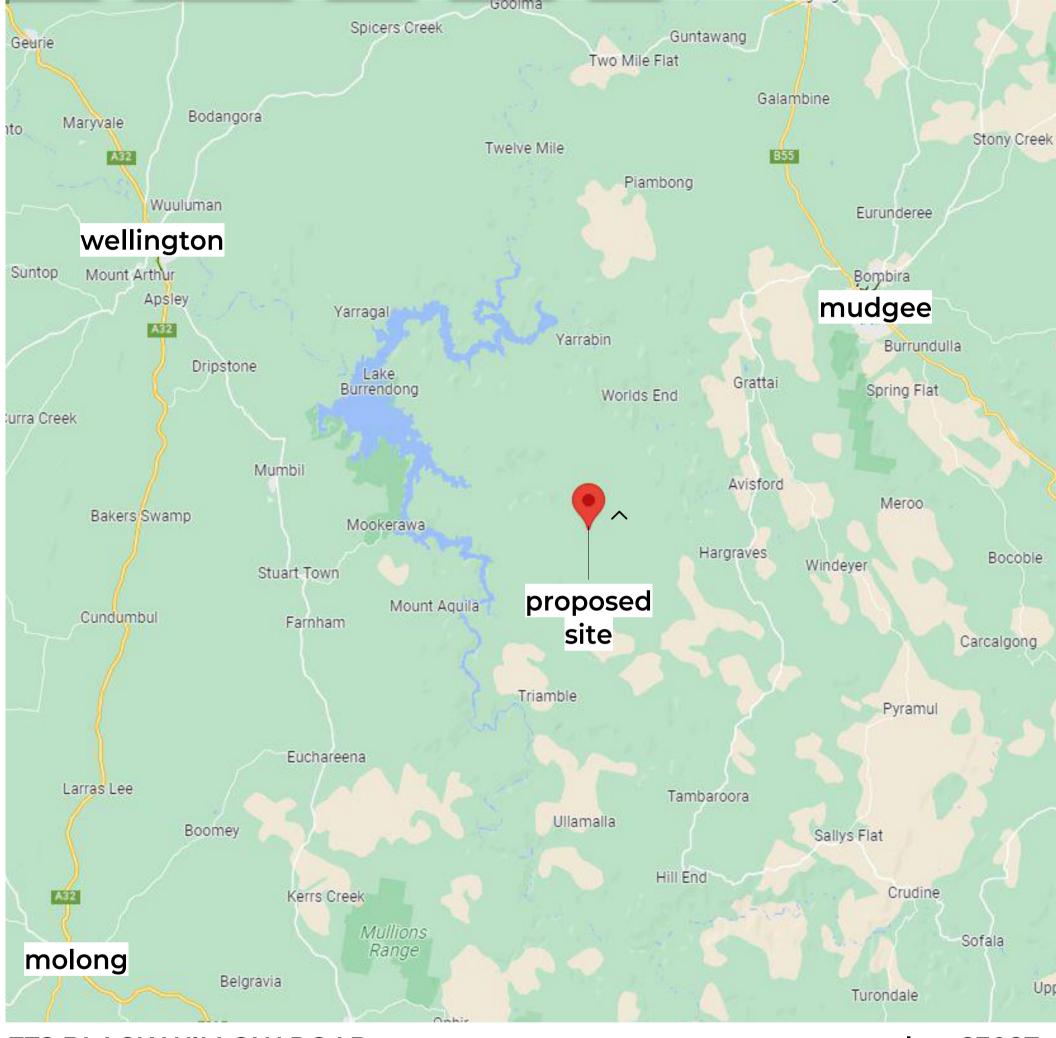
LOCALITY PLAN.



772 BLACK WILLOW ROAD, **HARGRAVES NSW 2850**

lots 23&27, dp756887

N

Botobolar

Cudgegong

B55

Aarons Pass

Upper Turon

PROPOSED TOURIST ACCOMODATION

772 BLACK WILLOW ROAD, HARGRAVES NSW 2850



A 00	COVER SHEET	REV E	DATED 11.08.2023
A 01	SAFE DESIGN OF STRUCTURES + BASIX	REV E	DATED 11.08.2023
A 02	OVERALL SITE PLAN	REV E	DATED 11.08.2023
A 03	PART SITE PLAN	REV E	DATED 11.08.2023
A 04	FLOOR PLAN	REV E	DATED 11.08.2023
A 05	ELEVATIONS	REV E	DATED 11.08.2023
A 06	SECTION	REV E	DATED 11.08.2023

PROJECT DESCRIPTION.

For the purpose of the Building Code of Australia, Vol. 1, 2022, the development may be described as follows:

classification - NCC 'part A6' The building has been classified as a 'Class 3' building - boarding house, lodging house

rise in stories - NCC 'part C2D3' The building has a rise in stories of one.

effective height - NCC 'schedule 1 definitions'

The building has an effective height of zero, ie less than 25.0m.

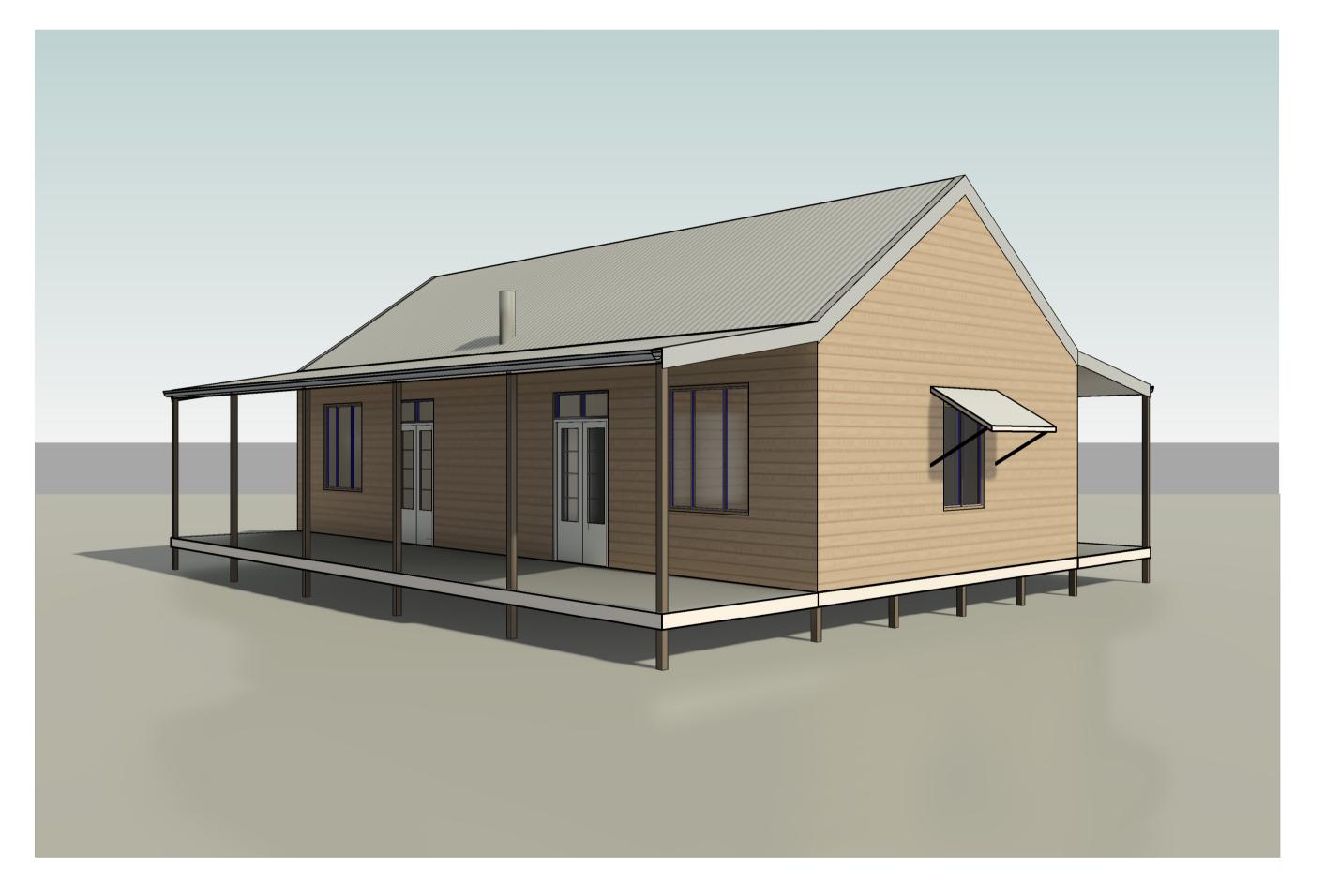
type of construction required - NCC 'part A6, part C2D2 - table C2D2' not applicable

climate zone - NCC 'schedule 1 definitions' The building is located within climate zone 6

In addition to the National Construction Code series, Building Code of Australia Vol. 1, 2022, the Plumbing Code of Australia, 2022 & the building regulations applicable to the state of New South Wales, the following applicable Australian Standards & codes of practice are to be adhered to through the documentation & construction works;

AS1668	_
AS3000	_
AS1428.1	_
AS2890.6	_
AS1680.0	_

These drawings shall be read in conjunction with all architectural & other consultants drawings & specifications & with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to 'Barnson Pty Ltd' for a decision before proceeding with the work.



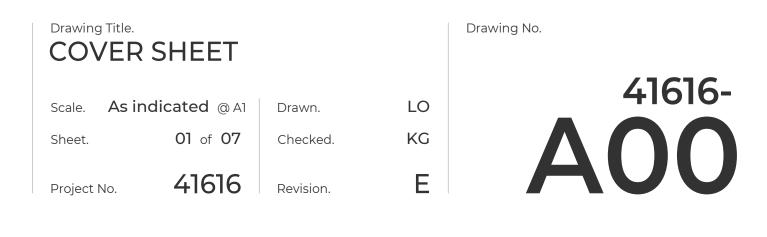




GENERAL NOTES.

- Mechanical ventilation & air conditioning in Buildings
 Electrical installations; buildings, structures & premises (known as the saa wiring rules)
- General requirements for access buildings
- Off-street parking; mandatory requirements
- Interior lighting safe movement

All dimensions are in millimetres unless stated otherwise & levels are expressed in metres. Figured dimensions are to be taken in preference to scaled dimensions unless otherwise stated. All dimensions are nominal, and those relevant to setting out & off-site work shall be verified by the contractor before construction & fabrication.



SAFE DESIGN OF STRUCTURES NOTES.

For the purpose of building, the following safety guidelines are set out henceforth in accordance with the work health & safety act 2011, work health & safety regulation 2011 & the safe design of structures code of practice 2012.

The guidelines contain work health & safety information & may include some of your obligations under the various legislation's that workcover nsw administers. To ensure you comply with your legal obligations you must refer to the appropriate legislation.

FALLS, SLIPS & TRIPS

working at heights

i. During construction Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible & injury is likely to result from such a fall. Temporary work platforms are to be erected & maintained by the principal contractor as required throughout construction wherever a person is required to work in a situation where falling more than two metres is a possibility. The erection of all platforms, hoardings, outriggers & scaffolding shall be constructed in accordance with the requirements of the relevant

ii. During operation or maintenance

authorities & the applicable Australian standards.

Where an anchorage & fall arrest system is to be installed, the anchorage & fall arrest system & all associated harnesses & accessories must be maintained throughout the lifecycle of the building & inspected on a regular basis at least once in every 6 months.

slippery or uneven surfaces i. Floor finishes specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors & paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

ii. Floor finishes by owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with as HB 197:1999 & AS/NZ 4586:2004.

- iii. Building owners & occupiers should monitor the pedestrian access ways & in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven & present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.
- iv. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips & falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways & work areas.
- v. Although during specification care has been taken to ensure the use of materials that are characteristically deemed as 'non-slip', the designer is unable to confirm nor certify the slip resistance of existing materials used throughout the existing building. It is recommended that slip resistance testing be undertaken on the existing materials in accordance with Australian standards to ensure compliance with Building Code of Australia.
- vi. Although the roof has been designed in accordance with the Building Code of Australia & all relevant standards, the client is to be aware that the roof materials has potential fragility & slip resistance issues that may arise throughout construction & the lifecycle of the building when work is undertaken on the roof, especially during inclement weather.

FALLING OBJECTS

loose materials or small objects

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

- i. Prevent or restrict access to areas below where the work is being carried out.
- ii. Provide toeboards to scaffolding or work platforms.
- iii. Provide protective structure below the work area.
- iv. Ensure that all persons below the work area have personal protective equipment (ppe).

building components

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels & many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials & components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured & that access to areas below the load is prevented or restricted.

FIRE & EMERGENCIES

It is the responsibility of the client to ensure all personnel & visiting clientele are aware of all fire safety procedures, with emergency routes & exits displayed throughout the building & maintained throughout the lifecycle of the building. No combustible material & rubbish will be left on site as to cause a fire hazard.

TRAFFIC MANAGEMENT

for building on a major road, narrow road or steeply sloping road

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, no combustible material & rubbish will be left on site as to cause a fire hazard. Management personnel should be responsible for the supervision of these areas.

for building where on-site loading/unloading is restricted

Construction of this building will require loading & unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas & trained traffic management personnel should be used to supervise loading/unloading areas.

for all buildings

Busy construction & demolition sites present a risk of collision where deliveries & other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

SERVICES

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location & extent of services may vary from that indicated. Services should be located using an appropriate service (such as dial before you dig), appropriate excavation practice should be used &, where necessary, specialist contractors should be used.

location with underground power

Underground power lines may be located in or around this site, all underground power lines must be disconnected or carefully located & adequate warning signs used prior to any construction, maintenance or demolition commencing.

locations with overhead powerlines

Overhead powerlines may be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant & persons working above ground level. Where there is a danger of this occurring, powerlines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

STRUCTURAL SAFETY

All protection works to any adjoining building (as required) will be in place before demolition works.

Demolition & removal of the building shall be undertaken in a careful & proper manner & with a minimum disturbance to the adjoining buildings & to the public & the occupants.

All practicable precautions shall be taken to avoid danger from collapse of a building when any part of a framed member is removed.

No new or existing wall or other structure shall be left free standing & unattended without temporary bracing or supports in such a condition that it may collapse due to wind or vibration.



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address. Suite 8, 11 White Street Tamworth NSW 2340 1300 BARNSON (1300 227 676) phone. generalenquiry@barnson.com.au email. web. barnson.com.au THIS DRAWING IS TO BE READ IN CONJUNCTION WITH GENERAL BUILDING DRAWINGS, SPECIFICATIONS & OTHER

It is the responsibility of the principal contractor to establish the location & the level of all existing services prior to the commencement of any work. Any discrepancies shall be reported to the superintendent. Clearances shall be obtained from the relevant service authority.

excavation

asbestos

treated timber The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation & wear personal protective equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released do not burn treated timber.

volatile organic compounds Many types of glue, solvents, spray packs, paints, varnishes & some cleaning materials & disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used & for a period after installation. Personal protective equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

synthetic mineral fibre Fiberglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal protective equipment including protection against nhalation of harmful material should be used when installing, removing or working near bulk insulati

timber floors This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding & application & for a period after installation. Protective equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

Throughout the construction period storage & use of hazardous materials for the associated build is to be the responsibility of the principal contractor. Although during specification care has been taken to ensure the use of non hazardous materials the possibilities of exposure still exist & as such all precautions should be made during use in accordance with manufacturers specifications.

PUBLIC ACCESS Public access to construction & demolition sites & to areas under maintenance causes risk to workers & public. Warning signs & secure barriers to unauthorised access should be provided. Where electrical installations, excavations, paint or loose materials are present they should be secured when not fully supervised.

Throughout construction & the lifecycle of the building safe access & egress, including for those with a disability is to be maintained throughout the building & site. The existing front entrance to the building is deemed to be the accessible route in & out of the building, & as such should be maintained clear & free of construction materials during the construction phase.

Traffic management during the construction & lifecycle of the building is to be the responsibility of the client.

Exclusion zones are to be set in place by essential energy during construction, & as such movement within these areas are to be prohibited except by written permission of the client.

Site security during construction is to be shared by the principal contractor & client. Security fencing shall be provided around the perimeter of the construction site & any additional precautionary measures taken, as may be necessary to prevent unauthorised entry to the site at all times during the construction period.

TO BE CHECKED ON SITE REFORE COMMENCEMENT OF WORK REPORT DISCREPANCIES TO BARNSON PTV I TO NO PART

All electrical work should be carried out in accordance with code of practice: managing electrical risks at the workplace, as/nz 3012 & all licensing requirements.

All work using plant should be carried out in accordance with code of practice: managing risks of plant at the workplace. All work should be carried out in accordance with code of practice: managing noise & preventing hearing loss at work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction & concrete placement. All the above applies.

These notes do not represent a comprehensive statement of the law as it applies to particular problems or to individuals or as a substitute for legal advice. You should seek independent legal advice if you need assistance on the application of the law to your situation.

EARTHWORKS

To enable the placement of new stormwater services, trench excavations will occur on site. It is to be the responsibility of the principal contractor to ensure that all safety risks associated with trench excavation are identified, addressed & adhered to throughout construction.

MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building & maintenance components should clearly show the total mass of packages & where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance & demolition of this building will require the use of portable tools & equipment. These should be specifications & not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked & personal protective equipment should be used in accordance with manufacturer's specification.

CONFINED SPACES

Construction of this building & some maintenance on the building will require excavation & installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs & barriers to prevent accidental or unauthorised access to all excavations should be provided.

enclosed spaces

For buildings with enclosed spaces where maintenance or other access may be required. Enclosed spaces within this building may present a risk to persons entering for construction, maintenance, or any other purpose. The design documentation calls for warning signs & barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment & personal protective equipment should be provided.

small spaces

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs & barriers to unauthorised access. These should be maintained throughout the life of the building, where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting & other manual activity should be restricted in small spaces.

HAZARDOUS SUBSTANCES

Although during specification care has been taken to ensure the use of non hazardous materials the possibilities of exposure still exist & as such all precautions should be made during use in accordance with manufacturers specifications.

If this existing building was constructed prior to: 1990 - it therefore is likely to contain asbestos.

1986 - it therefore may contain asbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check &, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

powdered materials

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation & wear personal protective equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

MOVEMENT OF PEOPLE & MATERIALS

OTHER HIGH RISK ACTIVITY

Information on the latest laws can be checked by visiting the nsw legislation website (www.legislation.nsw.gov.au).

Rev.	Date.
A	30.05.20
В	21.06.202
С	26.06.20
E	11.08.202
	A B C

Amendment.

- D23 PRELIMINARY ISSUE TO CONSULTANTS 23 REVISED FLOOR PLAN
- D23 REVISE WINDOWS, FINISHES AND SETBACK
- ADD RAINWATER TANK AND SEPTIC INFORMATION. ADD BASIX CERTIFICATE INFO

Proiect **PROPOSED TOURIST** ACCOMODATION

Site Address. 772 BLACK WILLOW ROAD, HARGRAVES NSW 2850

Client. MR NATHAN COATES

BASIX CERTIFICATE COMMITMENTS.

certificate number: 1412628S

water commitments he applicant must comply with the commitments listed below in carrying out the development of the dwelling. The applicant must install showerheads with a min. rating of 3 star (>7.5 but <=9L/min plus spray force and/or coverage tests), in all fixtures: showers in the development. The applicant must install toilet flushing systems with a min. rating of 3 star in each toilet in the development. The applicant must install taps with a min. rating of 3 star in the kitchen in the development. The applicant must install basin taps with a min. rating of 3 star in each bathroom in the development. The applicant must install a rainwater tank of 10,000 litres min. to regulatory requirements. alternate water source: The applicant must configure the rainwater tank to collect runoff from: at least 150 square metres of roof area of the development (excluding the area of the roof which drains to any rainwater tank The applicant must connect the rainwater tank to: all toilets | the cold water tap that supplies each clothes washer in the development at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply | all hot water systems | all indoor cold water taps thermal commitments the applicant must comply with the commitments listed below in carryinh out the developement of the dwelling The dwelling must not have more than 2 storeys. general features: The conditioned floor area of the dwelling must not exceed 300 square metres. The dwelling must not contain open mezzanine area exceeding 25 square metres The dwelling must not contain third level habitable attic room. The applicant must construct the floor(s), walls and ceiling/roof of the dwelling in accordance with the specifications listed in the table floor, walls and ceiling/roof construction floor - suspended floor above open subfloor, fra external wall: framed (weatherboard, fibre ceme ceiling glazing requirements the applicant must comply with the commitments listed below in carrying out the developement of the dwelling windows & glazed doors: The applicant must install the windows, glazed doors & shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window & glazed door. The dwelling may have 1 skylight (<0.7 square metres) The following requirements must also be satisfied in relation to each window & glazed door: For the following glass and frame types, the certifier check can be performed by visual inspection. Maximum Туре Shading Device (Dimension within 10%) Maximum height (mm) width (mm) 1500 1000 aluminium, single, clear verandah 2600 mm, 2500 mm above base of window or glazed door 1500 1500 verandah 2600 mm, 2500 mm above base of window or glazed door aluminium, single, clear 1500 verandah 2600 mm, 2500 mm above base of window or glazed door 1000 aluminium, single, clear awning fixed 900 mm, 1100 mm above head of window or glazed door 1450 1000 aluminium, single, clear 1450 1000 aluminium, single, clear awning fixed 900 mm, 1100 mm above head of window or glazed door verandah 2600 mm, 2500 mm above base of window or glazed door 400 1250 aluminium, single, clear 400 1250 verandah 2600 mm, 2500 mm above base of window or glazed door aluminium, single, clear 1500 verandah 2600 mm, 2500 mm above base of window or glazed door 1650 aluminium, single, clear

- Aluminium single clear - Aluminium double (air) clear - Timber/uPVC/fibreglass single clear - Timber/uPVC/fibreglass double (air) clear windows & glazed doors glazing requirements: Window no. North East facing w05 w06 w07 South East facing w04 North West facing w08 South West facing w02 w03 1650 1500 verandah 2600 mm, 2500 mm above base of window or glazed door w09 aluminium, single, clear 2040 600 aluminium, single, clear verandah 2600 mm, 2500 mm above base of window or glazed door verandah 2600 mm, 2500 mm above base of window or glazed door 2040 600 aluminium, single, clear energy commintments the applicant must comply with the commitments listed below in carryinh out the developement of the dwelling

hot water:		The applicant must ins instantaneous with a p
cooling system:		The applicant must ins
	•	The applicant must ins
heating system:		The applicant must ins The bedrooms must no
ventilation:		at least 1 bathroom: kitchen: laundry:
artificial lighting:		The applicant must en each of the following r accepting fluorescent
		- at least 3 of th - at least 1 of th - the kitchen - all bathrooms - the laundry - all hallways
other:		The applicant must co

	add. insulation req'd (r-value)	other specifications
amed	R1.3 or R2.0 including construction	
ent, metal clad)	2.20 (or 2.60 including construction)	
	ceiling: 3.45 (up), roof: foil backed blanket (55mm)	framed; light (solar absorptance < 0.475)

stall the following hot water system in the development, or a system with a higher energy rating: gas

performance of 4 stars

stall the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans

stall the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans;

stall the following heating system, or a system with a higher energy rating, in at least 1 living area: wood heater not incorporate any heating system, or any ducting which is designed to accommodate a heating system

individual fan, ducted to facade or roof; Operation control: manual switch on / off individual fan, ducted to facade or roof; Operation control: manual switch on / off

individual fan, ducted to facade or roof; Operation control: manual switch on / off

nsure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of or light emitting diode (LED) lamps:

the bedrooms / study; dedicated

f the living / dining rooms; dedicated

ns / toilets

onstruct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.

The applicant must install a gas cooktop and gas oven in the kitchen



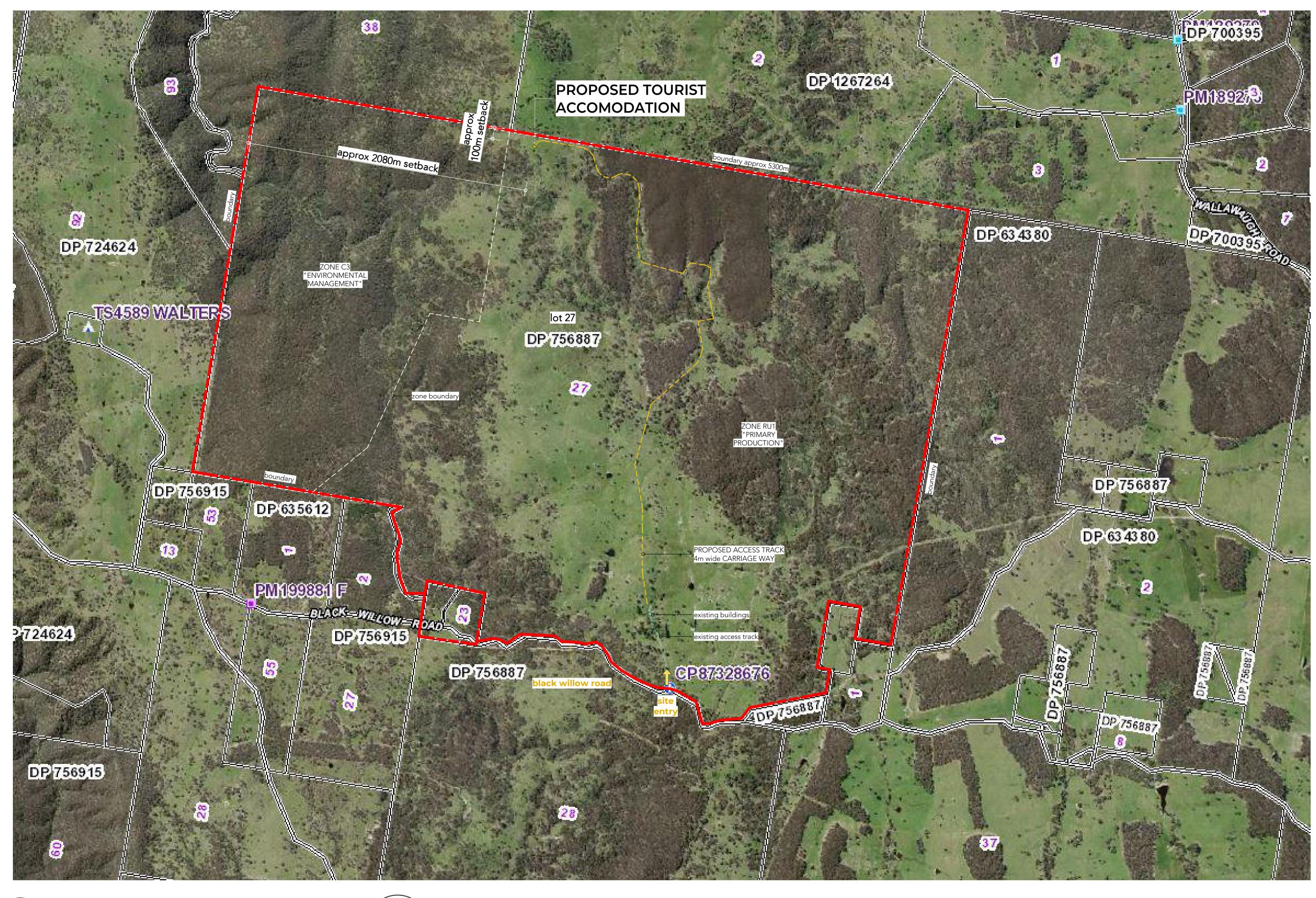


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Rev.	Dat
А	30.05.
В	21.06.
С	26.06.
D	01.08.
Е	11.08.2

ate. Amendment. 5.2023 PRELIMINARY ISSUE TO CONSULTANTS

6.2023 REVISED FLOOR PLAN

6.2023 REVISE WINDOWS, FINISHES AND SETBACK 8.2023 REVISE SETBACK

ADD RAINWATER TANK AND SEPTIC INFORMATION. ADD BASIX CERTIFICATE INFO

Project. **PROPOSED TOURIST** ACCOMODATION Site Address. 772 BLACK WILLOW ROAD, HARGRAVES NSW 2850

Client. MR NATHAN COATES



Scale. As indicated @ A1 Drawn. Sheet.

03 of 07 Checked.

41616 Revision.

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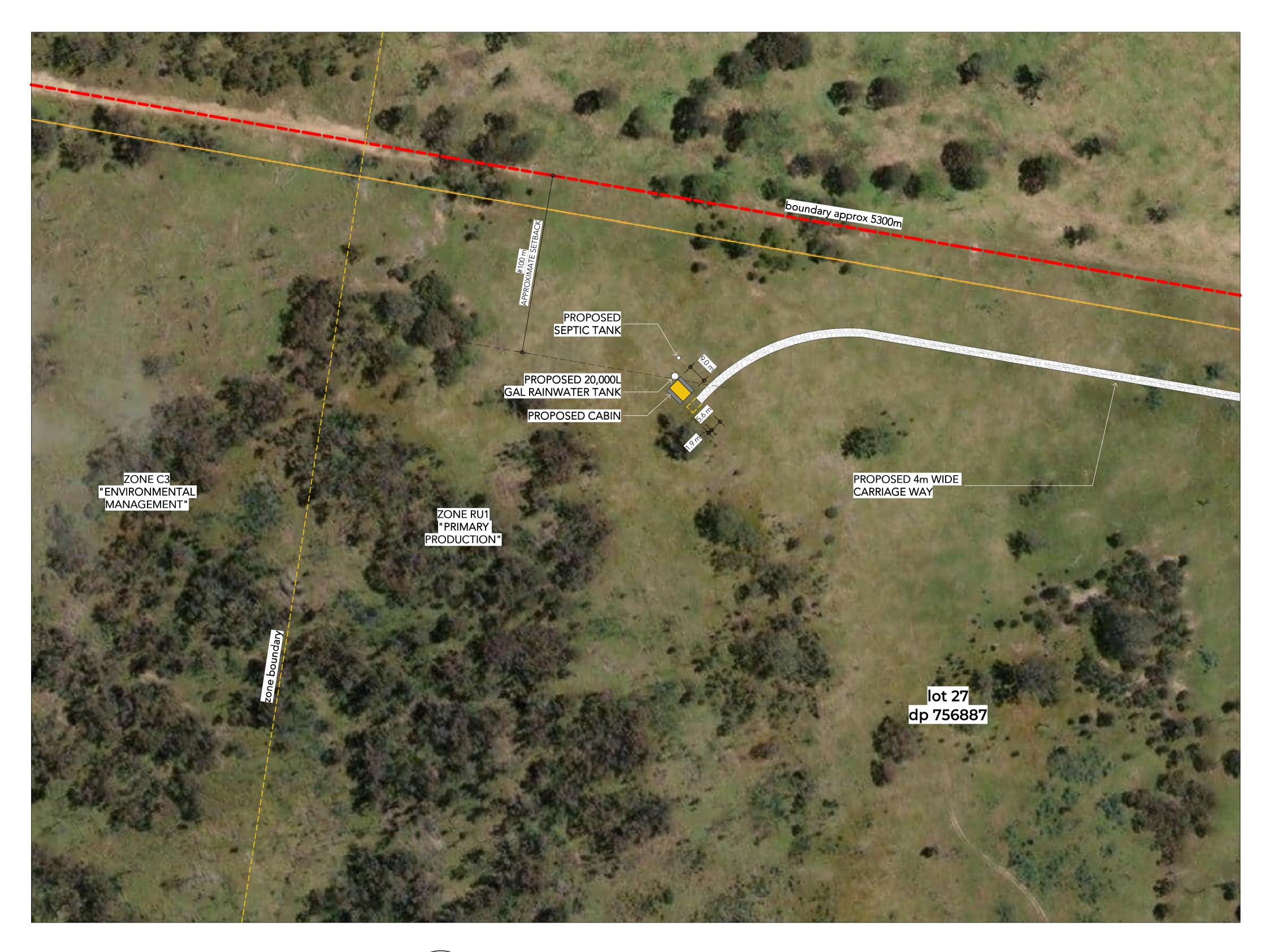
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ISSUE FOR DA







PART SITE PLAN Scale 1:1000@A1 **0** 10000 20000 40000

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Rev.	Date
А	30.05.2
В	21.06.2
С	26.06.2
Е	11.08.2

ate. Amendment. 2023 PRELIMINARY ISSUE TO CONSULTANTS

.2023 REVISED FLOOR PLAN

2023 REVISE WINDOWS, FINISHES AND SETBACK

2023 ADD RAINWATER TANK AND SEPTIC INFORMATION. ADD BASIX CERTIFICATE INFO

Project. **PROPOSED TOURIST** ACCOMODATION Site Address. 772 BLACK WILLOW ROAD, HARGRAVES NSW 2850

Client. MR NATHAN COATES

SITE NOTES.

GENERAL

This plan is prepared by aerial image only for the purpose of designing new constructions on the land & should not be used for any other purpose. The title boundaries as shown hereon were not marked at the time of survey & have been determined by plan dimensions only & not by field survey.

Services shown hereon have been located where possible by field survey. If not able to be so located services have been plotted from the records of relevant authorities where available & have been noted accordingly on this plan. Where such records either do not exist or are inadequate a notation has been made hereon.

Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services & detailed locations of all services, including;

- notify a.G.L. - obtain telstra's "duty of care" document regarding working in the vicinity of telstra plant. - verify co-axial/optic fibre cable location

Subsequent registered or other surveys in this area may affect the boundary definition shown on this plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of Barnson Pty Ltd who can accept no responsibility for such differences.

All work to be undertaken in accordance with the details shown on the drawings, the specifications & the directions of the superintendent. Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Where new works abut existing the contractor shall ensure that a smooth even profile free from abrupt changes is obtained.

The contractor shall arrange all survey setout to be carried out by a registered surveyor.

DRAINAGE

Stormwater shall be prevented from entering doorways & other openings in buildings. Where these are lower than adjacent ground surfaces, grated drains shall be designed & placed across ramps or entrances to intercept any flow, which would otherwise drain into the building in accordance with AS/NZS 3500.3, P5.3.1.4 - Stormwater drainage

Site drainage is to be constructed according to AS/NZS 3500.3 - Stormwater drainage.

The contractor shall provide all temporary diversion drains & mounds to ensure that at all time exposed surfaces are free draining & where necessary excavate sumps & provide pumping equipment to drain exposed areas.



Scale. As indicated @ A1 Drawn. 04 of 07 Checked. Sheet

Project No

41616 Revision.

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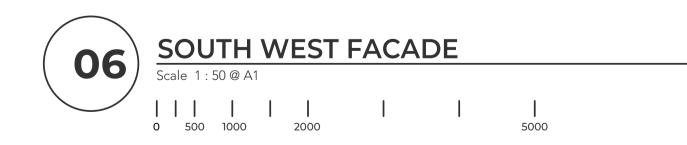
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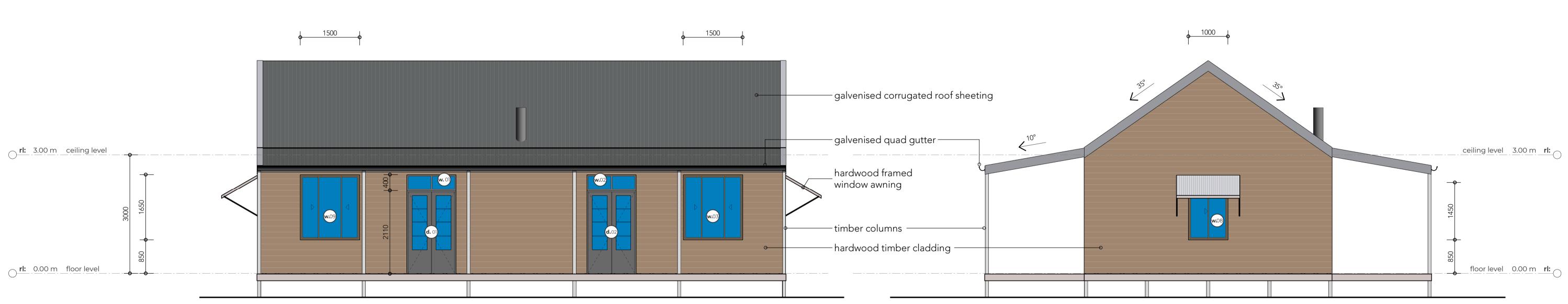
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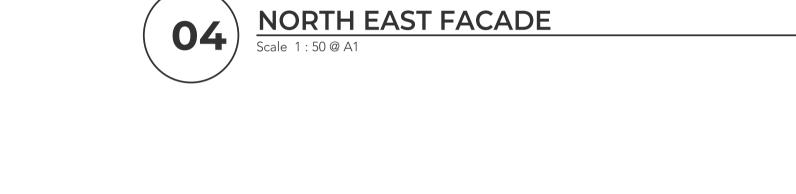


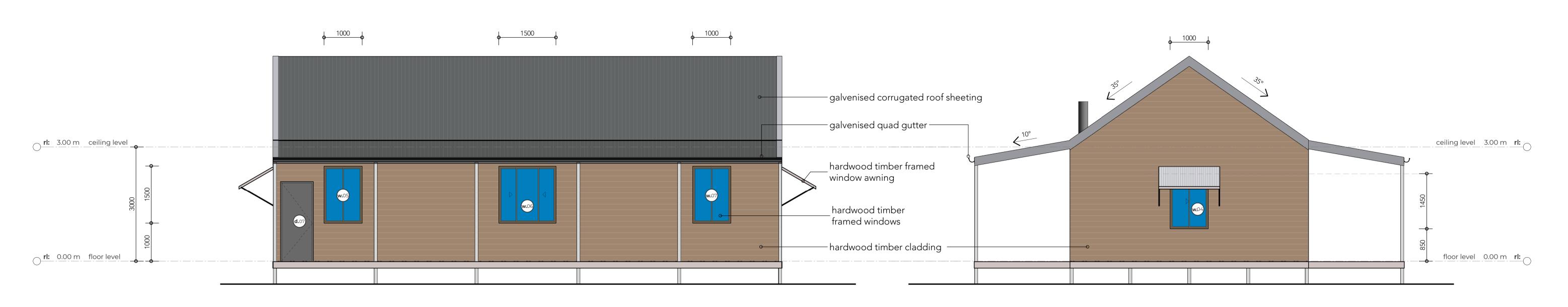
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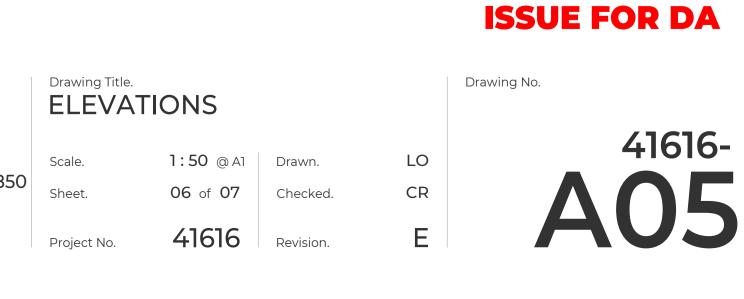


P	Amendment.	Date.	Rev.
- F	PRELIMINARY ISSUE TO CONSULTANTS	30.05.2023	А
	REVISED FLOOR PLAN	21.06.2023	В
F	REVISE WINDOWS, FINISHES AND SETBACK	26.06.2023	С
S	ADD RAINWATER TANK AND SEPTIC	11.08.2023	Е
7	INFORMATION. ADD BASIX CERTIFICATE INFO		

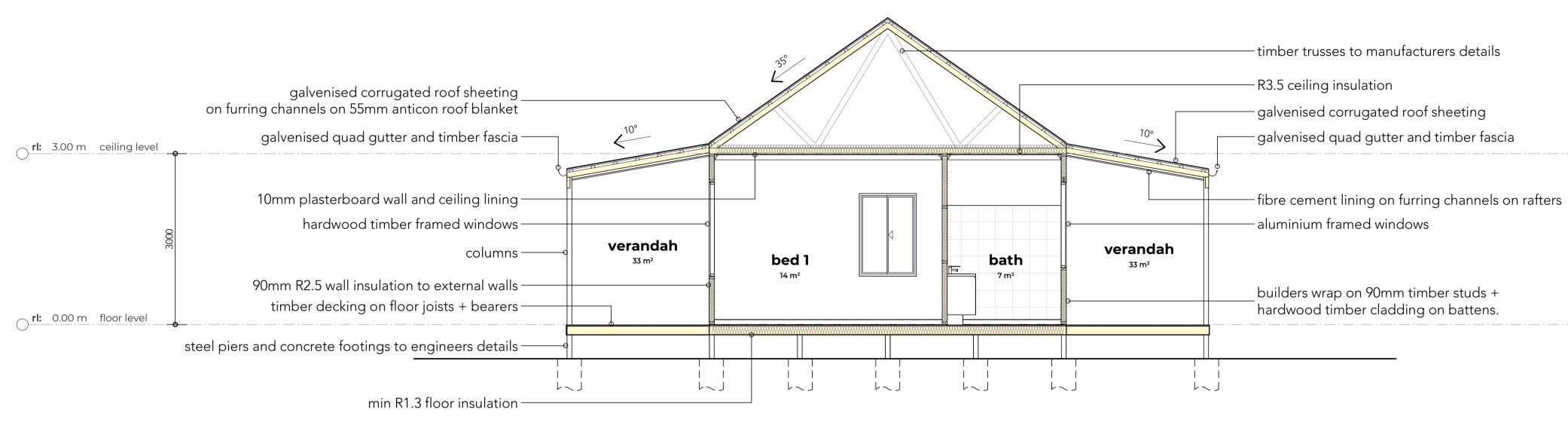
Project. **PROPOSED TOURIST** ACCOMODATION Site Address. 772 BLACK WILLOW ROAD, HARGRAVES NSW 2850

Client. MR NATHAN COATES

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address. Suite 8, 11 White Street Tamworth NSW 2340 1300 BARNSON (1300 227 676) phone. email. generalenquiry@barnson.com.au web. barnson.com.au THIS DRAWING IS TO BE READ IN CONJUNCTION WITH GENERAL BUILDING DRAWINGS, SPECIFICATIONS & OTHER CONSULTANTS DRAWINGS APPLICABLE TO THIS PROJECT. ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE. DIMENSIONS OF THIS DRAWING MAY BE REPRODUCED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF BARNSON PTY LTD.

Rev.	Date.	Amendment.	Project.
А	30.05.2023	PRELIMINARY ISSUE TO CONSULTANTS	PROPOSE
В	21.06.2023	REVISED FLOOR PLAN	
С	26.06.2023	REVISE WINDOWS, FINISHES AND SETBACK	ACCOMOD
Е	11.08.2023	ADD RAINWATER TANK AND SEPTIC	Site Address.

INFORMATION. ADD BASIX CERTIFICATE INFO

ED TOURIST DATION 772 BLACK WILLOW ROAD, HARGRAVES NSW 2850

Client. MR NATHAN COATES floor level 0.00 m rl:



Drawing Title. SECTION

Scale. Sheet.

Project No.

1:50 @ A1 Drawn. 07 of 07

41616

Checked.

Revision.

LO CR

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Drawing No.

