

BASIX REQUIREMENTS

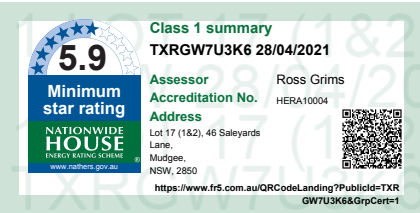
- 3-STARS SHOWERHEADS.
- 4-STARS WC, 4-STARS TAPS.
- 3000L SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 110m² OF ROOF AREA
- SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
- DWELLING 1 - R2.0 INSULATION BATTS TO ALL EXTERNAL WALLS INCLUDING GARAGE
- DWELLING 1 - R2.0 HIGH DENSITY INSULATION BATTS TO INTERNAL WALLS JOINING TO GARAGE.
- DWELLING 1 - R2.0 INSULATION BATTS TO ALL CEILINGS INCLUDING GARAGE.
- DWELLING 1 - R1.3 ANTICON BLANKET TO ENTIRE CEILING INCLUDNG GARAGE
- DWELLING 2 - R2.0 INSULATION BATTS TO ALL EXTERNAL WALLS INCLUDING GARAGE
- DWELLING 2 - R2.0 HIGH DENSITY INSULATION BATTS TO INTERNAL WALLS JOINING TO GARAGE.
- DWELLING 2 - R2.0 INSULATION BATTS TO ALL CEILINGS INCLUDING GARAGE.
- DWELLING 2 - R1.3 ANTICON BLANKET TO ENTIRE CEILING INCLUDNG GARAGE
- ROOF - DARK, EXTERNAL WALLS - DARK.
- WINDOWS W1-W12 SSW-001-07 A 100 SERIES - ALUMINIUM SLIDING WINDOW SG 4Clr (U-6.16, SHGC 0.74)
- DOOR D1 & D2 SSW-012-11 A 100 SERIES - ALUMINIUM SLIDING DOOR SG 5Clr (U-6.07, SHGC 0.74).
- 6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO EACH DWELLING. LPG.
- EXHAUST FANS TO BATHROOM, ENSUITE AND KITCHEN RANGEHOOD FOR EACH DWELLING.
- 7kw DUCTED AIR CONDITIONING
- OVEN - ELECTRIC: INALTO 1060XL5M
- COOKTOP - LPG : INALTO ICG6604W
- RANGEHOOD: INALTO ASL600R25
- DISHWASHER: INALTO IDW75

CONSTRUCTION NOTES

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.
- ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.
- ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.
- FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
- ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.
- ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.
- ALL SEWER AND STORMWATER DRAINAGE TO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT AUTHORITY.
- WET AREAS ARE TO BE SEALED AT THE INTERSECTION OF THE FLOOR AND WALL AND 1800 HIGH IN THE SHOWER RECESS CORNERS WITH AN APPROVED WET AREA SEAL.
- POWDER COATED ALUMINIUM WINDOWS AND DOORS TO BE USED THROUGHOUT. COLOUR SELECTION BY BUILDER.
- ALL FIXINGS, TIE DOWNS AND CONSTRUCTION METHODS ARE TO BE IN STRICT ACCORDANCE WITH AS1684 AND THE BCA.
- TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1

GENERAL NOTES:

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
- EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL REQUIREMENTS (REFER BUILDER).
- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.
- CUT AND FILL TO BUILDER'S DISCRETION.
- NOMINATED WATER TO TANK. OVERFLOW TO STREET.
- BUILDER TO CONFIRM ALL FINISHED FLOOR LEVELS ON SITE.
- WIND - E.G. "N2"
- SITE - E.G. "P"
- SOIL - E.G. "H1"



PROPOSED NEW DWELLING
LOT 17 SALEYARDS LANE
MUDGEES NSW 2850 FOR:



DRAWING SCHEDULE

SHEET	DESCRIPTION/TITLE
01	COVER SHEET
02	SITE PLAN
03	SERVICES PLAN
04	LANDSCAPE PLAN
05	SUBDIVISION PLAN
06	FLOOR PLAN
07	ELEVATIONS 1-3
08	ELEVATION 4 - SECTION 1
09	SLAB PLAN
10	ELECTRICAL PLAN
11	BATH/ENSUITE/LAUNDRY - UNIT 1
12	ROBE/KITCHEN - UNIT 1
13	BATH/ENSUITE/LAUNDRY - UNIT 2
14	ROBE/KITCHEN - UNIT 2
15	WET AREA- STEP DOWN DETAIL
16	ROBE/LINEN/CABINETRY
17	REAR ALFRESCO - ADJUSTABLE POST
18	ALFRESCO-BULKHEADS
19	GARAGE DOOR / CORNER / TERMITE CONTROL
20	FLOOR DETAILS
21	ARTICULATION VERTICAL JOINT



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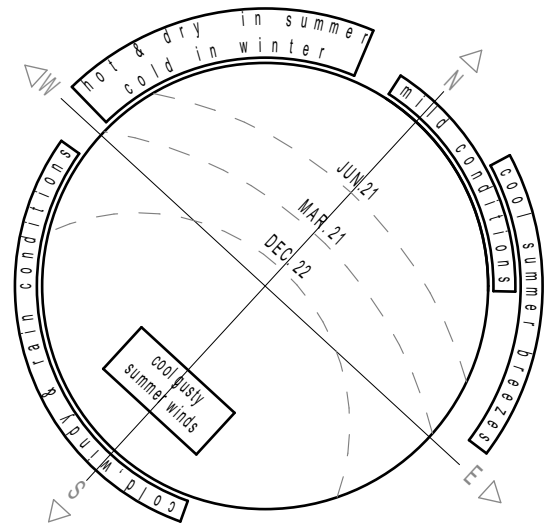
DESIGN
Optimise 300 J19

JOB ADDRESS

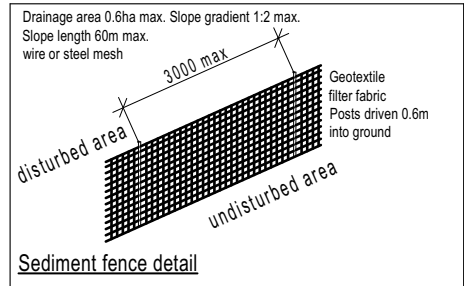
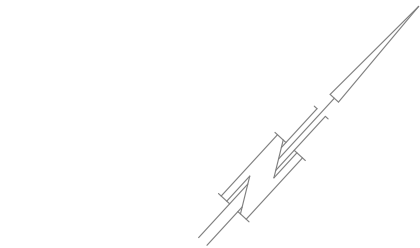
LOT 17 SALEYARDS LANE
MUDGEES NSW 2850

PROPOSAL NEW DWELLING DP: 1267151

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date	issue	description		JOB No.	revision
29/04/21	A	ISSUED FOR APPROVAL		10735	A
				SCALE	1:100 <small>printed to A3 size</small>
				DRAWN	DJH <small>dra</small>
				DATE	5/08/2021
				WIND	'N2'
				SITE	
					PAGE 1



Solar & Wind Chart



SITE COVERAGE DETAILS	
Lot size m2	629.6m2
Dwelling size m2	299.53m2 : 47.57% coverage
Driveway m2	38.20m2
Total landscaping m2	291.87m2 : 46.36%
Private open space m2	207.70m2
Note : Site areas indicated may vary in definition. Basix areas or other areas indicated on these drawings used for other purposes. All areas are close approximate. Unless noted otherwise, areas not denoted as patios or driveways are vegetated areas. (gardens, lawns)	



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MUDGEE NSW 2850

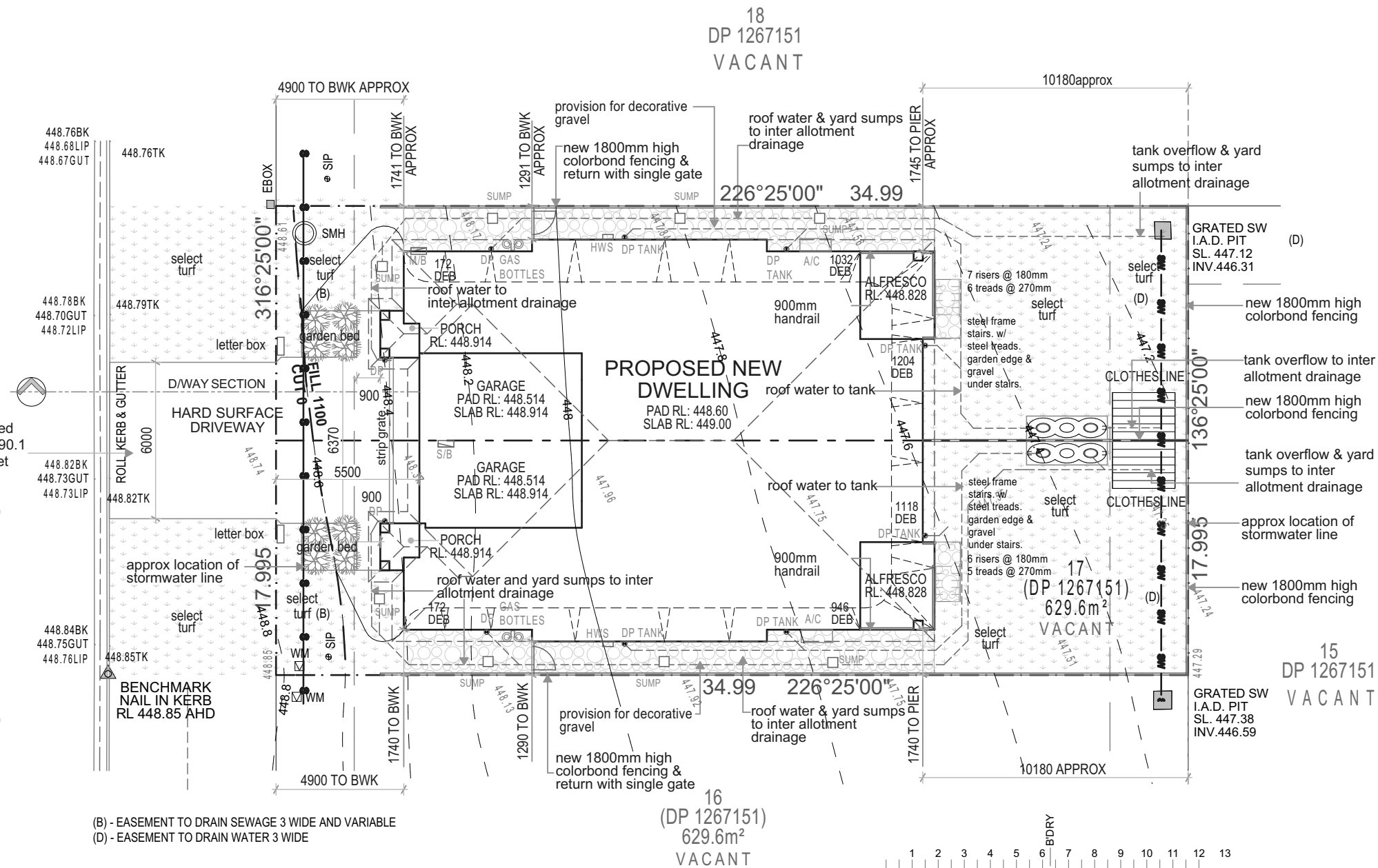
PROPOSAL
NEW DWELLING
DP: 1267151

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				DATE	5/08/2021
				WIND	'N2'
				SITE	
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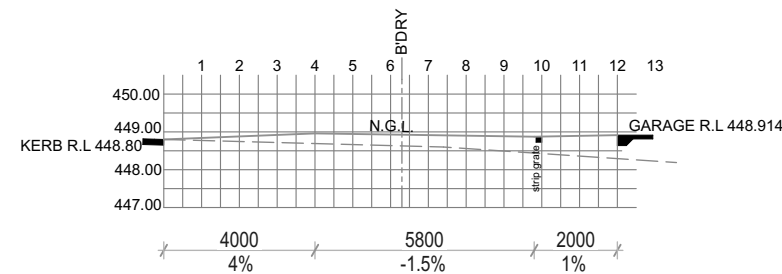
Driveway to be constructed in accordance with AS2890.1
Parking facilities, off street carpark

SALEYARDS LANE

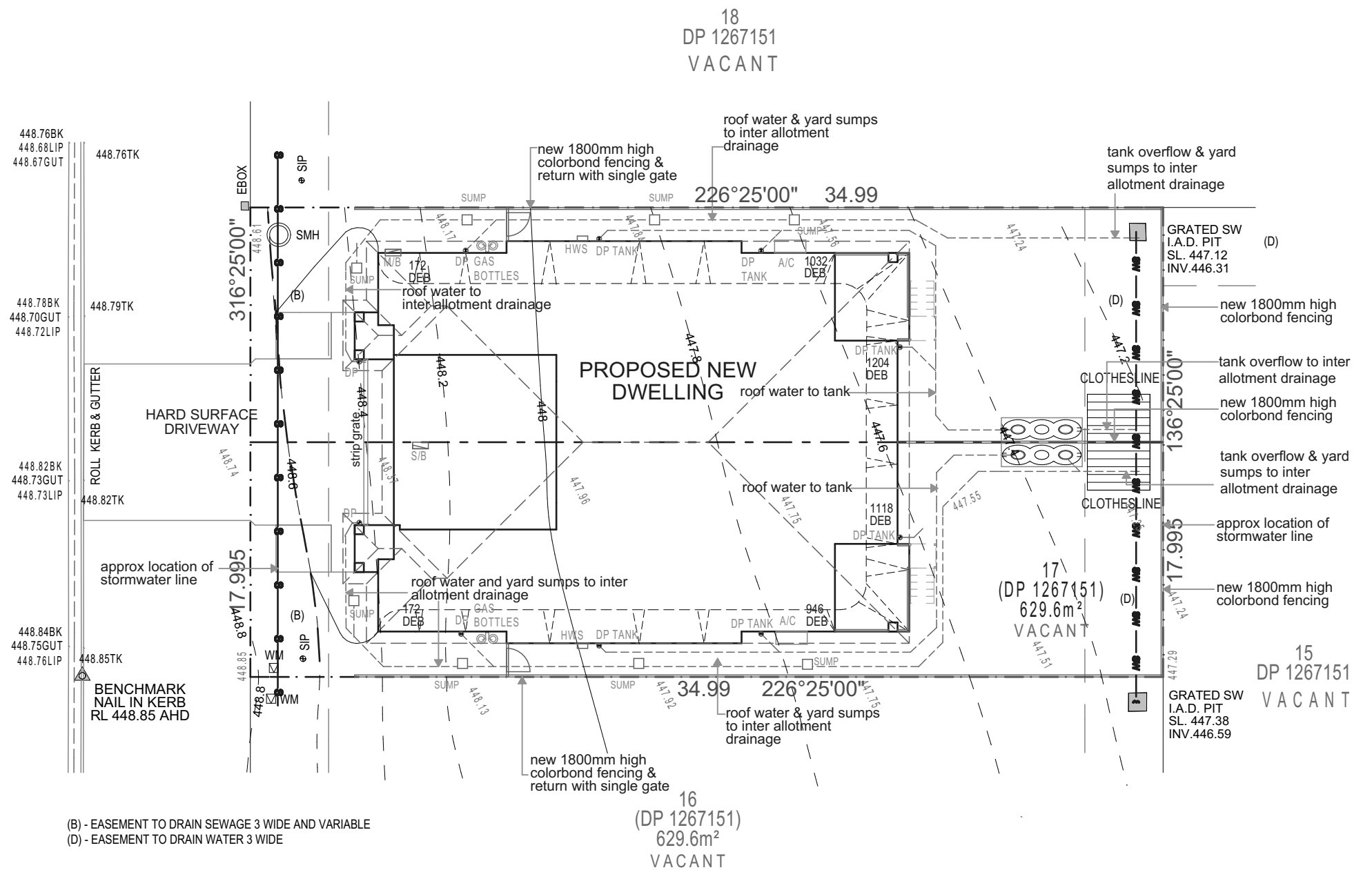
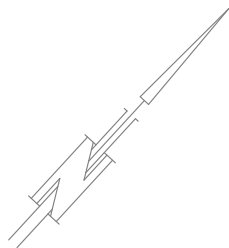
APPROX. LEVELS
PAD RL : 448.60
SLAB RL : 449.00
GARAGE PAD RL : 448.514
GARAGE RL : 448.914



Site Plan
SCALE 1:200

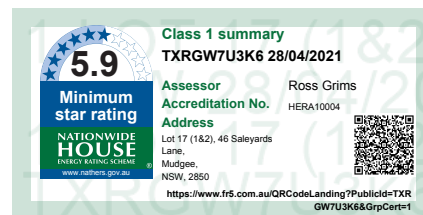


Driveway Section
SCALE 1:200



Services Plan

SCALE 1:200

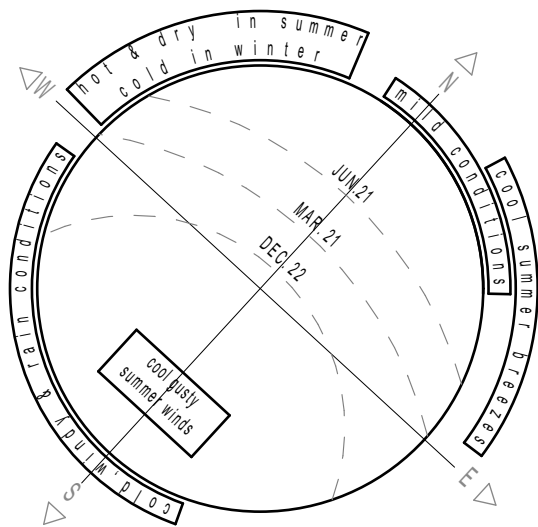


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DESIGN	Optimise 300 J19	PROPOSAL	NEW DWELLING	DP: 1267151

drawing title		SERVICES PLAN												
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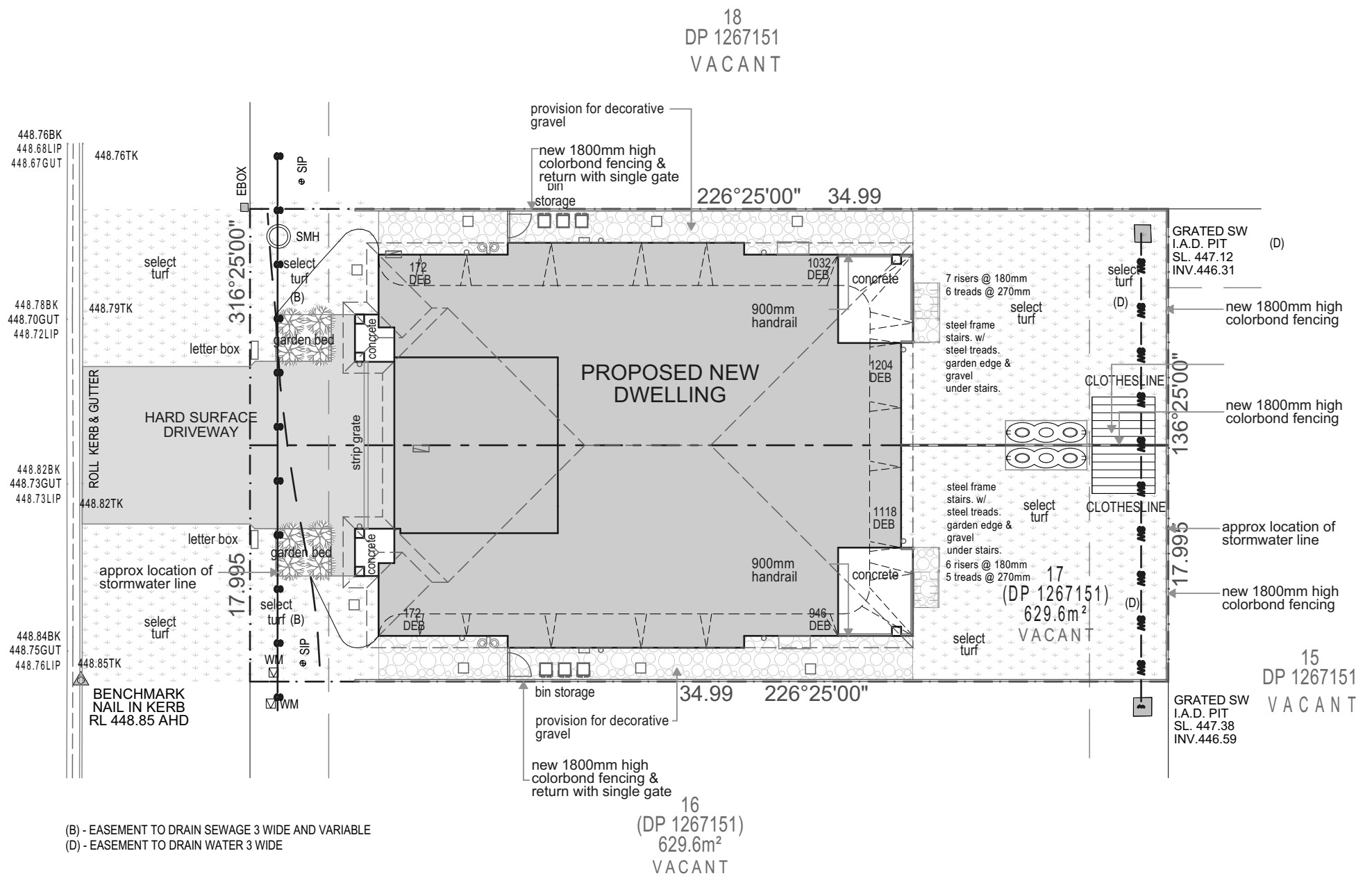


Solar & Wind Chart

PLANTS WILL BE SELECTED FROM THE FOLLOWING RANGE BY THE LANDSCAPER AND WILL BE DEPENDANT ON AVAILABILITY AT THE TIME OF PLANTING.

- GARDENIA FLORIDA
- VIBURNUM TINUS
- VIBURNUM ODARTISSIUM
- ORIENTAL PEARL
- CALLISTAMEN
- NANDINA MOON BAY
- WESTRINGA
- DIOSMA
- PORT WINE MAGNOLIA
- PHOTINIA SUPER RED
- PURPLE FOUNTAIN GRASS
- MIXED GARDENS OF SHRUBS, GRASSES & GROUNDCOVERS

SALEYARDS LANE



(B) - EASEMENT TO DRAIN SEWAGE 3 WIDE AND VARIABLE
(D) - EASEMENT TO DRAIN WATER 3 WIDE

Landscape Plan
SCALE 1:200



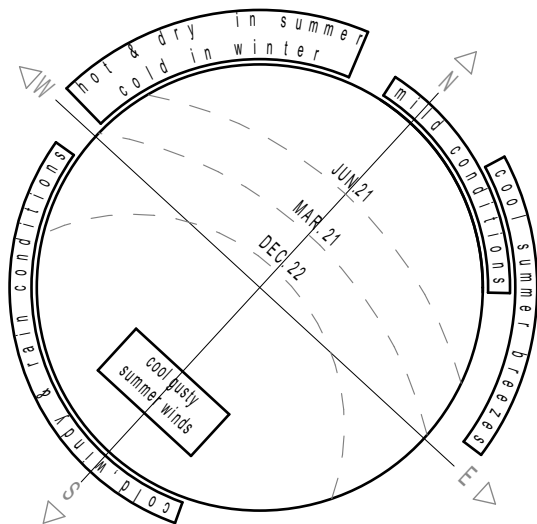
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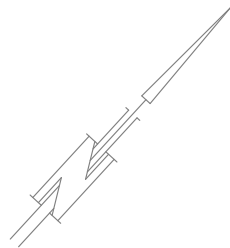
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MUDGEES NSW 2850
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				DATE	5/08/2021
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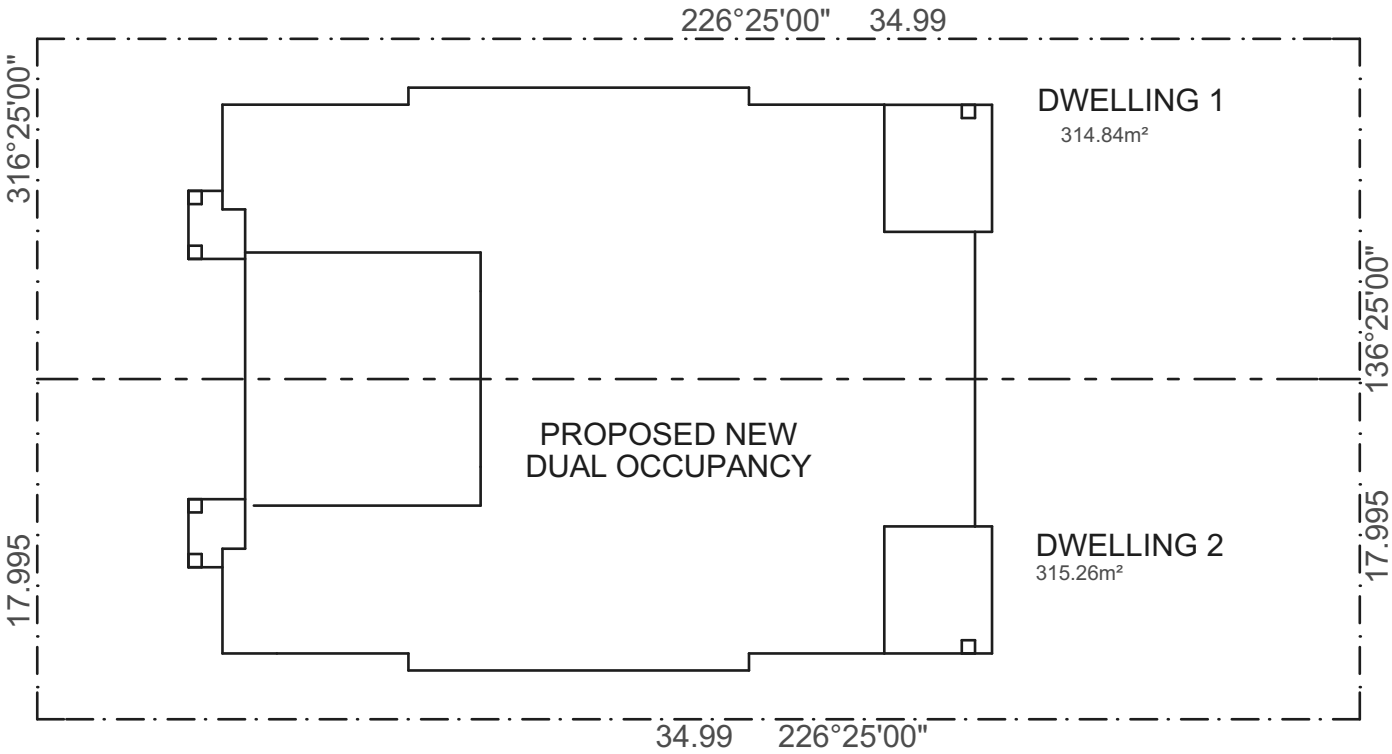
PROPOSED TWO LOT
STRATA SUBDIVISION PLAN



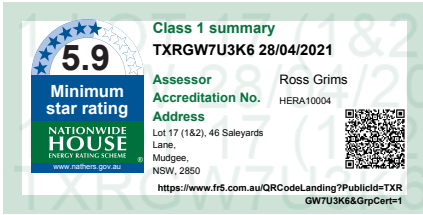
Solar & Wind Chart



SALEYARDS LANE



Subdivision Plan
SCALE 1:200

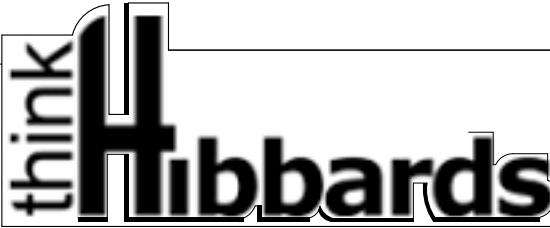


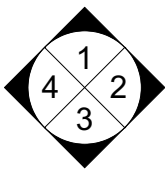
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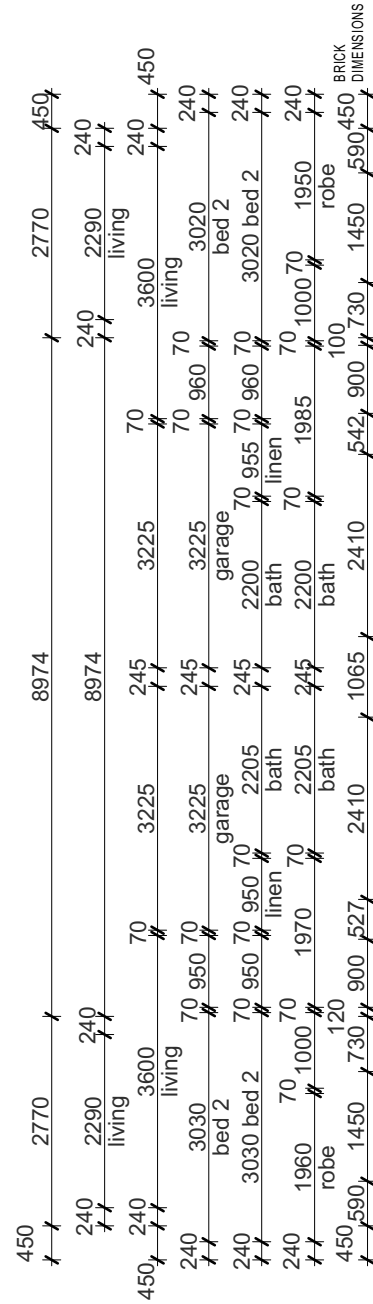
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PROPOSAL **NEW DWELLING** **DP:** **1267151**

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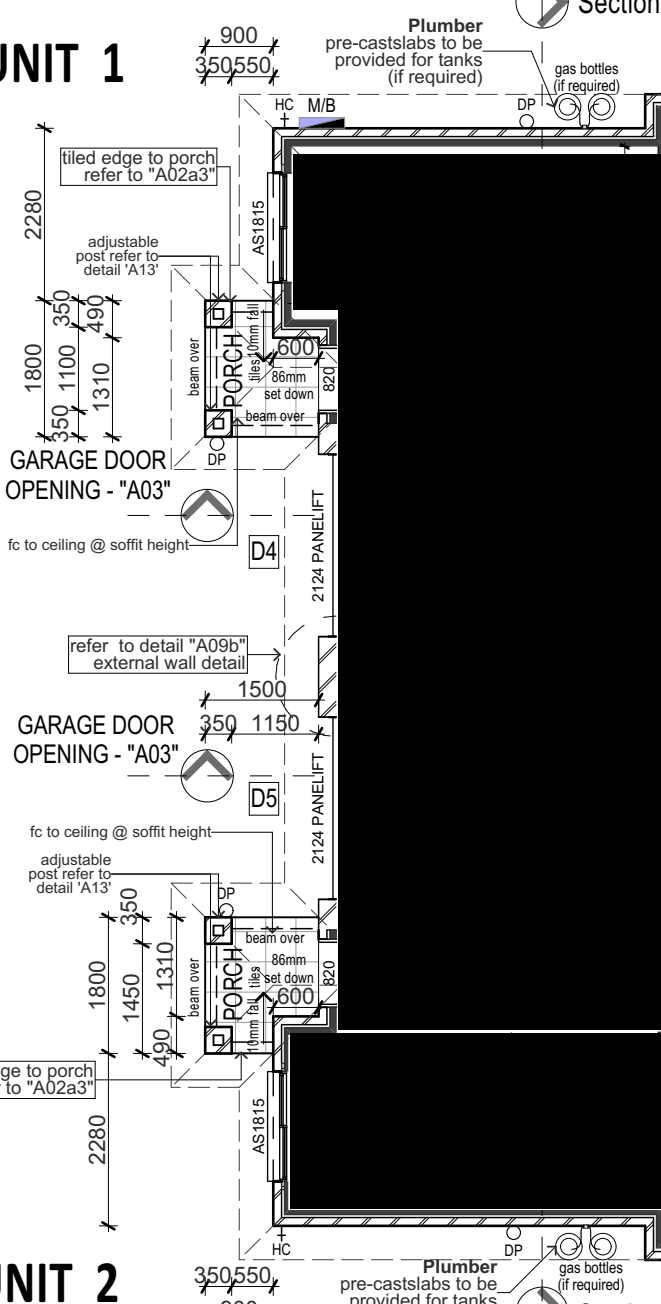




Elevation view
marker



UNIT 1



UNIT 2

Note: refer to slab layout sheet for
slab setout

Note: refer to internal elevations to
confirm tile layout and accessories location

Note: refer to sheet 15 for wet area
step down details

Note :Please notify the drafting department
at Hibbards head office for any discrepancies
in details and dimensions

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PROPOSAL NEW DWELLING DP: 1267151

drawing title FLOOR PLAN

date	issue	description
29/04/21	A	ISSUED FOR APPROVAL

JOB No.	10735	revision	
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DRAWN	DJH		
DATE	5/08/2021		
WIND	'N2'	SITE	

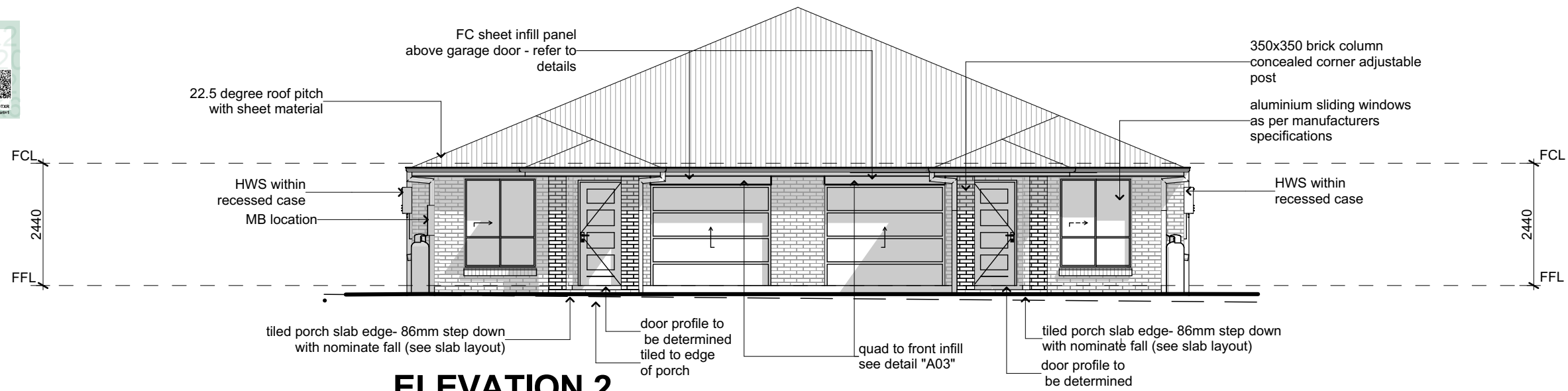
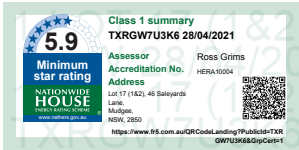
Unit 1	Areas
Living	116.79 m ²
Garage	20.87 m ²
Alfresco	8.06 m ²
Porch	2.40 m ²
Sub-Total :	148.12 m ²

Unit 2	Areas
Living	116.79 m ²
Garage	20.87 m ²
Alfresco	8.06 m ²
Porch	2.41 m ²
Sub-Total :	148.13 m ²
Grand Total :	299.53 m ²
Perimeter:	71.841m

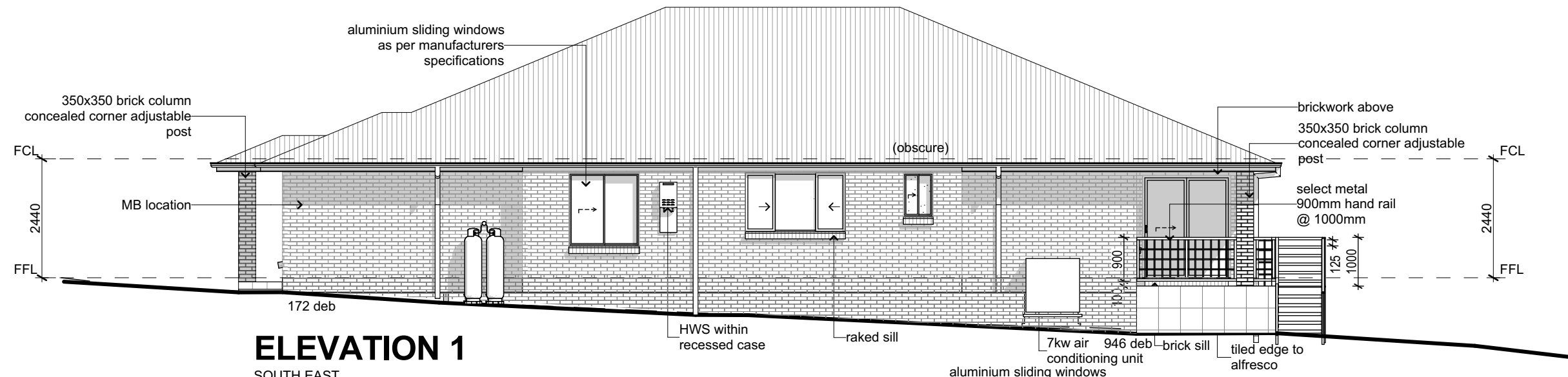
stairs, w/
steel treads
7 risers @ 180mm

PLAN SCHEDULE

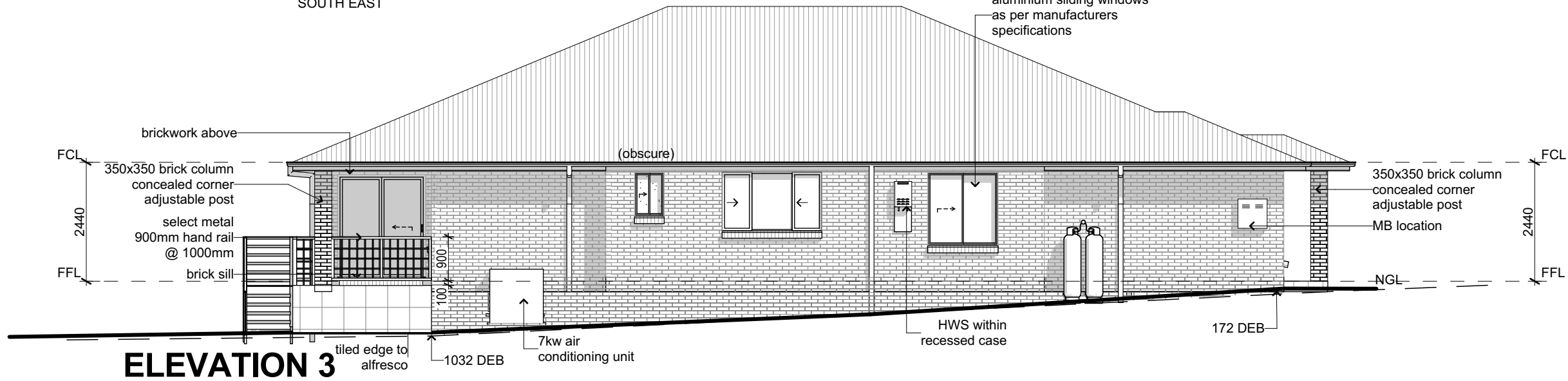
T/rail	Towel rail	drawer unit
TR	Toilet roll	hose cock
MH	man hole	DP
OHC	over head cupboards	downpipe
WOT	wall oven tower	spout
W.H.V	wall hung vanity	mixer
EJ	expansion joint	shower rose
M/B	meter box	



ELEVATION 2
SOUTH WEST



ELEVATION 1
SOUTH EAST



ELEVATION 3
NORTH WEST



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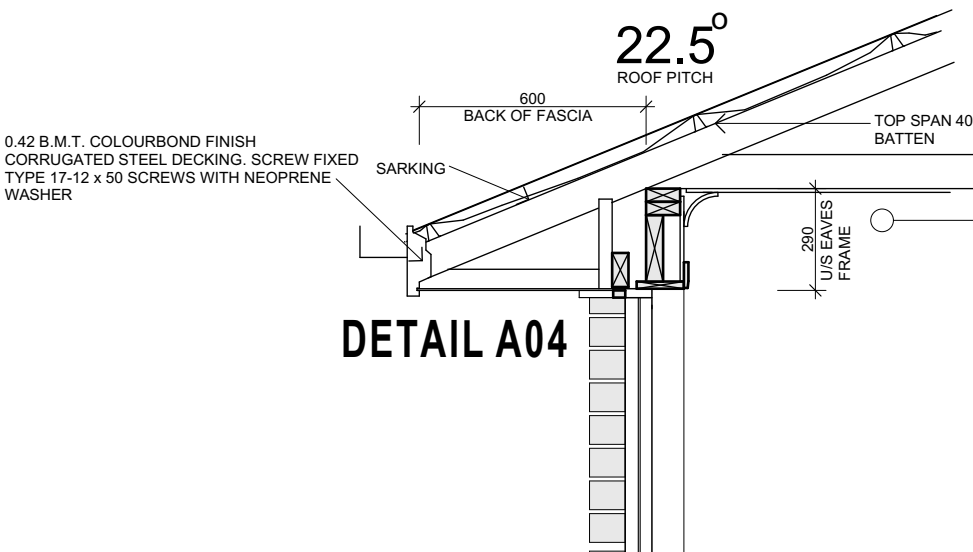
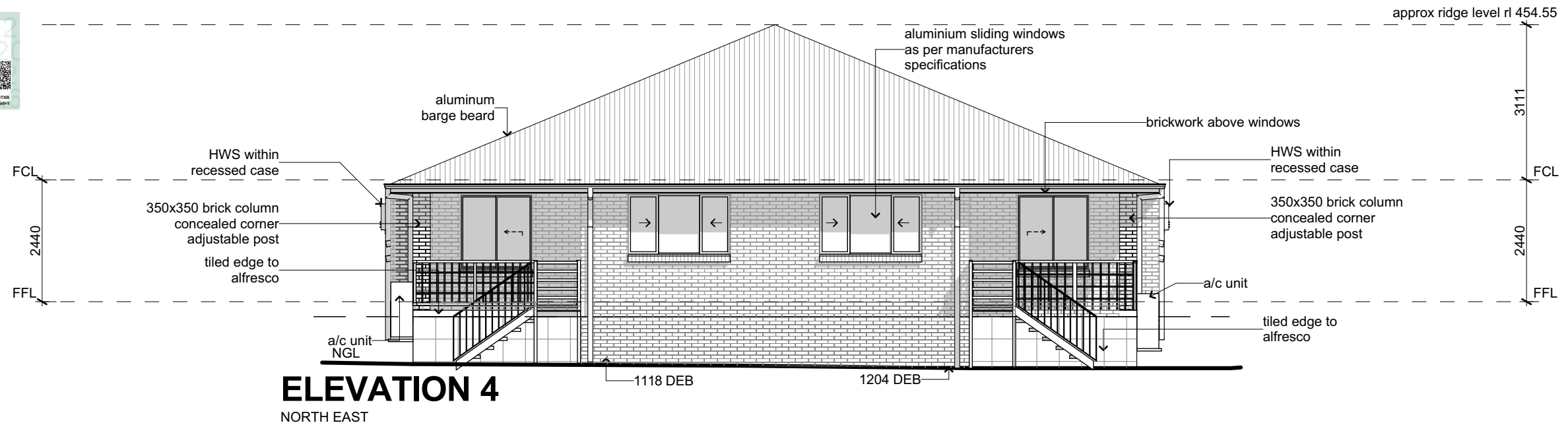
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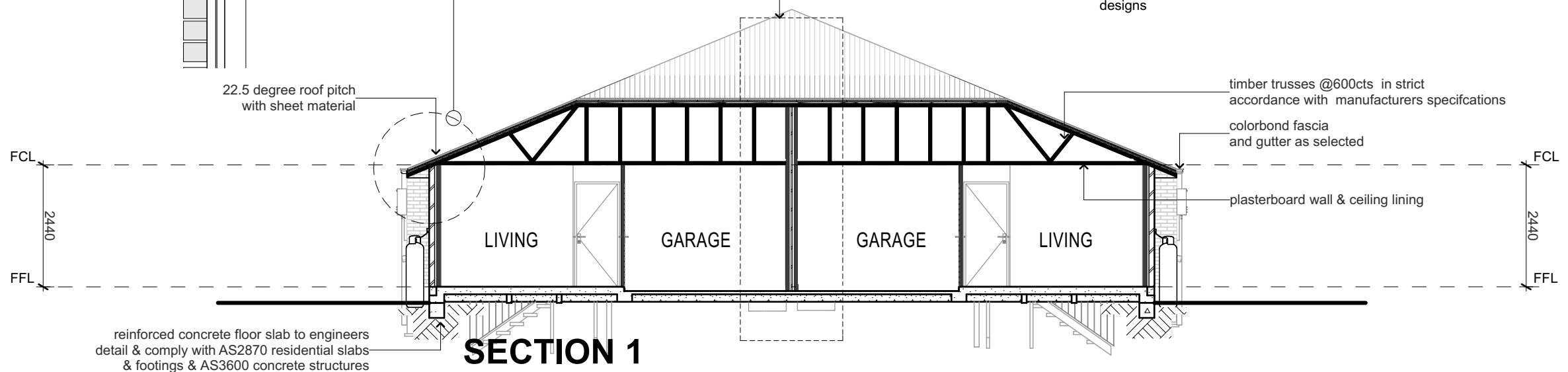
PROPOSAL NEW DWELLING DP: 1267151

drawing title				ELEVATIONS 1-3			
date	issue	description		JOB No.	10735	revision	
29/04/21	A	ISSUED FOR APPROVAL		SCALE	1:100 <small>printed to A3 size</small>	A	
				DRAWN	DJH	PAGE	
				DATE	5/08/2021	7	
				WIND	'N2'	SITE	



DETAIL A04

Note :
Fire rated wall -achieving 60/60/60
refer to detail A09-A09C

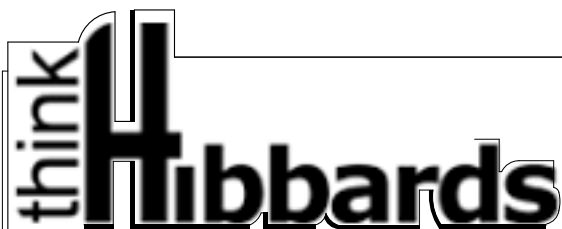


SECTION 1

Note : The wind classification of N2 is in accordance with AS1684-2010 , the tie down and bracing details are to be provided to the PCA prior to the relevant inspection

Note : Termite Protection
Termite protection is to be in accordance with AS3660-1 and installed in accordance with manufacturers specifications

Note : Cabinetry
Please refer to internal elevations for cabinetry designs

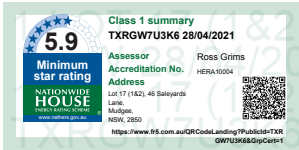


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PROPOSAL **NEW DWELLING** **DP:** **1267151**

drawing title		ELEVATION 4 - SECTION 1			
date	issue	description		JOB No.	revision
29/04/21	A	ISSUED FOR APPROVAL		10735	A
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				DATE	5/08/2021
				WIND 'N2'	PAGE
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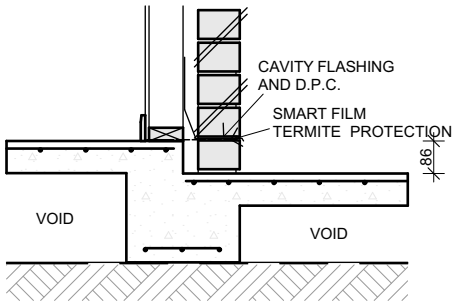
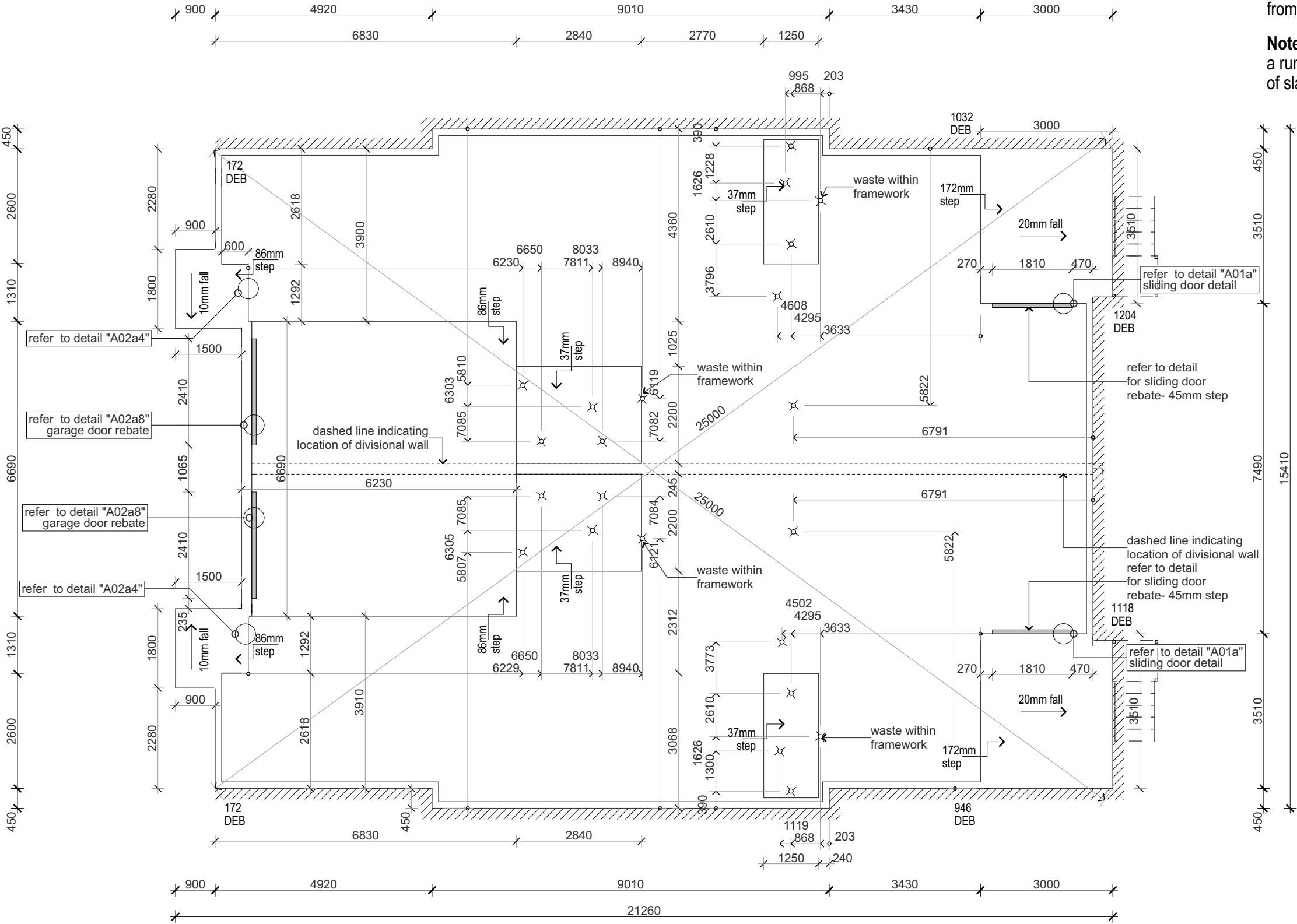


Note :Please notify the drafting department at Hibbards head office for any discrepancies in details and dimensions

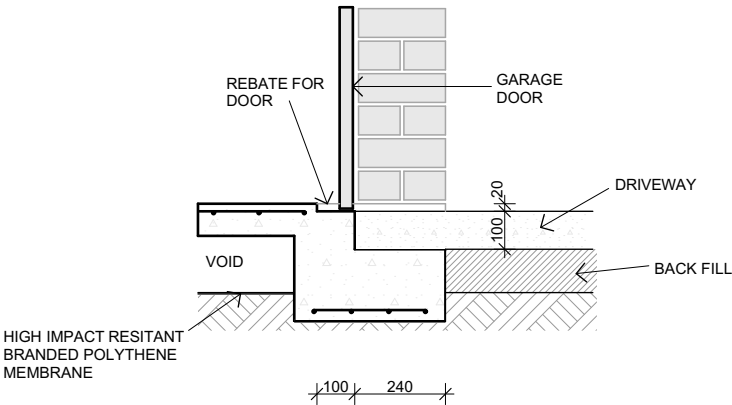
Note : Plumbing penetrations are located from external edge of brickwork - dimensioned as a running dimension

Note :Wall hung basin waste pipe is to be centre line of wall stud framing .
Laundry Tub waste pipe is nominally offset from wall 125mm to centre of pipe

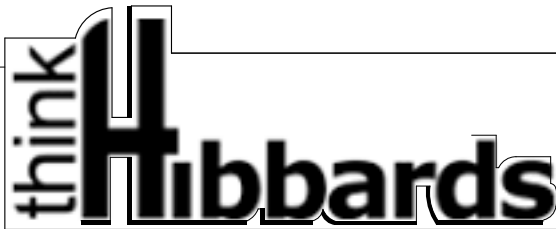
Note :dimensions to penetrations is using a running dimension method from external edge of slab to centre of hole



INTERNAL BEAM - HOUSE/PORCH
A02a4



PERIMETER BEAM - GARAGE DOOR
A02a8



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				DRAWN	DJH
				DATE	5/08/2021
				WIND 'N2'	SITE
					PAGE 9

5.9

Minimum star rating

NATIONWIDE HOUSE

IMPACT BUILDING RATING

www.nationwide.gov.au

Class 1 summary

TXRGW7U3K6 28/04/2021

Assessor

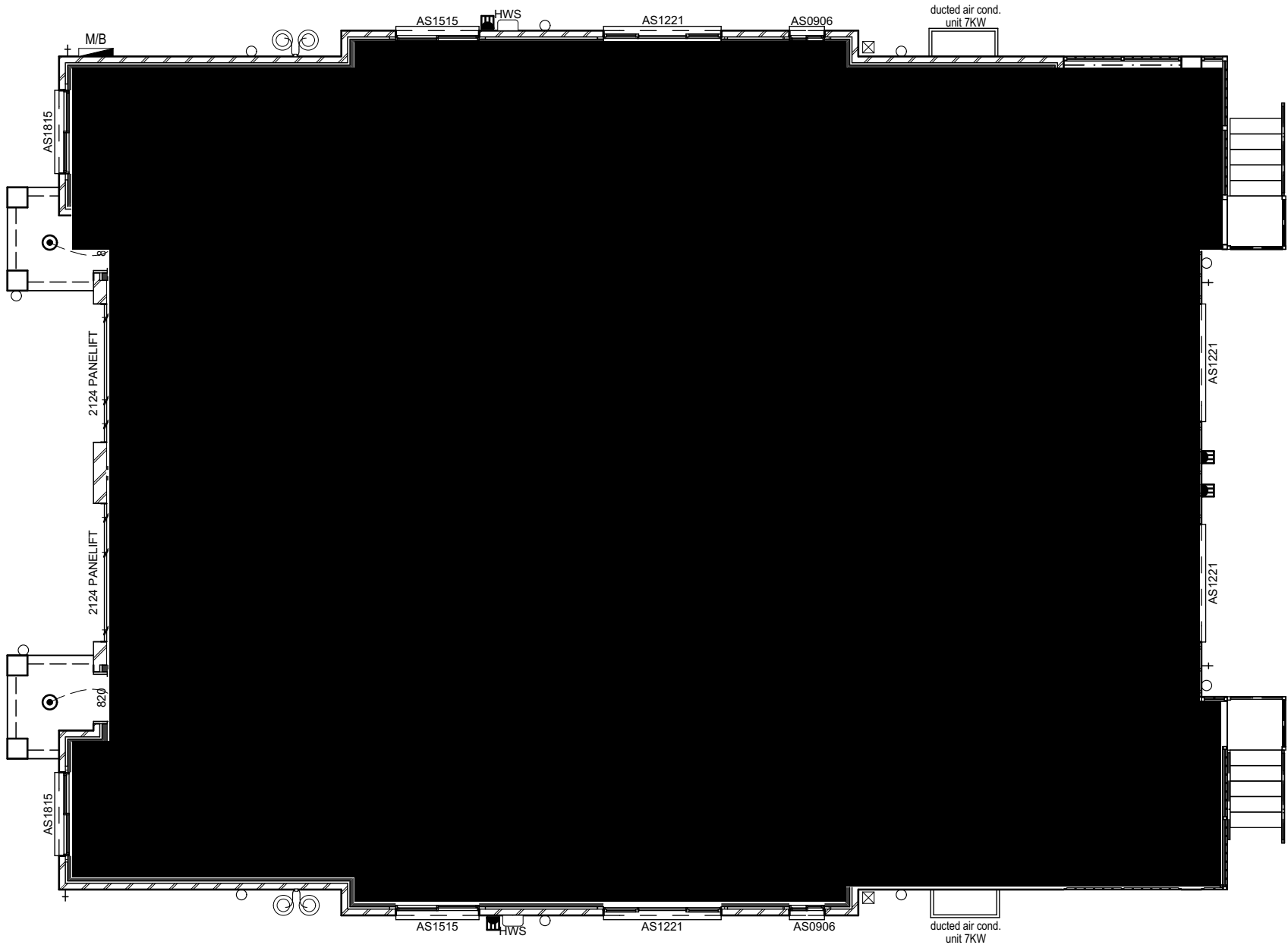
Ross Grims

Accreditation No.

HERA10004

Address

Lot 17 (1&2), 46 Saleyards Lane,
Mudgee,
NSW, 2850
<https://www.fr5.com.au/QRCodeLanding?PublicId=TXRGW7U3K6&GrpCert=1>



- LIGHTING LEGEND
- USB

DOUBLE @300 - USB
- SINGLE @ 300
- DOUBLE @ 300
- SINGLE @ 1050
- DOUBLE @ 1050
- APPLIANCE SHELF DOUBLE @ 1600
- VANITY @ 1100
- GARAGE @ 1350
- FRIDGE @ 1650
- MICROWAVE @ 1650
- RANGEHOOD @1650
- X

LIGHT SWITCH
- DOWNLIGHT
- TV
- PHONE
- DUCTED EXHAUST FAN
- in ceiling

PANELIFT GPO
- FLUORO LIGHT
- 2-WAY

2 WAY CIRCUIT
- DOUBLE WATERPROOF GPO @ 1050
- SINGLE WATERPROOF GPO @ 1050
- SMOKE ALARMS BY
ELECTRICIAN TO AS3786
- DATA POINT
- gas

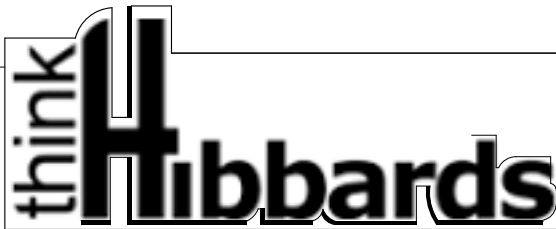
GAS POINT (DUBBO,
TAMWORTH & MUDGEE)
- NBN DATA

NBN DATA POINT @ 1050
- DOUBLE SPOT
- BUNKER LIGHT
- DUCTED EXHAUST
- DUCTED GRILL
- 2 IN 1 DUCTED EXHAUST FAN/LIGHT
- 2 IN 1 NON-DUCTED EXHAUST FAN/LIGHT
- EVAPORATIVE COOLER POINT
(DUBBO, TAMWORTH & MUDGEE)

NOTE:
THIS IS A GENERIC ELECTRICAL PLAN ONLY.
THE LAYOUT, LOCATION OF POINTS, LIGHTS
AND OUTLETS SHOWN MAY ALTER WITHOUT
NOTIFICATION, DUE TO COUCIL
REQUIREMENTS, BUILDING LOCATION AND/OR
OTHER UNFORSEEN CIRCUMSTANCES

ALL PRODUCTS AND
FINISHES AS PER BUILDERS
SPECIFICATIONS

NOTE:
ALL EXTERNAL LIGHTS WILL BE SHIELDED TO
PREVENT LIGHT ABOVE HORIZONTAL



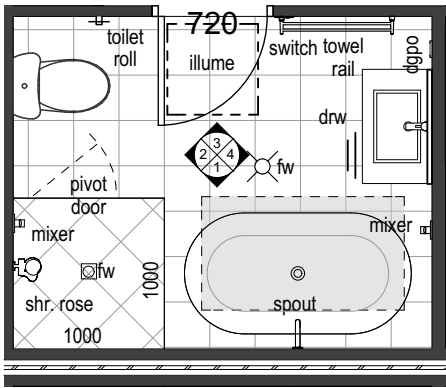
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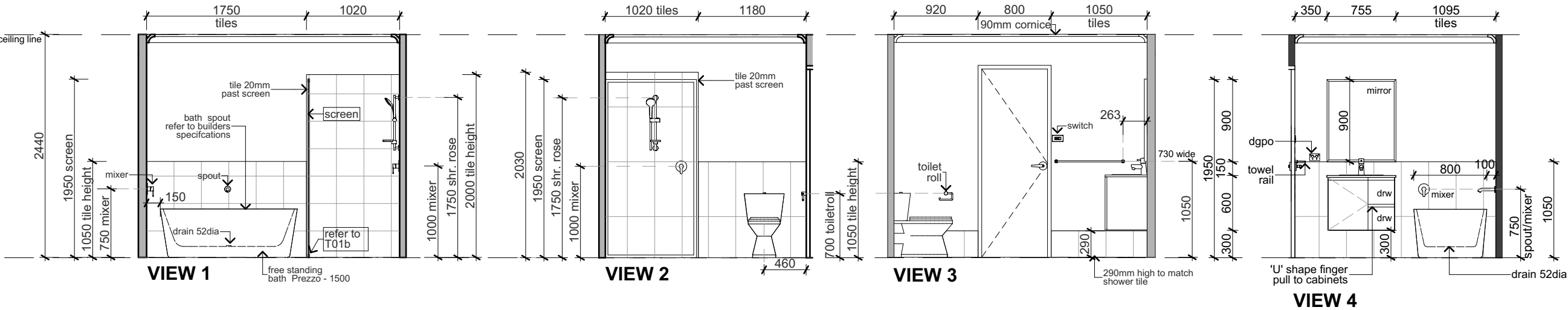
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figured dimensions to be used in reference to scaling - all dimensions to be checked on site .Copying of this plan is strictly prohibited without written permission of Hibbard Homes . All boundaries and contours subject to survey	
DESIGN	Optimise 300 J19

JOB ADDRESS	
LOT 17 SALEYARDS LANE MUDGEE NSW 2850	
PROPOSAL	NEW DWELLING
DP:	1267151

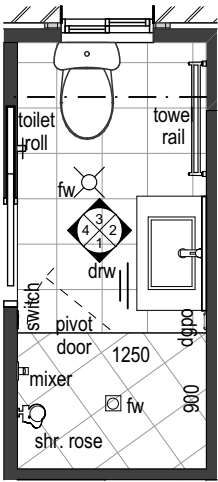
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				DATE	5/08/2021
				WIND	'N2'
				SITE	
				revision	A
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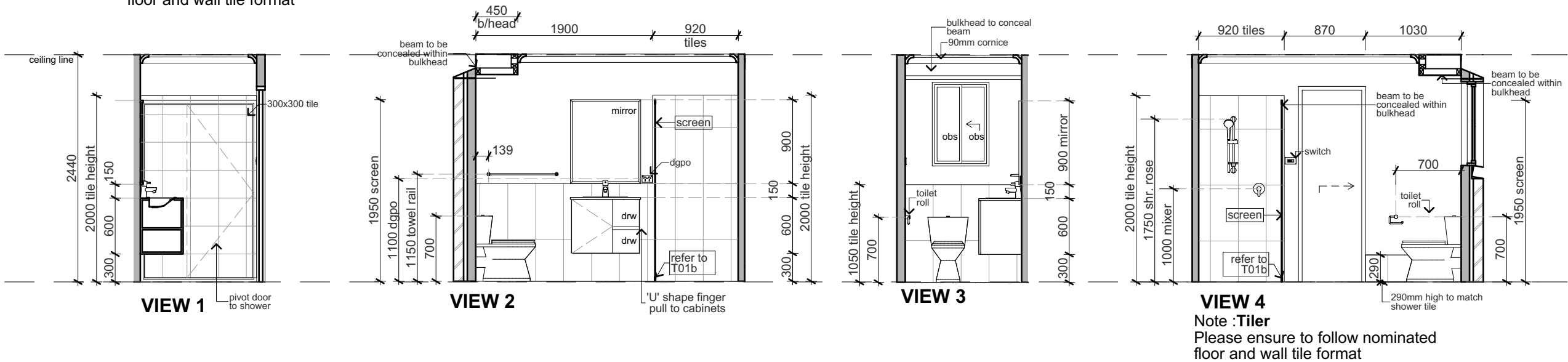
BATH LAYOUT
UNIT 1



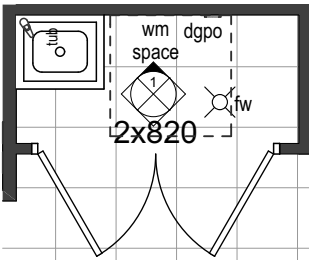
Note :Tiler
Please ensure to follow nominated
floor and wall tile format



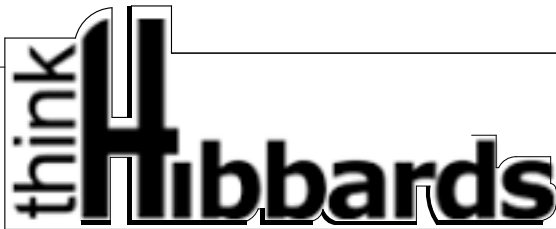
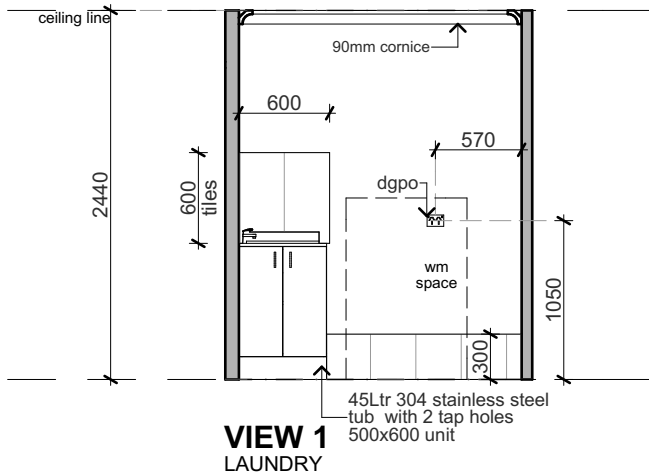
ENSUITE LAYOUT
UNIT 1



Note :Tiler
Please ensure to follow nominated
floor and wall tile format



LAUNDRY LAYOUT
UNIT 1



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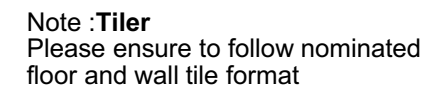
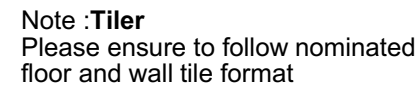
DESIGN
Optimise 300 J19

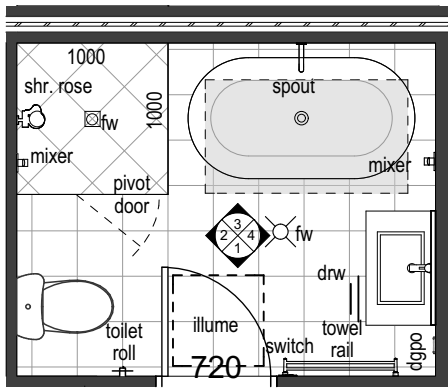
JOB ADDRESS

LOT 17 SALEYARDS LANE
MUDGEE NSW 2850

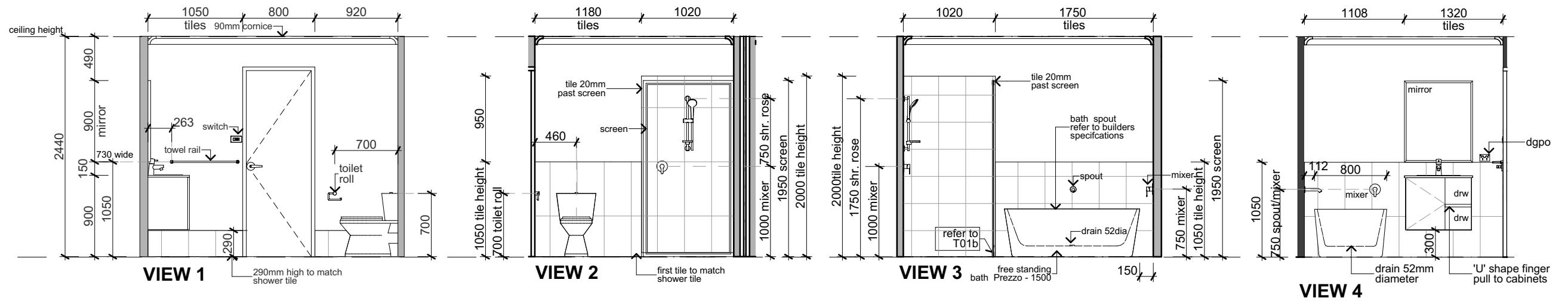
PROPOSAL NEW DWELLING DP: 1267151

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date	issue	description		JOB No.	revision
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				DRAWN	DJH
				DATE	5/08/2021
				WIND 'N2'	SITE
					PAGE 11

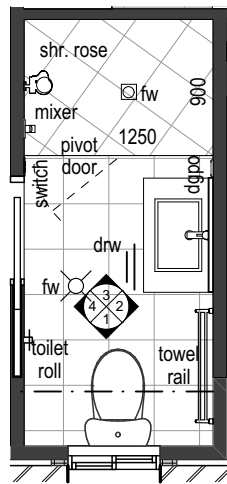




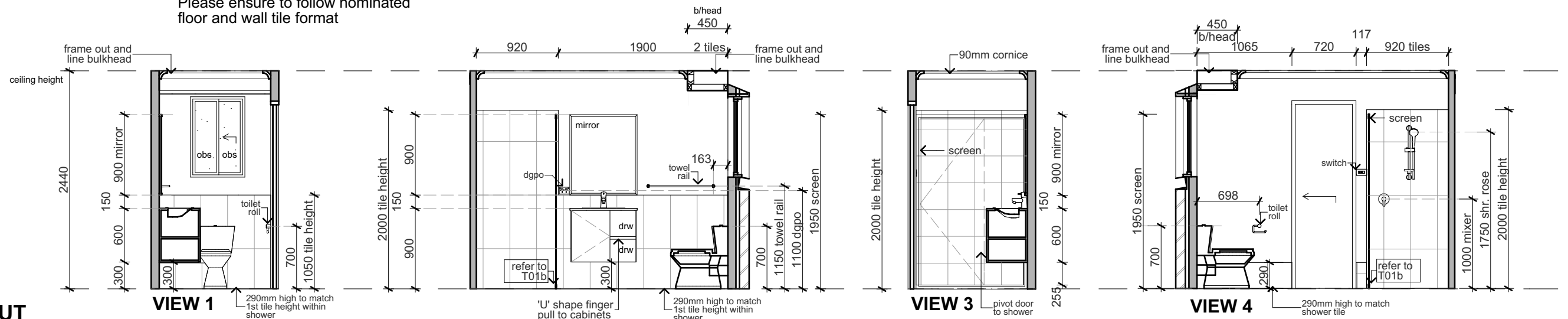
**BATH LAYOUT
UNIT 2**



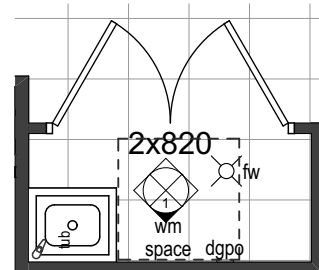
Note :Tiler
Please ensure to follow nominated floor and wall tile format



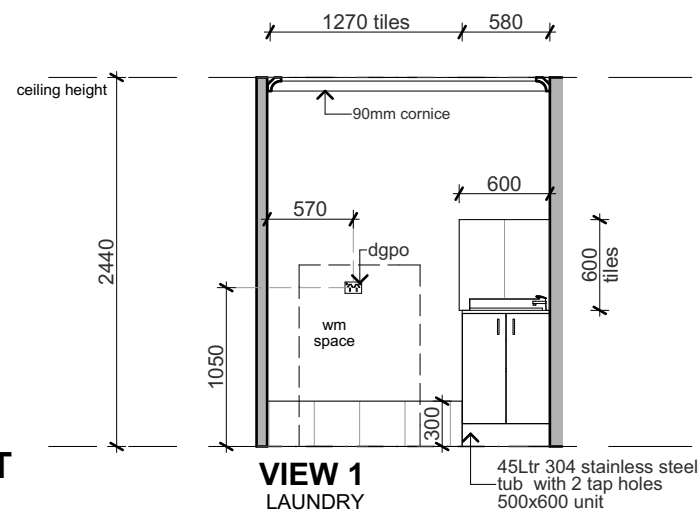
**ENSUITE LAYOUT
UNIT 2**



Note :Tiler
Please ensure to follow nominated floor and wall tile format



**LAUNDRY LAYOUT
UNIT 2**



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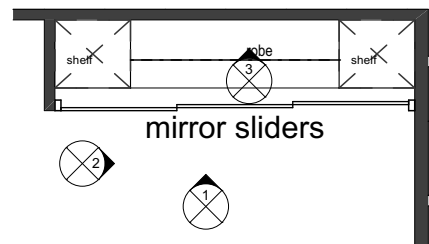
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JOB ADDRESS

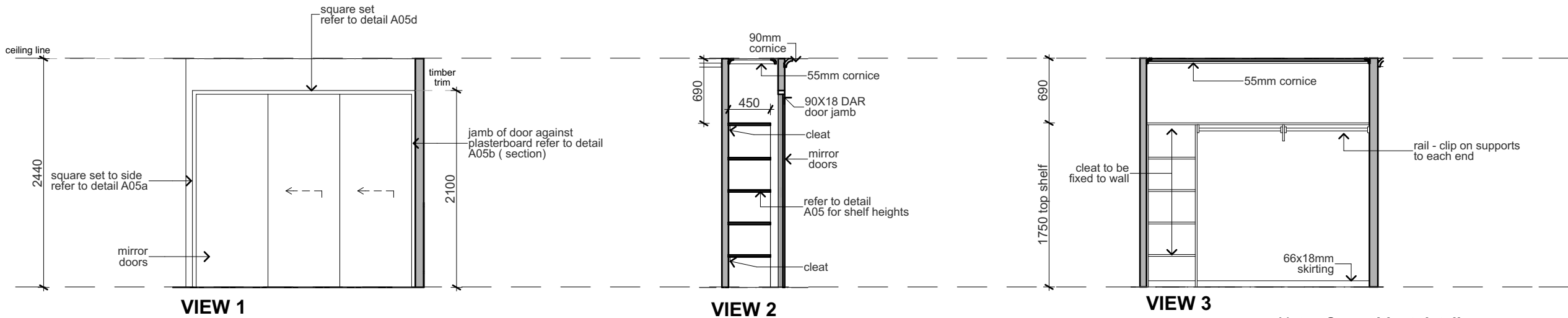
**LOT 17 SALEYARDS LANE
MUDGEES NSW 2850**

PROPOSAL NEW DWELLING DP: 1267151

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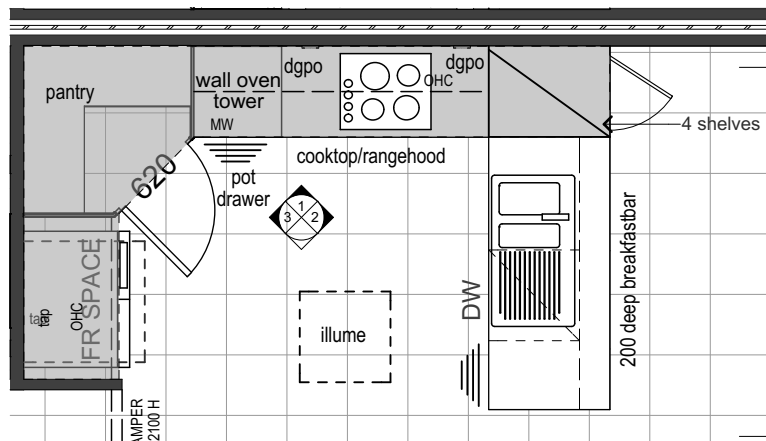


ROBE LAYOUT
UNIT 2

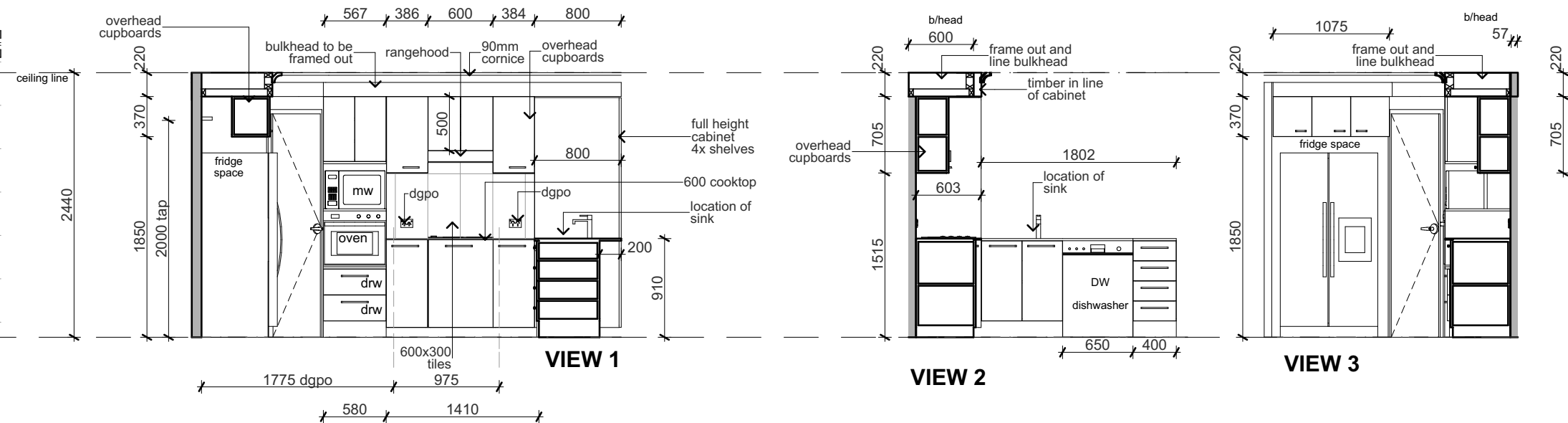


Note :Tiler
Please ensure to follow nominated
floor and wall tile format

Note : See cabinet details
for robe shelves



KITCHEN LAYOUT
UNIT 2



Note :Tiler
Please ensure to follow nominated
floor and wall tile format



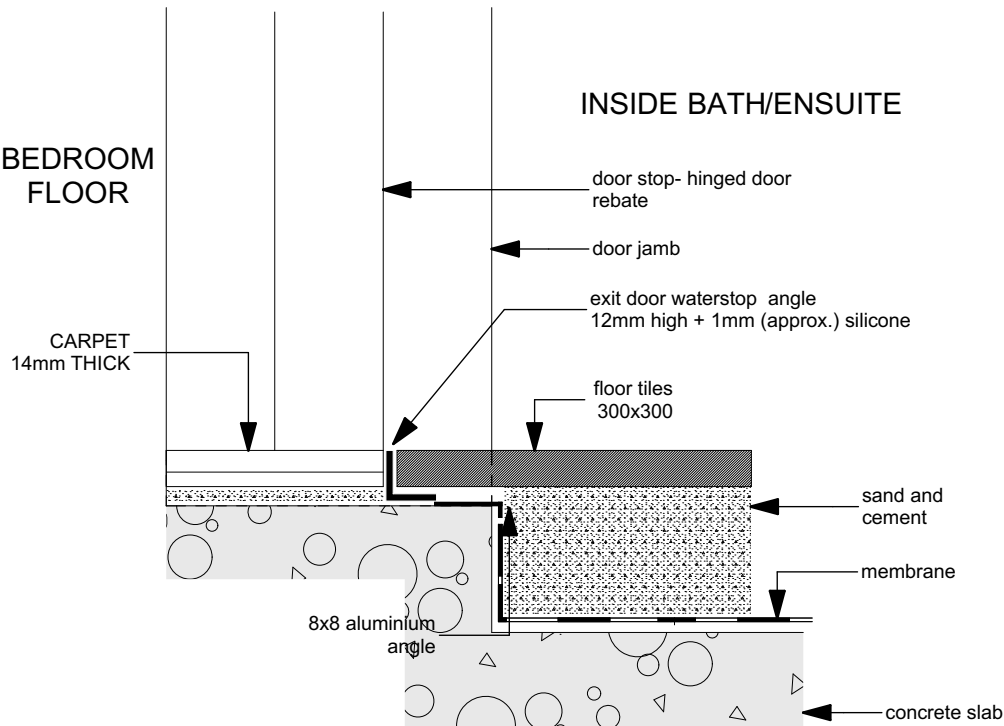
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JOB ADDRESS			
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PROPOSAL	NEW DWELLING	DP:	1267151

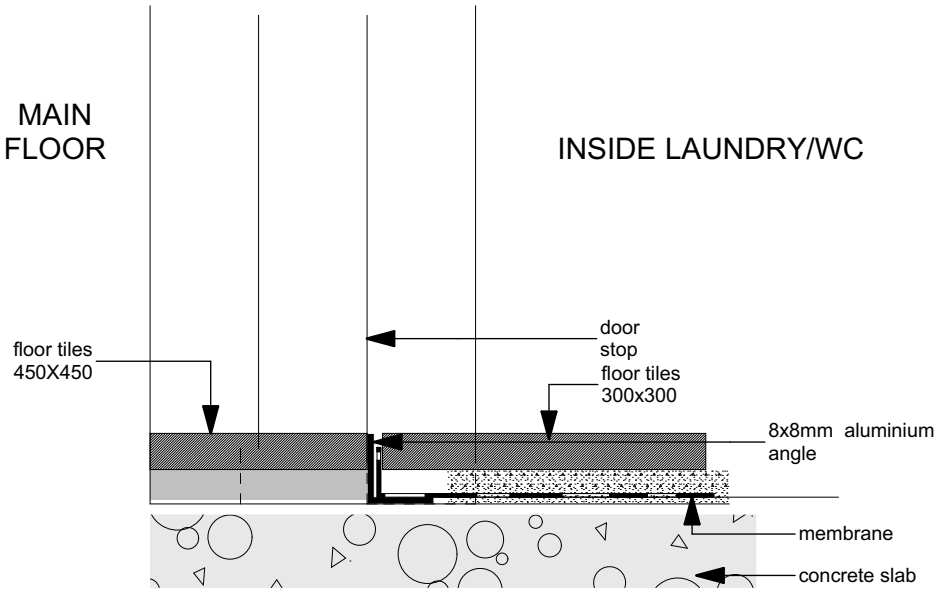
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				DRAWN	DJH
				DATE	5/08/2021
				WIND	'N2'
				SITE	
				revision	A
				PAGE	14



DETAIL 2

entrance door to
bedroom /ensuite

T01a



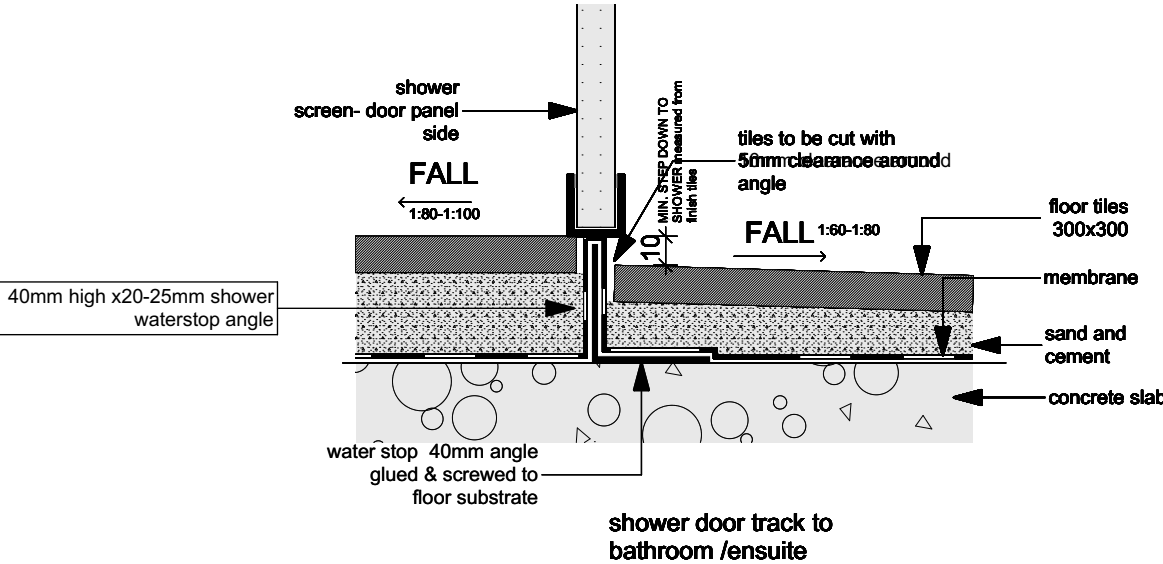
DETAIL 1

entrance door to
laundry/WC

T01c

OUTSIDE SHOWER

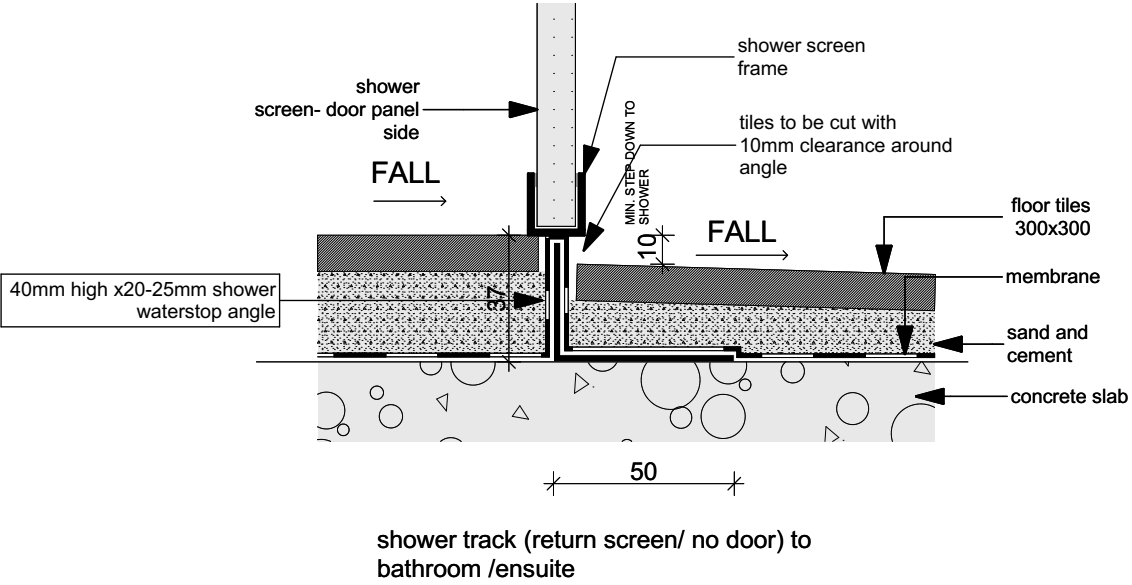
INSIDE SHOWER



T01b

OUTSIDE SHOWER

INSIDE SHOWER



T01d



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LOT 17 SALEYARDS LANE
MUDGEE NSW 2850

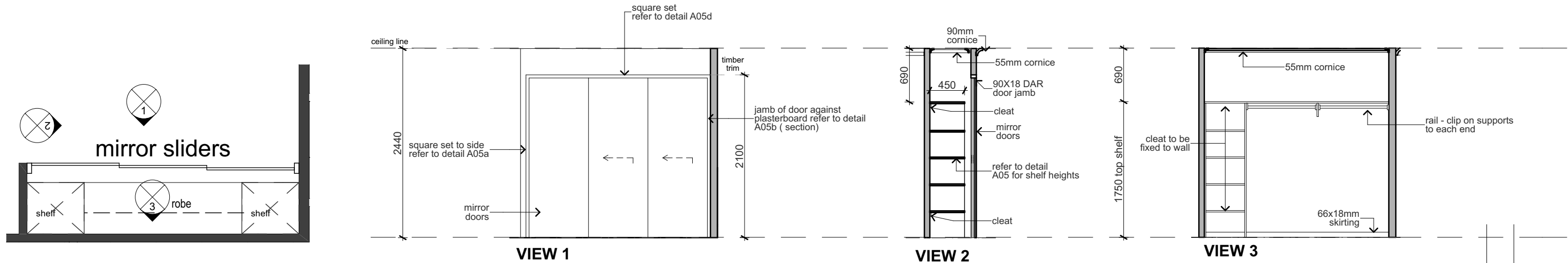
PROPOSAL

NEW DWELLING

DP:

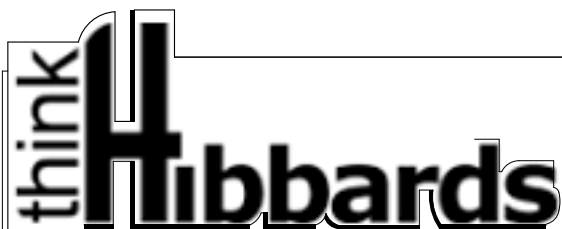
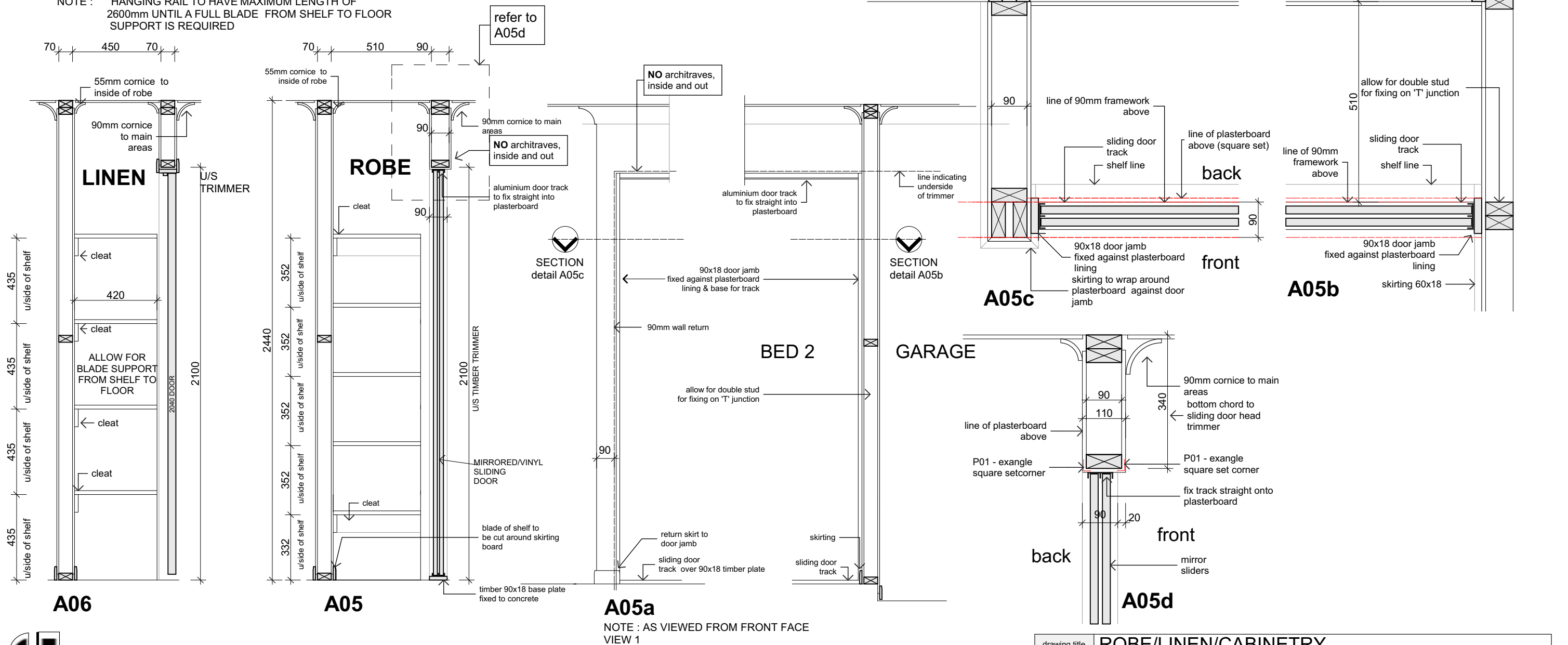
1267151

drawing title		WET AREA- STEP DOWN DETAIL			
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				DRAWN	DJH
				DATE	5/08/2021
				WIND	'N2'
				SITE	
				revision	A
				PAGE	15



NOTE : HANGING RAIL TO HAVE MAXIMUM LENGTH OF 900mm UNTIL A TRIANGULAR BRACE SUPPORT IS REQUIRED

NOTE : HANGING RAIL TO HAVE MAXIMUM LENGTH OF 2600mm UNTIL A FULL BLADE FROM SHELF TO FLOOR SUPPORT IS REQUIRED



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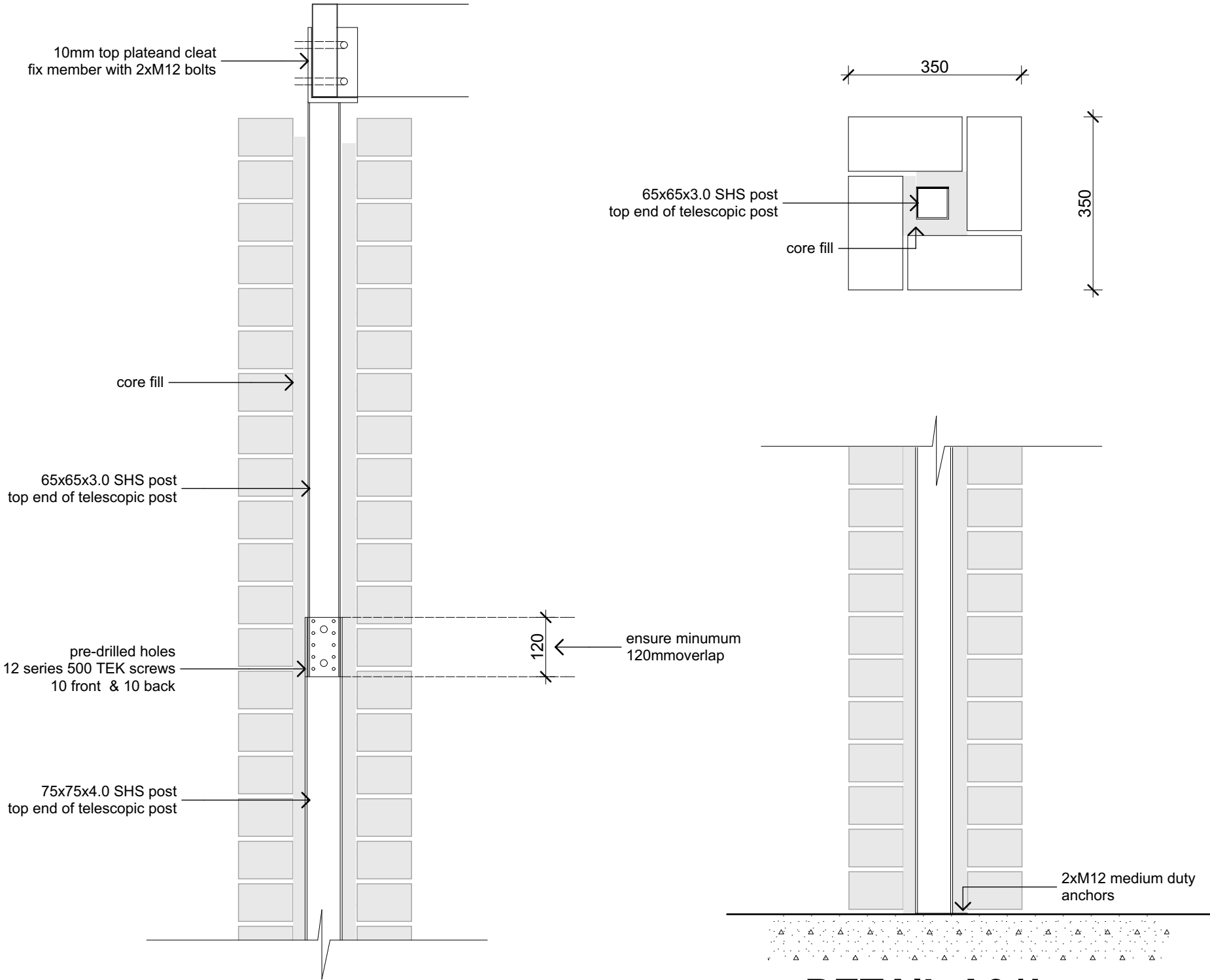
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**LOT 17 SALEYARDS LANE
MUDGEES NSW 2850**

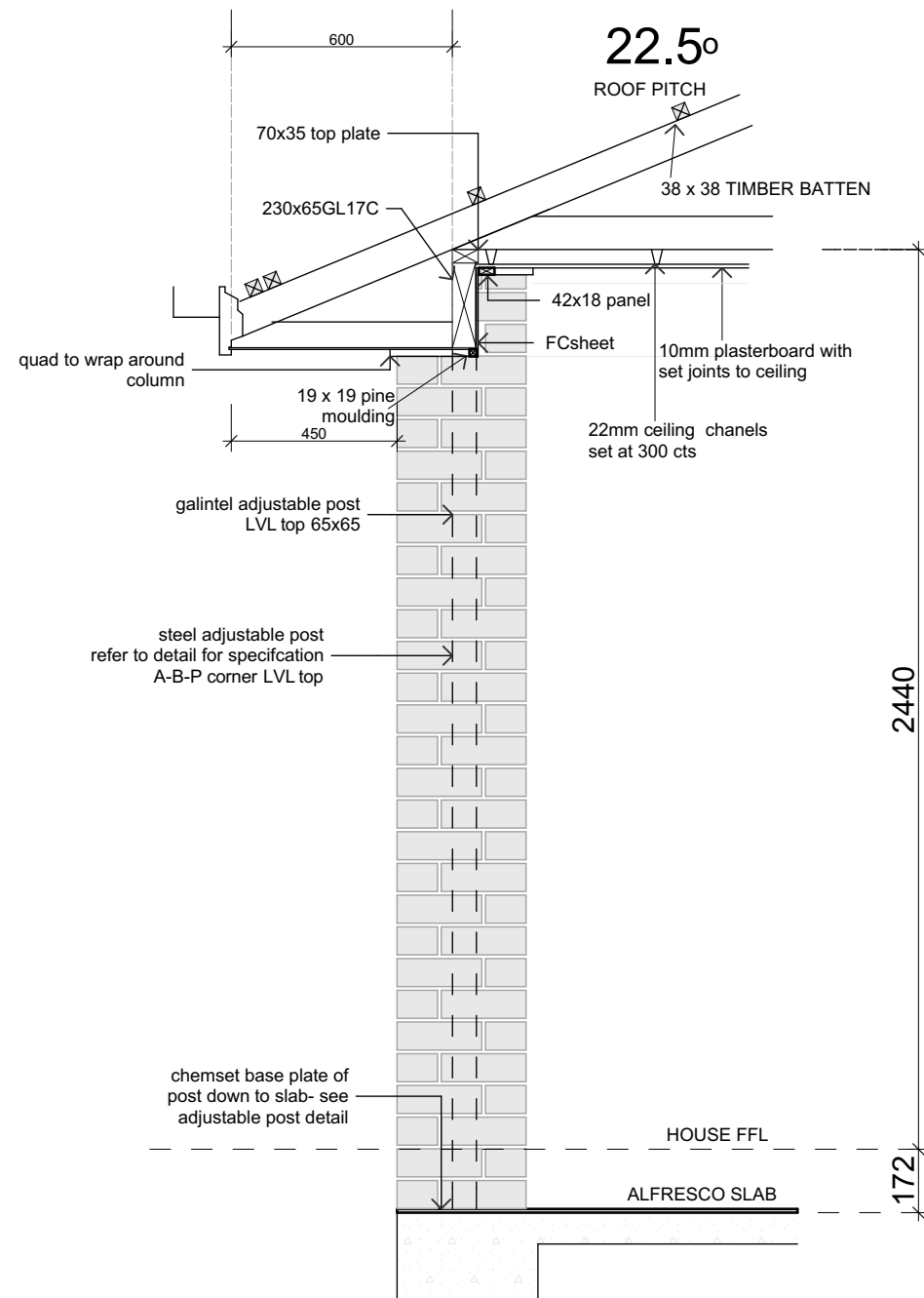
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				DATE	5/08/2021		16
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drawing title		REAR ALFRESCO - ADJUSTABLE POST						
date	issue	description			JOB No.	10735	revision	
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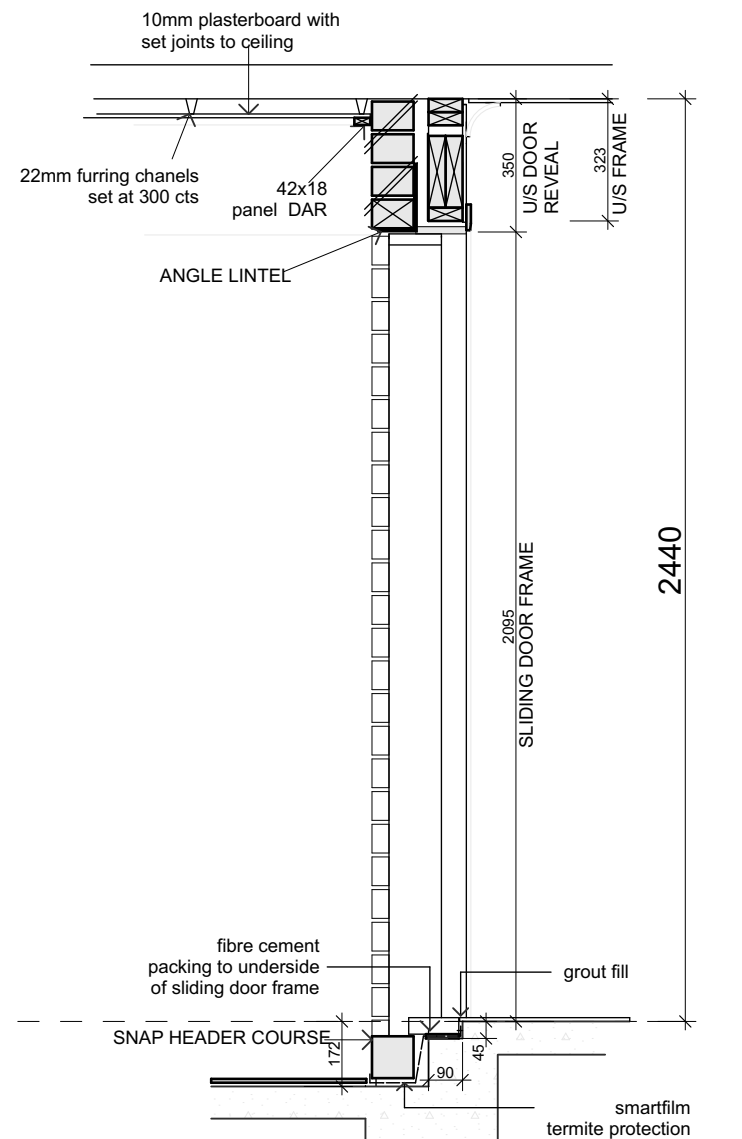


DETAIL A01b



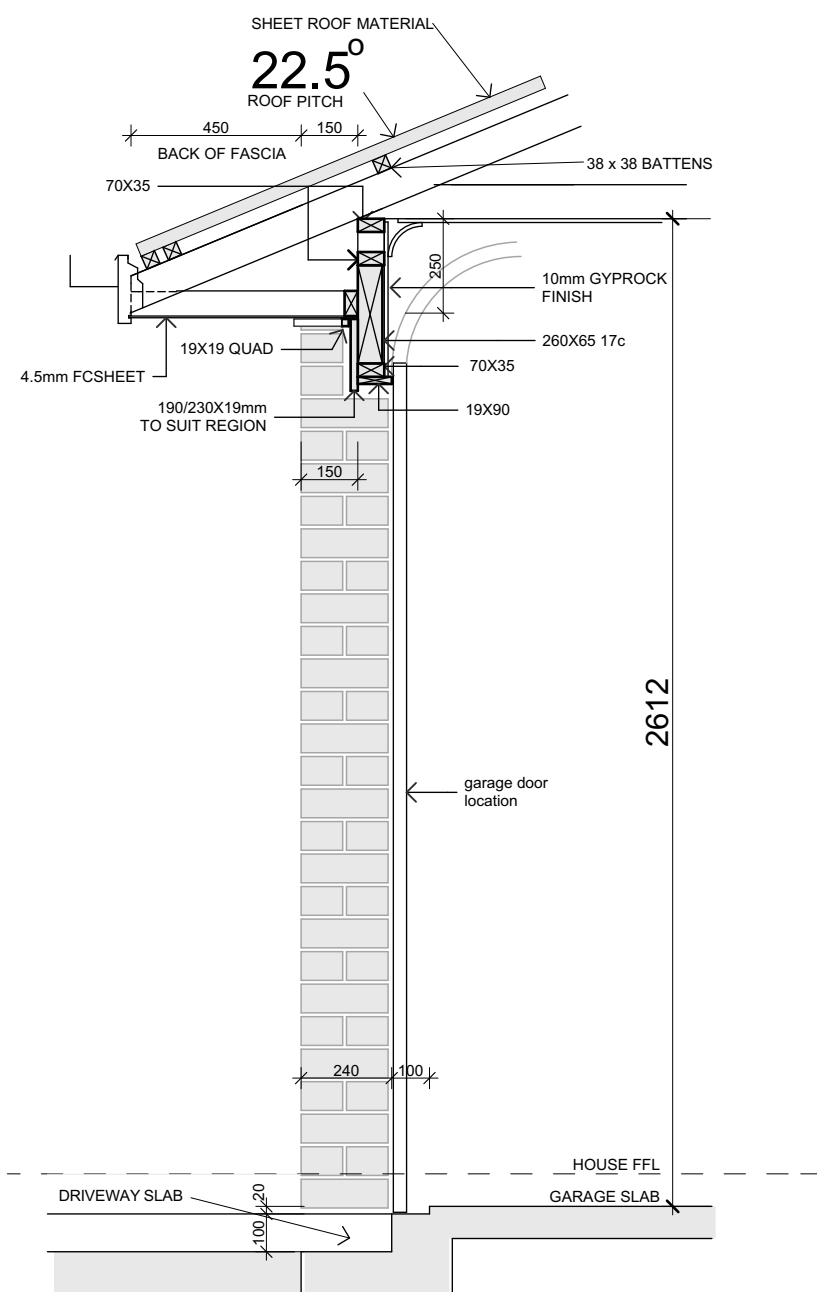
COLUMN SECTION
Detail A01

SCALE 1:20

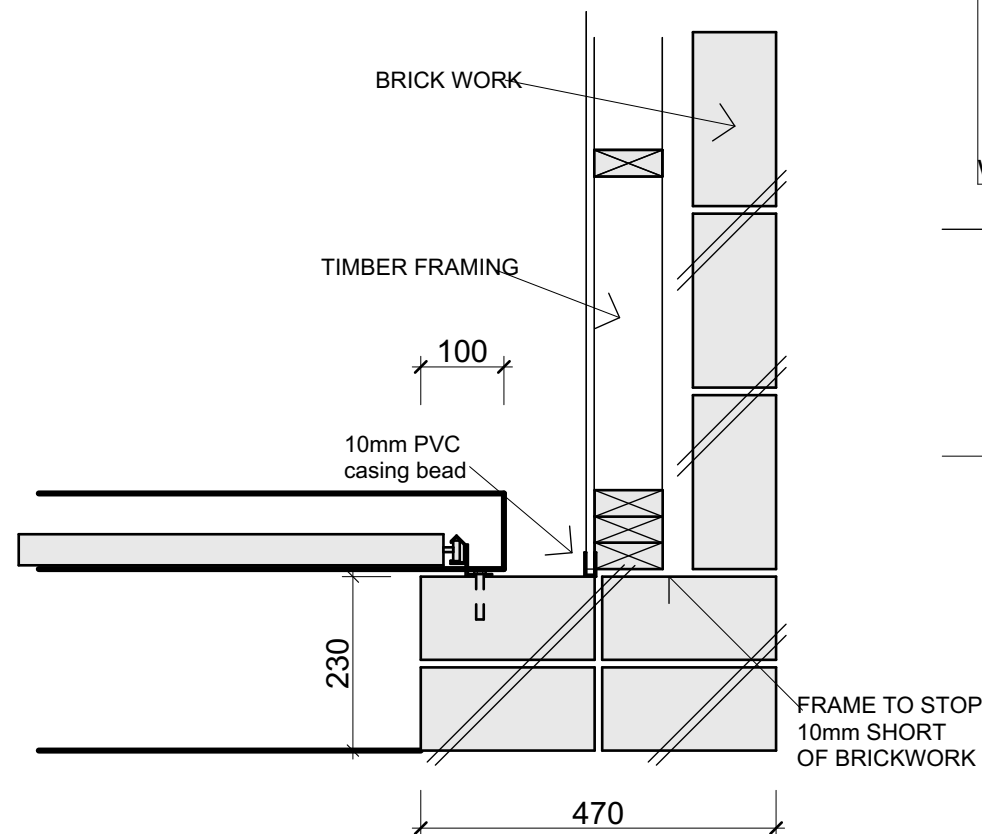


SLIDING DOOR SECTION
Detail A01a

SCALE 1:20



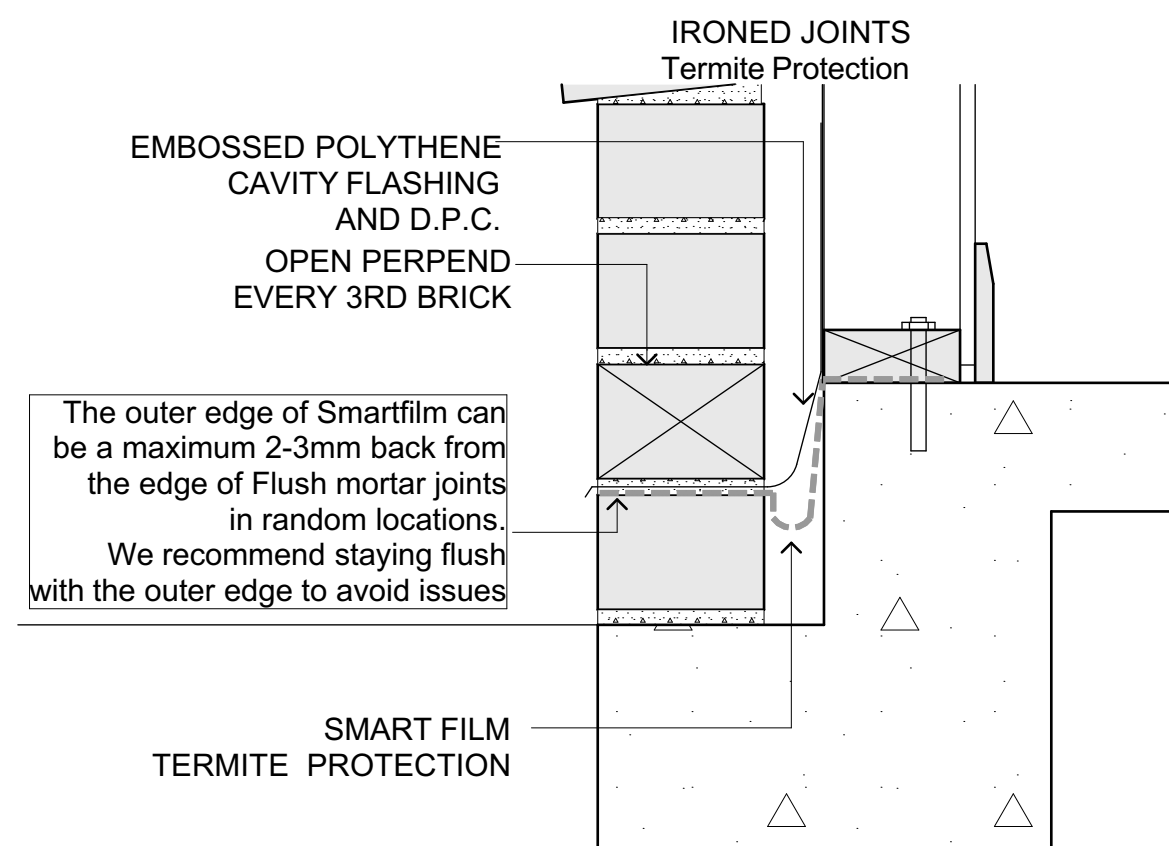
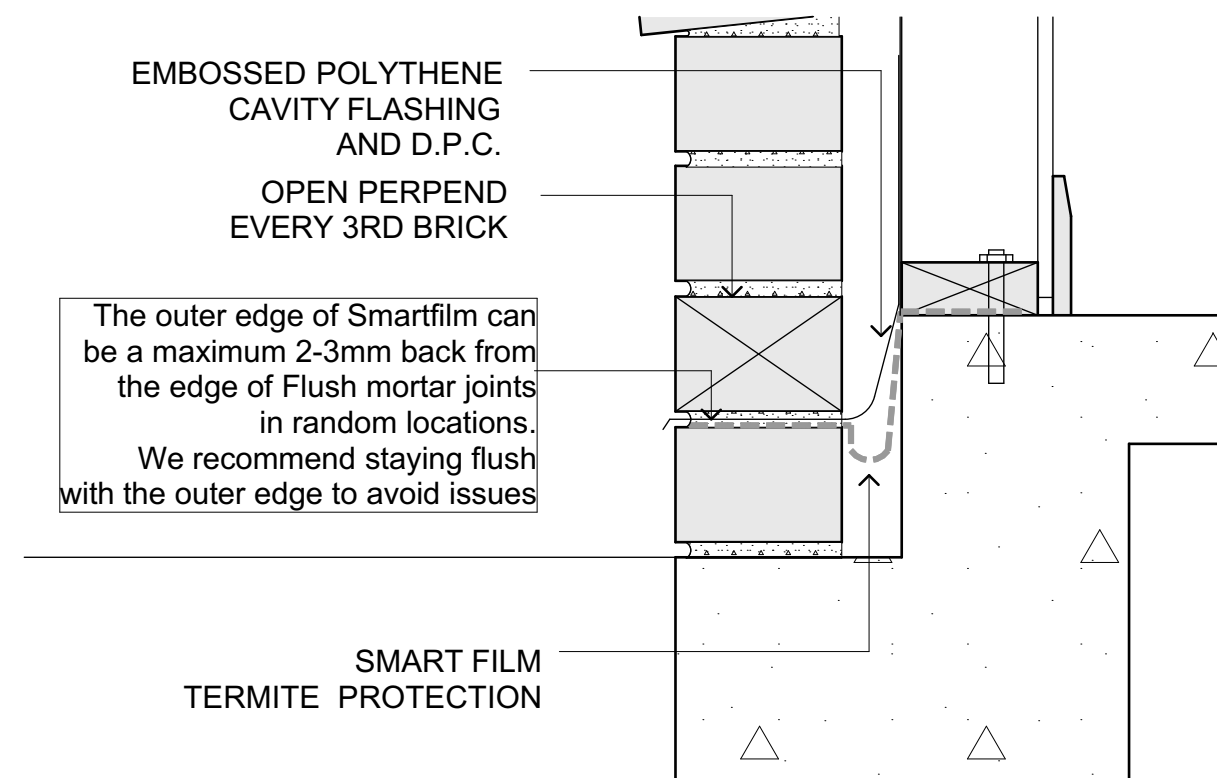
GARAGE OPENING
A03



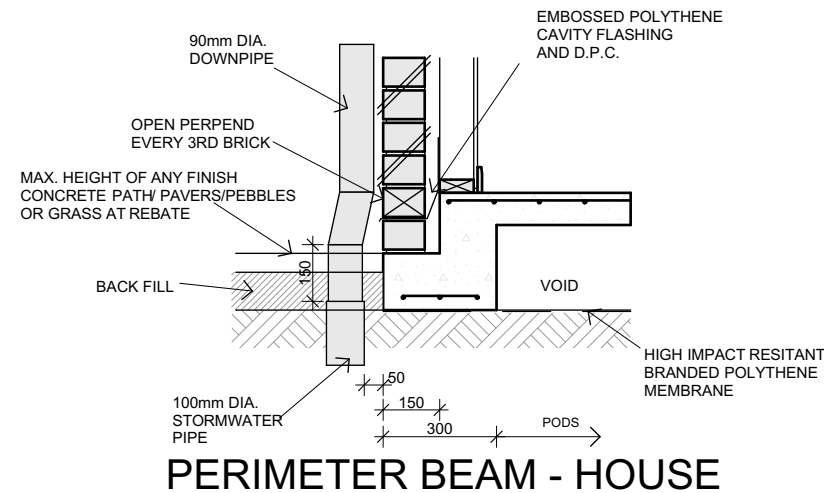
EXTERNAL CORNER

SCALE 1:10

A02

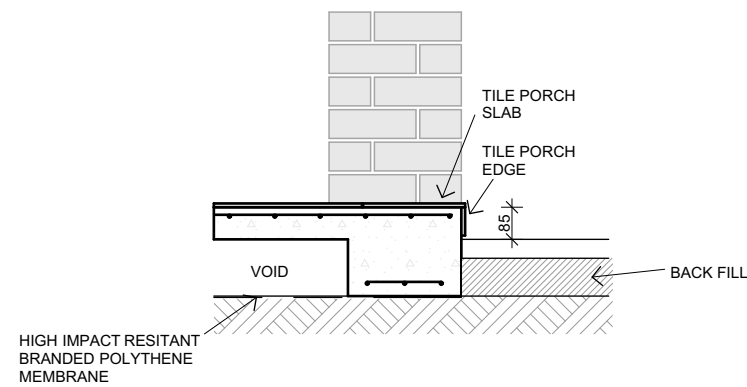


FLUSH MORTAR JOINTS
Termite Protection



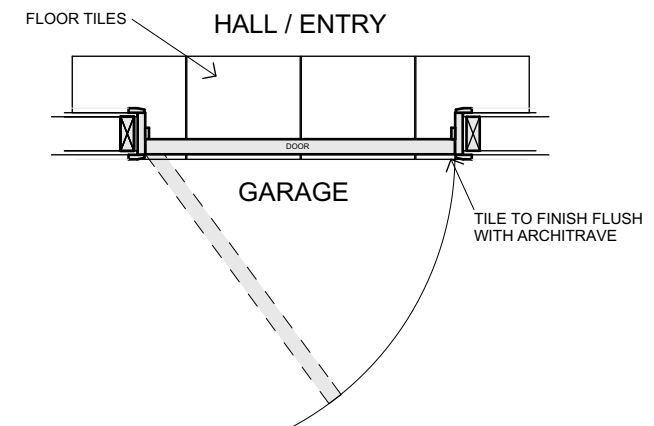
PERIMETER BEAM - HOUSE

A02a1



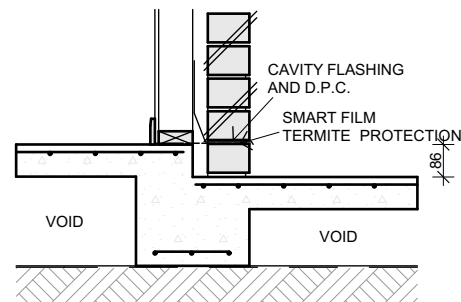
PERIMETER BEAM - PORCH

A02a3



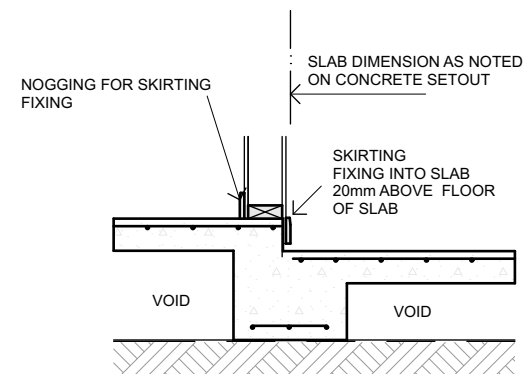
INTERNAL BEAM - HOUSE/GARAGE THRU DOOR PLAN

A02a7



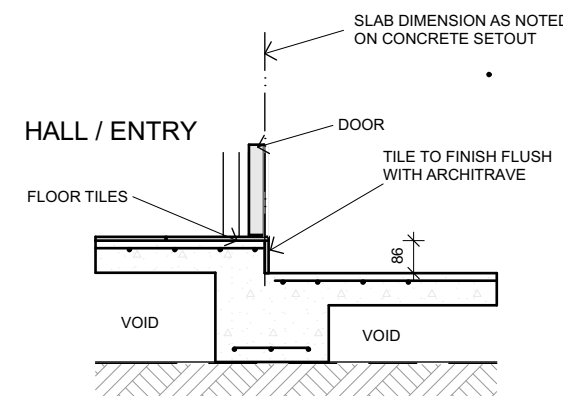
INTERNAL BEAM - HOUSE/PORCH

A02a4



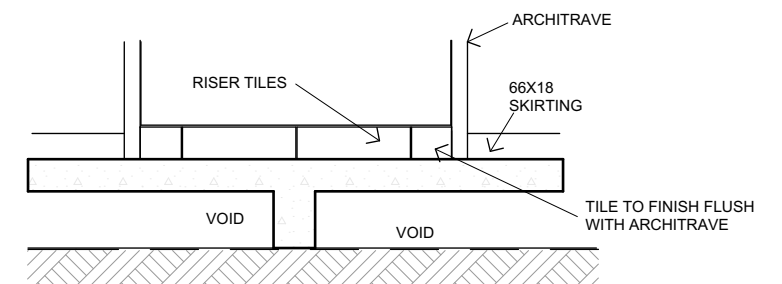
INTERNAL BEAM - HOUSE/GARAGE THRU WALL

A02a5



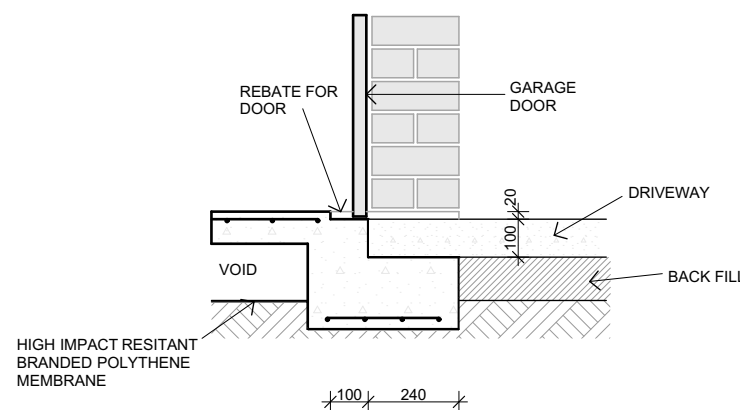
INTERNAL BEAM - HOUSE/GARAGE THRU DOOR

A02a6



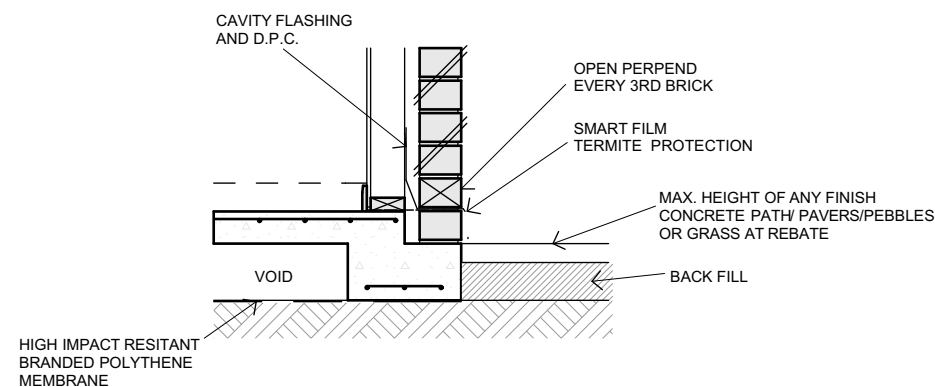
INTERNAL BEAM - HOUSE/GARAGE THRU DOOR ELEVATION

A02a9



PERIMETER BEAM - GARAGE DOOR

A02a8



PERIMETER BEAM - GARAGE

A02a10

NOTE :
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TO ENGINEERS DETAILS



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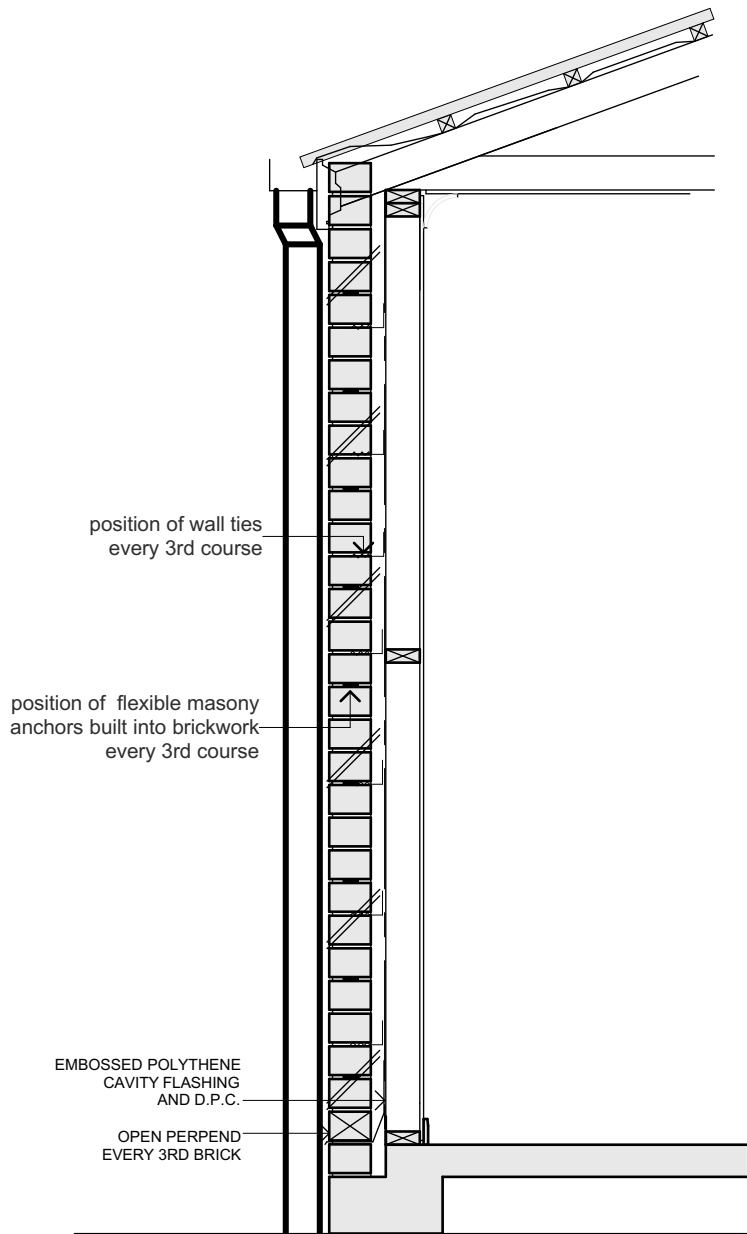
PROPOSAL

NEW DWELLING

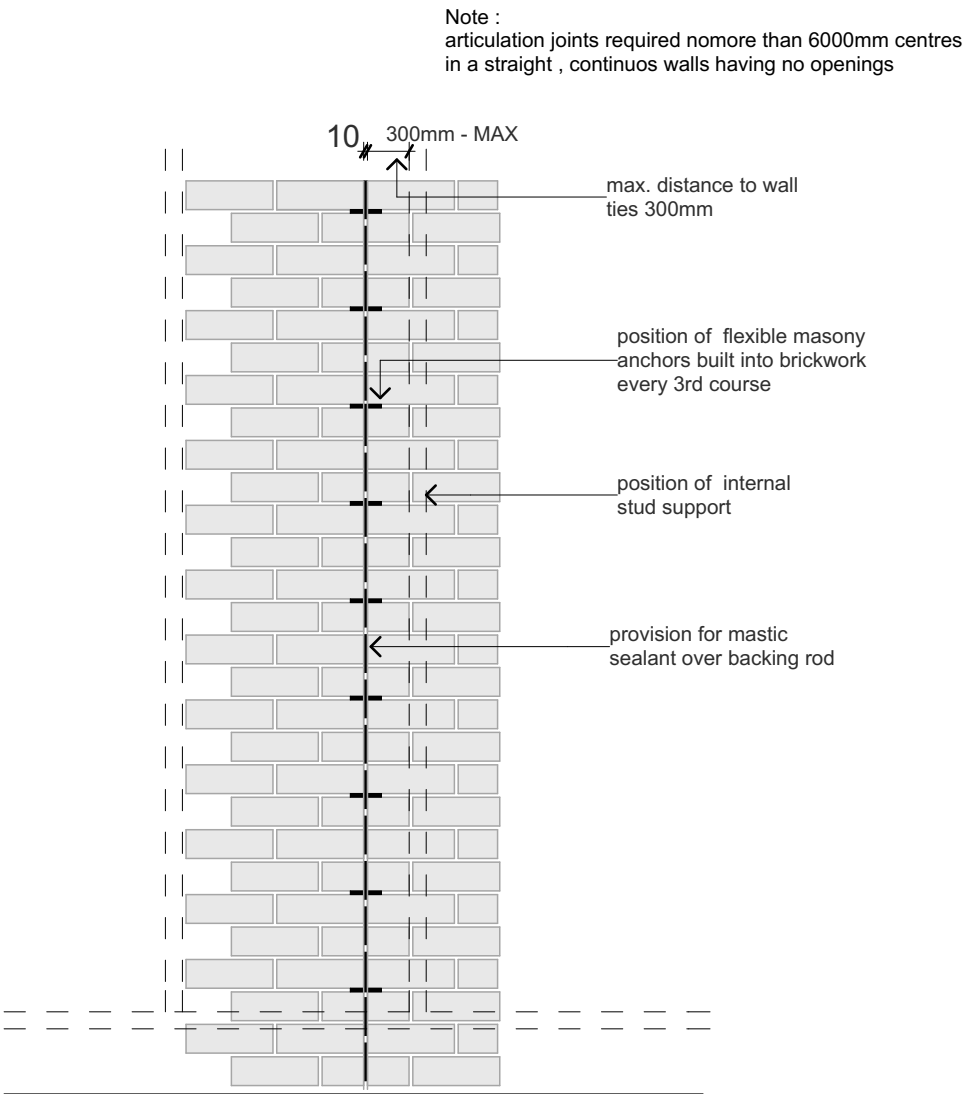
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1267151

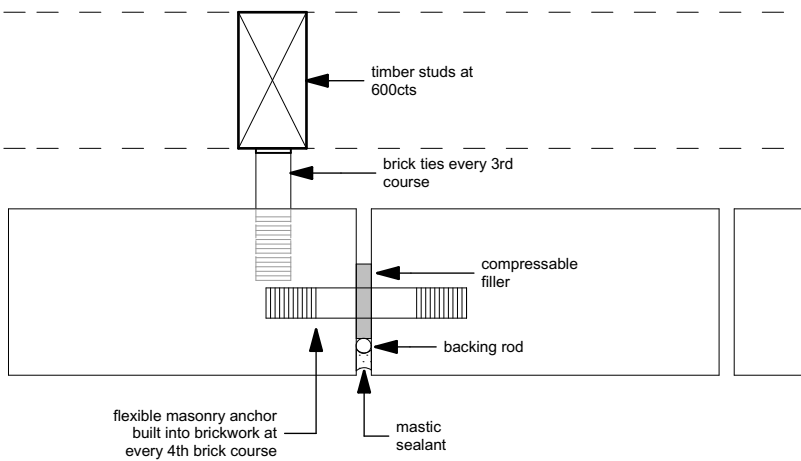
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				SCALE	1:20 printed to A3 size
				DRAWN	DJH
				DATE	5/08/2021
				WIND	'N2'
				SITE	
				PAGE	20



VERTICAL ARTICULATION JOINT
SECTION



VERTICAL ARTICULATION JOINT
ELEVATION



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drawing title		ARTICULATION VERTICAL JOINT									
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							DATE		5/08/2021		21
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