

Item 8: Development

8.1 DA0450/2022 - Two (2) Additional Farm Stay Accommodation Buildings at 344 Castlereagh Highway, Burrundulla

REPORT BY THE PLANNING COORDINATOR
TO 16 NOVEMBER 2022 ORDINARY MEETING
GOV400098, DA0450/2022

RECOMMENDATION

That Council:

- A. receive the report by the Planning Coordinator on DA0450/2022 - Two (2) Additional Farm Stay Accommodation Buildings at 344 Castlereagh Highway, Burrundulla; and
- B. approve DA0450/2022 - Two (2) Additional Farm Stay Accommodation Buildings at 344 Castlereagh Highway, Burrundulla subject to the following conditions and statement of reasons:

CONDITIONS

1. Development is to be carried out in accordance with the following plans endorsed with Council's Stamp as well as the documentation listed below except as varied by the conditions herein.

Title/Name	Plan No.	Rev	Dated	Prepared by
Overall Site Plan	-	-	-	Applicant
Floor Plan	Sheet 2 of 6	A	16/10/2020	Avallon Building Design
Elevations	Sheet 3 of 6	A	16/10/2020	Avallon Building Design
Elevations	Sheet 4 of 6	A	16/10/2020	Avallon Building Design
Section	Sheet 5 of 6	A	16/10/2020	Avallon Building Design
Floor Plan	Sheet 2 of 6	A	31/5/2022	Avallon Building Design
Elevations	Sheet 3 of 6	A	31/5/2022	Avallon Building Design
Elevations	Sheet 4 of 6	A	31/5/2022	Avallon Building Design
Section	Sheet 5 of 6	A	31/5/2022	Avallon Building Design
BASIX Certificate	1315549S	-	23 June 2022	Sunrai Designs

Any minor modification to the approved plans will require the lodgement and consideration by Council of amended plans. Major modifications will require the lodgement of a new development application.

GENERAL

2. For clarity, this development consent provides approval for two (2) manufactured homes for use as farm stay accommodation with external decks.
3. Notwithstanding the approved plans, the structure is to be located clear of any easements.
4. All building work must be carried out in accordance with the *Building Code of Australia*.

Note: Prescribed condition pursuant to section 4.17(11) of the Environmental Planning and Assessment Act 1979.

5. All earthworks, filling, building, driveways or other works, are to be designed and constructed to ensure that at no time any ponding of stormwater occurs on the subject site or adjoining land as a result of this development. Design must also ensure that no diversion of runoff onto other adjacent properties occurs.
6. All stormwater runoff from roof and developed surfaces is to be controlled in such a manner so as not to flow or discharge over adjacent properties. Methods of disposal of excess stormwater including overflow from tank must also include adequate provision for prevention of erosion and scouring.
7. The internal access driveway must be constructed and maintained at all times to provide access in all weather conditions. The driveway must also be of a sufficient standard to allow for access by emergency service vehicles.
8. Costs associated with all development works including any necessary alteration, relocation of services, public utility mains or installations must be met by the developer. The developer is responsible to accurately locate all existing services before any development works commence to satisfy this condition.
9. Any damage which is caused to Council's infrastructure as a result of the proposed development must be repaired immediately to Council's satisfaction and at no cost to Council.
10. The applicant must ensure that an adequate potable water supply is available for use by occupants and for firefighting purposes to service the development.
11. Minimum tank storage capacity of 100,000 litres is required on the site, of which a minimum of 40,000 litres is to be retained for firefighting purposes.
12. A minimum of three (3) car parking spaces are to be provided within the site of the development and comply with AS 2890.1: 2004 and the following requirements:
 - a. Each parking space is to have minimum dimensions of 5.5m x 2.4m; and
 - b. All car parking and manoeuvring areas are to be provided with an all-weather surface suitable for 2WD vehicles (e.g. compacted gravel or road base material).

PRIOR TO THE APPROVAL OF A SECTION 68 (PART A) APPLICATION TO INSTALL A MOVEABLE DWELLING

13. Details are to be submitted to Mid-Western Regional Council confirming that each relocatable building is designed, constructed and will be installed in accordance with the requirements of Division 4 of the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005*. A current engineer's certificate is required to be site specific and acknowledge each structure is to be relocated to the new site.
14. Prior to release of the Section 68 approval for the placement of the building/s, an approval pursuant to Section 68 of the Local Government Act, 1993 for the installation of an On Site Sewer Management System is to be obtained from Mid-Western Regional Council.
15. In accordance with the provisions of Section 7.12 of the *Environmental Planning and Assessment Act 1979* and the *Mid-Western Regional Contributions Plan 2019*, a levy based on the value of works shall be paid to Council in accordance with this condition for the purpose of local infrastructure, prior to issue of any Section 68 approval for the placement of the transportable building.

A cost estimate report is to be provided to Council, confirming the cost of the development prior to issue of the Section 68 approval. Following submission of the cost estimate report, Council will provide the required amount, payable prior to issue of the Section 68 approval.

Note: The contribution amount will be adjusted by the Consumer Price Index, if not paid in the same financial year the development consent was issued.

Note: Mid-Western Regional Contributions Plan 2019 is available for perusal at Council's Administration Centre at 86 Market Street, Mudgee or on Council's website www.midwestern.nsw.gov.au under Council Documents/Strategies and Plans.

PRIOR TO THE COMMENCEMENT OF WORKS

16. No work shall commence on the deck component of the development until a Construction Certificate has been issued and the applicant has notified Council of:
 - a. the appointment of a Principal Certifying Authority; and
 - b. the date on which work will commence.

Such notice shall include details of the Principal Certifying Authority and must be submitted to Council at least two (2) days before work commences.

17. Prior to the commencement of any works, approval pursuant to Section 68 (Part A) of the Local Government Act 1993 to install a moveable dwelling and associated structure on land shall be obtained from Mid-Western Regional Council.
18. The site shall be provided with a waste enclosure (minimum 1800mm X 1800mm X 1200mm) that has a lid or secure covering for the duration of the construction works to ensure that all wastes are contained on the site. The receptacle is to be emptied periodically to reduce the potential for rubbish to leave the site. Council encourages the separation and recycling of suitable materials.

NOTE: ALL WASTE GENERATED FROM THE CONSTRUCTION PROCESS IS TO BE CONTAINED ON-SITE.

- 19. A sign must be erected in a prominent position on any work site on which involved in the erection or demolition of a building is carried out:**
- a. stating that unauthorised entry to the work site is prohibited;
 - b. showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours;
 - c. the name, address and telephone number of the principal certifying authority for the work; and
 - d. The sign shall be removed when the erection or demolition of the building has been completed.
- 20. Prior to works commencing on residential building work within the meaning of the *Home Building Act 1989*, the Principal Certifier of the development to which the work relates has given the Council written notice of the following information:**
- a. in the case of work for which a principal contractor is required to be appointed:
 - i. the name and licence number of the principal contractor; and
 - ii. the name of the insurer by which the work is insured under Part 6 of the *Home Building Act 1989*, unless an exemption is in force in accordance with Clauses 187 and 188 of the *Environmental Planning and Assessment Regulation 2000*
 - b. in the case of work to be done by an owner-builder:
 - i. the name of the owner-builder; and
 - ii. if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

If arrangements for doing the residential building work are changed while the work is in progress so that the information required by (a) or (b) becomes out of date, further work must not be carried out unless the Principal Certifier for the development to which the work relates has given Council written notice of the updated information.

This condition does not apply in relation to Crown building work that is certified, in accordance with Section 6.28 of the Act, to comply with the technical provisions of the *Building Code of Australia*.

- 21. The development site is to be managed for the entirety of work in the following manner:**
- a. Erosion and sediment controls are to be implemented to prevent sediment from leaving the site. The controls are to be maintained until the development is complete and the site stabilised with permanent vegetation.
 - b. Appropriate dust control measures.
 - c. Construction equipment and materials shall be contained wholly within the site unless approval to use the road reserve has been obtained; and
 - d. Toilet facilities are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.

DURING WORKS

22. All building / installation work must be carried out in accordance with the provisions of the National Construction Code, the Environmental Planning & Assessment Act 1979 and Regulations and all relevant Australian Standards.
23. All plumbing and drainage work must be carried out by a licensed plumber and drainer and must comply with the *Plumbing & Drainage Act 2011* and Plumbing Code of Australia.
24. Construction work noise that is audible at other premises is to be restricted to the following times:
 - Monday to Saturday – 7.00am to 5.00pm

No construction work noise is permitted on Sundays or Public Holidays.

25. All mandatory inspections required by the *Environmental Planning & Assessment Act 1979* and any other inspections deemed necessary by the Principal Certifying Authority being carried out during the relevant stage of construction for the deck.
26. The strength of the concrete used for the reinforced concrete floor slab must be a minimum 25Mpa.
27. In the event of any Aboriginal archaeological material being discovered during earthmoving/construction works, all work in that area shall cease immediately and the Office of Environment and Heritage (OEH) notified of the discovery as soon as practicable. Work shall only recommence upon the authorisation of the OEH.
28. The requirements of BASIX Certificate number(s) 1315549S issued on 23 June 2022 must be installed and/or completed in accordance with the commitments contained in that certificate. Any alteration to those commitments will require the submission of an amended BASIX Certificate to the Council and/or the Principal Certifying Authority prior to the commencement of the alteration/s.
29. All roof stormwater is to discharge to a water storage tank/s and overflow from the tank/s disposed a minimum 3 metres from the building, clear of any effluent disposal areas and in such a manner as to not create any erosion or scouring and not adversely affect adjoining properties.
30. This approval does not provide any indemnity to the owner or applicant under the *Disability Discrimination Act 1992* with respect to the provision of access and facilities for people with disabilities.
31. The relocatable building shall be installed in accordance with the approved structural engineer's specifications.

PRIOR TO OCCUPATION OF THE BUILDING

32. Prior to the occupation of the building, a Certificate of Completion is to be obtained from the Mid-Western Regional Council for the installation of the building.
33. Prior to occupation or use of the deck, an Occupation Certificate is to be obtained from Mid-Western Regional Council.

34. Prior to use of the development and/or issue of an Occupation Certificate, a satisfactory final inspection report from the Council must be received by the Certifier, verifying that all works have been completed in accordance with the relevant Section 68 (*Local Government Act 1993*) approval/s.
35. Prior to use of the development and/or issue of an Occupation Certificate, the excavated and/or filled areas of the site are to be stabilised and drained, to prevent scouring onto adjacent private or public property. The finished ground around the perimeter of the building is to be graded to prevent ponding of water, and to ensure the free flow of water away from the building and adjoining properties.

ONGOING USE

The following conditions have been applied to ensure that the use of the land and/or building is carried out in a manner that is consistent with the aims and objectives of the environmental planning instrument affecting the land.

36. All parking associated with the use is to be contained wholly within the site.
37. The development is to be operated in such a manner that will not interfere with the residential amenity of the adjoining and nearby residents, due to emission of noise, lighting or other nuisances.
38. The development is to be used for short stay visitor accommodation only.
39. The development is to be maintained in a clean and tidy manner, at all times.
40. Arrangements are to be made for the regular removal and disposal of all waste to a licenced waste facility.

ADVISORY NOTES

1. The removal of trees within any road reserve requires the separate approval of Council in accordance with the policy "Tree Removal and Pruning - Public Places".
2. The land upon which the subject building is to be constructed may be affected by restrictive covenants. This approval is issued without enquiry by Council as to whether any restrictive covenant affecting the land would be breached by the construction of the building, the subject of this approval. Persons to whom this approval is issued must rely on their own enquiries as to whether or not the building breaches any such covenant.
3. Division 8.2 of the Environmental Planning and Assessment Act 1979 (EP&A Act) gives you the ability to seek a review of the determination. This request is made to Council and must be made within 12 months after the date on which you receive this notice. The request must be made in writing and lodged with the required fee; please contact Council's Development Department for more information or advice.
4. If you are dissatisfied with this decision section 8.7 of the EP&A Act gives you the right to appeal to the Land and Environment Court within 12 months after the date on which you receive this notice, pursuant to section 8.10(1)(b).
5. To ascertain the extent to which the consent is liable to lapse, refer to Section 4.53 of the EP&A Act.

STATEMENT OF REASONS

The determination decision was reached for the following reasons:

1. The proposed development complies with the requirements of the applicable environmental planning instruments and Mid-Western Regional Development Control Plan 2013.
2. The proposed development is considered to be satisfactory in terms of the matters identified in Section 4.15 of the Environmental Planning & Assessment Act 1979.
3. No submissions were received during the public exhibition period.

Executive summary

OWNER/S:	Mr M and Mrs A Azar
APPLICANT:	Mrs A Azar
PROPERTY DESCRIPTION:	Wallinga - 344 Castlereagh Highway, Burrundulla - Lot 2 DP 869780
PROPOSED DEVELOPMENT:	Two (2) Buildings for use as Farm Stay Accommodation
ESTIMATED COST OF DEVELOPMENT:	\$353,100
REASON FOR REPORTING TO COUNCIL:	The applicant and part owner is a Senior Staff member of Council.
PUBLIC SUBMISSIONS:	Nil

Council is in receipt of Development Application DA0450/2022 that seeks approval for Two (2) Manufactured Homes for use as Farm Stay Accommodation, to be located at 'Wallinga' 344 Castlereagh Highway BURRUNDULLA NSW 2850, Lot 2 DP 869780.

The subject site currently operates as a working farm with an existing single dwelling, existing farm stay accommodation building approved by Council under DA0169/2021 and rural outbuildings located on the land. The applicant has previously advised that of the 44.3ha parcel of land, 98% is used for cropping and the production of sheep and cattle. Approximately 80 acres is under crop rotation and in a good season, the farm can produce up to 400 sheep and 50 head of cattle. A letter from the applicant's accountant has also been provided to support the current business registration and use of the land.

The application was notified, in accordance with Mid-Western Regional Community Participation Plan 2019, for a period of 14 days, ending 15 September 2022. During the notification period, no submissions were received. Whilst the proposed development was amended during the assessment from 3 to 2 buildings, there are no greater impacts on neighbouring properties by reducing the number of buildings and therefore the proposal was not renotified.

The proposed development has been assessed in accordance with Council's DCP and the LEP. The proposed development is considered generally consistent with Council's planning controls.

The application has been referred to Council for consideration as it exceeds staff's *Delegation of Authority*, in that the applicant or owner of the land to which the development relates is a Senior Staff member of Council, or Councillor.

The application is recommended for Approval.

Disclosure of Interest

The Director of Development declares an interest in the matter, being the applicant and part owner of the subject site.

Detailed report

PROPOSED DEVELOPMENT

Development Application DA0450/2022 seeks approval for Two (2) Manufactured Homes for use as Farm Stay Accommodation to be located at 'Wallinga' 344 Castlereagh Highway BURRUNDULLA NSW 2850, Lot 2 DP 869780.

Each proposed building is to be self-contained (including kitchen, bathroom and laundry) with open plan living, 1 main bedroom, separate bunk beds and attached deck as shown in the development plans contained in **Attachment 1**.

Figure 1 below demonstrates the proposed site layout (including setbacks) however, it is important to note that the applicant has elected to reduce the total number of farm stay accommodation buildings from 3 to 2 under this application, bringing the total accommodation buildings on the site to 3, in the event the application is approved.

A single farm stay accommodation building (in the same form of construction as proposed under this application) was previously approved by Council under DA0169/2021 on the 14 January 2021.

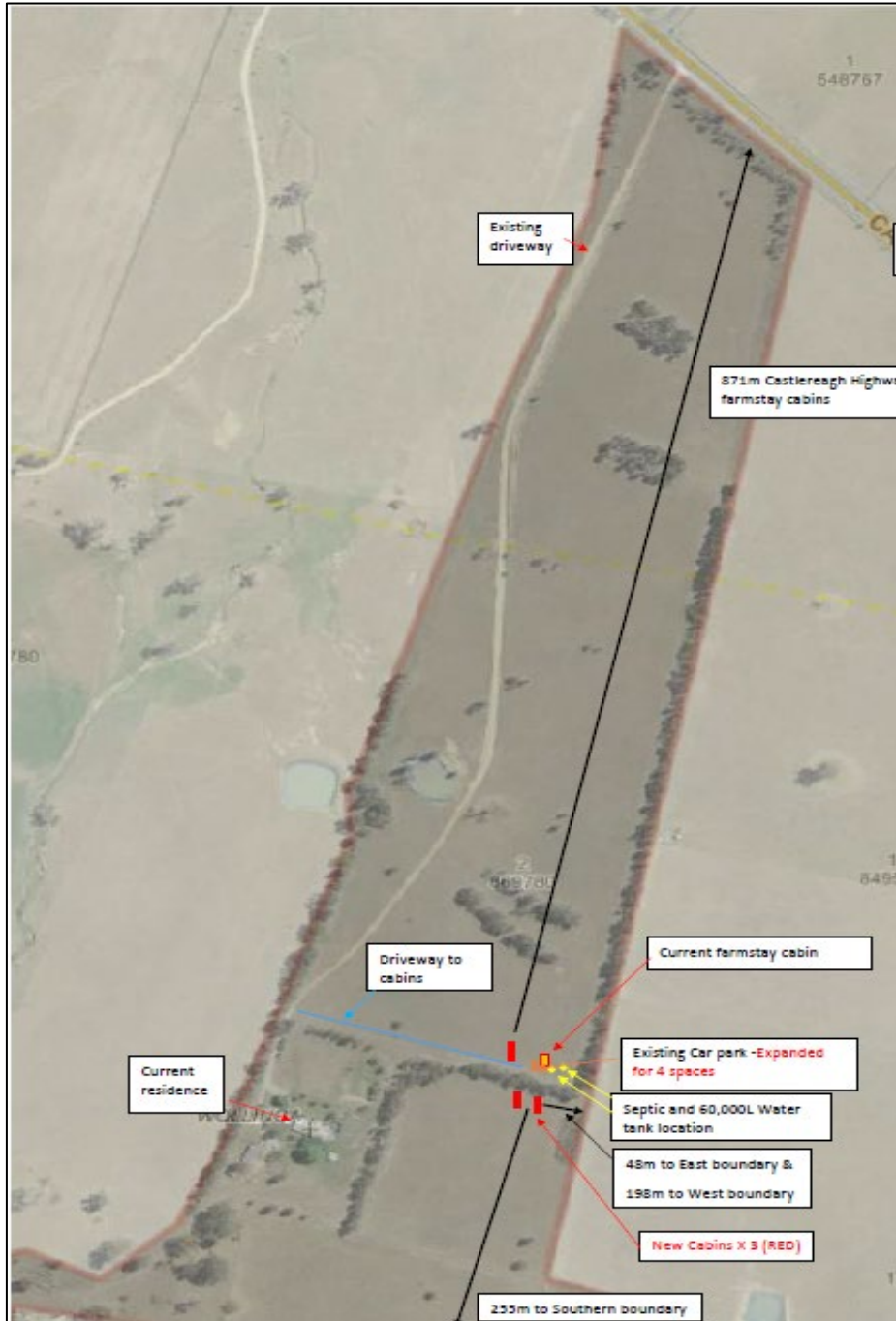


Figure 1: Proposed Site Plan

Subject Land

The subject site is legally identified as 344 Castlereagh Highway, Burrundulla which is located approximately 3.4km east of the urban area of Mudgee. The site contains an area of 44.3 hectares and has established farming operations including rotating crops and the grazing of sheep and cattle.

The site is bound by the Castlereagh Highway to the north, with a portion of the land also bound by Queens Pinch Road and Wallinga Lane to the south.

An existing access track, single dwelling, rural sheds, dam, one farm stay accommodation building along with mature vegetation throughout the site was identified following a site inspection.

Figure 2 below demonstrates the overall lot layout.



Figure 2: Site Location Plan

The application was notified, in accordance with Mid-Western Regional Community Participation Plan 2019, for a period of 14 days, ending 15 September 2022. During the notification period, no submissions were received.

The proposed development has been assessed in accordance with Council's DCP and the LEP. The proposed development is considered generally consistent with Council's planning controls.

The application has been referred to Council for consideration as it exceeds staff's *Delegation of Authority*, in that the applicant or owner of the land to which the development relates is a Senior Staff member of Council, or Councillor.

The application is recommended for Approval.

LEGISLATIVE REQUIREMENTS

Environmental Planning and Assessment Act 1979

Designated Development

The development proposal is not considered to be Designated Development, in accordance with Schedule 3 of the Environmental Planning and Assessment Regulation 2000 (EP&A Regs).

Integrated Development

The development proposal is not considered to be Integrated Development, in accordance with section 4.46 of the Environmental Planning and Assessment Act 1979 (EP&A Act).

ASSESSMENT

The application has been assessed in accordance with **Section 4.15** of the *Environmental Planning & Assessment Act 1979*. The main issues are addressed below as follows.

4.15(1)(a) Requirements of Regulations and Policies

(i) Do any environmental planning instruments (SEPP, REP or LEP) apply to the land to which the Development Application relates?

STATE ENVIRONMENTAL PLANNING POLICY (BIODIVERSITY AND CONSERVATION) 2021

The proposed development will not require removal of vegetation or koala habitat under this Policy. Therefore, no further consideration of this SEPP is considered necessary.

STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

The applicant has opted to provide a BASIX certificate and a condition of consent has been included ensuring that the commitments be met as listed in the certificate.

STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008

The proposed development is not impacted by any requirements of this Policy. Therefore, no further consideration of this SEPP is considered necessary.

STATE ENVIRONMENTAL PLANNING POLICY (HOUSING) 2021

The proposed development is not impacted by any requirements of this Policy. Therefore, no further consideration of this SEPP is considered necessary.

STATE ENVIRONMENTAL PLANNING POLICY (INDUSTRY AND EMPLOYMENT) 2021

The proposed development does not involve Advertising or Signage nor is impacted by any other requirements of this Policy. Therefore, no further consideration of this SEPP is considered necessary.

STATE ENVIRONMENTAL PLANNING POLICY (PLANNING SYSTEMS) 2021

The proposed development is not a State or Regionally Significant Development nor is it impacted by any other requirements of this Policy. Therefore, no further consideration of this SEPP is considered necessary.

STATE ENVIRONMENTAL PLANNING POLICY (PRECINCTS-REGIONAL) 2021

The proposed development is not impacted by any requirements of this Policy. Therefore, no further consideration of this SEPP is considered necessary.

STATE ENVIRONMENTAL PLANNING POLICY (PRIMARY PRODUCTION) 2021

The proposed development is not impacted by any requirements of this Policy. Therefore, no further consideration of this SEPP is considered necessary.

STATE ENVIRONMENTAL PLANNING POLICY (RESILIENCE AND HAZARDS) 2021

Pursuant to section 4.6 of the Policy, a site inspection and a search of Council's records did not reveal any potentially contaminating activities upon the development area, historically used for grazing purposes. Accordingly, no further consideration is necessary.

STATE ENVIRONMENTAL PLANNING POLICY (RESOURCES AND ENERGY) 2021

The proposed development is not impacted by any requirements of this Policy. Therefore, no further consideration of this SEPP is considered necessary.

STATE ENVIRONMENTAL PLANNING POLICY (TRANSPORT AND INFRASTRUCTURE) 2021

Pursuant to section 2.48, the development will not have impact on underground electricity power lines, distribution pole or tower. There are no electrical easements that constrain the subject site and therefore no further consideration of this SEPP is considered necessary.

The proposed development does not seek to alter the existing driveway or access to the site and the proposed development is not identified as a traffic generating development in accordance with the T&ISEPP therefore no referral to Transport for NSW or Essential Energy is required.

MID-WESTERN REGIONAL LOCAL ENVIRONMENTAL PLAN 2012 (MWRLEP 2012)

The following clauses of Mid-Western Regional Local Environmental Plan 2012 have been assessed as being relevant and matters for consideration in assessment of the Development Application.

Clause 1.2 Aims of Plan

The application is not contrary to the relevant aims and objectives of the plan.

Clause 1.4 Definitions

The proposal is defined in accordance with the MWRLEP 2012 as:

Farm Stay Accommodation means a building or place that provides temporary or short-term accommodation to paying guests on a working farm as a secondary business to primary production.

Clause 2.2 Zoning of Land to Which Plan Applies

The land is zoned RU4 Primary Production Small Lots and is therefore subject to the Plan.

Clause 2.3 Zone objectives and Land Use table

The land is zoned RU4 Primary Production Small Lots pursuant to MWRLEP 2012. The proposal, being a Farm Stay Accommodation is permissible with consent in the zone and complies with the relevant objectives.

The objectives of the zone and how the proposal satisfies the objectives is addressed below:

RU4 Primary Production Small Lots

1. *To enable sustainable primary industry and other compatible land uses.*

Comment The proposal does not significantly impact upon the ability of the land to be used for the purposes of primary production or other compatible land uses. The proposal is

limited to a congregation of the farm stay accommodation buildings in a small portion of the site and the residue portion of the large holding is able to continue to be utilised for sustainable primary industry purposes.

2. *To encourage and promote diversity and employment opportunities in relation to primary industry enterprises, particularly those that require smaller lots or that are more intensive in nature.*

Comment The proposal will continue to promote diversity and employment opportunities in relation to the primary industry enterprise operating on the site and allow for complementary accommodation opportunities on an existing farming operation.

3. *To minimise conflict between land uses within this zone and land uses within adjoining zones.*

Comment The proposal will not result in any significant conflict with adjoining land uses subject to compliance with condition of the consent.

4. *To ensure that land is available for intensive plant agriculture.*

Comment The proposal will not hinder the use of the site for the purposes of intensive plant agriculture.

5. *To encourage diversity and promote employment opportunities related to primary industry enterprises, particularly those that require smaller holdings or are more intensive in nature.*

Comment The proposal will not result in any significant impact upon the immediate visual amenity or environmental/cultural heritage values of the site. The area of the development is nestled into the undulating landform and screened by mature vegetation from all surrounding properties.

Clause 5.4 Controls relating to miscellaneous permissible uses

(5) **Farm stay accommodation** *if development for the purposes of farm stay accommodation is permitted under this Plan, the accommodation that is provided to guests must consist of no more than 5 bedrooms.*

The development complies with building one including 2 x bedrooms and building two including 1 x main bedroom and separate bunk beds. The existing building onsite also only contains 1 x main bedroom and bunk beds.

Clause 5.10 Heritage Conservation

No items of aboriginal significance or heritage item/s are recorded on the subject site.

The neighbouring property to the south of the land is identified however to contain a heritage item known as I401 under the MWRLEP 2012. This is identified as 'Wallinga Homestead' under Schedule 5 of the LEP being a Local heritage item.

Pursuant to Clause 5.10(4) of the MWRLEP, Council must consider the effect of the proposed development on the heritage significance of the item concerned.

Owing to the fact that the development is proposed in excess of 390m from the dwelling, the proposed buildings are both single storey with a small footprint and is obscured by existing mature vegetation, there is not considered to be any adverse impacts on the heritage significance of the item located on the adjoining property to the south of the site.

It is recommended however that a standard condition be placed upon the consent ensuring that work is ceased should an artefact or relic be discovered during construction.

Clause 6.1 Salinity

The proposal only involves minimal earthworks and is not expected to significantly affect the process of salinisation.

Clause 6.2 Flood planning

The subject site is not identified as being within the flood planning area in accordance with Council's maps and the Floodplain Study and Management Plan. No further consideration is necessary.

Clause 6.3 Earthworks

The proposal involves only minor earthworks to prepare the site for the development. The works are not expected to generate any significant impacts as listed in Clause 6.3(3). Conditions of consent have been included to ensure any earthworks related activities are carried out appropriately and minimise impacts upon neighbouring properties.

Clause 6.4 Groundwater vulnerability

The site is identified as groundwater vulnerable in accordance with Council's mapping. No broad excavation is needed to facilitate the proposal and no significant impacts upon those matters contained within clause 6.4(3) is expected as a result of the proposed development. Given the extent of excavation, it is considered that the development would not cause groundwater contamination, adversely affect any groundwater dependent ecosystems, will not cumulatively impact potable water supply, and therefore no special measures, or conditions of consent would be considered necessary.

Clause 6.5 Terrestrial biodiversity

The proposal is not located in any area identified as 'Moderate or High Biodiversity Sensitivity'.

Clause 6.7 Active street frontages

Not applicable. The site is not located within the area mapped as 'Active street frontage'.

Clause 6.8 Airspace operations – Mudgee Airport

The proposal will not penetrate the relevant height limits for safe operation of the Mudgee Airport.

Clause 6.9 Essential Services

All essential services that are relevant to the proposal are available or will be available as a result of the proposed development as detailed below:

- (a) the supply of water - tanks are proposed to supply water to the development.
- (b) the supply of electricity - electricity will be supplied via the existing connection to the site.
- (c) the disposal and management of sewage - sewerage will be managed via an onsite sewerage management system required to be approved under Section 68 of the Local Government Act 1993.
- (d) stormwater drainage or on-site conservation - water tanks will collect roof water runoff with surface water to be contained within the subject site and existing natural contours directed to dams on the site.
- (e) suitable road access – an existing access driveway and crossover is provided to the site from the Castlereagh Highway and has been deemed suitable to support the proposed development with adequate sight lines available in both directions.

Clause 6.10 Visually sensitive land near Mudgee

The land is located within the visually sensitive land map area. The proposal has been designed to complement the visual setting through the use of appropriate materials and colours and through the positioning of the building below the ridge line. Further, existing mature vegetation is proposed to 'screen' the development from all surrounding properties. The development is considered to complement the existing rural area and is considered to be a complementary land use to support the existing primary production operations found on the site.

4.15(1)(a) Requirements of Regulations and Policies

(ii) Draft environmental planning instruments (EPI)

The Department of Planning and Environment (DPE) has prepared the Standard Instrument Local Environmental Plan Agritourism Amendment Order 2021 (LEP Order) which was published on the 6 October 2022. The Order makes changes to the definition of Farm Stay Accommodation and also includes optional clauses in relation to Farm Stay Accommodation. The Order however does not commence until 1 December 2022.

The optional clause was considered and endorsed by Councillors at the General Council Meeting on 16 March 2022. The changes have not currently been included in the MWLEP however, their inclusion is considered to be imminent (1 December 2022) and accordingly, consideration of the new sections prescribed by the Order is considered below:

Proposed new definition:

Farm Stay Accommodation means a building or place—

(a) on a commercial farm, and

(b) ancillary to the farm, and

(c) used to provide temporary accommodation to paying guests of the farm, including in buildings or moveable dwellings.

Note: Farm stay accommodation is a type of **tourist and visitor accommodation**— see the definition of that term in this Dictionary.

Comment The proposal is able to meet the proposed new definition of farm stay accommodation with the proposal to be located on a commercial farm, is proposed ancillary to the farm operations and is used to provide temporary accommodation to paying guests of the farm.

New optional Clause (updated on 6 October 2022 by DPIE):

Clause 5.24 Farm Stay Accommodation

(1) The objectives of this clause are—

(a) to diversify the uses of agricultural land without adversely impacting the principal use of the land for primary production,

Comment The proposal will not result in any significant impact upon the primary production business operating from the site. The buildings are to be located in a collective location on the site, avoiding existing areas used for intensive cropping activities. Further, given the small footprint of the buildings and associated infrastructure, there is minimal impact on the land used for the grazing of sheep and cattle.

b) to balance the impact of tourism and related commercial uses with the use of land for primary production, the environment, scenic values, infrastructure and adjoining land uses.

Comment The proposal is not considered to have a significant impact on the use of the land for primary production or the environment, scenic values, infrastructure or adjoining land uses subject to compliance with the recommended conditions.

(2) *Development consent must not be granted to development for the purposes of farm stay accommodation on a landholding unless the consent authority is satisfied all buildings or manufactured homes used to accommodate guests on the landholding will be:*

(a) on the same lot as an existing lawful dwelling house, or

Comment The proposed development is located on a lot with an existing lawful dwelling house.

(b) on a lot of a size not less than the minimum lot size for a dwelling house to be permitted on the lot under an environmental planning instrument applying to the land.

Comment The proposal is to be located on a lot that exceeds the minimum lot size for a dwelling house.

(3) *Subclause (2) does not apply if the development is a change of use of an existing dwelling to farm stay accommodation.*

Comment Not Applicable

(4) *Development consent must not be granted to development for the purposes of farm stay accommodation on land unless the consent authority has considered—*

(a) whether the development will result in noise or pollution that will have significant adverse impact on the following on or near the land—

- i. residential accommodation,*
- ii. primary production operations,*
- iii. other land uses*

Comment The surrounding uses consist of primary production operations and associated dwellings. The proposed farm stay accommodation is set back in excess of 800m from the front boundary and 48m from the eastern boundary (being the closest boundary). The closest dwelling is approximately 380m from the proposed buildings to the east in an elevated location with access via Queens Pinch Road. The farm stay accommodation is not expected to generate significant amounts of noise or any other pollution and accordingly the separation distances proposed are considered to be appropriate. Council's standard amenity condition is recommended should any unreasonable noise be generated as a result of the proposed use however it is also important to note that Council has not received any complaints thus far in relation to the existing operations of the farm stay accommodation building on the site.

a) whether the development will have significant adverse impact on the following on or near the land—

- i. the visual amenity, heritage or scenic values,*

Comment The proposal will not result in significant adverse impact upon the immediate visual amenity or scenic values on or near the land owing to the placement of the buildings on the site, obscured by existing mature vegetation also already located on the site. The site is not identified as a heritage item or within a heritage conservation area, and no aboriginal relics have been identified on the land. A standard condition will

be included to ensure that works are to cease should any subsurface 'unexpected' items be uncovered during works.

ii. native or significant flora or fauna,

Comment The cabins will be located within an existing cleared area on the land. No trees are proposed to be removed as part of the proposal. The proposal is considered to unlikely to have a significant adverse effects on native or significant flora or fauna.

iii. water quality,

Comment No significant adverse effect expected – the cabin will not impact any existing water courses or drainage lines, a condition will be included to ensure any on-site sewerage systems associated with the development achieves Council requirements.

iv. traffic,

Comment The development consists of two (2) cabins and is not expected to generate significant volumes of traffic that would impact on the existing road system. The development does not seek to upgrade the existing access point to the site and the development is not identified as a traffic generating development pursuant to the State Planning Policy requirements.

v. the safety of persons, and

Comment The development is not expected to have a significant adverse impact on the safety of persons.

b) whether the development is on bush fire prone land or flood prone land, and

Comment The site is not mapped as being bush fire prone or flood prone land. Consideration has however been given towards water supply to support the development with conditions imposed accordingly.

c) the suitability of the land for the proposed development, and

Comment The site is considered suitable for the development, the development is able to be adequately serviced and is not identified as being unsuitable by means of any existing hazards or site constraints.

d) the compatibility of the development with nearby land uses.

Comment The proposal is considered to be compatible with the surrounding uses. The development is appropriately set back from adjoining boundaries to minimise impacts to adjoining agricultural uses and dwellings.

Based on the above findings, the development is capable of achieving compliance with Standard Instrument Local Environmental Plan Agritourism Amendment Order 2021 (LEP Order) due to commence on the 1 December 2022.

(iii) Any development control plans

MID-WESTERN REGIONAL DCP 2013

An assessment is made of the relevant chapters and sections of this DCP. Those chapters or sections not discussed here were considered not specifically applicable to this application or are discussed elsewhere in this report.

Part 4.7 Tree Preservation Order

No trees to be removed.

Part 5.1 Car Parking

The proposal is capable of achieving off street parking at 1 space per unit for 'tourist and visitor accommodation'. The development will require a minimum of 3 parking spaces given there will be a total of 3 x farm stay buildings onsite. It is noted that the applicant seeks to provide 4 spaces on the site and this achieves compliance with the standard.

Part 5.2 Flooding

Not Applicable

Part 5.3 Stormwater Management

Council's Development Engineer has provided comments and conditions concerning adequate disposal of stormwater.

Part 5.4 Environmental Controls

All the relevant considerations have been discussed elsewhere in this report or dealt with through conditions of consent.

Part 6.1 Dwellings in Rural Areas

PRIMARY PRODUCTION SMALL LOTS

A dwelling already is found on the land, no further consideration is therefore required.

Part 6.4 Tourist and Visitor Accommodation

The proposal generally satisfies the tourist accommodation provisions of the DCP 2013 in that the property will contain a residential component and the number of tourist units will not exceed 6. All services are available to the site.

A condition of consent has been included ensuring the development is used for short stay accommodation only.

Section 7.11 Contributions

MID-WESTERN REGIONAL CONTRIBUTIONS PLAN 2019

Pursuant to Council's Contributions Plan 2019, the development is proposing farm stay accommodation and has a proposed cost of development greater than \$200,000. Therefore, a levy of 1% applies to the proposal.

Noting that the application has been amended to reduce the scale of the development from 3 buildings to 2, the estimated contribution is based on the original submitted cost estimate provided is as follows:

- $\$353,100 \times 1\% = \$3,531.00$

A condition is recommended that requires a revised cost report to be provided to ensure the correct contribution is paid accordingly.

Section 64 - Water/Sewer Developer Services Charges

In accordance with the Developer Servicing Plans for Water and Sewer (August 2008), the development does not increase the demand or loading upon Councils infrastructure or require

additional water, sewer or trade waste services to the land or building. No charges can therefore be applied under the plan.

4.15(1)(a) Provisions of any Planning Agreement or Draft Planning Agreement – (1)(a)(iiia)

No Planning Agreements are applicable.

Regulations – 4.15(1)(a)(iv)

ENVIRONMENTAL PLANNING AND ASSESSMENT REGULATION 2021

No matters prescribed by the Regulations impact determination of the Development Application.

Likely impacts of the development – 4.15(1)(b)¹

¹ Including environmental impacts on both the natural and built environments, and social and economic impacts in the locality.

(A) CONTEXT AND SETTING

The proposal is considered appropriate with regards to the surrounding context and setting, complementing the existing farming operations on the land. Such proposals are also supported at a State Planning level with the introduction of the Agritourism reforms where existing primary production activities take place.

(B) ACCESS, TRANSPORT AND TRAFFIC

The implications of traffic and suitable access are discussed throughout this report. The proposal is considered appropriate.

(C) PUBLIC DOMAIN

The development will not impact the public domain in terms of recreation opportunities, the amount, location, design, use and management of public spaces, or pedestrian linkages between public spaces.

(D) UTILITIES

All relevant utilities are available or can be made readily available to the site.

(E) HERITAGE

Not Applicable

(F) OTHER LAND RESOURCES

No impact expected on the conserving and the use of valuable land, such as productive agricultural land, mineral or extractive resources, or water supply catchments.

(G) WATER

No significant impact expected.

(H) SOILS

No significant impact expected. The site is not known to be affected by subsidence, slip or mass movement, subject to contamination, and will not result in significant soil erosion or degradation, subject to compliance with conditions of consent.

(I) AIR AND MICROCLIMATE

The development is not expected to impact air quality or microclimatic conditions.

(J) FLORA AND FAUNA

Not Applicable

(K) WASTE

As the proposed development is prefabricated offsite, minimal construction waste is generated. All wastes associated with the operation will be required to be disposed of to a licenced waste facility and would be limited to domestic waste only.

(L) ENERGY

Not Applicable

(M) NOISE AND VIBRATION

Not Applicable

(N) NATURAL HAZARDS

The development site is not mapped as bushfire prone land or flood prone and there are no known subsidence, slip or mass movement issues. Requirements for a dedicated firefighting water supply has however been included within the conditions of consent and suitable access to the development site for a firefighting apparatus is already in place.

(O) TECHNOLOGICAL HAZARDS

There are no known risks to people, property or the biophysical environment, resulting from technological or industrial hazards, or building fire risk.

(P) SAFETY, SECURITY AND CRIME PREVENTION

The proposed development is not considered to increase safety or security risks however, the landowner will be responsible for managing any potential onsite risks associated with the farming operations and/ or dwelling. There will however be a general increase in passive surveillance as a result of the proposed development.

(Q) SOCIAL IMPACT IN THE LOCALITY

Generally positive social impacts are identified by allowing for accommodation options within an established farming business.

(R) ECONOMIC IMPACT IN THE LOCALITY

Generally positive economic impacts are identified including the opportunity for local contractors used during placement and operation of the accommodation buildings as well as additional revenue spent in the Region from visitors during their stay.

(S) SITE DESIGN AND INTERNAL DESIGN

Adequate as discussed throughout this report.

(T) CONSTRUCTION

To comply with the BCA where relevant.

(U) CUMULATIVE IMPACTS

Nil. There are no known impacts that have the potential to act in unison, in terms of space or time, or owing to their repetitive nature, that would produce an effect greater or different than the sum of the separate parts.

Suitability of Site for Development – 4.15(1)(c)

(A) DOES THE PROPOSAL FIT IN THE LOCALITY?

Yes. There are no hazardous land uses or activities nearby, there are no constraints posed by adjacent developments and there are adequate utilities and transport facilities in the area available for the development.

(B) ARE THE SITE ATTRIBUTES CONDUCTIVE TO DEVELOPMENT?

Yes. The site is not subjected to any natural hazards, and the project will not impact any critical habitat, threatened species, populations, ecological communities or endangered habitats on the site.

Submissions made in accordance with Act or Regulations – 4.15(1)(d)

(A) PUBLIC SUBMISSIONS

The application was notified, in accordance with Mid-Western Regional Community Participation Plan 2019, for a period of 14 days, ending 15 September 2022. During the notification period, no submissions were received.

(B) SUBMISSIONS FROM PUBLIC AUTHORITIES

No submissions were sought or received from public authorities.

The Public Interest – 4.15(1)(e)

(A) FEDERAL, STATE AND LOCAL GOVERNMENT INTERESTS AND COMMUNITY INTERESTS

No significant issues in the interests of the public are expected as a result of the proposed development.

CONSULTATIONS

(A) HEALTH AND BUILDING

Council's Health & Building Surveyor has not raised any concerns with the proposal, subject to conditions.

(B) TECHNICAL SERVICES

Council's Development Engineer has not raised any concerns with the proposal subject to conditions.

Community Plan implications

Theme	Protecting Our Natural Environment
Goal	Protect and enhance our natural environment
Strategy	Ensure land use planning and management enhances and protects biodiversity and natural heritage

Strategic implications

Council Strategies

Not Applicable

Council Policies

Mid-Western Regional Development Control Plan 2013

Mid-Western Regional Contributions Plan 2019

Mid-Western Regional Community Participation Plan 2019

Legislation

Environmental Planning & Assessment Act 1979
Environmental Planning & Assessment Regulation 2021
Mid-Western Regional Local Environmental Plan 2012

Financial implications

The Applicant will be required to pay developer contributions in accordance with the Mid-Western Regional Contributions Plan 2019 and Developer Servicing Plans 2008.

Associated Risks

Should Council refuse the Development Application, the applicant may seek a further review of this decision or appeal through the Land & Environment Court.

KAYLA ROBSON
PLANNING COORDINATOR

LINDSAY DUNSTAN
MANAGER, PLANNING

24 October 2022

Attachments: 1. Development Plans.

APPROVED FOR SUBMISSION:

BRAD CAM
GENERAL MANAGER

Overall Site Plan



Lot 2 DP869780
344 Castlereagh Highway
Spring Flat NSW 2850

GENERAL NOTES:

- All materials and work practices shall comply with, but not limited to the Building Regulations 2006, National Construction Code Series 2013, building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.
- Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2013 Building Code of Australia Vol 2.
- All materials and construction practice shall meet the Performance requirements of the BCA. Where an alternative solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.
- Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with:
 - BCA Part 3.6 for Class 1 and 10 Buildings within a design wind speed of not more than N3; and
 - NCC 2013 BCA Vol 1 Part B1.4 for Class 2 and 9 Buildings.
- Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740–2010: Waterproofing of Domestic Wet Areas.
- These drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alterations.
- Step sizes (other than for spiral stairs) to be:
 - Risers (R) 190mm maximum and 115mm minimum.
 - Going (G) 355mm maximum and 240mm minimum.
 - 2R + 1G 0 700mm maximum and 550mm minimum.
 - with less than 125mm gap between open treads.
- All treads, landings and the like to have non-slip finish or suitable non-skid strip near edge of nosing.
- Provide balustrade where changes in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Balustrade (other than tensioned wire balustrade) to be:
 - 100mm minimum above finished surface level of balconies, landings or the like, and
 - 865mm minimum above finished surface level of stair nosing or ramp and, vertical with less than 125mm gap between, and
 - any horizontal element within the balustrade between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads.
- Wire balustrade construction to comply with BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2013 BCA Vol 1 Part D2.16 for other classes of Buildings.
- Top of handrails to be minimum 865mm vertically above stair nosing and floor surface of ramps.
- Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.

- Where the building (excluding a detached Class 10) is located in a termite prone area, the area to underside of building and perimeter is to be treated against termite attack.
- Concrete stumps:
 - Up to 1400mm long to be 100mm x 100mm (1 no. H.D. Wire)
 - 1401mm to 1800mm long to be 100mm x 100mm (2 no. H.D. Wires)
 - 1801mm to 3000mm long to be 125mm x 125mm (2 no. H.D. Wires)
 - 100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.
- For buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS 4773.1–2010 'Masonry in small buildings' Part 1: Design.
- All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.
- These drawings shall be read in conjunction with all relevant structural and all other consultants' drawings/details and with any other written instructions issued in the course of the contract.
- Site plan measurements in metres, all other measurements in millimetres u.n.o.
- Figured dimensions take precedence over scaled dimensions.
- the Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
- The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to the office for clarification.
- Installation of all services shall comply with the respective supply authority requirements.
- The Builder and Subcontractors shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
- These plans have been prepared for the exclusive use by the client of Avallon Building Design and Drafting ("The Designer") for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does to at their own risk and no responsibility is accepted by the Design for such use and/or reliance.
- The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. Any sold variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing the said variation.

STORMWATER
 90mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction.

The cover to underground stormwater drawings shall be not less than
 - 100mm under soil
 - 50mm under paved or concrete areas
 - 100mm under unreinforced concrete or paved driveways
 - 75mm under reinforced concrete driveways

SITE ENVIRONMENT DESIGN INFORMATION
Refer report by others
 Reference document AS 3959–2009 Construction of Buildings in Bushfire prone areas

Site Classification
 Site classification as Class: '??'
 Refer soil report No: ??
 By: ??
 Dated: ??

Design Gust Wind Speed / Wind Classification
 Building tie-downs to be provided in accordance with AS1684–2006 for an assumed design gust wind speed / wind classification of N2 (subject to confirmation on site by Relevant Building Surveyor at first inspection) refer to AS1684 for construction requirements.

Climate Zone
 Climate zone for Thermal design / Thermal performance assessment: Zone 6

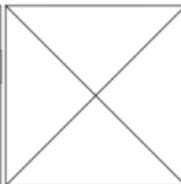
Corrosion protection of built-in structural members
 Provide corrosion protection of built-in structural steel members such as steel lintels, shelf angles, connectors, accessories (other than wall ties) in accordance with Table 4.1 of AS 4773.1–2010 Masonry in Small Buildings, Part 1: Design suitable for an Environment Classification of

Corrosion protection for sheet roofing
 Provide corrosion protection for sheet roofing in accordance with BCA Table 3.5.1a suitable for an Environment Classification of



DO NOT SCALE OFF DRAWINGS.
 ALL DIMENSIONS TO BE CHECKED
 PRIOR TO COMMENCEMENT OF WORKS.

Proposed:
 At:
 Client:
 For:



REV	AMENDMENT	DATE
A	WORKING DRAWINGS	16/10/2020

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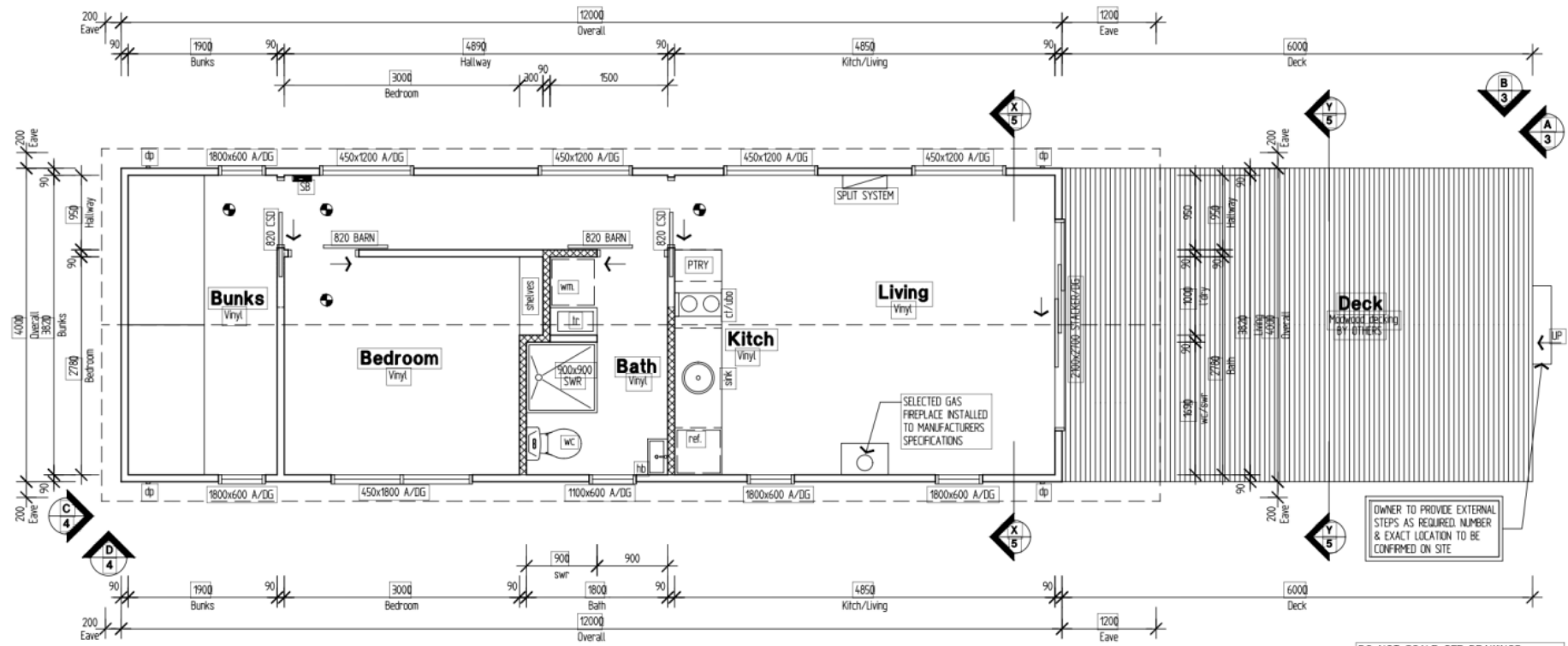
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General Notes"/>		
Scale	<input type="text" value="N/A"/>	Date	<input type="text" value="16/10/2020"/>
Drawn	<input type="text" value="MG"/>	Job No.	<input type="text" value="1"/>
Issue	<input type="text" value="A"/>	Sheet	<input type="text" value="1 of 6"/>

FLOOR AREAS:

STUDIO:	48.0 m sqf	5.77 sqf
DECK:	24.0 m sqf	2.58 sqf

- ENERGY RATING REQUIREMENTS:**
- R6.0 INSULATION TO CEILING/ROOF
 - R2.7 INSULATION TO EXTERNAL WALLS & INTERNAL WALLS SHOWN
 - R2.0 INSULATION UNDER FLOOR
 - ALUMINUM AWNING DOUBLE GLAZED WINDOWS: U-VALUE 4.5, SHGC VALUE 0.5 OR BETTER
 - ALUMINUM FIXED DOUBLE GLAZED WINDOWS: U-VALUE 4.5, SHGC VALUE 0.61 OR BETTER
 - ALUMINUM DOUBLE GLAZED SLIDING DOORS: U-VALUE 4.5, SHGC VALUE 0.5 OR BETTER

- NOTES:**
- WINDOW SIZES SHOWN ARE INDICATIVE ONLY AND MAY VARY. REFER TO WINDOW MANUFACTURERS SPECIFICATIONS FOR ACTUAL WINDOW SIZES, DETAILS AND STUD OPENINGS.
 - THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS SPECIFICATIONS AND DRAWINGS. ENGINEER MEMBER SIZES TO TAKE PRECEDENCE.
 - DIMENSIONS SHOWN ARE TO FRAME ONLY.
 - HARD WIRED SMOKE DETECTORS WITH BATTERY BACKUP IN ACCORDANCE WITH A.S. 3786-1993 & B.C.A.
 - DOWNPIPES CONNECTED TO LPOD VIA 900 UPVC PIPE AS PER LOCAL AUTHORITIES REQUIREMENTS. REFER SITE PLAN.
 - SUB-BOARD FUSE BOX
 - PROVIDE FLOOR TILES TO WET AREAS.
 - R2.7 INSULATION TO INTERNAL WALLS WHERE SHOWN



FLOOR PLAN

DO NOT SCALE OFF DRAWINGS. ALL DIMENSIONS TO BE CHECKED PRIOR TO COMMENCEMENT OF WORKS.

Proposed: Transportable Studio
 At: 344 Castlereagh Hwy, Spring Flat NSW
 Client: Alina & Mick
 For: Soul Space Studios



REV	AMENDMENT	DATE
A	WORKING DRAWINGS	16/10/20

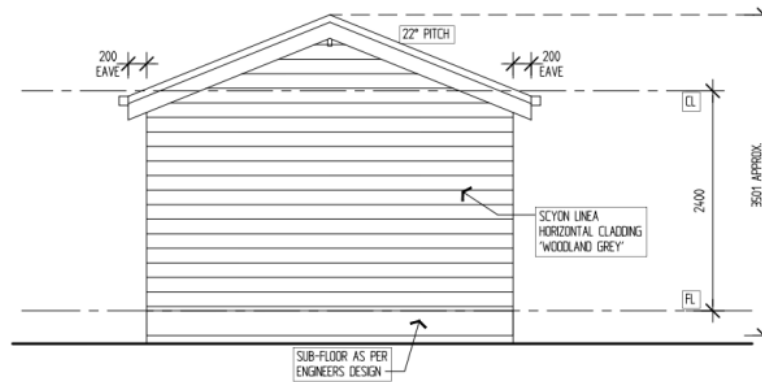
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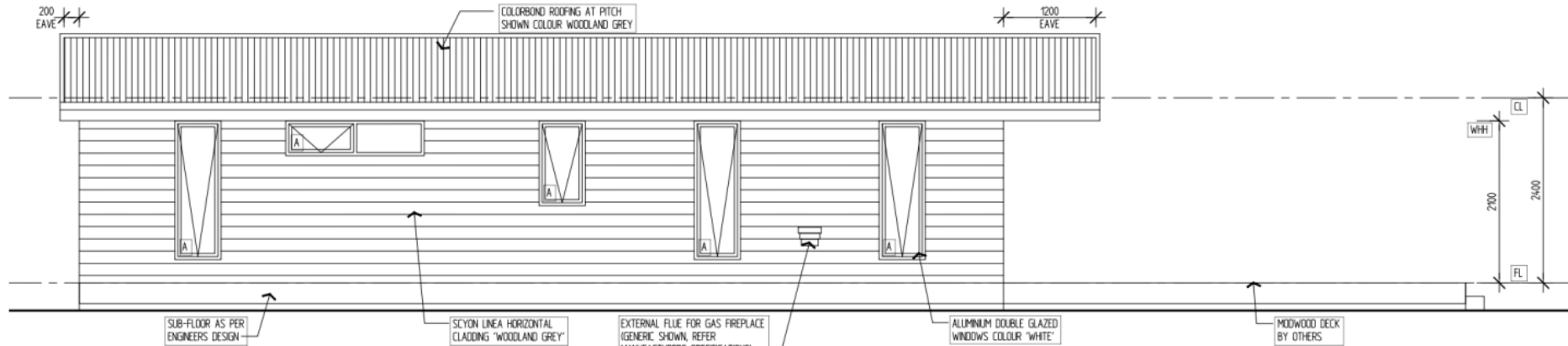
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TITLE	Working Drawings :- Floor Plan	
Scale	1:50	Date 16/10/20
Drawn	MG	Job No 1
Issue	A	Sheet 2 of 6



ELEVATION C



ELEVATION D

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 At: 344 Castlereagh Hwy, Spring Flat NSW
 Client: Alina & Mick
 For: Soul Space Studios



REV	AMENDMENT	DATE
A	WORKING DRAWINGS	16/10/20

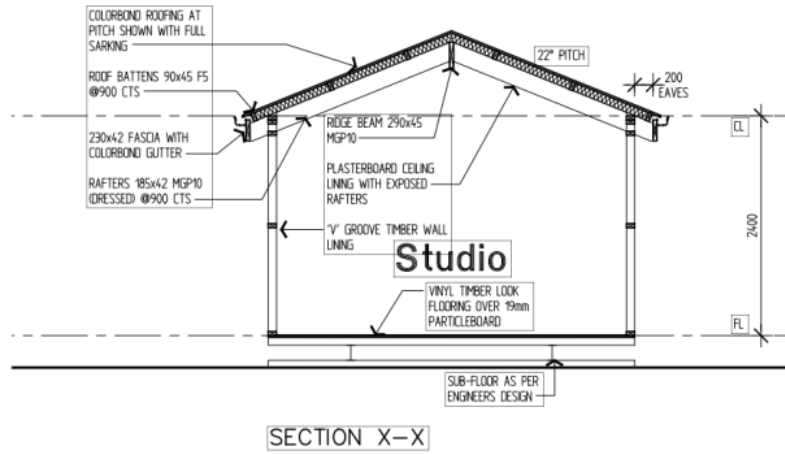
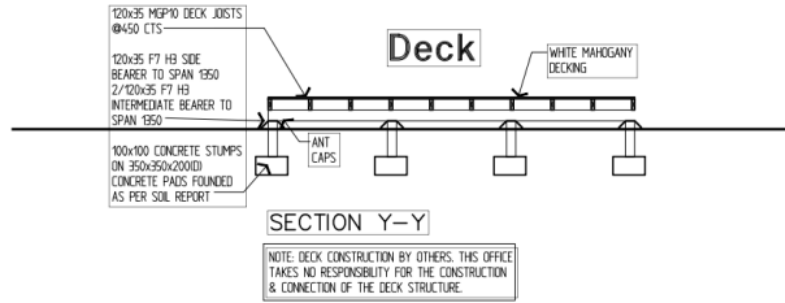
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TITLE	Working Drawings :- Elevations		
Scale	1:50	Date	16/10/20
Drawn	MG	Job No	1
Issue	A	Sheet	4 of 6



STUD SCHEDULE

MEMBER	SIZE	GRADE	CTS	SPAN
STUDS	90x45	F5	350	1200
NOGGINGS	70x35	F5	1200	
L/BEAR. TOP PLATE	2/90x45	F5		
TOP & BOTTOM PLATE	90x45	F5		
JAMB STUD	2/90x35	F5		1250
JAMB STUD	2/90x45	F5		2500
LINTEL	120x35	MGP10		1250
LINTEL	190x45	MGP10		2500

SOIL CLASSIFICATION

CLASS: ??
 REFER TO SOIL REPORT BY: ??
 DATED: ?? REPORT NO: ??

NOTE:

- PROVIDE TERMITE TREATMENT TO A.S. 3660.1
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS SPECIFICATIONS, ENGINEERS DETAILS AND SIZES TO TAKE PRECEDENCE.

ENERGY RATING REQUIREMENTS

- R6.0 INSULATION TO CEILING
- R2.7 INSULATION TO EXTERNAL WALLS
- R2.7 INSULATION TO BATH INTERNAL WALLS
- R2.0 INSULATION TO UNDER FLOOR
- ALUMINIUM AWNING DOUBLE GLAZED WINDOWS: U-VALUE 4.5, SHGC VALUE 0.5 OR BETTER
- ALUMINIUM FIXED DOUBLE GLAZED WINDOWS: U-VALUE 4.5, SHGC VALUE 0.61 OR BETTER
- ALUMINIUM DOUBLE GLAZED STACKER DOOR: U-VALUE 4.5, SHGC VALUE 0.5 OR BETTER

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Proposed: Transportable Studio
 At: 344 Castlereagh Hwy, Spring Flat NSW
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TITLE	Working Drawings :- Section		
Scale	1:50	Date	16/10/2020
Drawn	MG	Job No	1
Issue	A	Sheet	5 of 6

ELECTRICAL LEGEND

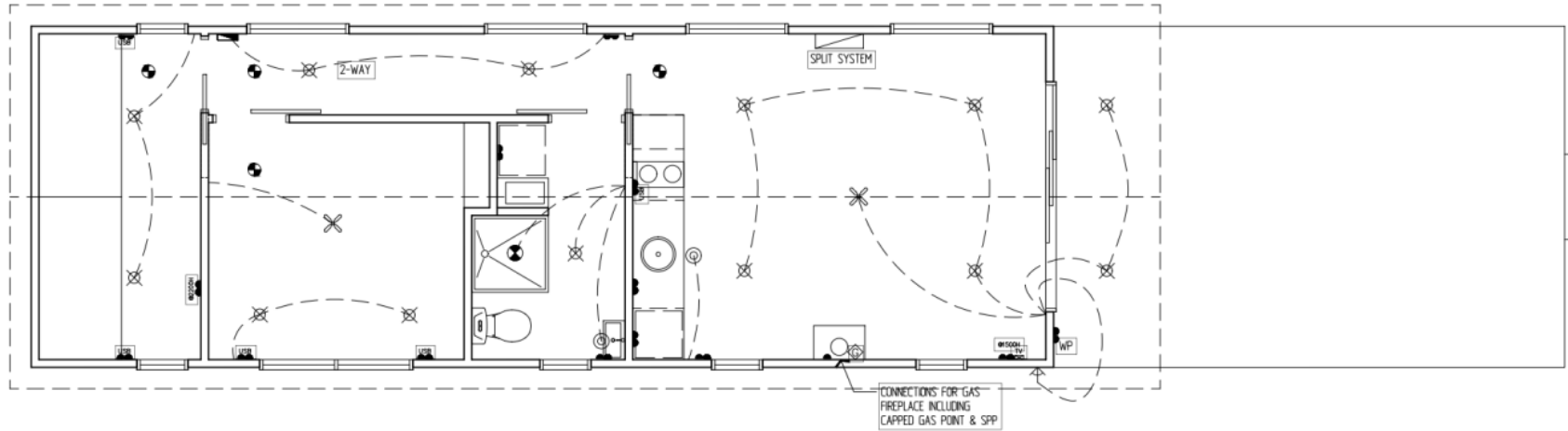
- DOUBLE POWER POINT
- DOUBLE WEATHERPROOF POWER POINT
- CEILING MOUNTED SPOTLIGHT
- LED DOWNLIGHT
- SMOKE DETECTOR
- DL TASTIC HEAT/FAN/LIGHT
- SELF-SEALING CEILING EXHAUST FAN
- CEILING EXHAUST FAN SWITCHED WITH LIGHT (SELF-SEALING)
- EXTERNAL SPOT LIGHT
- TV POINT
- PHONE POINT
- CEILING FAN WITH LIGHT
- SECURITY SENSOR
- SUB-BOARD FUSE BOX

NOTES:
 - LOCATIONS OF ALL ELECTRICAL AND SERVICE POINTS ARE APPROXIMATE ONLY AND SUBJECT TO POSITIONS OF STRUCTURAL MEMBERS.
 - PROVIDE SMOKE DETECTORS WHERE INDICATED IN ACCORDANCE WITH A.S. 3786-1993 AND B.C.A.

WATTAGE ALLOWANCE:

Max. total wattage residence: 5 W/m sq
 Residence floor area: 48m sq
 Total allowable wattage: 240 W
 Total No. of lights: 15
 MAX. WATTAGE PER LIGHT: 16 W

NOTE: PERIMETER LIGHTING MUST BE EITHER CONTROLLED BY A DAYLIGHT SENSOR, OR HAVE AN AVERAGE LIGHT SOURCE EFFICACY OF NOT LESS THAN 40 LUMENS/W, AS PER B.C.A.



ELECTRICAL PLAN

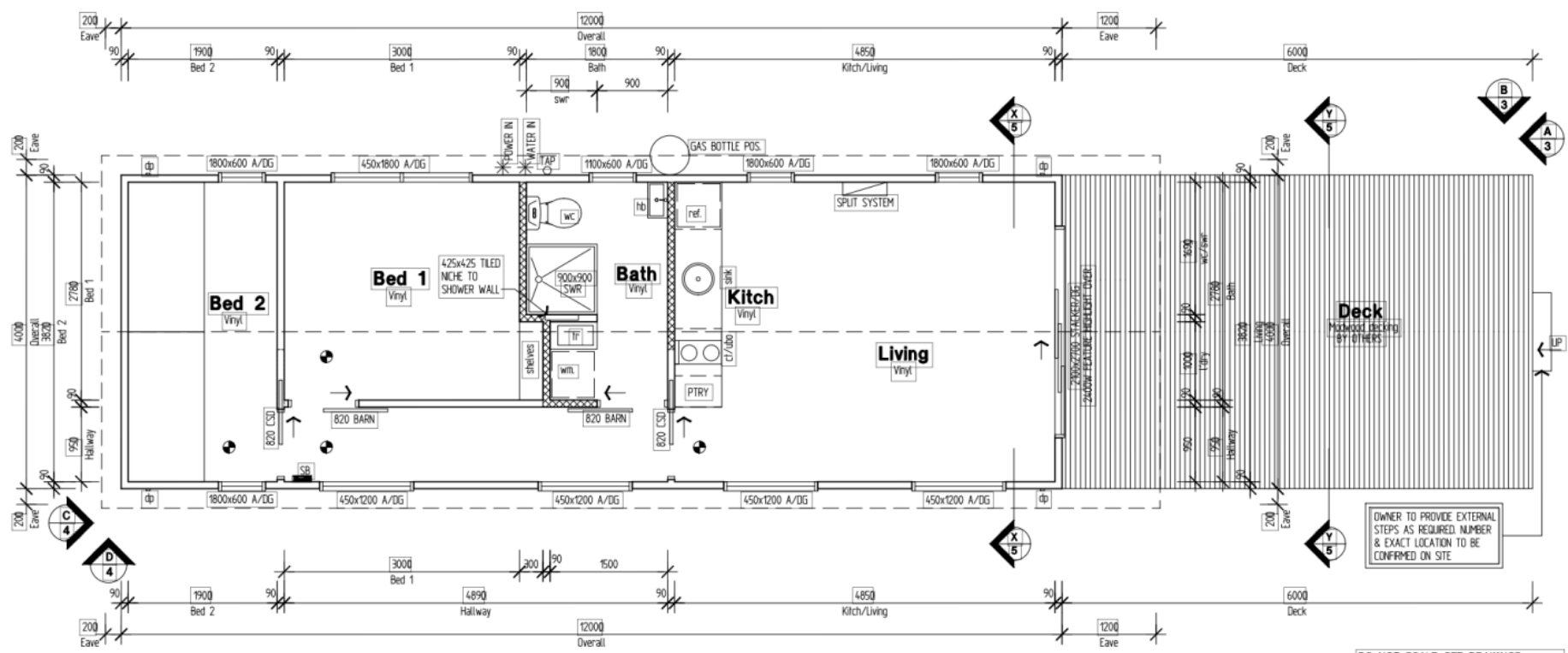
DO NOT SCALE OFF DRAWINGS.
 ALL DIMENSIONS TO BE CHECKED
 PRIOR TO COMMENCEMENT OF WORKS.

Proposed: Transportable Studio At: 344 Castlereagh Hwy, Spring Flat NSW Client: Alina & Mick For: Soul Space Studios		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">A</td> <td style="font-size: 8px;">WORKING DRAWINGS</td> <td style="font-size: 8px;">16/10/2020</td> </tr> <tr> <td style="font-size: 8px;">REV</td> <td style="font-size: 8px;">AMENDMENT</td> <td style="font-size: 8px;">DATE</td> </tr> </table>	A	WORKING DRAWINGS	16/10/2020	REV	AMENDMENT	DATE	<p style="font-size: 8px;">PO Box 170 Trafalgar Vic. 3824 Mob. 0419 598 662 E. design@avalon.com.au</p>	<p style="font-size: 8px;">© COPYRIGHT "2020" This document or any document forming part of this offer shall remain the property of Avalon Building Design. Details may not be released, copied or shared in whole or in part, or used without the written permission.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="font-size: 8px;">TITLE Working Drawings :- Electrical Plan</td> </tr> <tr> <td style="font-size: 8px;">Scale 1:50</td> <td style="font-size: 8px;">Date 16/10/2020</td> </tr> <tr> <td style="font-size: 8px;">Drawn MG</td> <td style="font-size: 8px;">Job No 1</td> </tr> <tr> <td style="font-size: 8px;">Issue A</td> <td style="font-size: 8px;">Sheet 6 of 6</td> </tr> </table>	TITLE Working Drawings :- Electrical Plan		Scale 1:50	Date 16/10/2020	Drawn MG	Job No 1	Issue A	Sheet 6 of 6
A	WORKING DRAWINGS	16/10/2020																	
REV	AMENDMENT	DATE																	
TITLE Working Drawings :- Electrical Plan																			
Scale 1:50	Date 16/10/2020																		
Drawn MG	Job No 1																		
Issue A	Sheet 6 of 6																		

FLOOR AREAS:		
STUDIO:	48.0 m sqf	5.77 sqf
DECK:	24.0 m sqf	2.58 sqf

- ENERGY RATING REQUIREMENTS:**
- R6.0 INSULATION TO CEILING/ROOF
 - R2.7 INSULATION TO EXTERNAL WALLS & INTERNAL WALLS SHOWN
 - R2.0 INSULATION UNDER FLOOR
 - ALUMINUM AWNING DOUBLE GLAZED WINDOWS: U-VALUE 4.5, SHGC VALUE 0.5 OR BETTER
 - ALUMINUM FIXED DOUBLE GLAZED WINDOWS: U-VALUE 4.5, SHGC VALUE 0.61 OR BETTER
 - ALUMINUM DOUBLE GLAZED SLIDING DOORS: U-VALUE 4.5, SHGC VALUE 0.5 OR BETTER

- NOTES:**
- WINDOW SIZES SHOWN ARE INDICATIVE ONLY AND MAY VARY. REFER TO WINDOW MANUFACTURERS SPECIFICATIONS FOR ACTUAL WINDOW SIZES, DETAILS AND STUD OPENINGS.
 - THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS SPECIFICATIONS AND DRAWINGS. ENGINEER MEMBER SIZES TO TAKE PRECEDENCE.
 - DIMENSIONS SHOWN ARE TO FRAME ONLY.
 - HARD WIRED SMOKE DETECTORS WITH BATTERY BACKUP IN ACCORDANCE WITH A.S. 3786-1993 & B.C.A.
 - DOWNPIPES CONNECTED TO LPOD VIA 90° UPVC PIPE AS PER LOCAL AUTHORITIES REQUIREMENTS. REFER SITE PLAN.
 - SUB-BOARD FUSE BOX
 - PROVIDE FLOOR TILES TO WET AREAS.
 - R2.7 INSULATION TO INTERNAL WALLS WHERE SHOWN



FLOOR PLAN

DO NOT SCALE OFF DRAWINGS. ALL DIMENSIONS TO BE CHECKED PRIOR TO COMMENCEMENT OF WORKS.

Proposed: Transportable Studio
 At: 344 Castlereagh Hwy, Spring Flat NSW
 Client: Alina & Mick
 For: Soul Space Studios



REV	AMENDMENT	DATE
A	WORKING DRAWINGS	31/5/2022

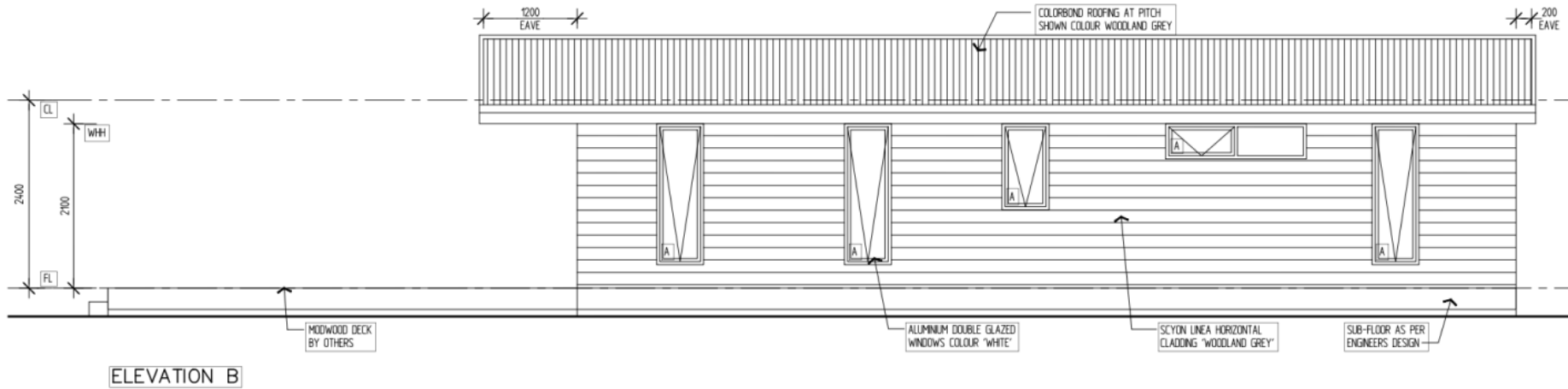
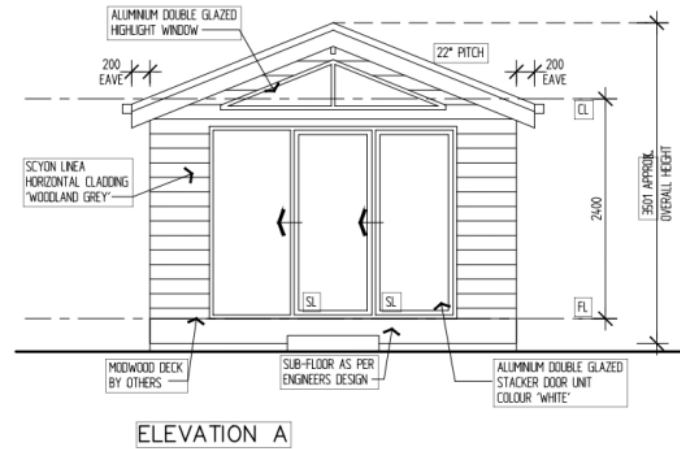
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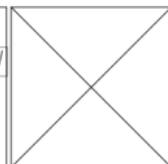
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TITLE	Working Drawings :- Floor Plan		
Scale	1:50	Date	31/5/22
Drawn	MG	Job No	1
Issue	A	Sheet	2 of 6



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 PRIOR TO COMMENCEMENT OF WORKS.

Proposed: Transportable Studio
 At: 344 Castlereagh Hwy, Spring Flat NSW
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REV	AMENDMENT	DATE
A	WORKING DRAWINGS	31/5/2022

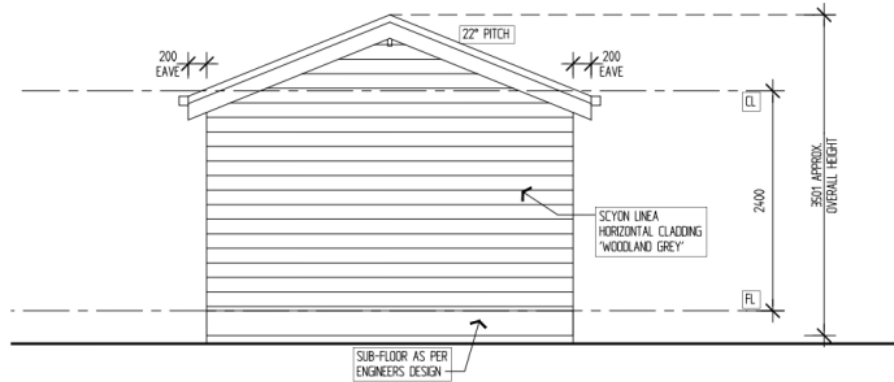
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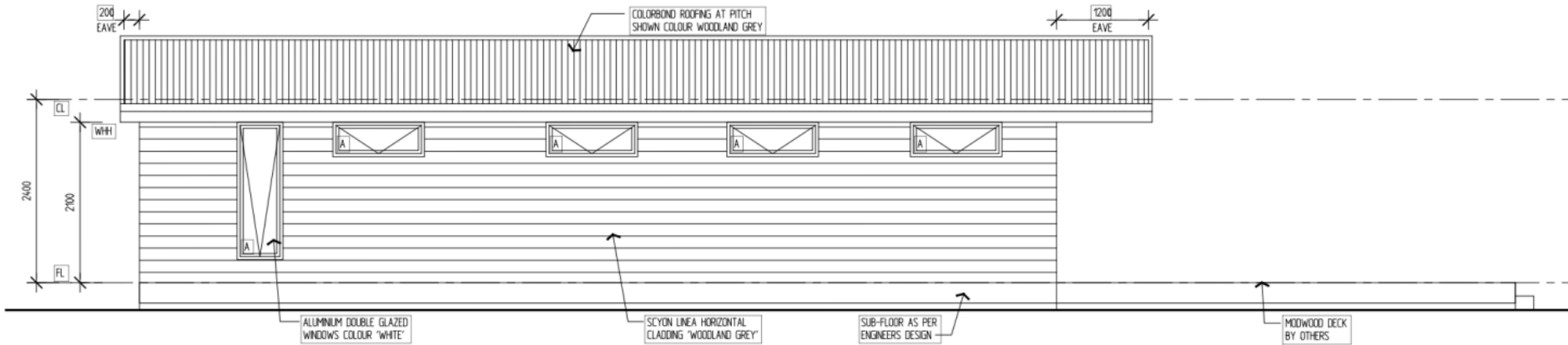
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TITLE: Working Drawings :- Elevations	
Scale: 1:50	Date: 31/5/22
Drawn: MG	Job No: 1
Issue: A	Sheet: 3 of 6



ELEVATION C



ELEVATION D

DO NOT SCALE OFF DRAWINGS.
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Proposed: Transportable Studio
 At: 344 Castlereagh Hwy, Spring Flat NSW
 Client: Alina & Mick
 For: Soul Space Studios



REV	AMENDMENT	DATE
A	WORKING DRAWINGS	31/5/2022

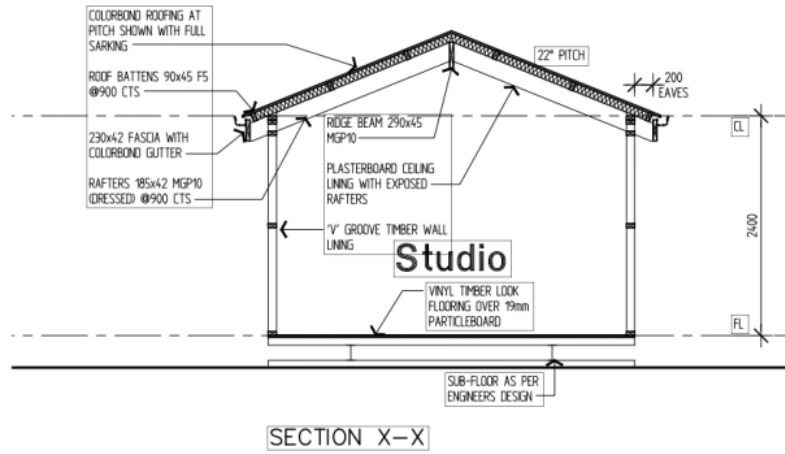
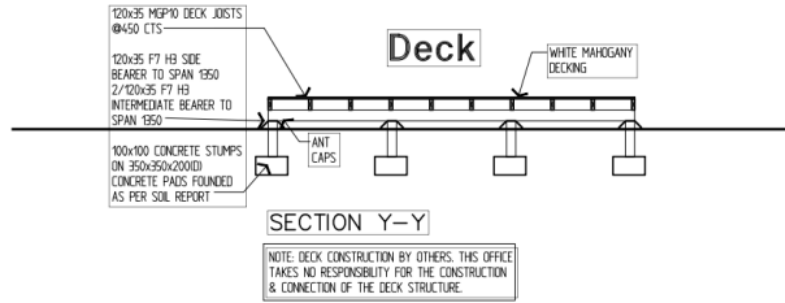

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TITLE Working Drawings :- Elevations	
Scale 1:50	Date 31/5/22
Drawn MG	Job No 1
Issue A	Sheet 4 of 6



STUD SCHEDULE

MEMBER	SIZE	GRADE	CTS	SPAN
STUDS	90x45	F5	350	1200
NOGGINGS	70x35	F5	1200	
L/BEAR. TOP PLATE	2/90x45	F5		
TOP & BOTTOM PLATE	90x45	F5		
JAMB STUD	2/90x35	F5		1250
JAMB STUD	2/90x45	F5		2500
LINTEL	120x35	MGP10		1250
LINTEL	190x45	MGP10		2500

SOIL CLASSIFICATION

CLASS: ??
 REFER TO SOIL REPORT BY: ??
 DATED: ?? REPORT NO: ??

NOTE:

- PROVIDE TERMITE TREATMENT TO A.S. 3660.1
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS SPECIFICATIONS, ENGINEERS DETAILS AND SIZES TO TAKE PRECEDENCE.

ENERGY RATING REQUIREMENTS

- R6.0 INSULATION TO CEILING
- R2.7 INSULATION TO EXTERNAL WALLS
- R2.7 INSULATION TO BATH INTERNAL WALLS
- R2.0 INSULATION TO UNDER FLOOR
- ALUMINIUM AWNING DOUBLE GLAZED WINDOWS: U-VALUE 4.5, SHGC VALUE 0.5 OR BETTER
- ALUMINIUM FIXED DOUBLE GLAZED WINDOWS: U-VALUE 4.5, SHGC VALUE 0.61 OR BETTER
- ALUMINIUM DOUBLE GLAZED STACKER DOOR: U-VALUE 4.5, SHGC VALUE 0.5 OR BETTER

DO NOT SCALE OFF DRAWINGS. ALL DIMENSIONS TO BE CHECKED PRIOR TO COMMENCEMENT OF WORKS.

Proposed: Transportable Studio
 At: 344 Castlereagh Hwy, Spring Flat NSW
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REV	AMENDMENT	DATE
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TITLE	Working Drawings :- Section		
Scale	1:50	Date	31/5/22
Drawn	MG	Job No	1
Issue	A	Sheet	5 of 6

ELECTRICAL LEGEND

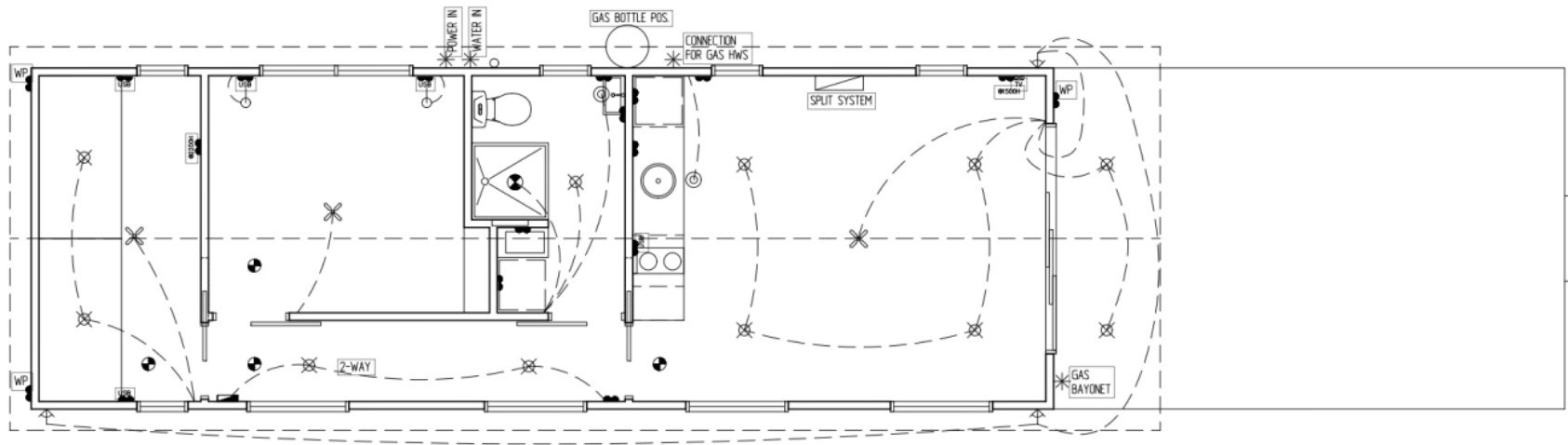
- DOUBLE POWER POINT
- DOUBLE WEATHERPROOF POWER POINT
- CEILING MOUNTED SPOTLIGHT
- LED DOWNLIGHT
- WALL MOUNTED LIGHT
- SMOKE DETECTOR
- DUCTASTIC HEAT/FAN/LIGHT
- SELF-SEALING CEILING EXHAUST FAN
- EXTERNAL SPOT LIGHT
- TV POINT
- PHONE POINT
- CEILING FAN WITH LIGHT
- SECURITY SENSOR LIGHT
- SUB-BOARD FUSE BOX

NOTES:
 - LOCATIONS OF ALL ELECTRICAL AND SERVICE POINTS ARE APPROXIMATE ONLY AND SUBJECT TO POSITIONS OF STRUCTURAL MEMBERS.
 - PROVIDE SMOKE DETECTORS WHERE INDICATED IN ACCORDANCE WITH A.S. 3786-1993 AND B.C.A.

WATTAGE ALLOWANCE:

Max. total wattage residence: 5 W/m sq
 Residence floor area: 48m sq
 Total allowable wattage: 240 W
 Total No. of lights: 15
 MAX. WATTAGE PER LIGHT: 16 W

NOTE: PERIMETER LIGHTING MUST BE EITHER CONTROLLED BY A DAYLIGHT SENSOR, OR HAVE AN AVERAGE LIGHT SOURCE EFFICACY OF NOT LESS THAN 40 LUMENS/W, AS PER B.C.A.



ELECTRICAL PLAN

DO NOT SCALE OFF DRAWINGS.
 ALL DIMENSIONS TO BE CHECKED
 PRIOR TO COMMENCEMENT OF WORKS.

Proposed: Transportable Studio At: 344 Castlereagh Hwy, Spring Flat NSW Client: Alina & Mick For: Soul Space Studios	<p>North</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">A</td> <td style="font-size: 8px;">WORKING DRAWINGS</td> <td style="font-size: 8px;">31/5/2022</td> </tr> <tr> <td style="font-size: 8px;">REV</td> <td style="font-size: 8px;">AMENDMENT</td> <td style="font-size: 8px;">DATE</td> </tr> </table>	A	WORKING DRAWINGS	31/5/2022	REV	AMENDMENT	DATE	<p>Avalon Building Design</p> <p style="font-size: 8px;">PO Box 170 Trafalgar Vic. 3824 Mob. 0419 598 662 E. design@avalon.com.au</p>	<p style="font-size: 8px;">4x Design</p> <p style="font-size: 8px;">© COPYRIGHT "2020" This document or any document forming part of it is the property of Avalon Building Design. Details and may not be released, copied or shared in whole or in part, or used without the written permission.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="font-size: 8px;">TITLE Working Drawings :- Electrical Plan</td> </tr> <tr> <td style="font-size: 8px;">Scale 1:50</td> <td style="font-size: 8px;">Date 31/5/22</td> </tr> <tr> <td style="font-size: 8px;">Drawn MG</td> <td style="font-size: 8px;">Job No 1</td> </tr> <tr> <td style="font-size: 8px;">Issue A</td> <td style="font-size: 8px;">Sheet 6 of 6</td> </tr> </table>	TITLE Working Drawings :- Electrical Plan		Scale 1:50	Date 31/5/22	Drawn MG	Job No 1	Issue A	Sheet 6 of 6
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