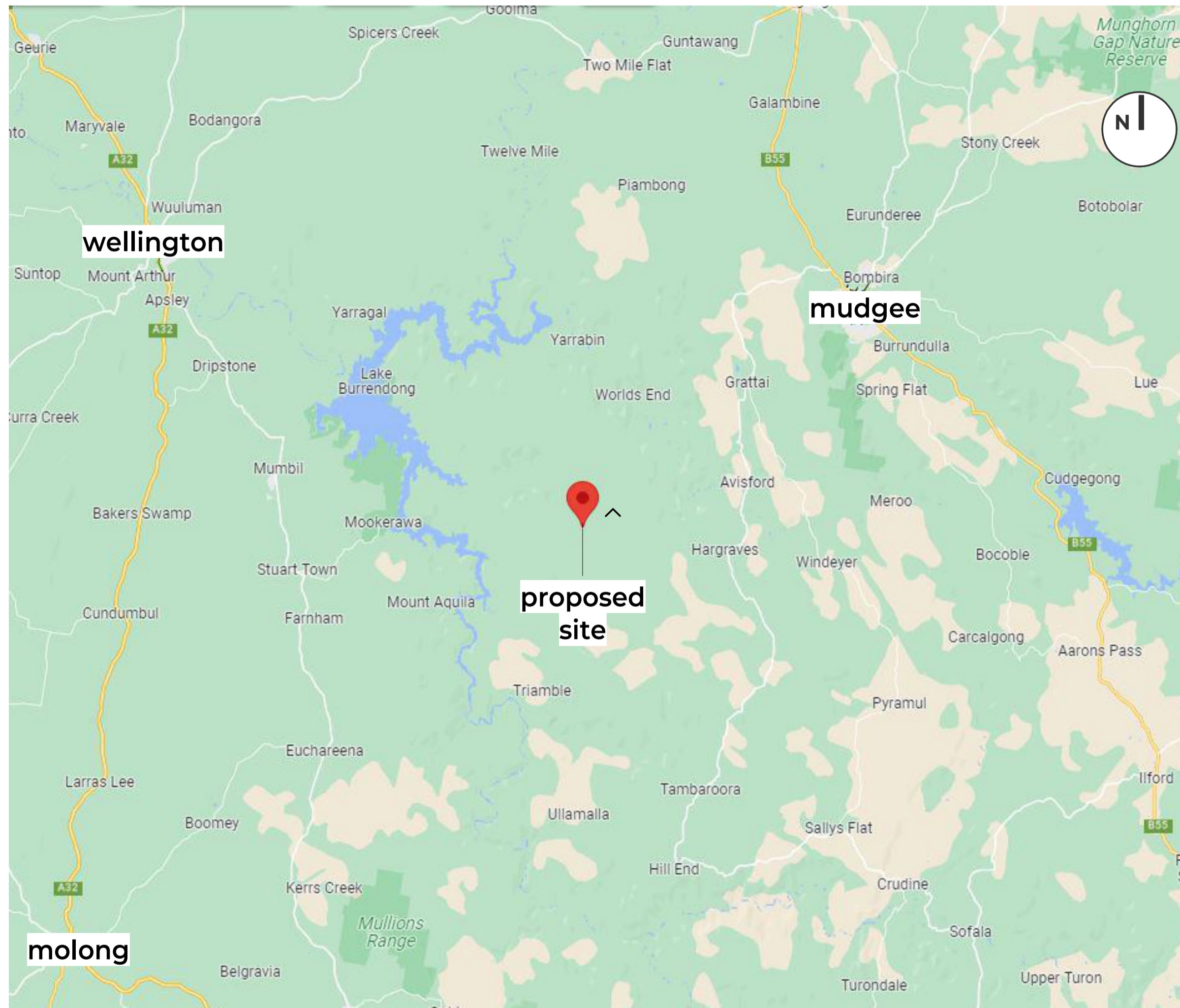


LOCALITY PLAN.



**772 BLACK WILLOW ROAD,
HARGRAVES NSW 2850**

lots 23&27 , dp756887

DRAWING SCHEDULE.

A 00	COVER SHEET	REV E	DATED 11.08.2023
A 01	SAFE DESIGN OF STRUCTURES + BASIX	REV E	DATED 11.08.2023
A 02	OVERALL SITE PLAN	REV E	DATED 11.08.2023
A 03	PART SITE PLAN	REV E	DATED 11.08.2023
A 04	FLOOR PLAN	REV E	DATED 11.08.2023
A 05	ELEVATIONS	REV E	DATED 11.08.2023
A 06	SECTION	REV E	DATED 11.08.2023

PROJECT DESCRIPTION.

For the purpose of the Building Code of Australia, Vol. 1, 2022, the development may be described as follows:

- classification - NCC 'part A6'**
The building has been classified as a 'Class 3' building - boarding house, lodging house
- rise in stories - NCC 'part C2D3'**
The building has a rise in stories of one.
- effective height - NCC 'schedule 1 definitions'**
The building has an effective height of zero, ie less than 25.0m.
- type of construction required - NCC 'part A6, part C2D2 - table C2D2'**
not applicable
- climate zone - NCC 'schedule 1 definitions'**
The building is located within climate zone 6

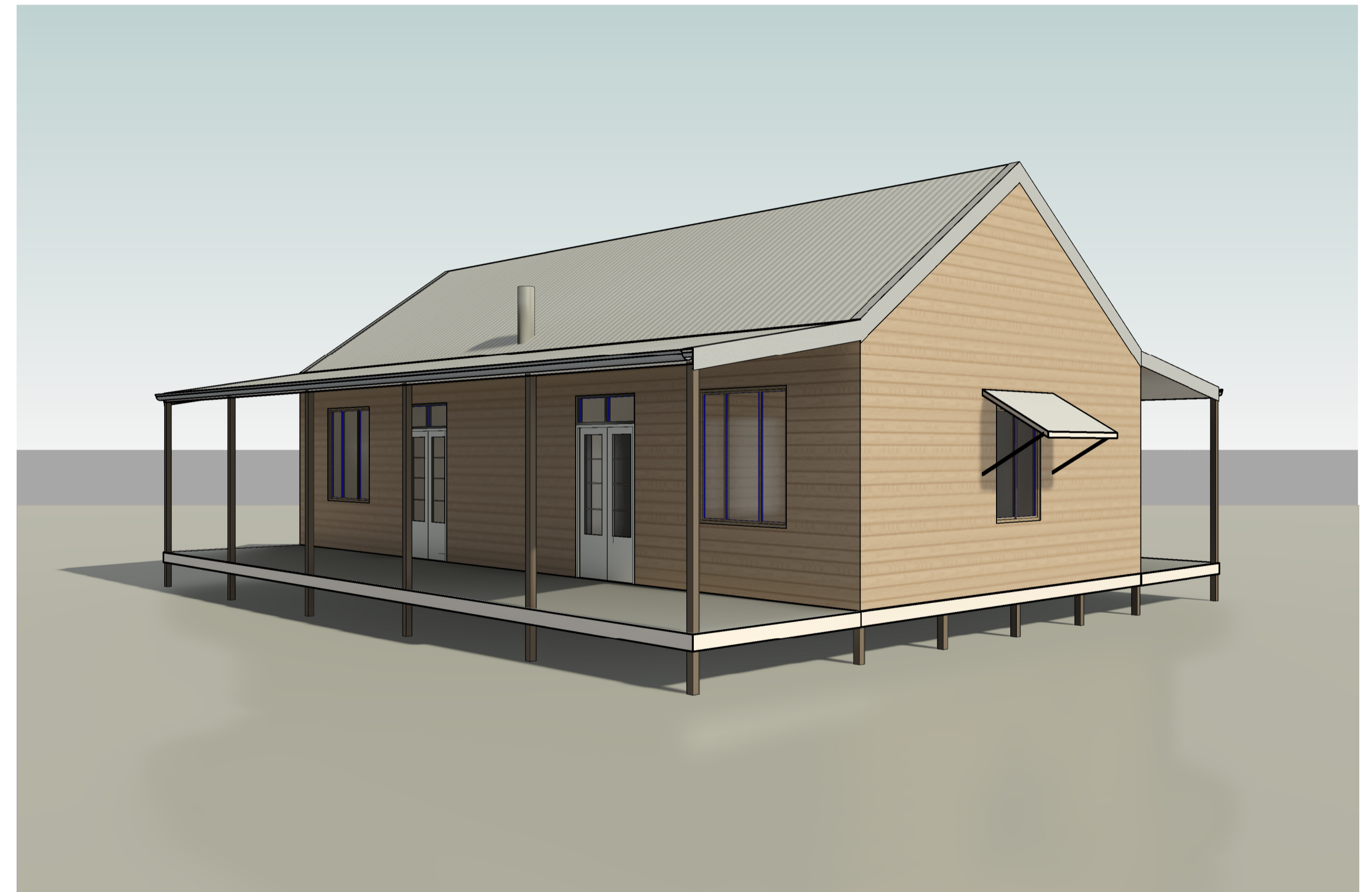
GENERAL NOTES.

In addition to the National Construction Code series, Building Code of Australia Vol. 1, 2022, the Plumbing Code of Australia, 2022 & the building regulations applicable to the state of New South Wales, the following applicable Australian Standards & codes of practice are to be adhered to through the documentation & construction works;

- AS1668 – Mechanical ventilation & air conditioning in Buildings
- AS3000 – Electrical installations; buildings, structures & premises (known as the saa wiring rules)
- AS1428.1 – General requirements for access – buildings
- AS2890.6 – Off-street parking; mandatory requirements
- AS1680.0 – Interior lighting - safe movement

These drawings shall be read in conjunction with all architectural & other consultants drawings & specifications & with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to 'Barnson Pty Ltd' for a decision before proceeding with the work.

All dimensions are in millimetres unless stated otherwise & levels are expressed in metres. Figured dimensions are to be taken in preference to scaled dimensions unless otherwise stated. All dimensions are nominal, and those relevant to setting out & off-site work shall be verified by the contractor before construction & fabrication.



PROPOSED TOURIST ACCOMMODATION

772 BLACK WILLOW ROAD, HARGRAVES NSW 2850



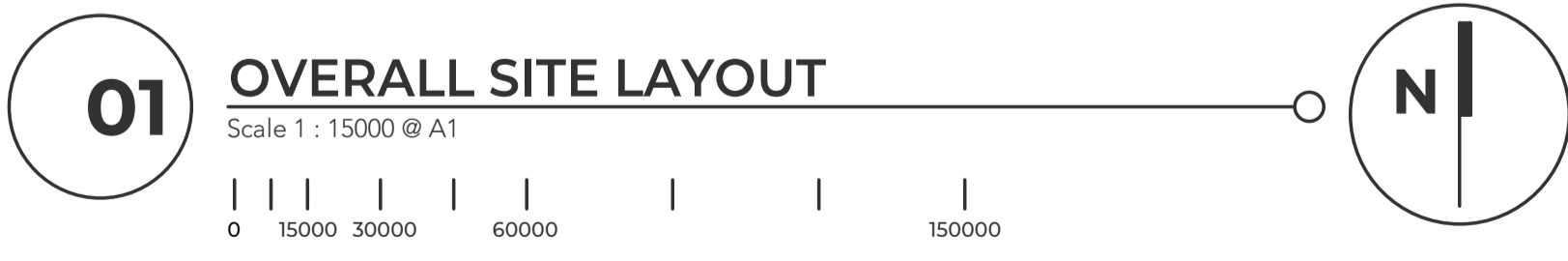
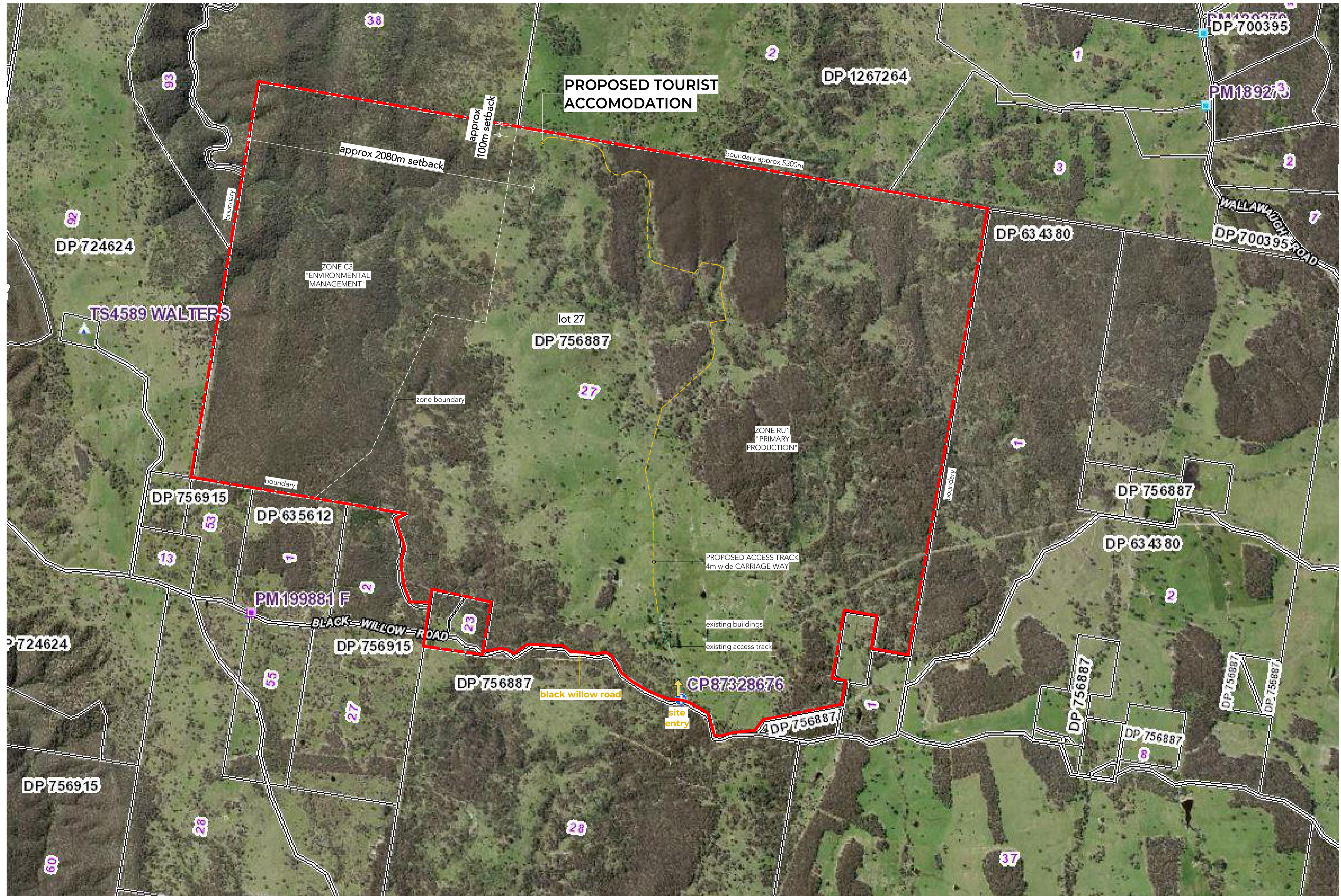
Project:
PROPOSED TOURIST ACCOMMODATION
Site Address:
772 BLACK WILLOW ROAD, HARGRAVES NSW 2850
Client:
MR NATHAN COATES

Drawing Title:
COVER SHEET
Scale: **As indicated @ A1**
Sheet: **01 of 07**
Project No. **41616**

Drawn: **LO**
Checked: **KG**
Revision: **E**

Drawing No.

**41616-
A00**



ISSUE FOR DA

Rev.	Date	Amendment
A	30.05.2023	PRELIMINARY ISSUE TO CONSULTANTS
B	21.06.2023	REVISED FLOOR PLAN
C	26.06.2023	REVISE WINDOWS, FINISHES AND SETBACK
D	01.08.2023	REVISE SETBACK
E	11.08.2023	ADD RAINWATER TANK AND SEPTIC INFORMATION. ADD BASIX CERTIFICATE INFO

Project:
PROPOSED TOURIST ACCOMMODATION
Site Address:
772 BLACK WILLOW ROAD, HARGRAVES NSW 2850
Client:
MR NATHAN COATES

Drawing Title:
OVERALL SITE PLAN
Scale: **As indicated @ A1**
Sheet: **03 of 07**
Project No: **41616**

LO
CR
E

Drawing No.
41616-A02



SITE NOTES.

GENERAL

This plan is prepared by aerial image only for the purpose of designing new constructions on the land & should not be used for any other purpose. The title boundaries as shown hereon were not marked at the time of survey & have been determined by plan dimensions only & not by field survey.

Services shown hereon have been located where possible by field survey. If not able to be so located services have been plotted from the records of relevant authorities where available & have been noted accordingly on this plan. Where such records either do not exist or are inadequate a notation has been made hereon.

Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services & detailed locations of all services, including:

- notify a.G.L.
- obtain telstra's "duty of care" document regarding working in the vicinity of telstra plant.
- verify co-axial/optic fibre cable location

Subsequent registered or other surveys in this area may affect the boundary definition shown on this plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of Barnson Pty Ltd who can accept no responsibility for such differences.

All work to be undertaken in accordance with the details shown on the drawings, the specifications & the directions of the superintendent. Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Where new works abut existing the contractor shall ensure that a smooth even profile free from abrupt changes is obtained.

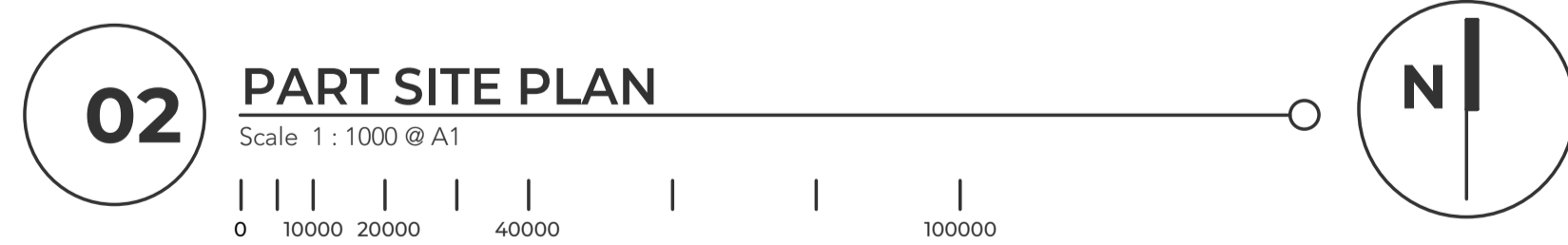
The contractor shall arrange all survey setout to be carried out by a registered surveyor.

DRAINAGE

Stormwater shall be prevented from entering doorways & other openings in buildings. Where these are lower than adjacent ground surfaces, grated drains shall be designed & placed across ramps or entrances to intercept any flow, which would otherwise drain into the building in accordance with AS/NZS 3500.3, P5.3.1.4 - Stormwater drainage

Site drainage is to be constructed according to AS/NZS 3500.3 - Stormwater drainage.

The contractor shall provide all temporary diversion drains & mounds to ensure that at all time exposed surfaces are free draining & where necessary excavate sumps & provide pumping equipment to drain exposed areas.



BARNSON PTY LTD

address: Suite 8, 11 White Street
Tamworth NSW 2340
phone: 1300 BARNSON (1300 227 676)
email: generalenquiry@barnson.com.au
web: barnson.com.au

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH GENERAL BUILDING DRAWINGS, SPECIFICATIONS & OTHER CONSULTANTS DRAWINGS APPLICABLE TO THIS PROJECT. ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE. DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK. REPORT DISCREPANCIES TO BARNSON PTY LTD. NO PART OF THIS DRAWING MAY BE REPRODUCED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF BARNSON PTY LTD.

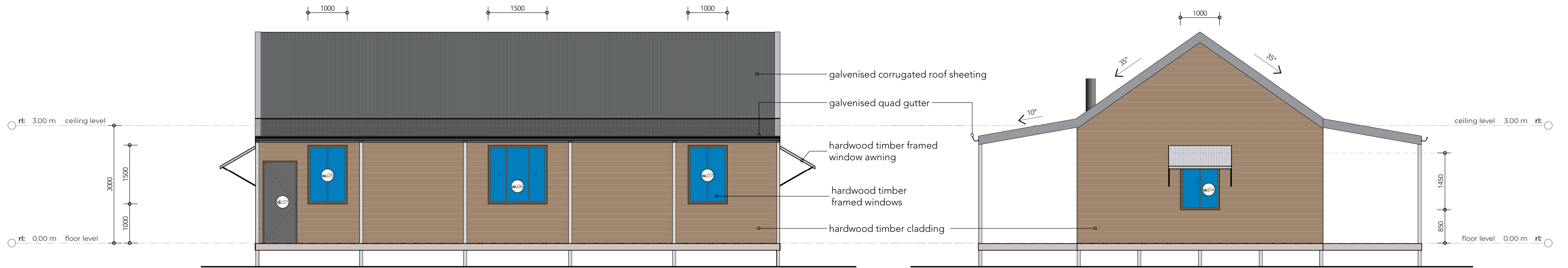
Rev.	Date	Amendment
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Project:
PROPOSED TOURIST ACCOMMODATION
Site Address:
772 BLACK WILLOW ROAD, HARGRAVES NSW 2850
Client:
MR NATHAN COATES

Drawing Title:		Drawing No.	
PART SITE PLAN		41616-	
Scale:	As indicated @ A1	Drawn:	LO
Sheet:	04 of 07	Checked:	CR
Project No.	41616	Revision:	E

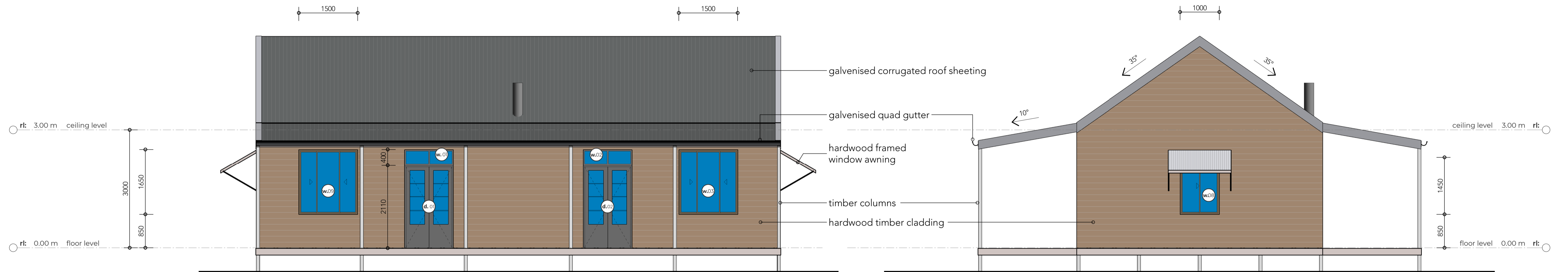
ISSUE FOR DA

**41616-
A03**



04 NORTH EAST FACADE
Scale 1 : 50 @ A1

05 SOUTH EAST FACADE
Scale 1 : 50 @ A1



06 SOUTH WEST FACADE
Scale 1 : 50 @ A1

07 NORTH WEST FACADE
Scale 1 : 50 @ A1

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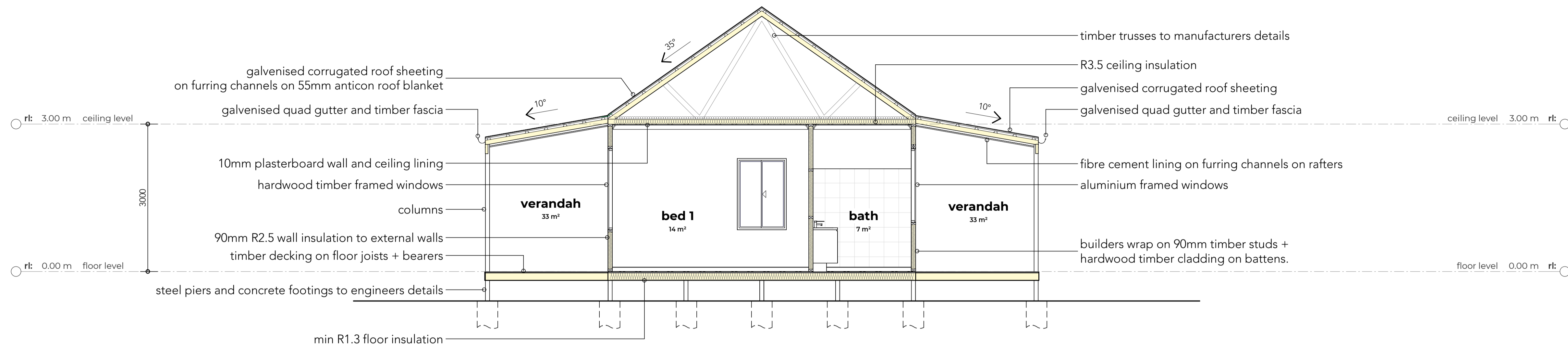
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Project: **PROPOSED TOURIST ACCOMMODATION**
Site Address: **772 BLACK WILLOW ROAD, HARGRAVES NSW 2850**
Client: **MR NATHAN COATES**

Drawing Title:		Drawing No.	
ELEVATIONS		41616-A05	
Scale:	1 : 50 @ A1	Drawn:	LO
Sheet:	06 of 07	Checked:	CR
Project No.	41616	Revised:	E

ISSUE FOR DA



08 SECTION. A-A
 Scale 1 : 50 @ A1

ISSUE FOR DA