \$-3K Unfavourable	
Raw Water Systems Ops & Maint \$-4K Unfavourable	
Water Pump Station Ops & Maint \$-23K Unfavourable	Quarter 3 budget reduction was overestimated and hence expenses closer to original budget.
Water Filtration Plant Ops & Maint Rylstone \$-20K Unfavourable	
Water Purchases \$-19K Unfavourable	Water NSW license expenses have increased for the year
Water Reservoir Ops & Maint \$-2K Unfavourable	

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PROTECTION OUR NATURAL ENVIRONMENT	
Water River Intakes Ops & Maint \$-20K Unfavourable	Electricity expense higher than the adjusted budget amount expected, however less than original budget.
Water T'Ment Plant Ops & Maint Mudgee \$-99K Unfavourable	Higher than expected expenses for contractor and chemical expenses.
Water T'Ment Plant Ops & Maint Gulgong \$-15K Unfavourable	Higher than expected expenses for chemical, material and consumables and wet plant hire
Water Wellfields Ops & Maint \$-10K Unfavourable	Electricity expenses higher than expected.
Water Augmentation - Mudgee Headworks \$23K Favourable	Revoted budget to 2024/25 for multi-year project.
Water Mains - Mayne Street \$1K Favourable	
Water Mains - Bayly Street \$8K Favourable	
Water Mains - Tallawang Road \$8K Favourable	
Water Mains - Nrar Water Meter Project \$49K Favourable	Revoted budget to 2024/25 for final works. Delayed by NRAR meter registration approval process
Water Mains - Fitzroy St, Gulgong \$137K Favourable	Revoted budget to 2024/25 as delayed due to availability of contractors
Water Mains - Louee St, Rylstone \$28K Favourable	Project complete with savings realised.
Water Mains - Bawden St, Mudgee \$-30K Unfavourable	Multi-year project. Contractor ahead of project.
Water Mains - Bulga St, Gulgong \$27K Favourable	Revoted budget to 2024/25, delays due to contractor.
Water Mains - Wilbertree St Gulgong \$201K Favourable	Revoted budget to 2024/25, delays due to contractor availability
Water Pump Station - Capital Renewals \$30K Favourable	Revoted budget to 2024/25, Contractor unable to complete Flirtation Hill Mudgee pump overhaul prior to end of financial year.
Water Pump Station - Gulgong River Access \$3K Favourable	
Raw Water Systems Renewals \$13K Favourable	Project complete with savings realised.
Water Treatment Plant - Renewals \$-9K Unfavourable	
SEWERAGE SERVICES	
Sewer Management & Administration \$1236K Favourable	\$1455K Favourable Recognition of founded assets variance of \$1m (Non cash). Income from usage, connection and interest on funds higher than anticipated \$973k. Disposal of assets is higher than anticipated \$732 (Non cash)
Sewer Management Studies \$44K Favourable	Revoted budget to 2024/25 for multi-year strategy project
Mudgee Sewerage Strategy \$-10K Unfavourable	Multi-year strategy project
Pressure Sewer Ops & Maint Charbon \$17K Favourable	Savings realised
Sewer Mains Ops & Maint \$-50K Unfavourable	Salary and wages and internal plant hire expense higher than the adjusted budget amount expected, however less than original budget.
Sewer New Connections \$30K Favourable	Project complete with savings realised.
Sewer Pump Station Ops & Maint \$-46K Unfavourable	Electricity expenses higher than expected.
Sewer T'Ment Wks Ops & Maint Mudgee \$-88K Unfavourable	Materials and consumables, electricity and waste tipping (internal charge) expenses higher than expected.
Sewer T'Ment Wks Ops & Maint Gulgong \$8K Favourable	
Sewer T'Ment Wks Ops & Maint Rylstone \$6K Favourable	
Sewer T'Ment Wks Ops & Maint Kandos \$9K Favourable	
Sewer Vapour Testing And Rectification \$8K Favourable	
Sewer Augmentation - Rylstone & Kandos \$203K Favourable	Revoted budget to 2024/25 for multi-year project.
Capital Upgrades - Sewer Mains \$67K Favourable	Project complete with savings realised.
Sewer Pump Station - Capital Renewals \$30K Favourable	Project complete with savings realised.

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JUNE 2024

PROTECTION OUR NATURAL ENVIRONMENT

Sewer Treatment Works - Renewals \$-7K
Unfavourable

Unrestricted Cash by Fund

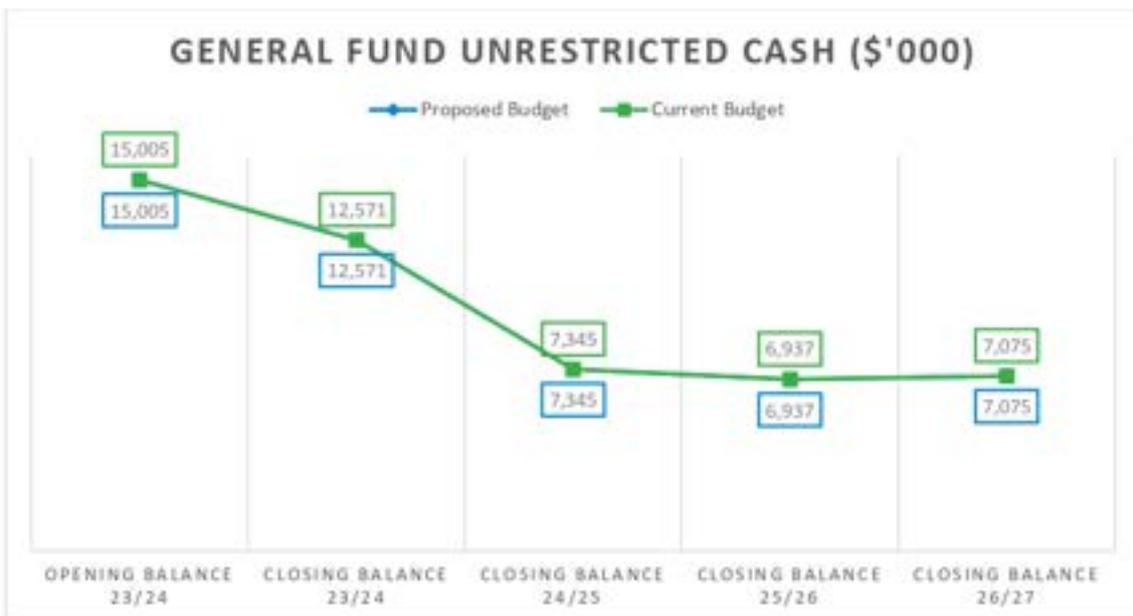
General Fund

Council finished the 2022/23 financial year with an unrestricted cash balance of \$15,005 million. As adopted by Council the Original Budget projected a decrease to 30 June 2024 of \$3.145 million. Council has since adopted the following budget movements, summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(3,145)	Decrease
Revotes	(3,106)	Decrease
Approved variations	3,817	Increase
Estimated movement to 30 June 2024	(2,434)	Decrease
Projected balance at 30 June 2024	12,571	
Actual balance at 30 June 2024	23,886	

The actual unrestricted cash balance of \$23.886 million represents about 17 weeks of Council's 2023/24 expenditure budget. This is a high level of unrestricted cash and is adequate to ensure Council is able to meet its debts and obligations as they fall due.

The General Fund projected unrestricted cash balance over the next four years is shown below.



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 QUARTERLY BUDGET REVIEW STATEMENT
 JUNE 2024

The closing balance of unrestricted cash as at 30 June 2024 compares favourably with budget estimates by \$11.315 million. The main factors influencing this outcome are related to:

VARIATION	AMOUNT (\$'000)	MOVEMENT
Increase in unrestricted Payables	4,204	Increase
Decrease in unrestricted Contract Liabilities	-1,611	Decrease
Increase in unrestricted Borrowing & Lease Liabilities	1,602	Increase
Increase in unrestricted Trade Debtors	-893	Decrease
Decrease in unrestricted Inventory	12	Increase
Decrease in unrestricted Contract Assets	5,781	Increase
Increase in Other Assets	-292	Decrease
Unrestricted cash expenditure carried forward to 2023/24(revotes)	2,175	Increase
Net unrestricted budget result movement	337	Increase
Net Movement	11,315	Increase

Water Fund

Council finished the 2022/23 financial year with a Water fund unrestricted cash balance of \$1.448 million. As adopted by Council the Original Budget projected a decrease to 30 June 2024 of \$326k. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(326)	Decrease
Revotes	(144)	Decrease
Approved variations	(67)	Decrease
QBR proposed variations	0	Decrease
Estimated movement to 30 June 2024	(537)	Decrease
Projected balance at 30 June 2024	911	
Actual balance at 30 June 2024	1,573	

The closing balance of unrestricted cash as at 30 June 2024 compares favourably with budget estimates by \$662k (unaudited).

TOTAL WATER FUND CASH

Council finished the 2023 financial year with a Water Fund cash balance of \$20.894 million, made up of:

CASH CLASSIFICATION	AMOUNT (\$'000)
S64 Developer Contributions	9,612
Water Reserves	9,833
Contract Liabilities	-
Unspent Grants	1
Unrestricted	1,448
Total	20,894

Actual Water Fund cash balances as at 30 June 2024 are made up as follows (unaudited):

CASH CLASSIFICATION	AMOUNT (\$'000)
S64 Developer Contributions	12,259
Water Reserves	10,796
Contract Liabilities	213
Unspent Grants	1
Unrestricted	1,573
Total	24,842

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 QUARTERLY BUDGET REVIEW STATEMENT
 JUNE 2024

Sewer Fund

Council finished the 2022/23 financial year with a Sewer Fund unrestricted cash balance of \$4.237 million. As adopted by Council the Original Budget projected a decrease to 30 June 2024 of \$1.351 million. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(1,351)	Decrease
Revotes	(224)	Decrease
Approved variations	360	Increase
Estimated movement to 30 June 2024	(1,215)	Decrease
Projected balance at 30 June 2024	3,022	
Actuals balance at 30 June 2024	3,608	

The closing balance of unrestricted cash as at 30 June 2024 compares favourably with budget estimates by \$586k (unaudited).

TOTAL SEWER FUND CASH

Council finished the 2023 financial year with a Sewer Fund cash balance of \$22.651 million, made up of:

CASH CLASSIFICATION	AMOUNT (\$'000)
S64 Developer Contributions	5,163
Sewer Reserves	13,236
Contract Liability	15
Unrestricted	4,237
Total	22,651

Actual Sewer Fund cash balances as at 30 June 2024 are made up as follows (unaudited):

CASH CLASSIFICATION	AMOUNT (\$'000)
S64 Developer Contributions	6,222
Sewer Reserves	14,975
Contract Liability	51
Unrestricted	3,608
Total	24,856

Waste Fund

Council finished the 2022/23 financial year with a Waste Fund unrestricted cash balance of \$4.823 million. As adopted by Council the Original Budget projected an increase to 30 June 2024 of \$368k. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	368	Increase
Approved variations	(1,555)	Decrease
Estimated movement to 30 June 2024	(1,187)	Decrease
Projected balance at 30 June 2024	3,636	
Actual balance at 30 June 2024	5,478	

The closing balance of unrestricted cash as at 30 June 2024 compares favourably with budget estimates by \$1.842 million (unaudited). This is due to the New Tip Cell constructions and waste site rehab being revoted into 2024/25, timing of creditor payments and an increase in tipping fee income and interest income.

TOTAL WASTE FUND CASH

Council finished the 2023 financial year with a Waste Fund cash balance of \$8.407 million, made up of:

CASH CLASSIFICATION	AMOUNT (\$'000)
Waste Reserves	3,584
Unrestricted	4,823
Total	8,407

Actual Waste Fund cash balances as at 30 June 2024 are made up as follows (unaudited):

CASH CLASSIFICATION	AMOUNT (\$'000)
Waste Reserves	2,042
Unrestricted	5,478
Total	7,520

Other Funds

Council maintains a number of other funds including:

- Private Works
- Saleyards

At 30 June of each financial year, the cash balance held in the above Funds forms part of the overall General Fund Unrestricted Cash Balance.

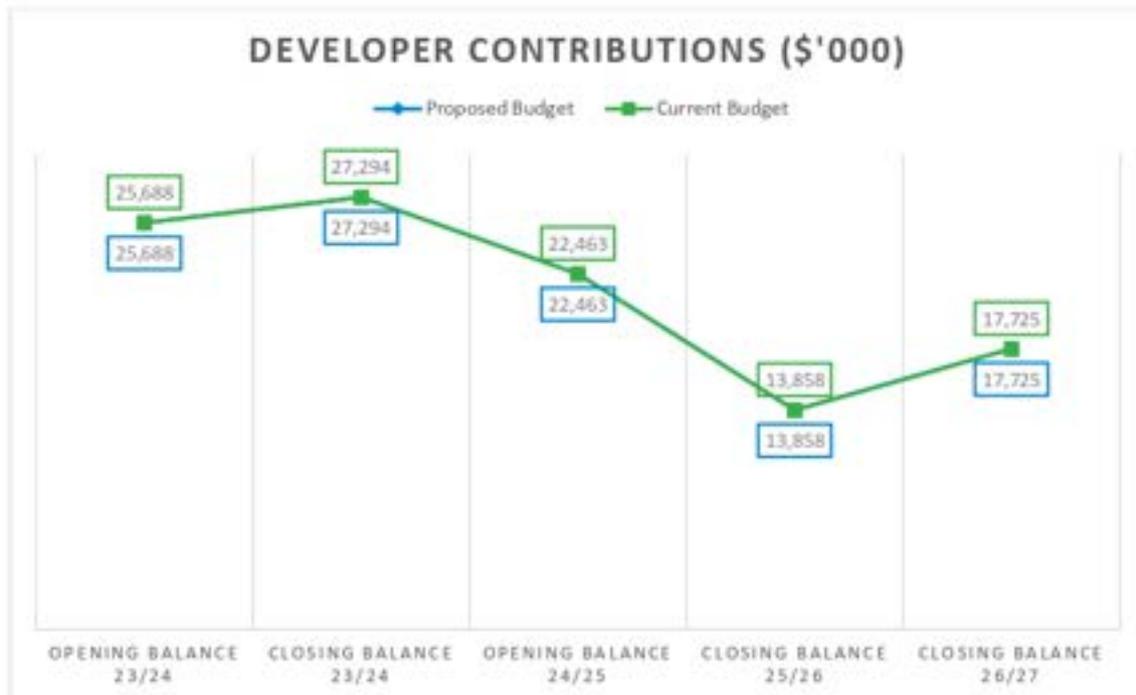
Developer Contributions - Section 64 7.11 & 7.12

Council finished the 2022/23 financial year with a Developer Contributions balance of \$25.688 million. As adopted by Council the Original Budget projected a decrease to 30 June 2024 of \$3.838 million. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(3,838)	Decrease
Revotes	(116)	Decrease
Approved variations	5,560	Increase
Estimated movement to 30 June 2024	1,606	Increase
Projected balance at 30 June 2024	27,294	
Actual balance at 30 June 2024	32,965	

The closing balance as at 30 June 2024 compares favourably with budget estimates by \$5.671 million (unaudited), mainly due to higher than expected development contribution income.

The following chart shows the projected balances over a four year period.



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Loan Borrowings

Council's 2023/24 Operational Plan includes the proposed borrowings below.

Project	Fund	Original Budget \$'000	Current Budget \$'000	Actual \$'000
Mudgee Valley Park Expansion	General Fund	1,760	6,350	6,350
New Tip Cell constructions	Waste Fund	4,000	-	-

Reserves

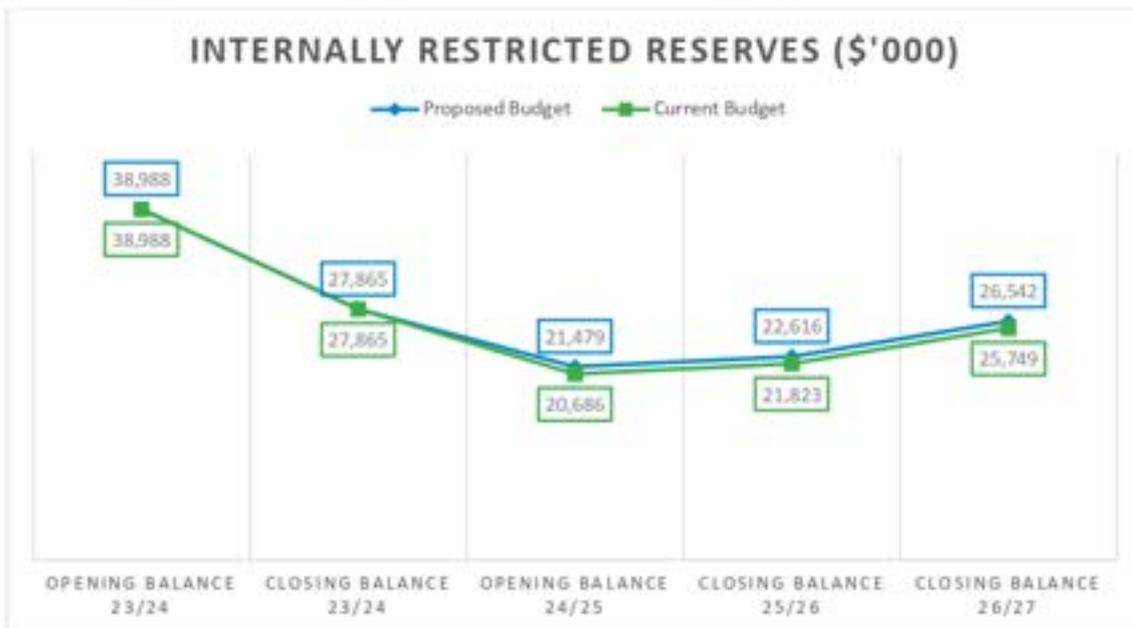
Internally Restricted Reserves

Council finished the 2022/23 financial year with an Internally Restricted Reserve balance of \$38,988 million. As adopted by Council the Original Budget projected a decrease to 30 June 2024 of \$11,052 million. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(11,052)	Decrease
Revotes	(3,493)	Decrease
Approved variations	3,422	Increase
QBR proposed variations	0	Decrease
Estimated movement to 30 June 2024	(11,123)	Decrease
Projected balance at 30 June 2024	27,865	
Actual balance at 30 June 2024	37,320	

The closing balance as at 30 June 2024 compares favourably with budget estimates by \$9,455 million (unaudited), mainly due to the timing of movement Financial Assistance Grants received in advance for \$7.526 million

The following chart shows the projected balances over a three year period.



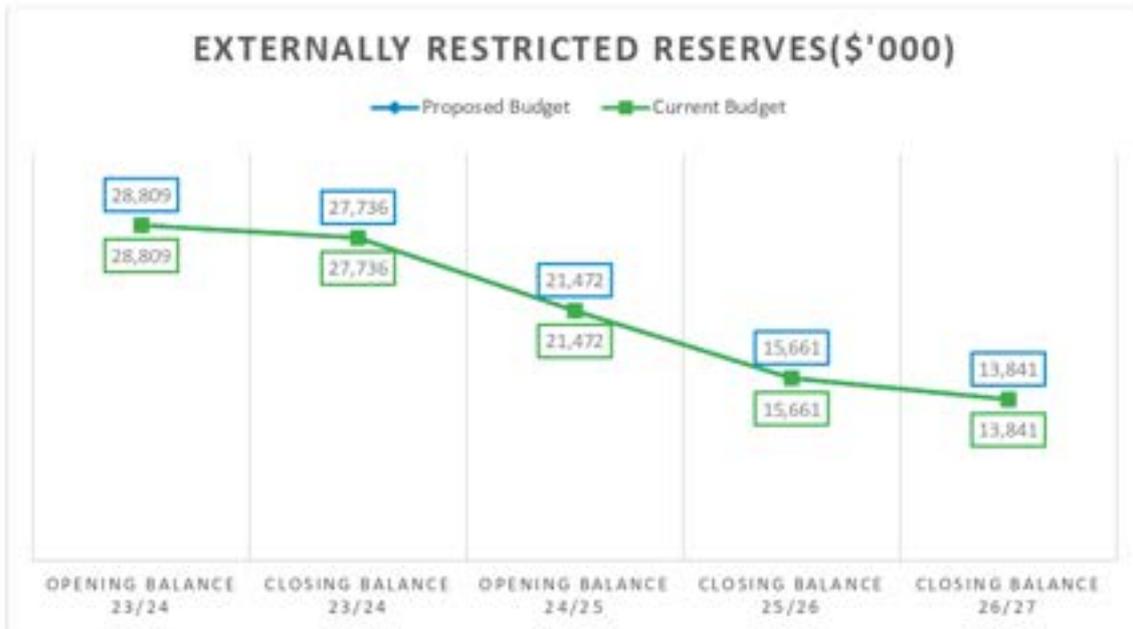
Externally Restricted Reserves

Council finished the 2022/23 financial year with an Externally Restricted Reserve balance of \$28.809 million. As adopted by Council the Original budget projected a decrease to 30 June 2024 of \$0.7 million. The budget movements are summarised below:

Variation	Amount (\$'000)	Movement
Original Budget	(701)	Decrease
Revotes	(1,044)	Decrease
Approved variations	672	Increase
Estimated movement to 30 June 2024	(1,073)	Decrease
Projected balance at 30 June 2024	27,736	
Actual balance at 30 June 2024	30,089	

The closing balance as at 30 June 2024 compares favourably with budget estimates by \$2.353 million (unaudited).

The following chart shows the projected balances over a three year period.



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Cash and Investment Reserves listing as at 30 June 2024

RESERVE	Opening Balance	Current Budgeted Movement	Revised Budget Closing Balance	Actual Balance Year To Date
Internal Reserves				
Employee Leave Entitlements	3,297	200	3,497	3,497
Land Development	3,244	(1,086)	2,158	2,586
Election	190	70	260	262
Plant Replacement	8,152	(373)	7,779	7,908
Asset Replacement	4,762	(264)	4,497	5,213
Capital Program	6,108	(3,644)	2,464	2,921
Livestock Exchange	34	(23)	11	17
State Roads Warranty	388	0	388	388
Future Fund	1,470	400	1,870	1,870
Community Plan	416	(323)	93	102
Seal Extension Program	1,908	(2,063)	(155)	462
Unspent Loan	706	4,295	5,002	4,568
Other Internal Restrictions	8,313	(8,313)	0	7,526
TOTAL INTERNAL RESERVES	38,988	(11,123)	27,864	37,320
External Reserves				
Waste	3,584	(3,016)	568	2,042
Sewer	13,236	1,440	14,676	14,975
Water	9,833	426	10,259	10,796
Community Services	77	0	77	77
Community Tenancy Scheme	289	47	336	331
Family Day Care	137	(35)	102	153
Bequest - Simpkins Park	101	0	101	121
Community Transport Vehicle Replacement	427	65	492	465
Public Road Closure Compensation	1,080	0	1,080	1,080
Other External Restrictions	45	0	45	45
Developer Contributions (VPA)	5,101	719	5,820	6,784
Developer Contributions (7.11 & 7.12)	5,812	(60)	5,751	7,701
Developer Contributions (S64 Water)	9,612	574	10,187	12,259
Developer Contributions (S64 Sewer)	5,163	373	5,536	6,222
Unspent Grants	876	(268)	608	650
Waste Fund Unrestricted Cash	4,823	(1,187)	3,636	5,477
Sewer Fund Unrestricted Cash	4,251	(1,215)	3,036	3,608
Water Fund Unrestricted Cash	1,448	(537)	911	1,573
Contract Liabilities	21,801	0	21,801	14,668
Trust Deposits	651	0	651	1,100
TOTAL EXTERNAL RESERVES	88,348	(2,674)	85,674	90,128
TOTAL RESERVES	127,336	-13,798	113,538	127,449
Unrestricted Cash	15,005	(2,434)	12,571	23,886
TOTAL RESTRICTED CASH, CASH EQUIVALENTS AND INVESTMENTS	142,341	(16,232)	126,109	151,334

Unspent Grants and Contributions

Council finished the 2022/23 financial year with unspent grants and contributions of \$0.876 million. As adopted by Council the Original Budget projected an increase of \$50k to 30 June 2024. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	50	Increase
Revotes	(98)	Decrease
Approved variations	(219)	Decrease
Estimated movement to 30 June 2024	(267)	Decrease
Projected balance at 30 June 2024	609	
Actual balance at 30 June 2024	650	

The closing balance as at 30 June 2024 compares favourably with budget estimates by \$41k (unaudited).

The largest amounts held are:

- Charbon Area Local Roads Maintenance \$196k
- Rural Fire Service grants \$92k

External Restrictions included in liabilities

The amount reported in externally restricted contract liabilities mostly consists of grants where whereby payment has been received ahead of the grant agreement performance obligations being met. In other words Council has an obligation to spend the grant funds received in accordance with the agreement, but has not yet done so and cannot recognise the revenue until this occurs.

The **Actual (unaudited) balance at 30 June 2024 is \$14.668 million.**

The largest amounts held are:

- Regional Emergency Road Repair Fund \$5.8 million
- Ulan Road Strategy \$3.8 million
- Resources for Region Round 9 Solar Array \$782k
- Resources for Region Round 8 - Bridge to Putta Bucca Road \$521k
- Fixing Local Roads Round 4 Coricudgy Road \$655k
- Local Roads and Community Infrastructure Program \$1 million

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Capital Works Program

\$57.32M

Actual
Expenditure

245

Capital Projects

*Excluding budget only and deferred

88%

Budget Spent

115

Capital Projects
Completed

*Multi-year projects are not
listed as complete until final
year

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 QUARTERLY BUDGET REVIEW STATEMENT
 JUNE 2024

\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
Looking after our Community				
RURAL FIRE SERVICE - CLANDULLA STATION EXTENSION (CAPITAL)	290	25	9%	Project Scope
RURAL FIRE SERVICE - MUDGEE AIRBASE SHED (CAPITAL)	27	13	48%	Complete
RURAL FIRE SERVICE - COOKS GAP STATION UPGRADE (CAPITAL)	52	29	57%	Construction
RURAL FIRE SERVICE - CRUDINE STATION UPGRADE (CAPITAL)	10	9	85%	Complete
RURAL FIRE SERVICE - CUDGEGONG STATION UPGRADE (CAPITAL)	1	1	128%	Complete
RURAL FIRE SERVICE - GOOLMA RFB LIGHTING	6	7	115%	Complete
RURAL FIRE SERVICE - LUE/HAVILAH - HARDSTAND/DRIVEWAY	45	37	83%	Complete
RURAL FIRE SERVICE - MUDGEE AIRBASE	58	41	71%	Complete
RURAL FIRE SERVICE - MUDGEE HQ	70	71	101%	Complete
RURAL FIRE SERVICE - OLINDA RFB DRIVEWAY	20	9	46%	Complete
RURAL FIRE SERVICE - PYRAMUL RFB	40	0	0%	Complete
RURAL FIRE SERVICE - TWO MILE	5	0	0%	Deferred/Cancelled
RURAL FIRE SERVICE - PIAMBING RFB	31	29	93%	Complete
YOUTH SERVICES VEHICLE PURCHASE	85	54	64%	Final works
COUNTRY UNIVERSITY CENTRE CAPITAL	1,480	1,464	99%	Final works
CEMETERY CAPITAL PROGRAM	17	30	179%	Construction
GULGONG CEMETERY ROAD UPGRADE	10	10	98%	Complete
CEMETERY EXPANSION - MUDGEE & GULGONG	40	0	0%	Procurement
CEMETERY SIGNAGE UPGRADE	10	9	90%	Construction
PUBLIC TOILETS - ILFORD REST STOP	23	17	76%	Complete
PUBLIC TOILETS - ROTARY PARK KANDOS UPGRADE	100	101	101%	Complete
LIBRARY BOOKS	96	96	101%	Construction
MUDGEE LIBRARY AIR CONDITIONING	5	4	88%	Final works
COMMUNITY CENTRE - COURT STREET CAPITAL WORKS	4	4	94%	Final works
CAPITAL UPGRADE - KILDALLON	60	58	97%	Construction
COMMUNITY ELECTRICAL INVESTIGATION & UPGRADES	40	38	95%	Final works
PUBLIC HALLS - AUDIO UPGRADES	35	33	94%	Final works
CAPITAL UPGRADE - TOWN HALL CINEMA EQUIPMENT	25	22	88%	Final works
CAPITAL UPGRADE - RYLSTONE MEMORIAL HALL AIR CONDITIONING	90	56	62%	Procurement
TOWN HALL - EXTERNAL BRICKWORK	1	1	100%	Initial works
KANDOS HALL & LIBRARY - EXTERNAL PAINTING & KITCHEN UPGRADE	68	24	35%	Complete
KANDOS HALL & LIBRARY - TOILETS	4	4	100%	Deferred/Cancelled
RYLSTONE SHOWGROUND - AMENITIES CHANGE ROOM UPGRADE (REQUIRE)	45	38	84%	Final works
GULGONG MEN'S SHED - EXTERNAL WALL REPLACEMENT	13	11	85%	Deferred/Cancelled

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QUARTERLY BUDGET REVIEW STATEMENT
JUNE 2024

\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
TOWN HALL THEATRE - DRESSING ROOM AMENITIES UPGRADE	40	16	41%	Final works
KANDOS HALL INTERNAL REPAIRS	20	12	60%	Complete
MUDGEES POOL HEATERS	80	0	0%	Procurement
MUDGEES POOL STORAGE SHED UPGRADE	46	37	81%	Final works
LIGHTING UPGRADE - POOLS	50	0	0%	Procurement
GULGONG POOL HEATERS	105	0	0%	Procurement
ACTIVE PARKS - GLEN WILLOW ACCESSIBLE AMENITIES BUILDING	5	5	99%	Complete
GLEN WILLOW SPORTS GROUND UPGRADES	326	182	56%	Construction
MUDGEES SHOWGROUNDS - AMENITIES	40	39	97%	Final works
BILLY DUNN OVAL - UPGRADES	90	81	90%	Complete
GULGONG TENNIS COURTS	218	0	0%	Initial works
RYLSTONE SHOWGROUND - PUMP SHED REPLACEMENT	20	0	0%	Initial works
CLANDULLA RECREATION PARK AMENITIES	120	117	98%	Complete
VICTORIA PARK GULGONG- GRANDSTAND IMPROVEMENTS	35	2	6%	Initial works
GLEN WILLOW - NETWORK ACCESS FIBRE CONNECTIVITY	112	4	4%	Construction
RYLSTONE & KANDOS DOG PARK	29	9	33%	Complete
GLEN WILLOW STORMWATER RETICULATION SYSTEM	4	0	0%	Complete
MUDGEES TEAM TRAINING VILLAGE	4,725	4,802	102%	Construction
GLEN WILLOW - PUMP TRACK	700	26	4%	Procurement
VICTORIA PARK GULGONG - CANTEEN EQUIPMENT	10	0	0%	Initial works
GLEN WILLOW PARKING - LIGHTING AND SECURITY	76	0	0%	Procurement
VICTORIA PARK GULGONG - AMENITIES UPGRADE	485	461	95%	Complete
GLEN WILLOW - NETBALL PRECINCT UPGRADE	1	0	0%	Design
GLEN WILLOW - STADIUM LIGHTING UPGRADE	2,610	2,294	88%	Final works
BILLY DUNN GRANDSTAND - TOILETS AND EXTERNAL PAINTWORK	92	64	70%	Construction
WARATAH PARK FIELD RENOVATION	90	49	54%	Complete
PROPERTY PURCHASE - 191 DENISON STREET	330	30	9%	Construction
RYLSTONE SHOWGROUND CRICKET NET REPLACEMENT	42	37	88%	Final works
RYLSTONE SHOWGROUND CAPITAL	20	0	0%	Procurement
MUDGEES SHOWGROUNDS - ROAD REHAB AND FENCING	58	59	102%	Final works
VICTORIA PARK GULGONG - ROAD AND CAR PARK SEAL	85	86	102%	Procurement
RYLSTONE SHOWGROUND ARENA - UPGRADE	17	17	100%	Procurement
MUDGEES SHOWGROUND LIVESTOCK HOLDING YARDS	40	37	93%	Final works
RECREATIONAL PROPERTY MATTERS	20	8	41%	Initial works
KANDOS INCLUSIVE ADVENTURE PLAYSPACE	558	422	76%	Initial works
ELECTRIC BBQ - KANDOS & RYLSTONE PLAYGROUND	15	8	55%	Construction
HENRY LAWSON MEMORIAL RENEWAL	14	14	102%	Construction
JACK TINDALE PARK RYLSTONE - ROAD UPGRADE	22	22	100%	Complete
SHADE SAIL - MUDGEES DOG PARK	15	14	95%	Complete
SCULPTURES ACROSS THE REGION	29	23	79%	Construction

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 QUARTERLY BUDGET REVIEW STATEMENT
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\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
RYLSTONE RIVER WALK - IMPROVEMENT	125	0	0%	Multi-year project - complete for this year
ROTUNDA PARK KANDOS - IRRIGATION RENEWAL	17	17	100%	Complete
APEX PARK GULGONG - IRRIGATION RENEWAL	49	44	91%	Initial works
PLAYGROUND SHADING PROGRAM	53	41	77%	Final works
PARK BIN REPLACEMENT	80	48	60%	Procurement
PLAYGROUND RUBBER SOFTFALL PROGRAM	60	61	101%	Construction
IRRIGATION RENEWAL PROGRAM	0	0	0%	Complete
ROTUNDA PARK KANDOS - ROTUNDA WORKS	30	25	84%	Complete
PLAYGROUND EQUIPMENT UPGRADE - LAWSON PARK MUDGEE	261	161	62%	Initial works
LAWSON PARK MUDGEE - IRRIGATION RENEWAL	45	43	96%	Initial works
BRIDGE AND STEPS REPLACEMENT - RYLSTONE COMMON	40	40	100%	Complete
MUDGEE RIVERSIDE - WALKING TRACK IMPROVEMENTS	48	27	56%	Construction
FLIRTATION HILL MUDGEE - MASTER PLAN WORKS	645	627	97%	Construction
STREET SCAPE IMPROVEMENTS	31	27	87%	Construction
STREETSCAPE - STREET BINS	46	42	93%	Complete
Total	15,826	12,529	79%	

Protecting our Natural Environment

RURAL WASTE DEPOT UPGRADES	312	306	98%	Construction
MUDGEE WASTE DEPOT UPGRADES	101	12	12%	Project Scope
NEW TIP CELL CONSTRUCTION	5,900	3,994	68%	Construction
NEW RECYCLING BINS	4	4	100%	Complete
KANDOS WTS OFFICE REPLACEMENT	4	0	0%	Complete
DRAINAGE CAPITAL IMPROVEMENTS	0	0	0%	Deferred/Cancelled
CAUSEWAY IMPROVEMENTS	46	49	106%	Complete
STORMWATER DRAINAGE - BOMBIRA AVENUE	1,400	528	38%	Construction
MEMORIAL PARK MUDGEE - DRAINAGE IMPROVEMENT	25	0	0%	Initial works
PUTTA BUCCA WETLANDS CAPITAL	46	40	88%	Construction
PUTTA BUCCA WETLANDS INFRASTRUCTURE - CAPITAL	184	184	100%	Construction
WATER NEW CONNECTIONS	112	115	103%	Construction
WATER AUGMENTATION - MUDGEE HEADWORKS	934	887	95%	Construction
WATER RYLSTONE DAM WALL & EROSION PROTECTION	68	5	8%	Design
WATER MAINS - MAYNE STREET	4	3	81%	Complete
WATER MAINS - BAYLY STREET	167	159	95%	Construction
WATER MAINS - TALLAWANG ROAD	267	259	97%	Final works
WATER MAINS - LITTLE BAYLY STREET	110	110	100%	Complete
WATER MAINS - NRAR WATER METER PROJECT	193	128	66%	Final works
WATER MAINS - FITZROY ST, GULGONG	170	33	19%	Procurement
WATER MAINS - LOUEE ST, RYLSTONE	50	22	43%	Final works

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\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
WATER MAINS - BAWDEN ST, MUDGEE	175	205	117%	Procurement
WATER MAINS - BULGA ST, GULGONG	190	163	86%	Procurement
WATER MAINS - WILBERTREE ST GULGONG	201	0	0%	Deferred/Cancelled
WATER PUMP STATION - CAPITAL RENEWALS	31	1	4%	Construction
WATER PUMP STATION - GULGONG RIVER ACCESS	3	0	0%	Complete
RAW WATER SYSTEMS RENEWALS	32	19	58%	Construction
WATER TREATMENT PLANT - RENEWALS	148	157	106%	Final works
WATER TREATMENT RYLSTONE UPGRADES	70	0	0%	Procurement
SEWER NEW CONNECTIONS	50	20	41%	Construction
SEWER AUGMENTATION - RYLSTONE & KANDOS	265	41	16%	Design
CAPITAL UPGRADES - SEWER MAINS	1,934	1,867	97%	Final works
SEWER PUMP STATION - CAPITAL RENEWALS	227	198	87%	Final works
SEWER TREATMENT WORKS - RENEWALS	59	66	113%	Final works
Total	13,484	9,576	71%	

Building a Strong Local Economy

CUDGEGONG WATERS CARAVAN PARK - KIOSK & OFFICE	68	67	100%	Complete
RYLSTONE CARAVAN PARK - CAPITAL	3	3	106%	Complete
MUDGEE VALLEY PARK EXPANSION	1,801	2,334	130%	Construction
MUDGEE VALLEY PARK EXPANSION ROADS	34	34	100%	Complete
CARAVAN PARK - CUDGEGONG WATERS CAPITAL	78	45	57%	Complete
MUDGEE VALLEY PARK - CARETAKER HOUSE RENOVATION	50	5	11%	Procurement
MUDGEE VALLEY PARK - SHADE OVER POOL	24	24	100%	Complete
RYLSTONE CARAVAN PARK STAGE 2	944	931	99%	Construction
CARAVAN PARK - RIVERSIDE - CABIN	230	212	92%	Complete
MUDGEE VALLEY PARK - ACQUISITION & RENOVATION OF CABIN	220	121	55%	Project Scope
CHRISTMAS DECORATION PURCHASES	165	155	94%	Final works
EVENTS STORAGE COMPOUND	110	18	16%	Procurement
SIGNAGE UPGRADE	144	52	36%	Construction
ELECTRIC VEHICLE CHARGING STATION - CAPITAL	4	0	0%	Complete
SALEYARDS - POST AND RAIL REPLACEMENT	11	5	50%	Final works
SALEYARDS - BATHROOM RENOVATIONS	30	9	31%	Construction
SALEYARDS - TRUCK WASH BAY PUMP REPLACEMENT	6	5	82%	Complete
SALEYARDS - WEIGH SCALE DOOR REPLACEMENT	12	12	99%	Complete
SALEYARDS - REPLACEMENT SCANNER	15	15	98%	Complete
PROPERTY - EX SALEYARDS STAGE II	1,893	1,562	83%	Construction
PROPERTY - BURRUNDULLA AVE CONCEPT PLAN	238	152	64%	Construction
Total	6,079	5,762	95%	

Connecting our Region

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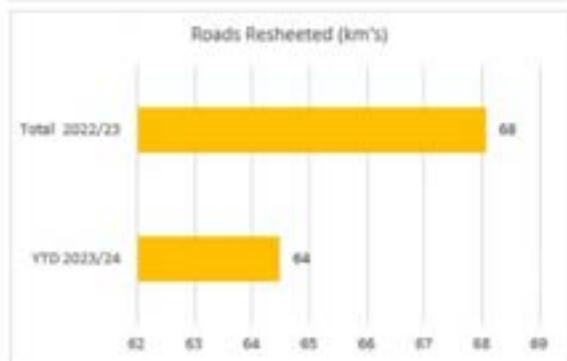
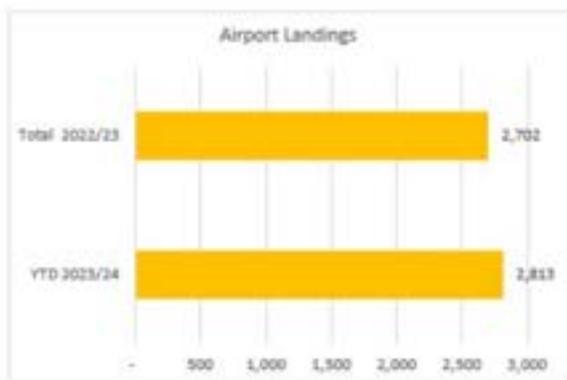
\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
URBAN RESEALS - BUDGET ONLY	(0)	0	0%	Budget only
URBAN RESEALS - HERBERT ST GULGONG	52	13	25%	Complete
URBAN RESEALS - COX ST SEG 80 & 90	11	11	100%	Complete
URBAN RESEALS - GLADSTONE ST SEG 140 - 160	20	27	133%	Complete
URBAN RESEALS - MCGREGOR PLACE	10	9	88%	Complete
URBAN RESEALS - WENONAH STREET	15	15	100%	Complete
URBAN RESEAL - RODGER'S STREET	41	41	101%	Complete
URBAN RESEAL - DONOGHUE STREET	18	17	95%	Complete
URBAN RESEAL - ADAMS STREET	15	14	90%	Complete
URBAN RESEAL - DAVIES ROAD	34	34	100%	Complete
URBAN RESEAL - BLACK LEAD LANE	42	42	100%	Complete
URBAN RESEAL - ALBENS LANE	10	10	97%	Complete
URBAN RESEAL - GREVILLEA STREET	18	18	100%	Complete
URBAN RESEAL - CANBIL STREET	15	15	100%	Complete
URBAN RESEAL - BOWMAN STREET	17	17	100%	Complete
URBAN RESEAL - BUMBERRA PLACE	11	11	98%	Complete
URBAN RESEAL - NOYES ST SEG 30 - 70	23	23	102%	Complete
URBAN RESEAL - MORTIMER STREET	47	47	100%	Complete
URBAN RESEAL - SWORDS COURT	11	10	95%	Complete
URBAN RESEAL - VERA COURT	12	10	86%	Complete
URBAN RESEAL - WHITE CIRCLE	49	49	100%	Complete
URBAN RESEAL - WINBOURNE STREET	23	16	72%	Complete
URBAN RESEAL - WINTER STREET	19	19	100%	Complete
URBAN RESEAL - CARWELL STREET RYLSTONE	22	22	100%	Complete
URBAN RESEAL - COOMBER STREET RYLSTONE	23	23	100%	Complete
URBAN RESEALS - GEORGE ST SEG 10-30	14	14	100%	Complete
URBAN RESEAL - PIPER STREET RYLSTONE	13	13	100%	Complete
URBAN RESEALS - JACQUES STREET KANDOS	21	7	34%	Complete
URBAN RESEAL - MORTIMER STREET MUDGEES	36	37	102%	Complete
URBAN RESEALS - SALEYARDS LN GULGONG	6	6	106%	Complete
URBAN ROAD REHABS - BUDGET ONLY	(0)	0	0%	Budget only
URBAN ROADS KERB & GUTTER CAPITAL	137	138	101%	Complete
URBAN REHAB - ROBERTSON ST SEG 90	550	512	93%	Construction
URBAN HEAVY PATCHING	28	25	88%	Complete
ROAD EXTENSION - BETWEEN PUTTA BUCCA & GLEN WILLOW	430	536	125%	Construction
URBAN RESEALS - MCLACHLAN STREET - KANDOS	10	10	100%	Complete
RESHEETING - URBAN ROADS	12	8	66%	Construction
URBAN ROAD - HONE CREEK DRIVE EXTENSION	68	0	0%	Project Scope
KERB AND GUTTER REPLACEMENT KANDOS & RYLSTONE	12	12	102%	Complete
URBAN ROADS LAND MATTERS CAPITAL	25	0	0%	Project Scope
RURAL RESEAL - HENRY LAWSON DRIVE	436	457	105%	Complete
RURAL RESEAL - TINJA LANE	12	12	101%	Complete

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JUNE 2024

\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
RURAL RESEAL - BARNEYS REEF ROAD	235	226	96%	Complete
RURAL RESEAL - BLUE SPRINGS ROAD	68	68	100%	Complete
RURAL RESEAL - SPRINGFIELD LANE	15	15	100%	Complete
RURAL RESEAL - MEBUL ROAD	96	98	102%	Complete
RURAL RESEAL - LUE RD	53	53	101%	Complete
RURAL RESEAL - GLEN ALICE RD	62	65	105%	Complete
RURAL RESEAL - YARRAWONGA RD	143	124	87%	Complete
RURAL RESEAL - WINDEYER RD GRATTAI	71	71	99%	Complete
RURAL RESEAL - CUDGEGONG RD	276	276	100%	Complete
RURAL RESEAL - PYRAMUL RD	101	106	105%	Complete
RURAL RESEALS - DABEE ROAD KANDOS	114	135	119%	Complete
RURAL REHAB - LUE ROAD MOUNTKNOW	16	16	100%	Initial works
RURAL REHAB - CUDGEGONG RD CARWELL	669	645	96%	Complete
HEAVY PATCHING	52	13	26%	Construction
ULAN WOLLAR ROAD - STAGE 1	12	11	94%	Initial works
RURAL RESEAL - BUDGEE BUDGE	39	53	137%	Complete
RURAL RESEALS - KALUDABAH ROAD CULLENBO	34	27	81%	Complete
RURAL RESEALS - PYANGLE ROAD LUE	7	0	0%	Construction
RURAL RESEALS - WHITE CEDARS ROAD TOTNESVA	28	28	100%	Complete
BLUE SPRING ROAD UPGRADE - ACEA STUBBO SOLAR	236	236	100%	Complete
RURAL RESEALS - SUMMERHILL ROAD	51	52	101%	Complete
RURAL SEALED ROAD LAND MATTERS	64	20	32%	Initial works
REG RDS RESEALS - BYLONG VALLEY WAY MR215	137	149	109%	Complete
REG RDS RESEALS - ILFORD ROAD MR215	65	82	126%	Complete
REG RDS RESEALS - WOLLAR ROAD MR 208	152	139	92%	Complete
RURAL HEAVY PATCHING - GOLLAN ROAD	150	165	110%	Construction
MUNGHORN GAP SHOULDER WIDENING BLACKSPOT	60	24	39%	Final works
HILL END ROAD SAFETY IMPROVEMENTS	1,274	1,331	104%	Construction
BVW UPGRADE RNSW 2080	40	24	61%	Final works
RESEAL ULAN ROAD - TURILL AREA	250	304	122%	Construction
RURAL SEALED REGIONAL ROAD LAND MATTERS CAPITAL	11	0	0%	Construction
ZIMMER LANE (NOW MAINTAINED)	20	20	100%	Complete
BADGERS LANE (NOW MAINTAINED)	51	90	177%	Complete
SEAL EXTENSION - QUEENS PINCH RD	383	382	100%	Complete
SEAL EXTENSION - COXS CREEK RD	824	931	113%	Complete
SEAL EXTENSION - BOTOBOLAR RD	2,341	2,100	90%	Complete
SEAL EXTENSION - CORICUDGY ROAD	637	636	100%	Complete
SEAL EXTENSION - CORICUDGY ROAD STAGE 2	1,000	836	84%	Construction
SEAL EXTENSION - QUEENS PINCH RD CAUSEWAY UPGRADES AND GUARD	115	116	101%	Construction
SEAL EXTENSION - SCOTTS LANE GULGONG	1	0	40%	Initial works
RESHEETING	2,161	2,149	99%	Construction
UNSEALED ROADS LAND MATTERS CAPITAL	57	12	20%	Initial works

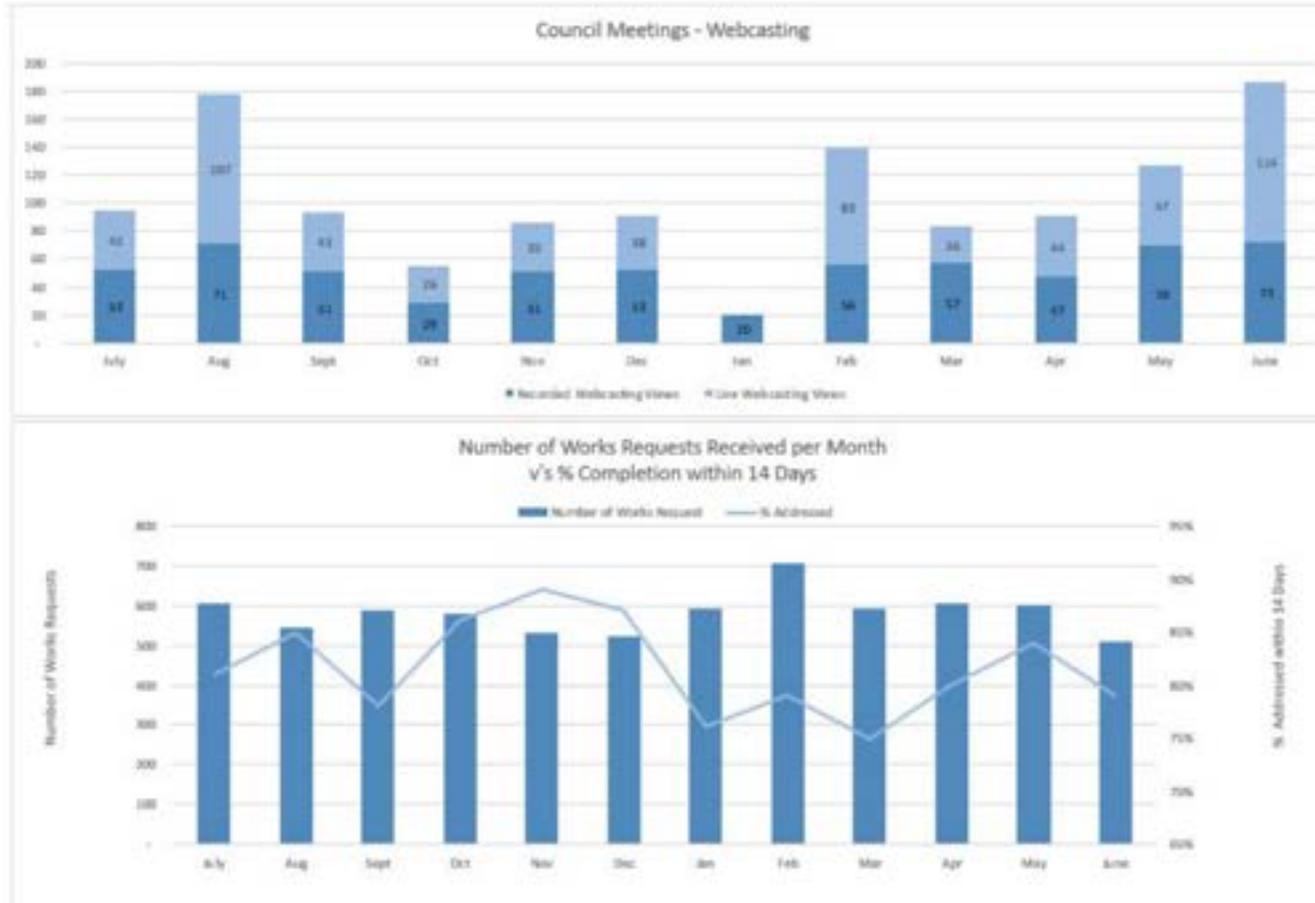
Statistics

Connecting Our Region



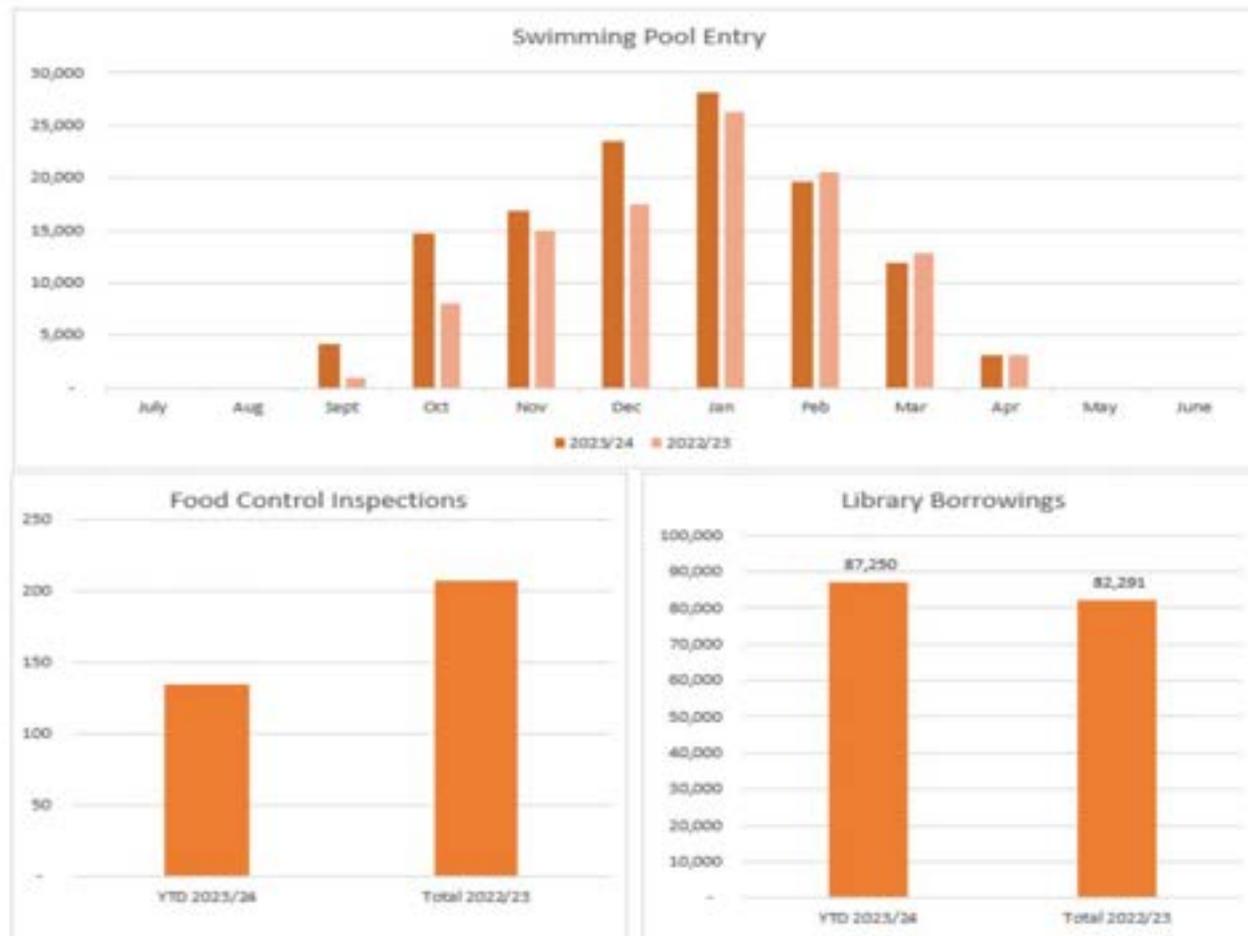
Good Government

FINANCE |
 QUARTERLY BUDGET REVIEW STATEMENT
 JUNE 2024



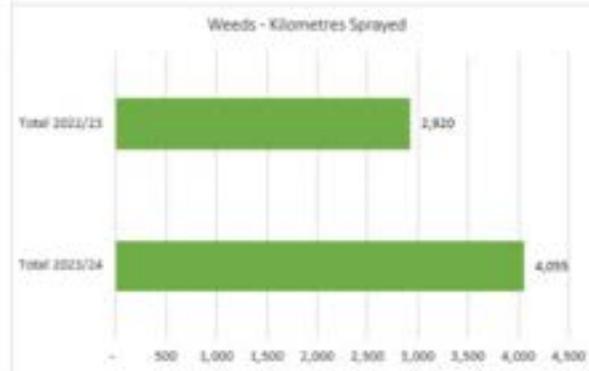
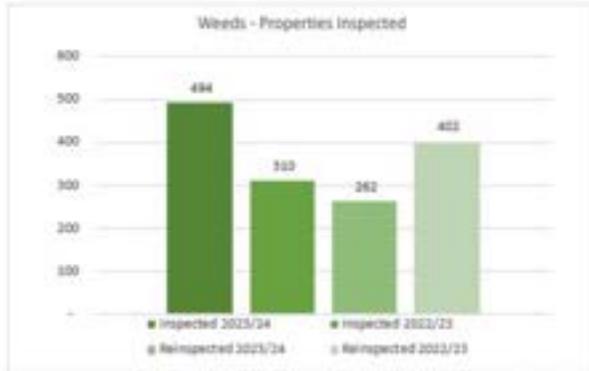
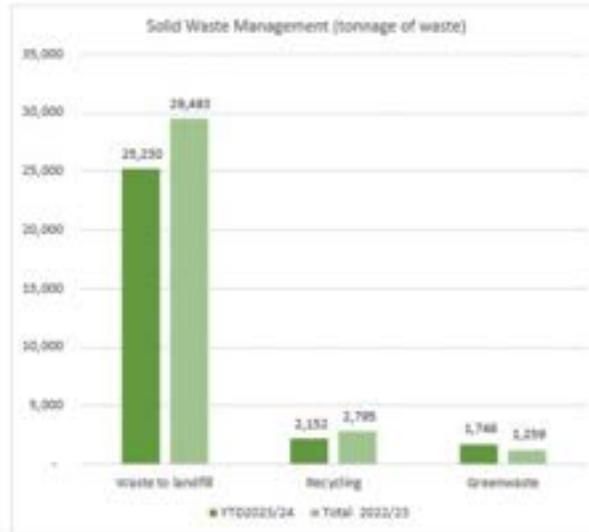
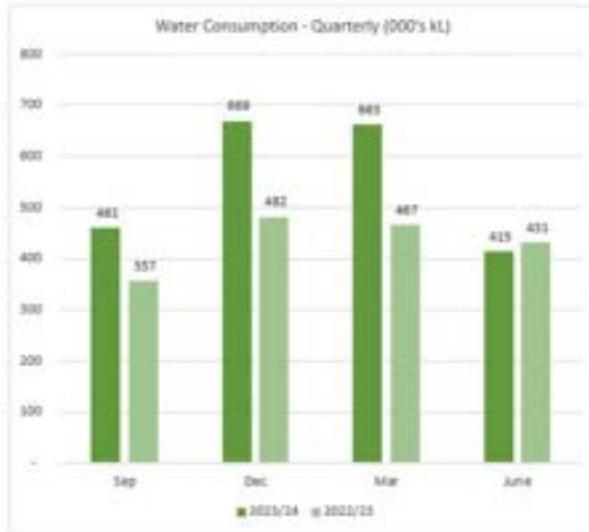
Looking After Our Community

FINANCE |
QUARTERLY BUDGET REVIEW STATEMENT
JUNE 2024



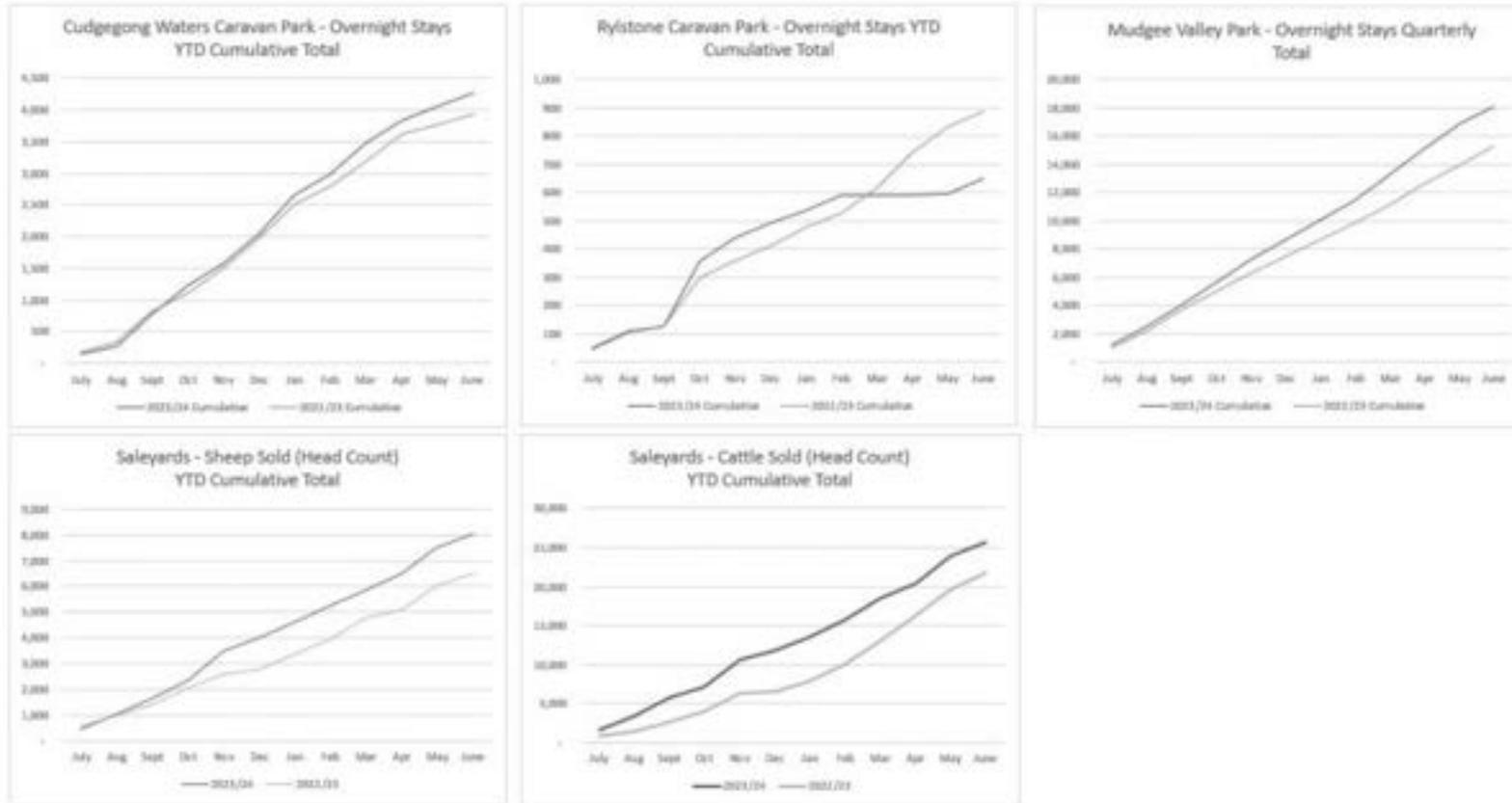
Protecting Our Natural Environment

FINANCE |
 QUARTERLY BUDGET REVIEW STATEMENT
 JUNE 2024



Building a Strong Local Economy

FINANCE |
QUARTERLY BUDGET REVIEW STATEMENT
JUNE 2024



Note: Rylstone Caravan Park closure between February and May for Rylstone Caravan Park Stage 2 capital works undertake

Contract, Legal and Consultant Expenses

Contracts > \$50,000

The following contracts with a value greater than \$50,000 were entered into during the period 1 April to 30 June 2024 and have yet to be fully performed.

Note that individual Panel Tender appointments are not included in the table below. For example, provision of general contractor services. Council creates panels of preferred suppliers from the tender responses received. Purchases are then made from the preferred supplier lists, and purchase decisions may vary for particular works depending upon availability and location.

Supplier	Contract Title	Contract Value (ex GST)	Start Date	Duration (Months)	Budgeted (Y/N)
NSW Office of Sport	NSW Football Legacy Fund - Glen Willow Fields 5/6 LED Lighting Upgrade	\$140,000.00	03/04/2024	2	Y
HOEK MODULAR HOMES PTY LTD	Mudgee Valley Caravan Park - supply & install 5 modular cabins (3 x MMV & 2 DDA)	\$1,286,972.73	01/05/2024	6	Y
UNCLES, ROBERT	Glen Willow - event storage shed	\$75,872.73	03/06/2024	5	Y
WARAMUNGU PTY LIMITED	Training Camp Facility - CCTV security & access control system	\$237,763.79	03/06/2024	6	Y

Legal Expenses

This financial year to date, Council has incurred \$356,181 of legal expenses. The primary areas of expenditure are:

- Corporate Governance
- Development Control
- Energy Co and Rez Impacts
- Commercial Property Administration
- Drainage and stormwater

Consultancy Expenses

A consultant is a person or organisation engaged under contract on a temporary basis to provide recommendations or high level specialist or professional advice to assist decision making by management. Generally, it is the advisory nature of the work that differentiates a consultant from other contractors.

This financial year to date, Council has incurred \$1,509,051 consultancy expenses. The primary areas of expenditure are:

- New Tip Cell Construction
- Broadhead/Bruce Road intersection concept plan
- Orana Water Utility Bore Assessment Project
- Mudgee Floodplain Management Plan Stage 2
- Water and Sewer Augmentation
- Mudgee Sewerage Strategy
- Seal Extension – Coricudgy Road
- Water and Sewer Management Studies
- Rural Reseal at Glen Alice Rd

FINANCE |
 QUARTERLY BUDGET REVIEW STATEMENT
 JUNE 2024

Councillor Fees and Expenses Paid or Reimbursed as at 30 June 2024

	General Operations	Cr Cavalier	Cr Karavas	Cr Kennedy	Cr Paine	Cr Shelley	Cr Thompson	CR Stoddart	CR Palmer	CR Dicker	TOTAL
Councillor Fees	-	5,830.87	5,631.68	6,574.04	5,957.07	5,830.87	5,830.87	5,830.87	5,830.87	5,830.87	53,148.01
Mayoral Fees	-	-	-	6,756.12	1,147.28	-	-	-	-	-	7,903.40
Council Meeting Expenses	1,202.47	-	-	1,998.08	-	-	-	-	-	-	3,200.55
Conferences, Seminars and Representational/ Lobbying Expenses	-	-	-	-	-	456.32	807.20	-	-	-	1,263.52
Provision of Vehicle	-	-	-	-	-	-	-	-	-	-	-
Miscellaneous expenses	62,497.51	83.74	80.96	187.31	101.56	228.36	93.86	82.56	213.44	213.44	63,782.74
Entertainment	-	-	-	-	-	-	-	-	-	-	-
Provision of office equipment, such as laptop computer and telephones	-	100.26	100.26	49.42	100.26	626.29	66.24	66.24	66.24	66.24	1,241.45
Training and provision of skill development for Councillors	-	-	-	-	-	9,348.90	-	-	9,348.90	9,348.90	28,046.70
Care and Other related expenses	-	-	-	-	-	-	-	-	-	-	-
Total	63,699.98	6,014.87	5,812.90	15,564.97	7,306.17	16,490.74	6,798.17	5,979.67	15,459.45	15,459.45	158,586.37

*Mudgee
Region*

2023–24 MRT Quarterly Operational Report
April to June 2024

prepared for

Mid-Western Regional Council

PURPOSE

Mudgee Region Tourism (MRT) CEO tables this quarterly operational report to the MRT Board.

BOARD + EXECUTIVE TEAM

- Held industry training sessions on Google and Instagram
- Organised operators for DNCW Board Meeting and famil
- Launched and completed new partnership program for 2024/25
- Driving higher engagement with our website and social media channels
- Visitation down for the VIC compared to last year; down by 12% for the quarter.
 - YoY visitation to the VIC decreased by 5%. With 29,343 visitors for the year. This is the first time visitation was under 30,000 since moving into the Mudgee Arts Precinct. The primary purpose of visit was for Art and Culture (to visit the gallery).
- Started the process for new *Mudgee Region* magazine, using a local supplier for print and design. That is money spent locally.

FINANCIAL SNAPSHOT UPDATE

- We met Partnerships target and are settled for 2024/25
- 64 digital packages purchased for 2024/25 which is a new record; there are 81 print ads which is a decline of 7 ads
- VIC sales are consistent but not growing. Overall \$62k down on budget for the year, which had to be managed through cost of goods and reducing costs where feasible elsewhere in the business
- We have cut a lot of little items through the organisation to catch any spend being put in the wrong space. We won't be able to cut costs any further without losing staff

GRANTS + FUNDING

We will be pursuing the Energy Co Central-West Orana Renewable Energy Zone – Local Community Fund Grants that have just been opened for strategy and marketing, as well as support for the Mudgee Region wine industry.

PROGRESS // 2020–25 DESTINATION MANAGEMENT PLAN GOALS + ACTIVITY

Goal	Measurable Objectives (KPIs) (over the period 2020 to 2025)	Footnotes
<p>A. Leverage existing visitor markets to encourage increased length of stay and yield.</p>	<p>Increase the visitor economy spend by 20% or 200,000 visitor nights.</p>	<p>With the use of Localis (accommodation capacity and occupancy tool), we see increased accommodation supply, and from MWRC Spendmapp data we see spend has continued to increase throughout Q4 of 2023/24.</p> <p><i>This objective is currently being met.</i></p>
<p>B. Encourage greater regional dispersal to share the benefits of tourism across the entire Mudgee Region.</p>	<p>Increase in participation in events and tickets sales at museums and attractions by 10% in centres such as Gulgong, Kandos and Rylstone.</p>	<p>We can see increased spend (from Spendmapp data) in the region from visitors and are tracking to ensure the visitors through to Gulgong, Kandos and Rylstone are from the key target markets that are visiting Mudgee.</p> <p><i>The increased regional dispersal is currently being met, but the metric of ticket sales and event tickets is a poor metric.</i></p>
<p>C. Strengthen the appeal of the region year-round to contribute to the viability of local businesses and to support vibrant communities.</p>	<p>Increase in positive sentiment achieved as measured by an analysis of social media and online media sentiment.</p> <p>Increase in digital content delivered for multichannel distribution relating to low and shoulder seasons.</p>	<p>We will re-record the sentiment index in October 2024 to see how the region is being received. Most negative impacts in media are due to solar and mining projects.</p> <p>Our new social media strategy has significantly increased our engagement and distribution of content to potential visitors. We have seen a 105% increase YoY from 4.7m to 9.6m reach.</p> <p><i>The objective is currently being met.</i></p>
<p>D. Focus on higher-yield markets by enriching the experience offer.</p>	<p>Increase in the number of higher-yield products, tours and experiences listed on the Australian Tourism Data Warehouse (ATDW) and on online booking platforms.</p>	<p>Every Partner listing on ATDW has been reviewed. We are also ensuring non-Partner activities, such as walks, and public attractions, such as Art, are on ATDW.</p> <p>There has been an increase in high-end accommodation and the development of new products in the region. MRT is working with these businesses as they come online.</p> <p>ATDW listings have increased in the region in the past 12 months.</p> <p><i>This objective is currently being met.</i></p>

<p>E. Enhance collaboration and partnerships to support the visitor economy.</p>	<p>Increase partnership engagement and resulting financial contribution to MRT by 10%.</p>	<p>We have restructured MRT to ensure we can engage with Partners and non-Partners more.</p> <p>Partnerships is going to be a challenge to ensure we can stay relevant plus make financial outcomes for the next 12 months.</p> <p><i>This objective is being met based on increased engagement but will likely not be met based on increased financial contribution.</i></p>
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TOURISM OPPORTUNITIES

Identify potential tourism infrastructure or opportunities that would secure a stronger tourism economy. Work with Council on identifying new opportunities or gaps that would improve tourism offering on the region. Provide a quarterly report with findings. Include number of new tourism businesses opened and those closed in the region in the quarter.

New Tourism Business Open in Q4	Tourism Business Closed in Q4
8 x arts & recreational	6 x arts & recreational
11 x accommodation & food services	19 x accommodation & food services
18 x retail	32 x retail
Total @ 22 businesses	Total @ 31 businesses

* Remplan data provided by MWRC

Visitation Spend Q4	Total Spend	Visitor Spend	Visitor Spend %
April '24	\$69.8 million	\$23.4 million	33%
May '24	\$69.3 million	\$21.5 million	31%
June '24	\$66.4 million	\$21.3 million	32%

* Data provided by MWRC (Spendmapp by Geografia)

Potential Tourism Infrastructure	Weakness or Gap	Opportunity
Accommodation	Limited commercial accommodation options and range or types of accommodation, especially outside of Mudgee township. High occupancy rates during peak periods is also a challenge for growing the visitor economy.	Encourage further investment in accommodation on vineyards or within wineries to enhance the range of small-scale and boutique accommodation on offer, reinforcing the more intimate setting of the region (Hero)
Dining	Demand for hospitality can exceed availability and often leads to visitors or guests being disappointed. Encouraging pre-booking of hospitality, especially restaurants as well as seven-day week trading would help to alleviate this problem.	Encourage the development of more on-vineyard dining experiences. This could include investment in a significant new wine and food experience space or centre, which integrates the landscape, produce and culture of the Mudgee Region through high-quality design (Hero)
Health + Wellness	Increasing interest in health and well-being provides an opportunity to enhance and promote the wellness offering of the region, including accommodation, activities and packages that take advantage of the quality local produce and rural and nature-based settings of the region.	Develop and promote wellness tourism experiences, including encouraging investment in wellness retreats or centres. This should leverage the region's outstanding local produce, arts, music and creativity (Hero) Council to support (where appropriate) initiatives to leverage the interest in leisure cycling, mountain biking, the existing mountain biking trail network and events (Supporting)

Transport	Transport within the Mudgee Region is largely perceived as a barrier to tourism, especially after hours and to support wine tourism and visitor disbursement to towns and villages.	Increasing connectivity between the towns of the Mudgee Region would significantly enhance the appeal of attending live music, sporting events or art exhibitions etc. It would also enable visitors to plan an extended stay, especially for those who arrive by air
Directional and welcome signage	Poor signage including limited signage for Mudgee VIC.	Investigate opportunities to improve signage for the region and Mudgee VIC

- MRT CEO has monthly Economic Development catch ups with MWRC
- MRT CEO continuing to advocate to State Government agencies for support for the Visitor Economy due to the REZ
- MRT CEO has joined the Central West Orana Community Reference Group and is participating in the quarterly meetings

DESTINATION MARKETING

MARKETING PLAN

With our marketing now operating without grant support we have a refined focus on raising brand awareness of the region.

The five key primary experience themes that come from our DMP are:

- Wine lovers & foodie delights
- Health & well-being
- Remarkable Arts, Music & Creativity
- Vibrant Heritage
- Engaging, Inspiring & Sporting Events

We also focus on accommodation.

We have delivered marketing outcomes in this quarter through the filming and creation of our next Marketing Campaign that will focus on our Winter experiences. We launched the 2023/24 *Mudgee Region* magazine in August '23 when we also completed a brand launch to show the region as a more contemporary country destination.

MARKETING CAMPAIGN RESULTS

Key metrics of success of the marketing plan are:

MRT Marketing KPIs		2022/23		2023/24	
1. Magazine	Distribute 40,000 copies of the magazine in the Mudgee Region and surrounds	Different type of magazine production		2,920 distributed in Q4	
2. Social media followers	Increase social media followers by 15% (Facebook, Instagram)	April	51,889	April	53,537
		May	52,168	May	53,888
		June	52,756	June	54,160
3. Social media reach	Increase reach of social channels to key markets	April	488,144	April	632,132
		May	1,110,463	May	1,053,873
		June	707,650	June	1,366,944
3. Website visitor	Secure >20K unique website visitors per month during campaign term.	April	28,111	April	29,772
		May	17,650	May	36,657
		June	23,532	June	36,657

WEBSITE & SOCIAL MEDIA DATA



Website Unique Visitors	2022	2023	2024	Total
Total	230,652	269,291	176,984	676,927

* 2024 total to date @ June '24 (YTD)

* Includes website traffic to the new What's On Mudgee Region event website from June '23



Website Page Views	2022	2023	2024	Total
Total	690,198	760,931	549,690	2,000,819

* 2024 total to date @ June '24 (YTD)

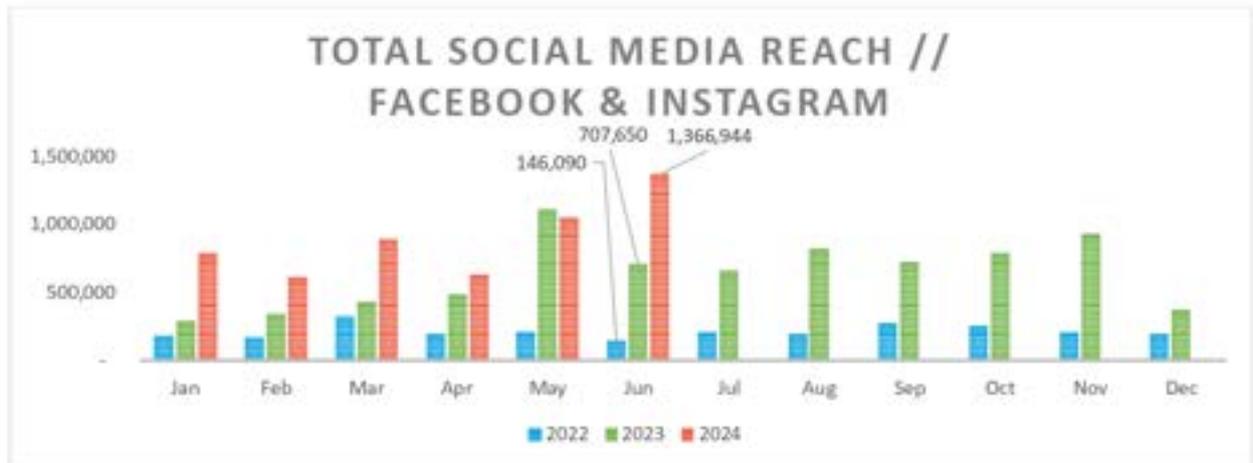
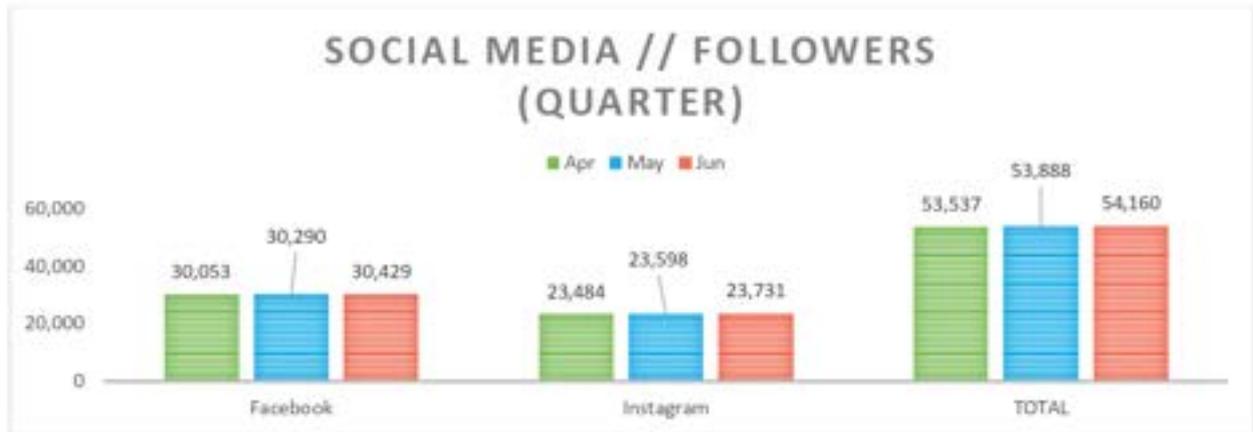


* MRT started recording this data matrix in January '24





Email Subscribers	2022	2023	2024
Accumulative totals	28,111	27,323	27,122



* Facebook and Instagram only from January 2024 (excluding Twitter)

Social Media Reach	2022	2023	2024	Total
Total	2,527,840	7,667,347	5,346,407	15,541,594

* 2024 total to date @ June '24 (YTD)

POPULAR SOCIAL MEDIA POSTS

The four most high-performing FB + Instagram posts for the quarter

Sat, 20 Apr 1:00pm



Shout-out to @deliciousaus for featuring the #MudgeeRegion in 'The 14 best regional towns in Australia for your next getaway' ❤️ If you're looking for the towns that are hom...

Reach	4 635
Impressions	4 755
Interactions	268
Likes	246
Comments	5
Saves	8
Shares	9

Thu, 18 May 5:17pm



Explore and enjoy open spaces at Gandguddy - Dunns Swamp 🌿🍷

Reach	45 072
Impressions	45 411
Interactions	462
Likes	353
Comments	37
Clicks	0
Shares	33

Mon, 22 Apr 5:00pm



Ready to #resetyoursenses? Let's take a look back at last week in the #MudgeeRegion. Exploring wineries, nature & the sky 🍷 Share your favourite snaps with us! Tag...

Reach	4 664
Impressions	5 527
Interactions	287
Likes	265
Comments	4
Saves	8



Posted : April 22, 2024 5:00 PM

Ready to #resetyoursenses? Let's take a look back at last week in the #MudgeeRegion. Exploring wineries, nature & the sky 🍷 Share your favourite snaps with us! Tag @mudgeeregion + #mudgeeregion to be featured ❤️ 🍷 @throughthegrapevinetours



- Unique website visitation was up 41% on Q4 previous year
- 9,014 external Partner websites click-throughs for the quarter
- 9,014 Partner booking click-throughs for the quarter
- Top 3 referral sites:
 - April: Google, Facebook, Bing
 - May: Google, Facebook, Bing
 - June: Google, Facebook, Bing
- Top 3 landing pages:
 - April: Mudgee Region homepage, Things to do, Wineries/Best wineries in Mudgee
 - May: Mudgee Region homepage, Things to do, Accommodation/glamping
 - June: Mudgee Region homepage, Things to do, Wineries/Best wineries in Mudgee
- Email subscribers down 1% on Q4 last year
- Social Media followers was up 3% on Q4 last year
- Most popular posts: Femtree Gully @ 16 May (45,072), Lowe Wines @ 22 April (4,664), Mudgee / 14-best Regional Towns @ 22 April (4,365)
- Magazine distribution was down 45% on Q4 the previous year.
- Map distribution was down at 8% on Q4 the previous year.

PUBLIC RELATIONS + MEDIA COVERAGE

From January 2023 MRT ceased recording traditional public relations media matrix data including EAV and PRV, based on the advice of Klick X, MRT's previous Public Relations Consultant, and is focusing on digital marketing. The advice is that without significant dollar spend on traditional media the impact will be minimal and that big news stories will be followed and captured by the media. Since making this operational change, MRT includes in each Quarterly Report details of any media coverage and articles facilitated and paid for by MRT.

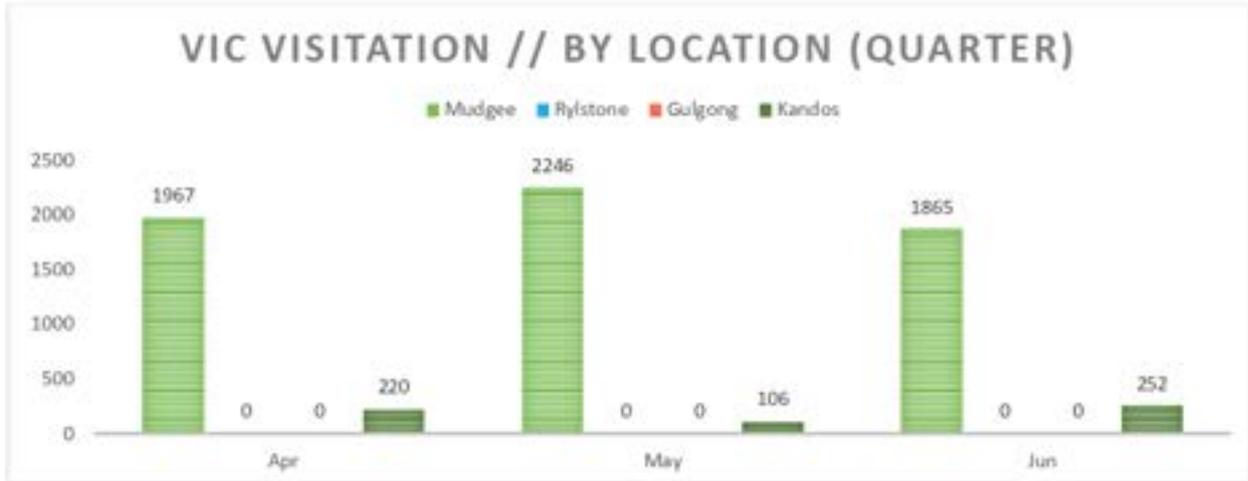
There was no paid media coverage or paid articles between April to June '24.

MRT worked with Blend Public Relations who arranged for Krysia Bonkowski, Editor of *Delicious Magazine*, to travel to Mudgee on 25 and 26 May '24 to join the Saltbush Gathering at The Zin House/Lowe Wine Co.

MRT worked with the following Partners for this visit:

- Accommodation at Evanslea Luxury Boutique Accommodation for Saturday 25 May // 1 night
- Accommodation at Parklands Resort, with accommodation in the Mudgee Retreats newly opened eco tents for Sunday 26 May // 1 night
- Winery visited during the Saturday afternoon were First Ridge Wines and Robert Stein Winery. Wineries had been told of Krysia's visit, however, times were left open to allow flexibility.

VISITOR INFORMATION CENTRES (VIC)

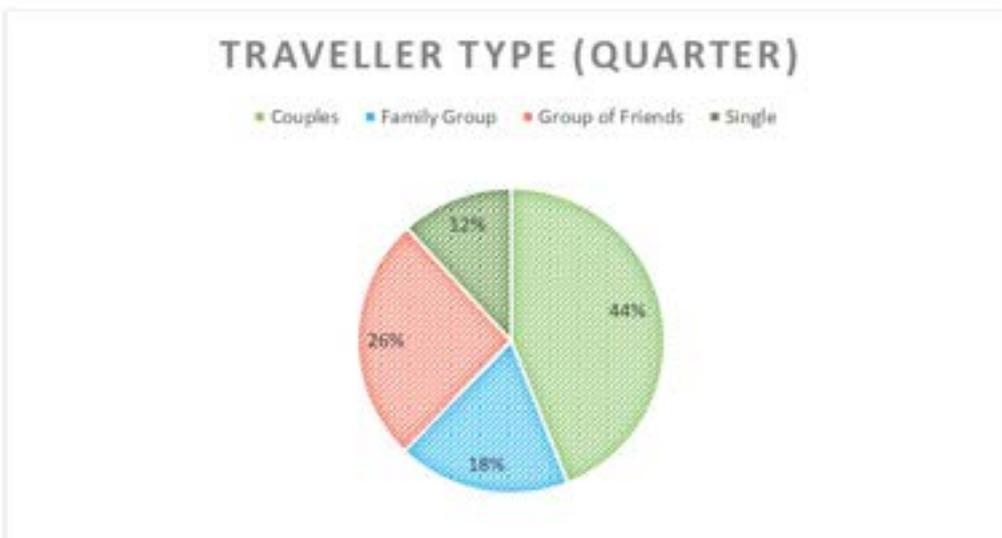
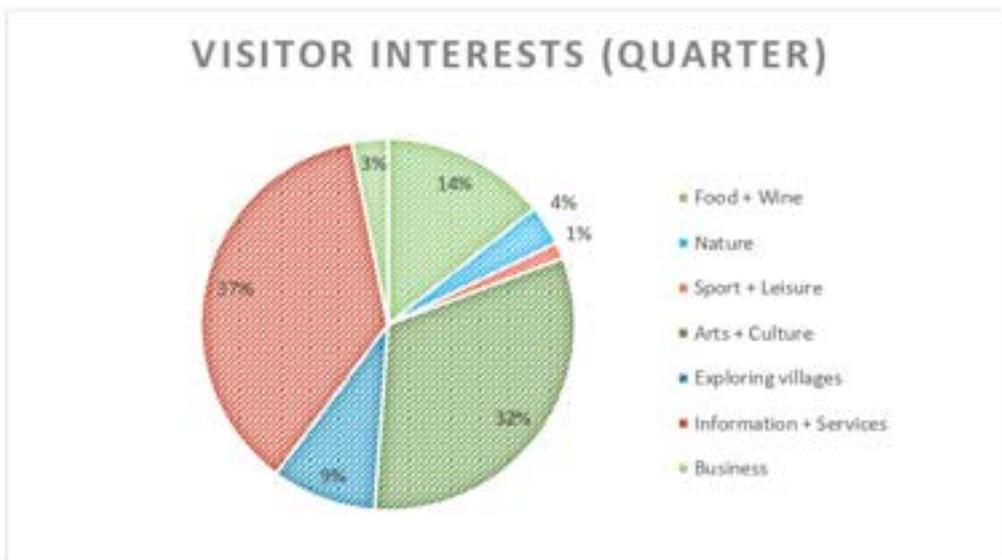


VIC Total Visitors	2022	2023	2024	Total
Visitors	32,873	31,114	12,159	77,905

* 2024 total to date @ June '24 (YTD)



VISITOR INFORMATION





VIC Calls + Online Chat	2022	2023	2024	Total
Total	8,694	3,780	1,474	19,847

* 2024 total to date @ June '24 (YTD)
** MRT ceased using PureChat for online chat in December '23

VISITOR SATISFACTION

MRT implemented at the beginning of 2023–24 financial year a new visitor satisfaction recording specifically the Visitor Information Centre visitors’ happiness ratings – Very Happy, Happy Neutral, Unhappy and Very Unhappy – producing an overall happiness score.

The happiness scores for Q4: April @ 89%, May @ 96% and June @ 75%

- VIC visitation was up 5% on Q4 last, capturing visitation to Mudgee and Kandos VICs only. Visitation in Mudgee VIC trended up compared to Q4 last year, with relatively consistent visitation each month in the quarter.
- Calls were down 39% compared to Q4 last year, noting that MRT ceased offering online chat in December '23.
- Net retail sales down 41% on Q4 last year, reflecting the number of visitors to the Mudgee Arts Precinct for purposes other than visitor services and retail.
- Gross event ticket sales were down 97% on Q4 last year. There were no major events held in the region during this quarter.

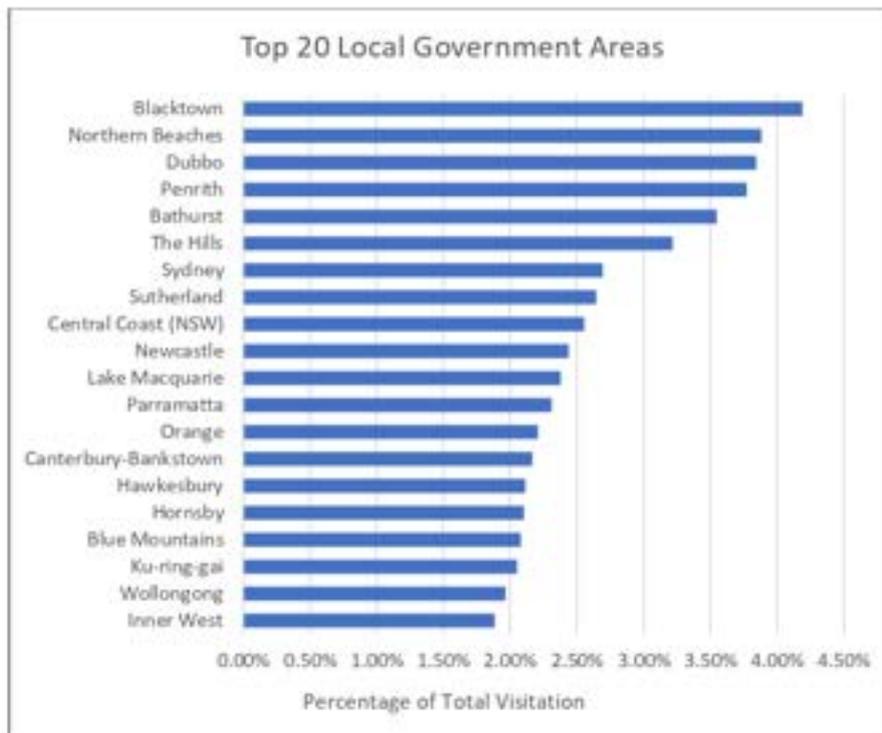
VISITOR DEMOGRAPHICS + GEOGRAPHICAL DATA

We are now utilising Localis to monitor where visitors are coming from. This data tools tracks mobile phones place of origin. We use mobility data to view source markets for the Mudgee Region and find out what day of the week/hour has the highest visitation.

Demographics // Geosource Markets (Quarter)

Top 20 Visiting LGAs to Mudgee Region FY24 / Q4			
Blacktown	The Hills	Lake Macquarie	Hornsby
Northern Beaches	Sydney CBD	Parramatta	Blue Mountains
Dubbo	Sutherland	Orange	Ku-ring-gai
Penrith	Central Coast	Canterbury-Bankstown	Wollongong
Bathurst	Newcastle	Hawkesbury	Inner West

* Chronologically listed down each column then from left to right



- Top Interstate visitation April to June '24: *Not available for this Quarter*
- Top Interstate visitation April to June '23: *Not available for this Quarter*

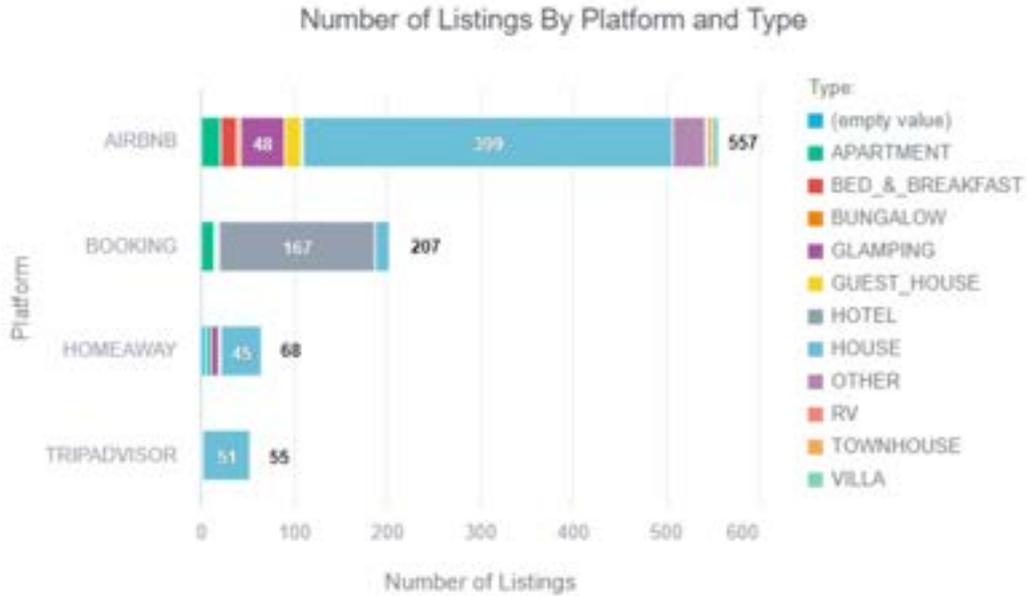
Traveller Type (Quarter)

Average Visitor Profile for the Top 20 Visiting LGAs FY24 / Q4	
<i>[Data not available for Quarter]</i>	
April to June '24	April to June '23
Average weekly household income: \$	Average weekly household income: \$
Average household size:	Average household size:
Average visitor age:	Average visitor age:

OVERNIGHT VISITATION

Localis allows us to monitor occupancy, supply and future forecast. This data is now replacing the 35% sample we have had previously and allows us to monitor all sectors and give us live and up to date data for our accommodation sector.

Property type breakdown at June '24





Average Occupancy Rate	2022	2023	2024
Annual Average Occupancy	51%	54%	57%

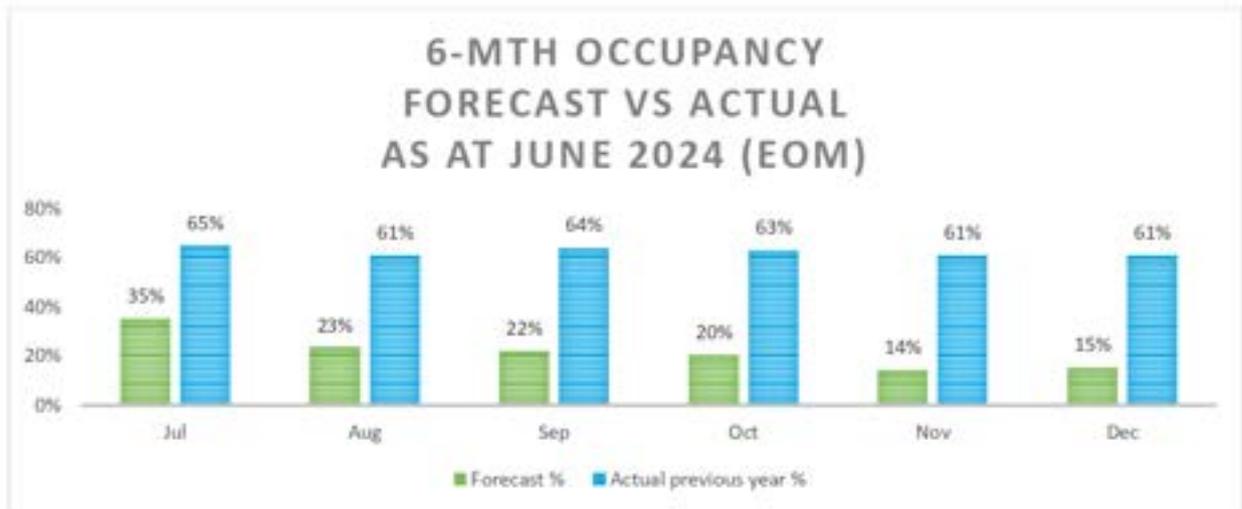
* 2024 average to date @ June '24 (YTD)



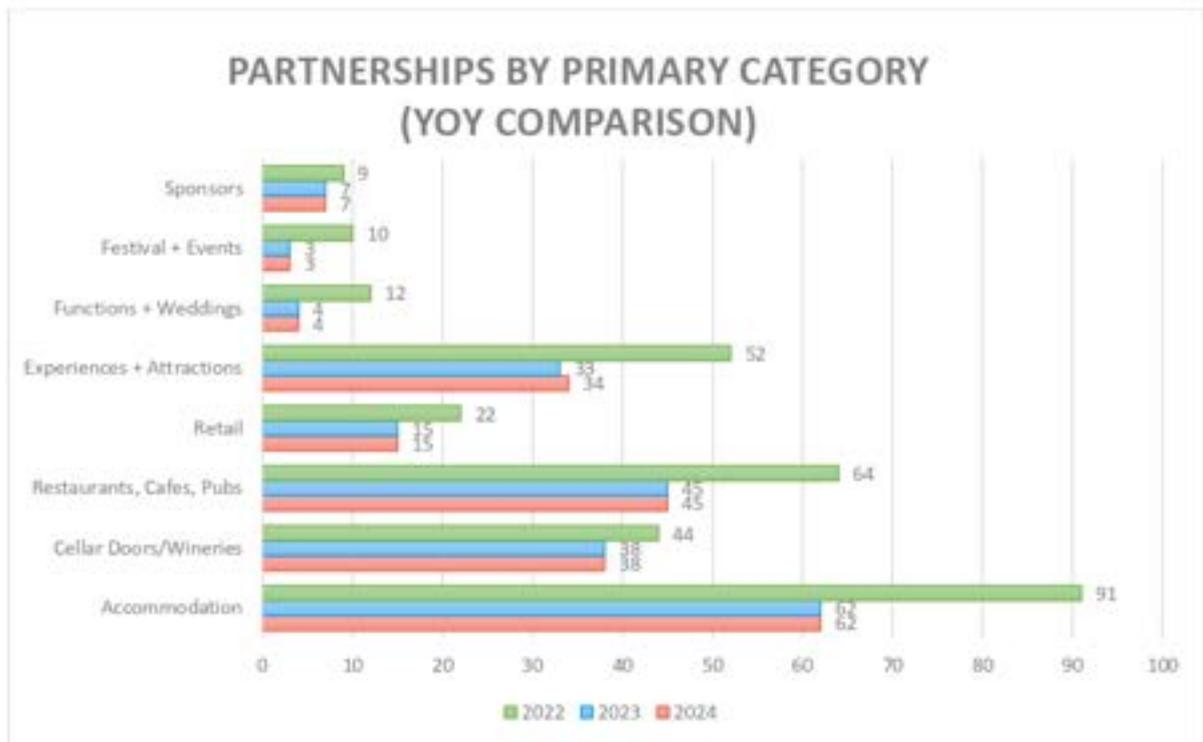
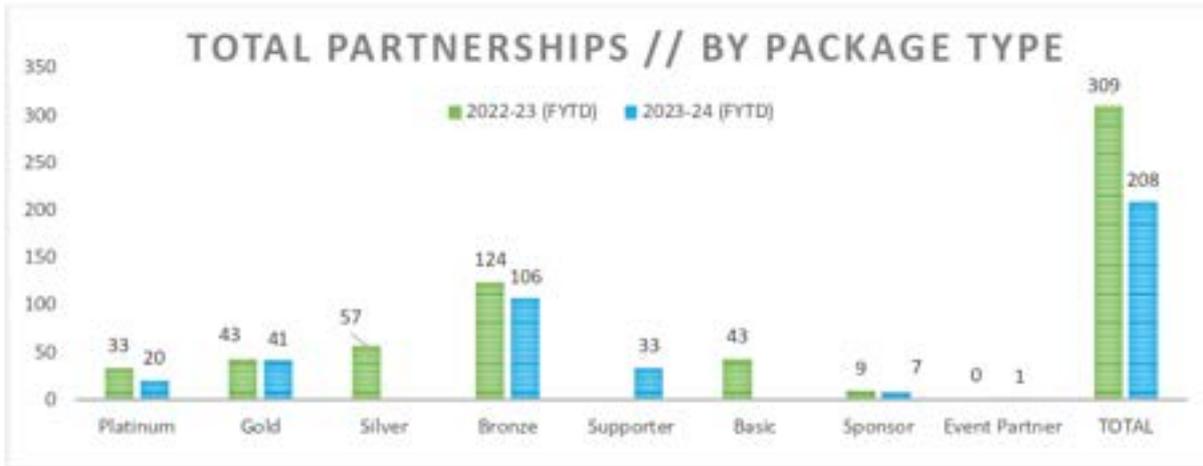
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
2019	2,391	2,424	2,381	2,453	2,424	2,391	2,450	2,430	2,502	2,497	2,526	2,534
2020	2,539	2,586	2,575	2,557	2,641	2,563	2,536	2,573	3,090	2,671	2,835	2,928
2021	2,996	3,226	3,140	3,110	3,174	3,232	3,158	3,122	3,101	3,136	3,140	3,071
2022	3,042	3,139	3,174	3,300	3,432	3,606	4,062	3,607	3,740	3,803	3,817	3,795
2023	3,849	3,910	3,935	3,942	3,963	4,021	4,261	4,017	4,074	4,074	4,024	4,022
2024	4,036	4,069	4,043	4,026	4,063	4,545						

Accommodation Supply	2019	2020	2021	2022	2023	2024
Average Monthly Supply of Bed	2,450	2,675	3,134	3,543	4,002	4,130

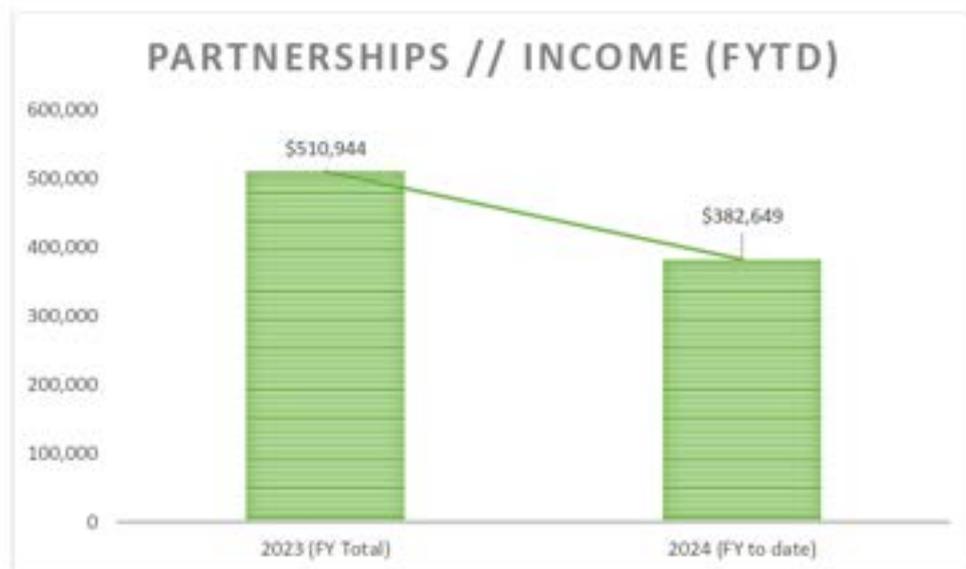
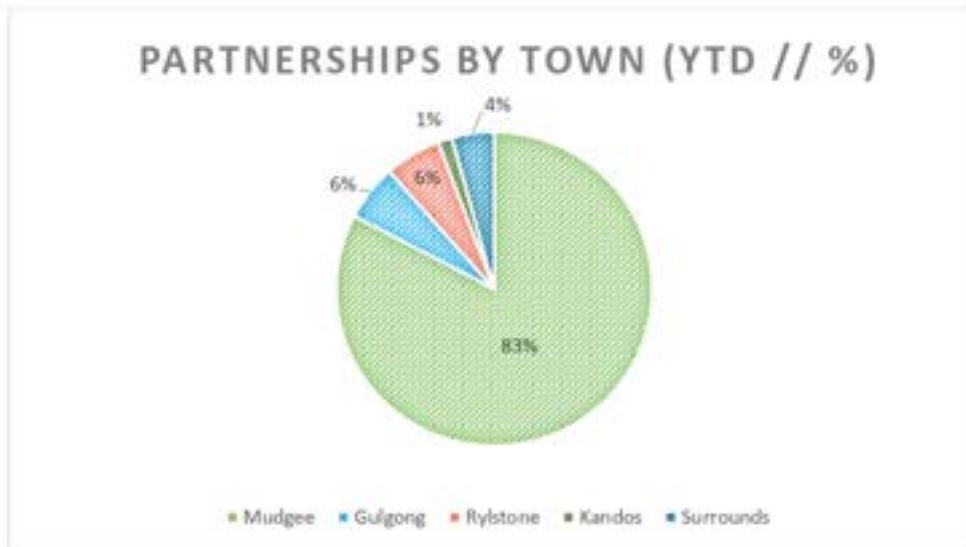
* 2024 average to date @ June '24 (YTD)



PARTNERSHIPS



* 2024 total to date @ June '24 (YTD)



- Total Partnership packages tracking behind last year result by 33%
- Total Partnership income FYTD behind last year result by 25%
- Breakdown of the partnerships by town as of June '24 was Mudgee 172, Gulgong 12, Rylstone 12 and Kandos 3
- No Partner visitations in May due to focus on the new Partnership Drive. All families as part of the F24 partnership packages were completed.