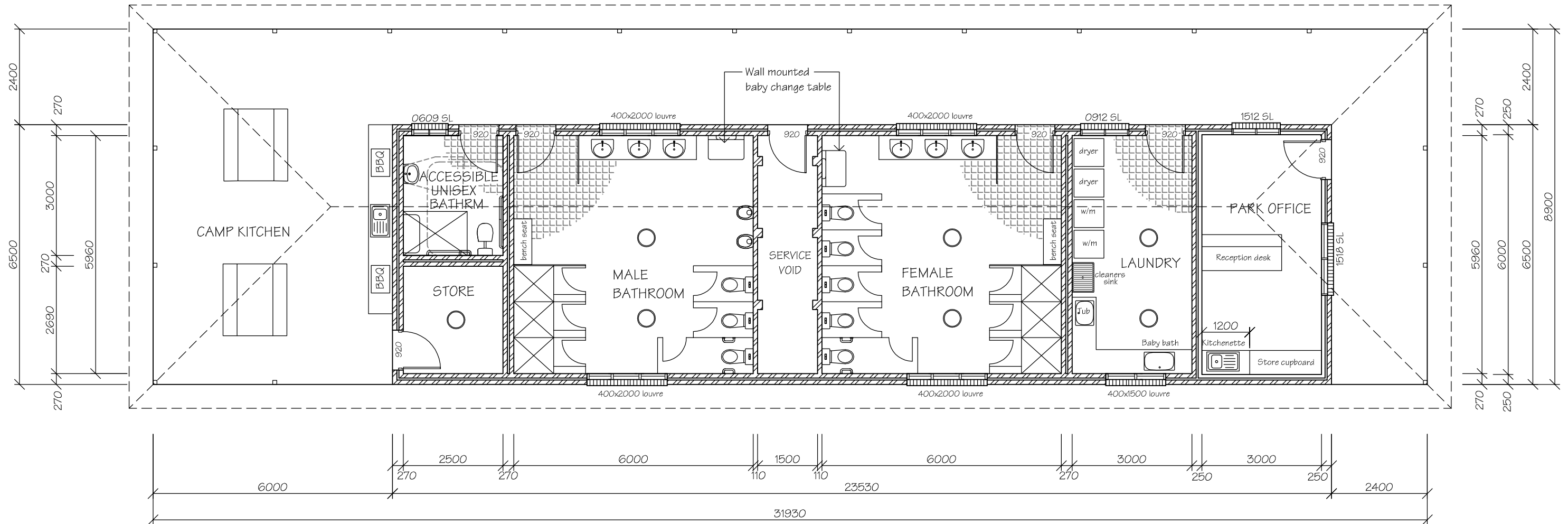
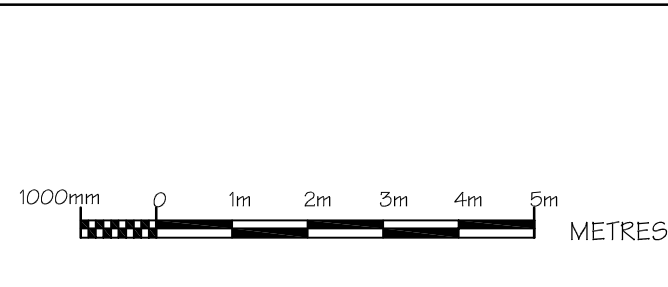


FINISH SCHEDULE	
BRICKS	Austral range Everyday Life - Unwind
ROOFING	Colorbond - Surfmist
FASCIA & GUTTERS	Colorbond Windspray
ALL CEILINGS	Dulux Wash & Wear - White on White
OFFICE WALLS	Dulux Wash & Wear - Lexicon Quarter strength
SKIRTING BOARDS & ARCHITRAVES	Dulux Wash & Wear - Windspray Half strength
DOORS	Dulux Wash & Wear - Windspray
BENCH TOPS	Laminex - Fresh Snow, Natural
CABINetry PANELS	Laminex - Pewter 329 Absolute matt finish
OUTDOOR KITCHEN BENCHES	Stainless steel



FLOOR PLAN
SCALE 1:100

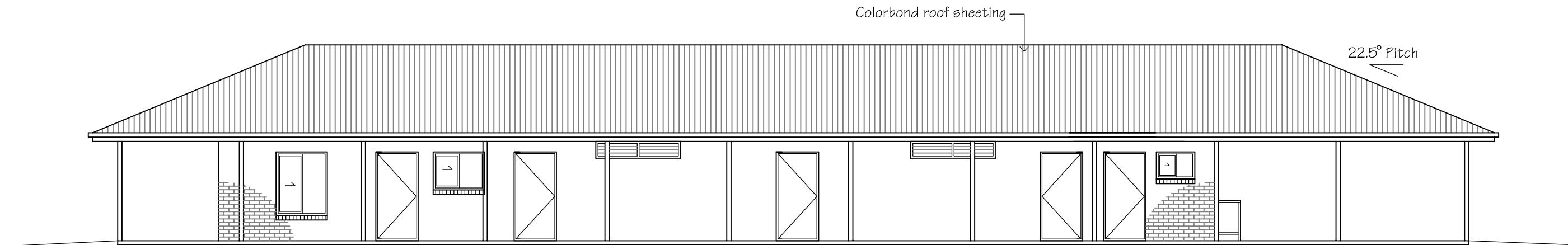
All doorways shall have a minimum luminance contrast of 30% to comply with AS1428.1 - Design for Access & Mobility
Minimum width of the area of luminance shall be 50mm



Presentation:
RELIABLE DRAFTING SERVICE
Kate Foody ph. 63 371116
12 Alexander Street Mob. 0402608213
EGLINTON 2795 A.B.N. 60 167 131 984
email kate@draftingservice.net.au

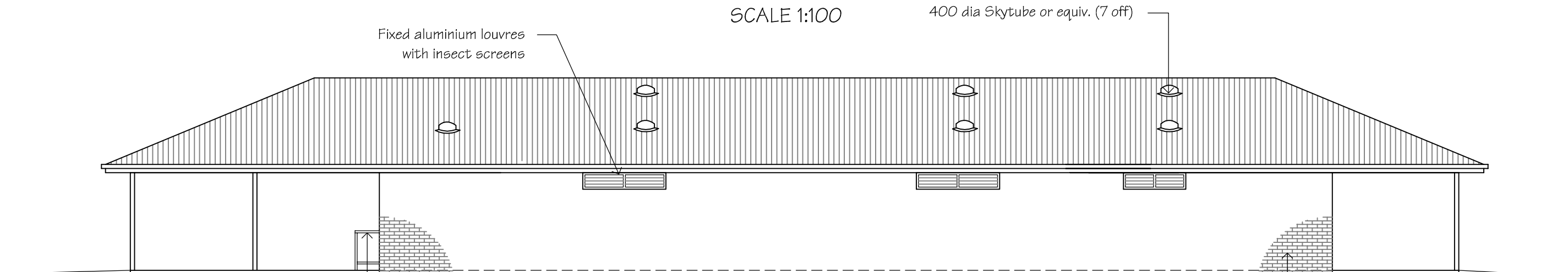
Project:
PROPOSED OFFICE & AMENITIES BLOCK
RYLSTONE CARAVAN PARK
CARWELL ST., RYLSTONE
Client:
MID WESTERN REGIONAL COUNCIL

Floor Areas:		AMENITIES:	79.8m ²
		CAMP KITCHEN:	49.8m ²
		TOTAL:	129.6m ²
Job No.	21.72	DWG. No.	1
		Amdt.	B
		No. in set	5
Scale:	AS SHOWN	Date:	16-7-21
		File:	2172.dwg



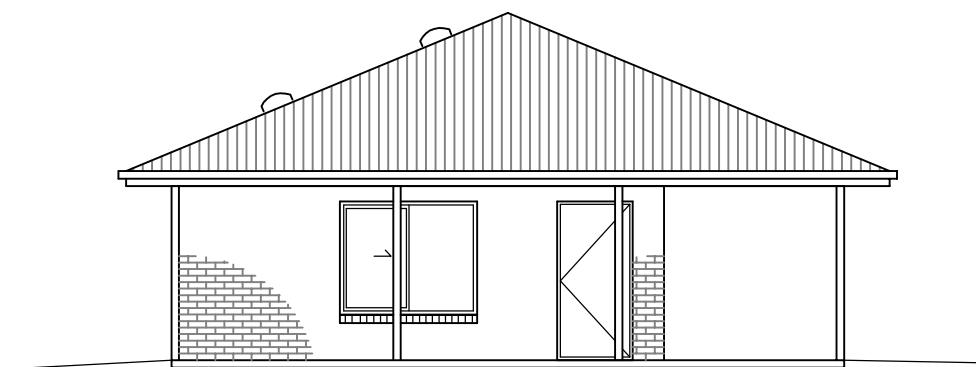
WEST ELEVATION

SCALE 1:100



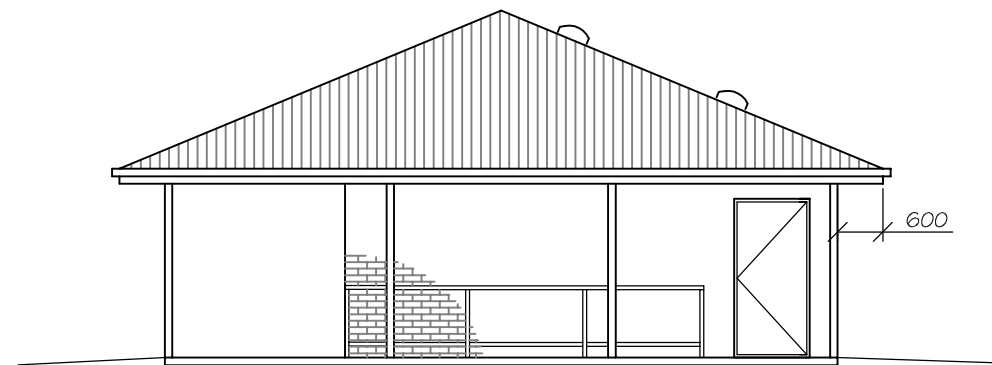
EAST ELEVATION

SCALE 1:100



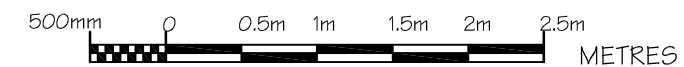
NORTH ELEVATION

SCALE 1:100

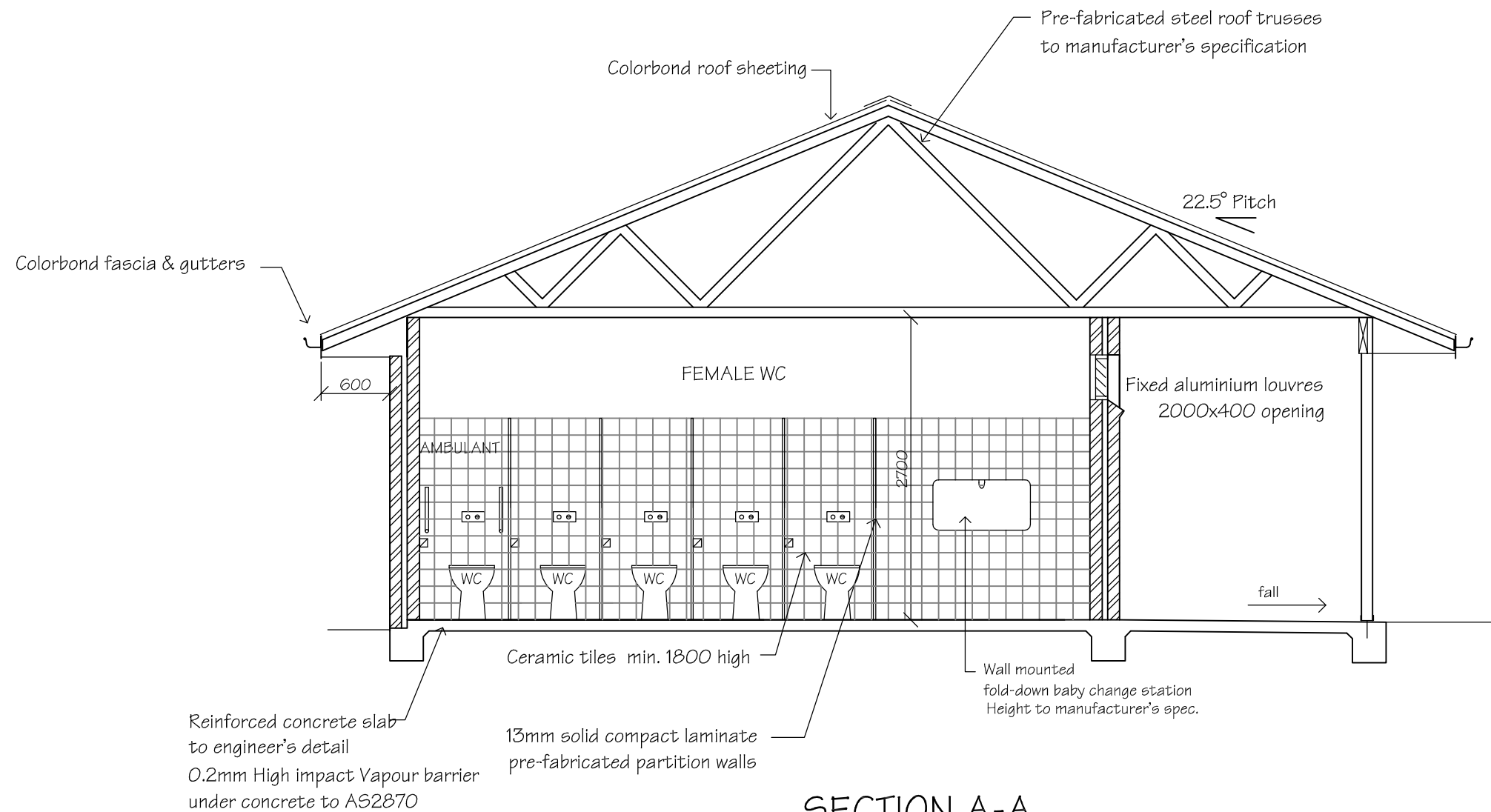


SOUTH ELEVATION

SCALE 1:100



Project:			
PROPOSED OFFICE & AMENITIES BLOCK RYLSTONE CARAVAN PARK CARWELL ST., RYLSTONE			
Job No.	DWG. No.	Amdt.	No. in set
21.72	2	A	5
Scale: AS SHOWN	Date: 14-7-21	File: 2172.dwg	



SECTION A-A

SCALE 1:50

Section J BCA requirements – Rylstone Caravan Park – amenities block & office (to be read in conjunction with Section J report)

Insulation (office area only)

- Roof (light colour with SA<0.45): reflective sarking
- Ceiling: R3.5
- External walls: R2.0 and sarking
- Internal walls adjoining laundry: R2.0
- Floor: R1.1 Kooltherm K3 board (office area only)

External windows & glass doors (office area only)

- All façades: U=5.8 SHGC=0.60
- Glazing to comply with AS2047

Draught sealing (office area only)

- External door to have foam seal around perimeter, draught stopper along bottom edge and self-closer.

Air conditioning (office area only)

- Package AC units to comply with MEPS
- Minimum COP/EER of 2.90
- Any AC unit with a heating or cooling capacity of more than 2kW to have a time switch controller (refer to spec J6 of BCA for details).

Internal lighting & power control

- Office area - maximum illumination power density of 4.5 W/m².
- Bathroom / laundry areas - maximum illumination power density of 3 W/m²
- Office area lighting to be separately controlled from bathroom areas.

External lighting

- All new external lighting to be controlled by either a daylight sensor or time switch and where total perimeter lighting exceeds 100W have a minimum of 90% of light fittings to be LEDS or be controlled by a motion sensor.
- Façade lighting or illuminated signs to be controlled by a time switch or daylight sensor.

Hot water supply

- Heated sanitary water systems to be designed and installed as per part B2 NCC vol. 3

Metering of gas / electricity

- Electricity and gas meters (as required) are to be installed.
- Sub metering is not required

Project:

PROPOSED OFFICE & AMENITIES BLOCK
RYLSTONE CARAVAN PARK
CARWELL ST., RYLSTONE

Job No.

21.72

DWG. No.

3

Amdt.

B

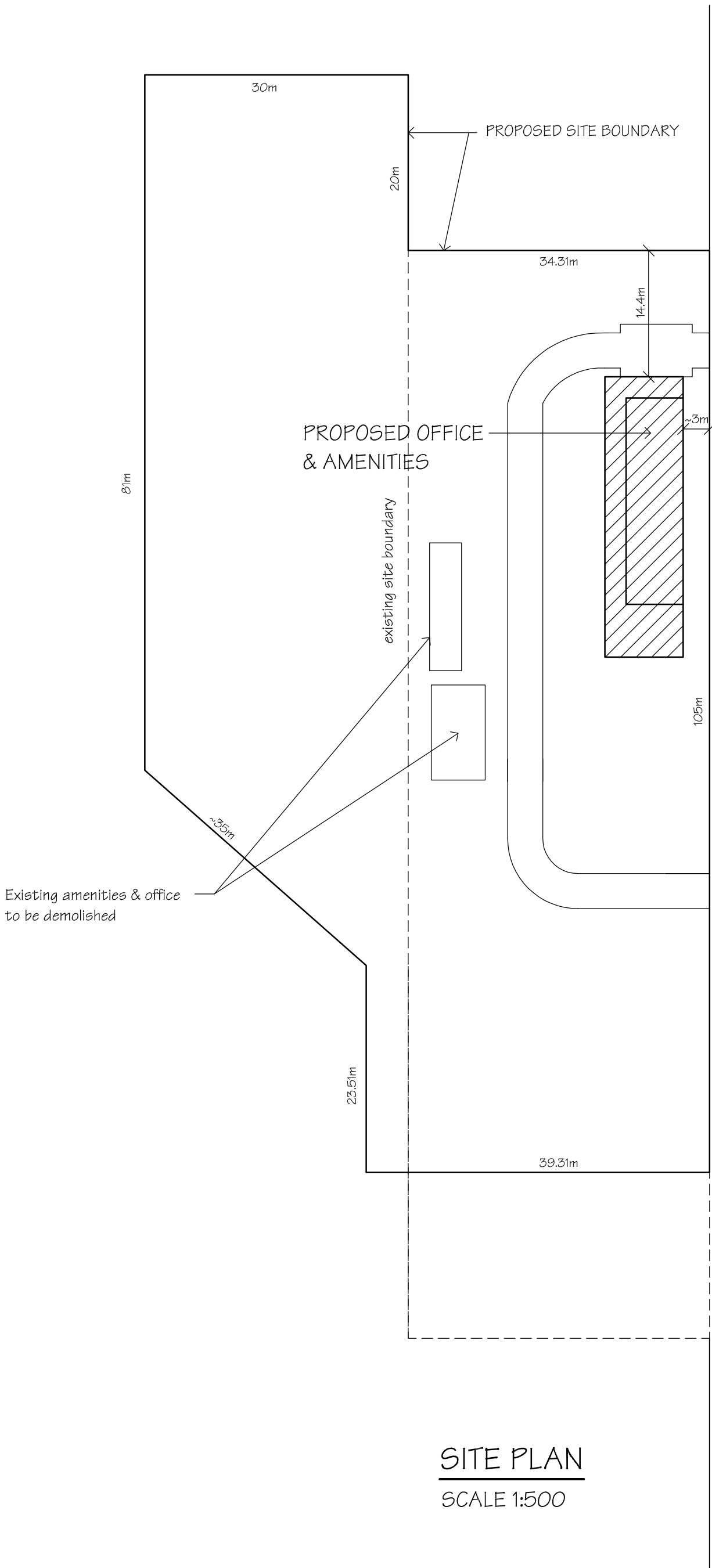
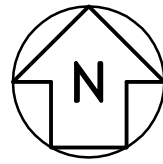
No. in set

5

Scale: AS SHOWN

Date: 15-7-21

File: 2172.dwg



SITE PLAN
SCALE 1:500

* SEDIMENT & EROSION CONTROL MEASURES TO COUNCIL REQUIREMENTS ARE TO BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK.
PROVIDE SEDIMENT FENCE ON DOWNHILL SIDE OF ALL EXCAVATIONS & STOCKPILES
PROVIDE A WASHDOWN BAY TO COUNCIL REQUIREMENTS.

Project: PROPOSED OFFICE & AMENITIES BLOCK RYLSTONE CARAVAN PARK CARWELL ST., RYLSTONE			
Job No. 21.72	DWG. No. 4	Amdt. B	No. in set 5
Scale: AS SHOWN	Date: 15-7-21	File: 2172.dwg	

NOTES

GENERAL

PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATION UNDERGROUND SERVICES.

THE DRAWINGS SHOW THE MAJOR WORK TO BE CARRIED OUT BUT ARE NOT NECESSARILY THE TOTAL WORKS REQUIRED FOR THE PROJECT.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (N.C.C. Vol. 1. 2019).

ALL MATERIALS & STRUCTURES SHALL COMPLY WITH SECTION B - STRUCTURE, & SPEC. C1.10 OF THE N.C.C.

IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY DOCUMENTS AS TO THEIR ACCURACY & SUITABILITY.

ALL STEEL & CONCRETE MEMBERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEER'S DETAILS & RELEVANT CODES & AUSTRALIAN STANDARDS

ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

BUILDING SITE SHALL BE SECURED WITH MANPROOF CHAINWARE FENCING DURING CONSTRUCTION.

FABRICATOR TO MEASURE & CHECK DETAILS ON SITE.

SOIL & SEDIMENT EROSION CONTROL SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE REQUIREMENTS OF MID WESTERN REGIONAL COUNCIL & THE ENVIRONMENTAL PROTECTION AGENCY.

ALL STORMWATER DRAINAGE WORK SHALL BE IN ACCORDANCE WITH AS/NZ 3500.3.2

FIRE HAZARD PROPERTIES OF ALL MATERIALS & ASSEMBLIES MUST COMPLY WITH PART C1.10 OF BCA.

THE ELECTRICITY SUPPLY SYSTEM SHALL COMPLY WITH PART C2.13 OF THE N.C.C.

ACCESS & EGRESS

REQUIRED PATHS OF EXIT BE IN ACCORDANCE WITH PART D1.6 OF THE N.C.C. THE UNOBSTRUCTED HEIGHT MUST BE NO LESS THAN 2.0m EXCEPT AT DOORWAYS WHERE THE HEIGHT MAY BE REDUCED TO 1.98m. THE UNOBSTRUCTED WIDTH OF EACH EXIT OR PATH OF TRAVEL TO AN EXIT, EXCEPT AT DOORWAYS, MUST BE 1.0m MINIMUM.

DISTANCES TO REQUIRED EXITS MUST BE MEASURED ALONG THE SHORTEST PATH OF TRAVEL, WHETHER BY STRAIGHT LINES, CURVES, OR COMBINATION OF BOTH.

DISCHARGE FROM EXITS MUST BE IN ACCORDANCE WITH N.C.C. D1.10.

EXITS MUST NOT BE BLOCKED AT THE POINT OF DISCHARGE, AND WHERE NECESSARY SUITABLE BARRIERS MUST BE PROVIDED TO PREVENT VEHICLES FROM BLOCKING EXIT.

OPERATION OF LATCHES MUST BE IN ACCORDANCE WITH PART D2.21 OF THE N.C.C. A REQUIRED EXIT DOOR MUST BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES THE PERSON SEEKING EGRESS BY A SINGLE HAND DOWNWARD ACTION OR PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900mm AND 1200mm FROM THE FLOOR.

BUILDINGS & PARTS OF BUILDINGS MUST BE ACCESSIBLE AS REQUIRED BY PART D3.1 OF THE N.C.C.

AN ACCESSWAY MUST BE PROVIDED TO THE BUILDING FROM THE MAIN POINTS OF PEDESTRIAN ENTRY; & FROM ANOTHER ACCESSIBLE BUILDING CONNECTED BY A PEDESTRIAN LINK; & FROM ANY REQUIRED ACCESSIBLE CARPARKING SPACE ON THE ALLOTMENT; AS REQUIRED BY PART D3.2 OF THE N.C.C.

PARTS OF THE BUILDING REQUIRED TO BE ACCESSIBLE FOR PEOPLE WITH DISABILITIES MUST COMPLY WITH PART D3.2 & D3.3 OF THE N.C.C. & AS 1428.1

PROVIDE A CONTINUOUS ACCESSIBLE PATH OF TRAVEL IN ACCORDANCE WITH AS 1428.1 AND CLAUSE D3.3 OF THE N.C.C. FROM THE DISABLED ACCESSIBLE CARSPACE TO THE ENTRANCE POINTS OF THE BUILDING.

PROVIDE CLEAR & LEGIBLE BRAILLE & TACTILE SIGNAGE IN ACCORDANCE WITH AS1428.1, TO IDENTIFY SANITARY FACILITIES AND PATH OF TRAVEL FROM PRINCIPAL PUBLIC ENTRANCE, TO COMPLY WITH PART D3.6 OF THE N.C.C.

PROVIDE TACTILE GROUND SURFACE INDICATORS WHERE PATH OF TRAVEL MEETING A VEHICULAR WAY ADJACENT TO PRINCIPAL PUBLIC ENTRANCE OF THE BUILDING, IF THERE IS NO KERB OR KERB RAMP, IN ACCORDANCE WITH PART D3.8 OF THE N.C.C.

TO COMPLY WITH PART D3.12 OF THE N.C.C, ON AN ACCESSWAY, WHERE THERE IS NO CHAIR RAIL, HANDRAIL OR TRANSOM, ALL FRAMELESS OR FULLY GLAZED DOORS, SIDELIGHTS OR OTHER GLAZING CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING, MUST BE CLEARLY MARKED IN ACCORDANCE WITH AS 1428.1

SERVICES AND EQUIPMENT

PROVIDE PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH PART E1.6 OF THE N.C.C.

HEALTH & AMENITY

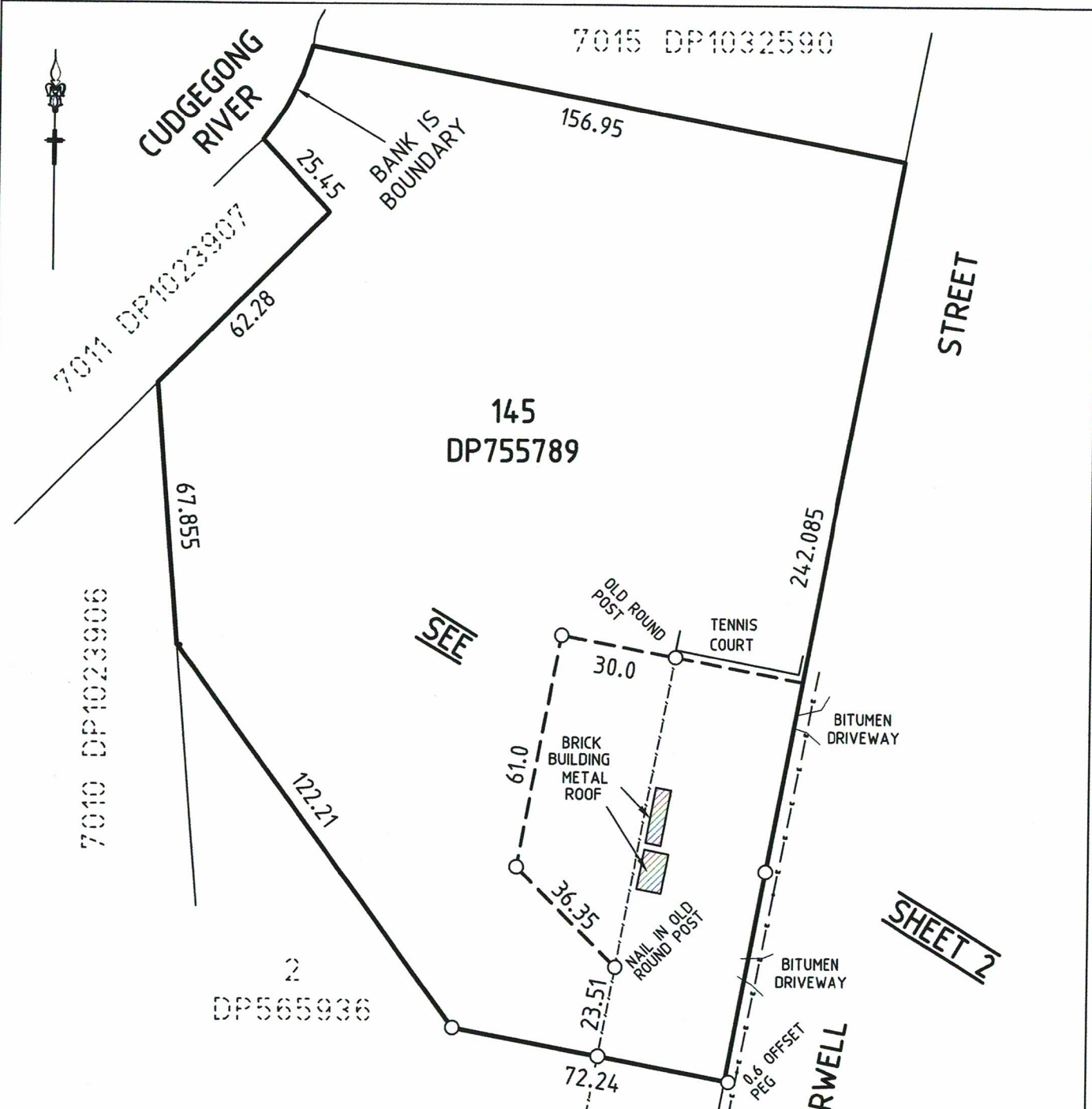
METAL ROOF COVERING SHALL IN ACCORDANCE WITH AS1562.1, TO COMPLY WITH WITH PART F1.5 OF THE N.C.C.

SARKING MATERIALS MUST COMPLY WITH AS/NZS 4200 Parts 1 & 2 IN ACCORDANCE WITH PART F1.6 OF THE N.C.C.

INSTALL ARTIFICIAL LIGHTING SYSTEM IN ACCORDANCE WITH AS/NZS 1680. TO COMPLY WITH PART F4.4 OF N.C.C.

Project: PROPOSED OFFICE & AMENITIES BLOCK RYLESTONE CARAVAN PARK CARWELL ST., RYLSTONE			
Job No. 21.72	DWG. No. 5	Amdt. A	No. in set 5
Scale: AS SHOWN	Date: 14-7-21	File: 2172.dwg	

SUPERVISOR & SUBCONTRACTORS TO CHECK ALL SET OUT DIMENSIONS AGAINST FINAL APPROVED PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 ANY DISCREPANCIES REVEALED IN SET OUT DIMENSIONS TO BE REPORTED IMMEDIATELY TO SURVEYORS PRIOR TO WORK PROCEEDING.



○ DENOTES PEG PLACED UNLESS NOTED OTHERWISE
 NOTE: SERVICES SHOWN ARE APPROXIMATE ONLY
 VISIBLE SERVICES WITHIN CARWELL STREET
 FRONTING RYLSTONE CARAVAN PARK LOCATED ONLY
 SERVICES MAY EXIST THAT ARE NOT SHOWN
 LENGTHS ARE IN METRES



[Signature]
 DANIEL KURZAWA
 REGISTERED SURVEYOR

SKETCH SHOWING MARKS PLACED TO ASSIST IN SETOUT OF CARAVAN PARK
 EXTENSIONS AND PARTIAL IDENT OF SERVICES LOT 145 DP755789

CLIENT : MID-WESTERN REGIONAL COUNCIL
PROJECT LOCATION: CARWELL STREET
RYLSTONE

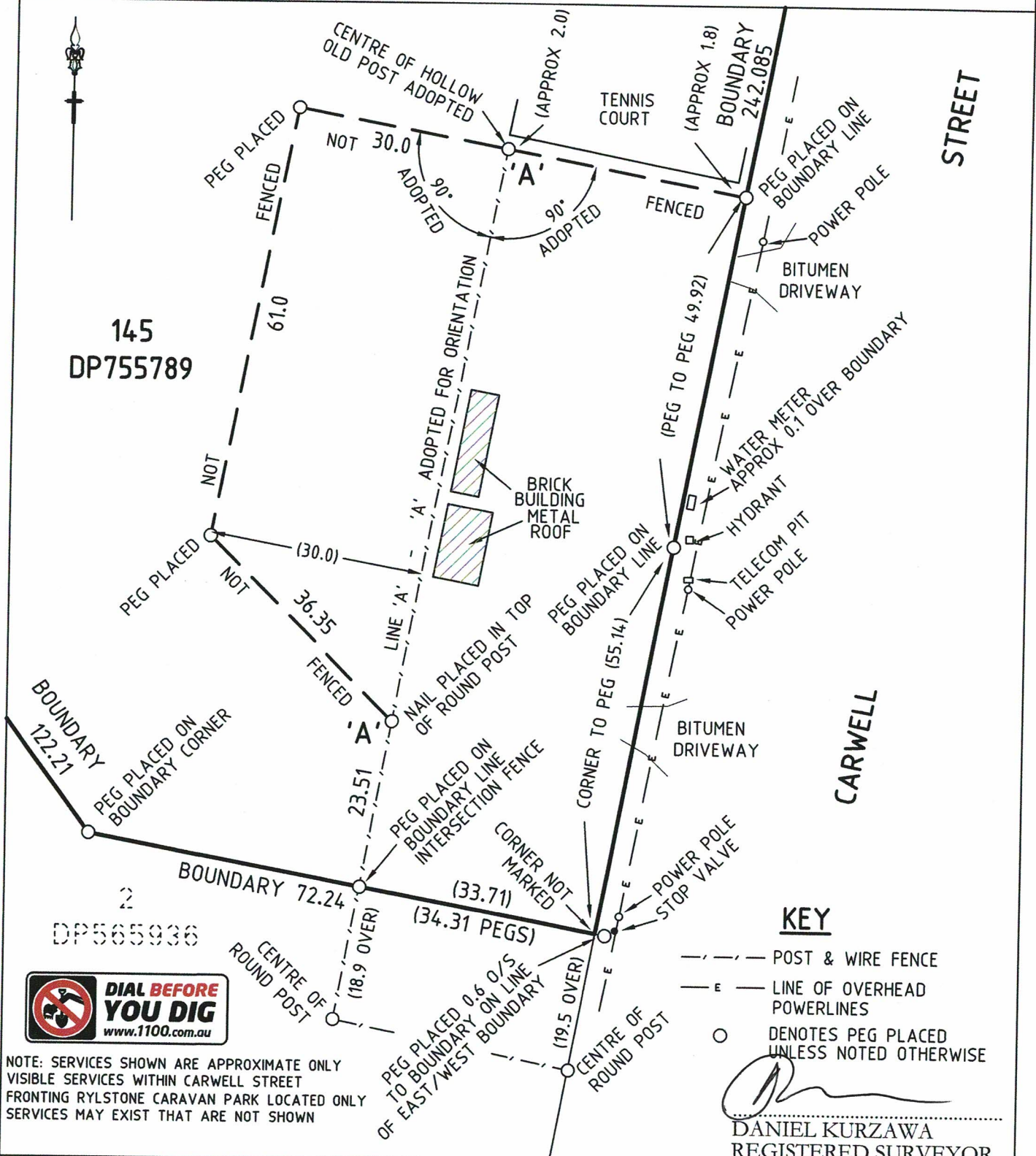


129 Church Street
 Mudgee NSW 2850
 TEL: (02) 9057 4101
 MOB: 0499 741 790

LEBGTHS ARE IN METRES. USE STATED DIMENSIONS. DO NOT SCALE.

DATE: 26/02/2021
 REF: 21-657
 SHT 1 OF 2

**SUPERVISOR & SUBCONTRACTORS TO CHECK ALL SET OUT DIMENSIONS AGAINST FINAL APPROVED PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
ANY DISCREPANCIES REVEALED IN SET OUT DIMENSIONS TO BE REPORTED IMMEDIATELY TO SURVEYORS PRIOR TO WORK PROCEEDING.**



NOTE: SERVICES SHOWN ARE APPROXIMATE ONLY
VISIBLE SERVICES WITHIN CARWELL STREET
FRONTING RYLSTONE CARAVAN PARK LOCATED ONLY
SERVICES MAY EXIST THAT ARE NOT SHOWN

[Signature]
DANIEL KURZAWA
REGISTERED SURVEYOR

SKETCH SHOWING MARKS PLACED TO ASSIST IN SETOUT OF CARAVAN PARK EXTENSIONS AND PARTIAL IDENT OF SERVICES LOT 145 DP755789

CLIENT : MID-WESTERN REGIONAL COUNCIL
PROJECT LOCATION: CARWELL STREET
RYLSTONE

129 Church Street
Mudgee NSW 2850
TEL: (02) 9057 4101
MOB: 0499 741 790

LENGTHS ARE IN METRES. USE STATED DIMENSIONS. DO NOT SCALE

DATE: 26/02/2021 REF: 21-657 SHT 2 OF 2