

PROPOSED ALTERATIONS & ADDITIONS

FOR

MATTHEW & RACHEL MURPHY
390 YARRAWONGA ROAD
YARRAWONGA NSW 2850



GENERAL NOTES:

Builder to confirm all dimensions before commencing any works.

If discrepancies occur on plans, designer is to be contacted.

All dimensions are in millimeters unless otherwise stated.

Use figured dimensions only. Do not scale from plans.

Site information is based on information supplied by the owner and must be verified by the supplier on acceptance of this plan.

All works shall comply with the National Construction Code (NCC) current Australian Standards, building regulations and statutory approvals. Notify this office of any discrepancies.

These plans should be read in conjunction with project specification and all consultant drawings including but not limited to Structural Engineer and Surveyor.

Soil Classification - refer to Engineers report and soil tests.

SPECIFICATIONS:

WIND CLASSIFICATION - BY ENGINEER

PLUMBING

All plumbing to AS 3500 and must be carried out by a licensed plumber in accordance with the Plumbing Code of Australia (PCA) to comply with the requirements of the Local Authority.

Gutters and Downpipes to be designed and installed in accordance with NCC/BCA Part 3.5.3.

ELECTRICAL

All electrical work shall be undertaken by a licensed electrician and in accordance with AS/NZS 3000

CONDENSATION MANAGEMENT

Install a pliable building membrane to comply with AS4200.1 & AS4200.2 with a vapour permeance of not less than 1.14ug/N.s in this climate. (Climate 6). Except for single skin masonry or concrete, where a pliable building membrane is not installed in an external wall, the primary water control layer must be separated from water sensitive materials by a drained cavity.

SPECIFICATIONS:

TERMITE PROTECTION

All buildings shall be protected against termite attack in accordance with AS3660.1 and NCC/BCA 3.1.4. Provide a durable notice in the meter box indicating type of barrier and required inspections.

SMOKE DETECTORS

Smoke detectors shall be installed as noted on the plans and in accordance with AS 3786 and NCC/BCA Vol. 2 Part 3.7.5. They must be hard wired to the electrical supply.

GLAZING

Provide glazing to AS 1288 and NCC/BCA Part 3.6

LIFT OFF HINGES (LOH)

Provide lift of hinges to the doors on sanitary compartments as labeled on the plans in accordance with NCC/BCA Vol 2 3.8.3.3

DRAUGHT SEALING

Provide a seal/draught excluder to the bottom edge of all external doors

SPECIFICATIONS: RURAL LAND

FIRE FIGHTING EQUIPMENT

A 65mm Storz outlet with a metal Gate or Ball Valve to be provided on the water storage tank.

Above ground tanks to be manufactured of concrete or metal. Tanks on hazard side of building are to be provided with adequate shielding for the protection of the fire fighters

Above ground water pipes external to the building are to be metal including and up to any taps

Pumps are to be shielded

Ensure 20,000L min. reserved for fire fighting purposes

BASIX NOTES:

HOT WATER

Heat pump 41-45 STC to be installed.

LIGHTING

The primary type of artificial lighting is dedicated fluorescent or LED in all bedrooms, living room, dining room, kitchen, study, all bathrooms, all toilets, laundry and all hallways.

A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

AAA RATING

All showerheads minimum rating of 3 star ($\leq 9L/min$)

Toilets to have a minimum rating of 3 Star ($\leq 4L/flush$)

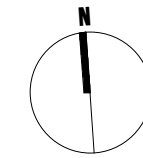
Kitchen taps to have a minimum rating of 3 star and Basin taps to have a minimum rating of 3 stars ($\leq 9L/min$)

GLAZING

All windows and glazed doors to be as per plans, double glazed as per BASIX certificate details.

GENERALLY

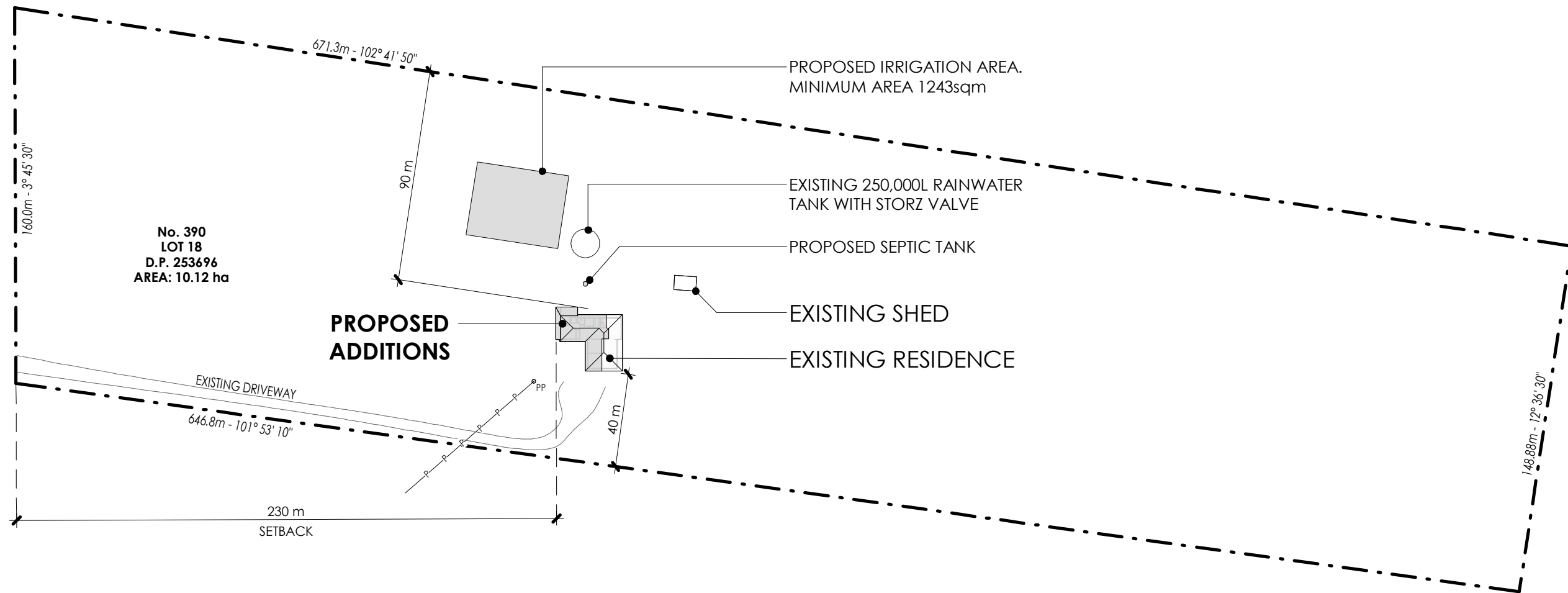
The information found in these notes are by no means the extent of information relating to compliance with BASIX commitments. These notes must be read in conjunction with the full set of plans and elevations and with the BASIX Certificate pertaining to this property.



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BAL-29 BUSHFIRE RATING
TO AS2950-2018 CONSTRUCTION OF BUSHFIRE PRONE AREAS

YARRAWONGA ROAD



1 SITE PLAN
SCALE 1 : 2000

Issue	Description	Date
C	DA ISSUE	27.07.23
B	FOR CLIENT APPROVAL	28.06.23
A	PRELIMINARY	04.06.23

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Mathew & Rachel Murphy

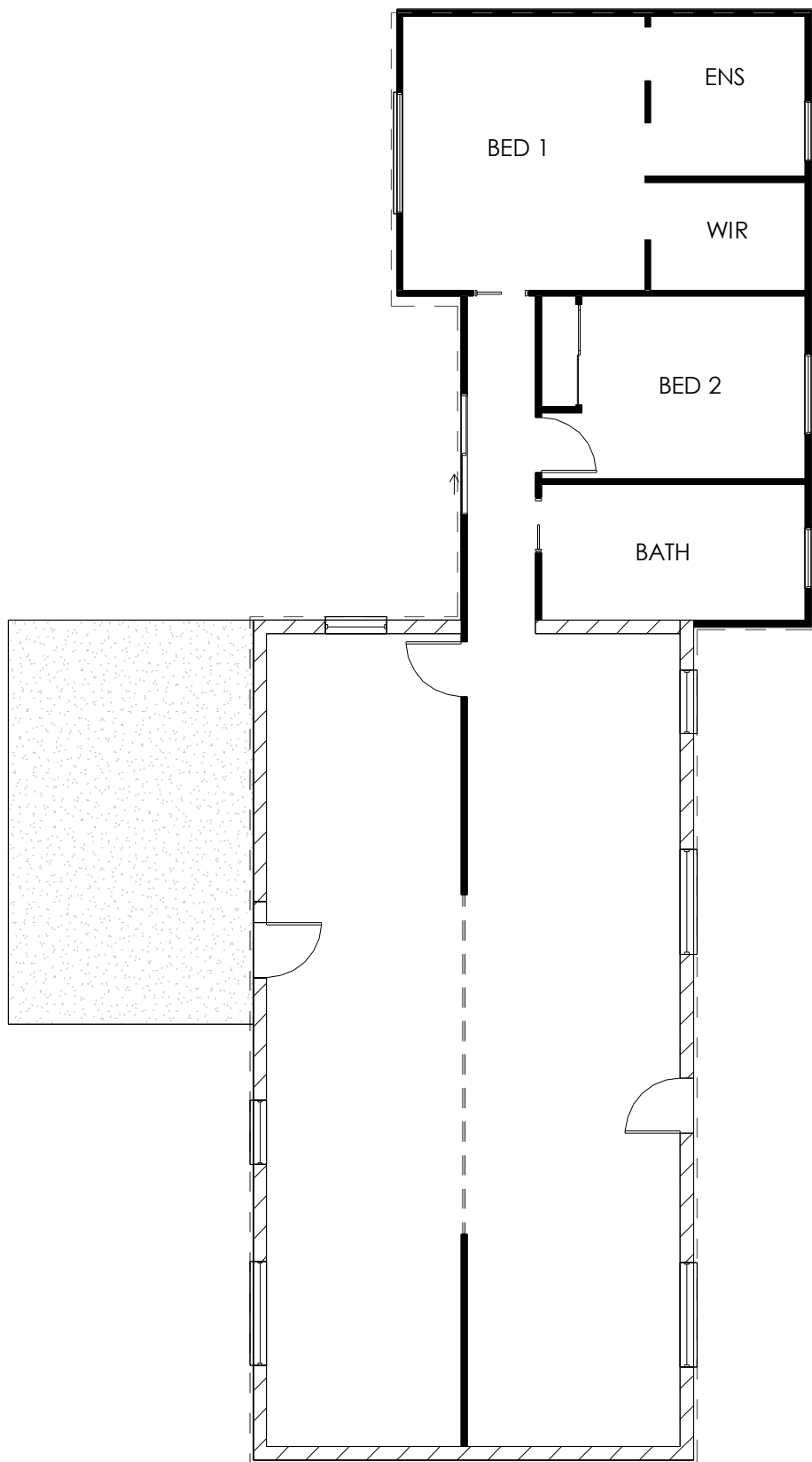
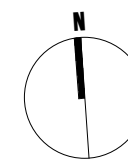
Project
390 Yarrowonga Road
Yarrowonga NSW 2850

Title
SITE PLAN

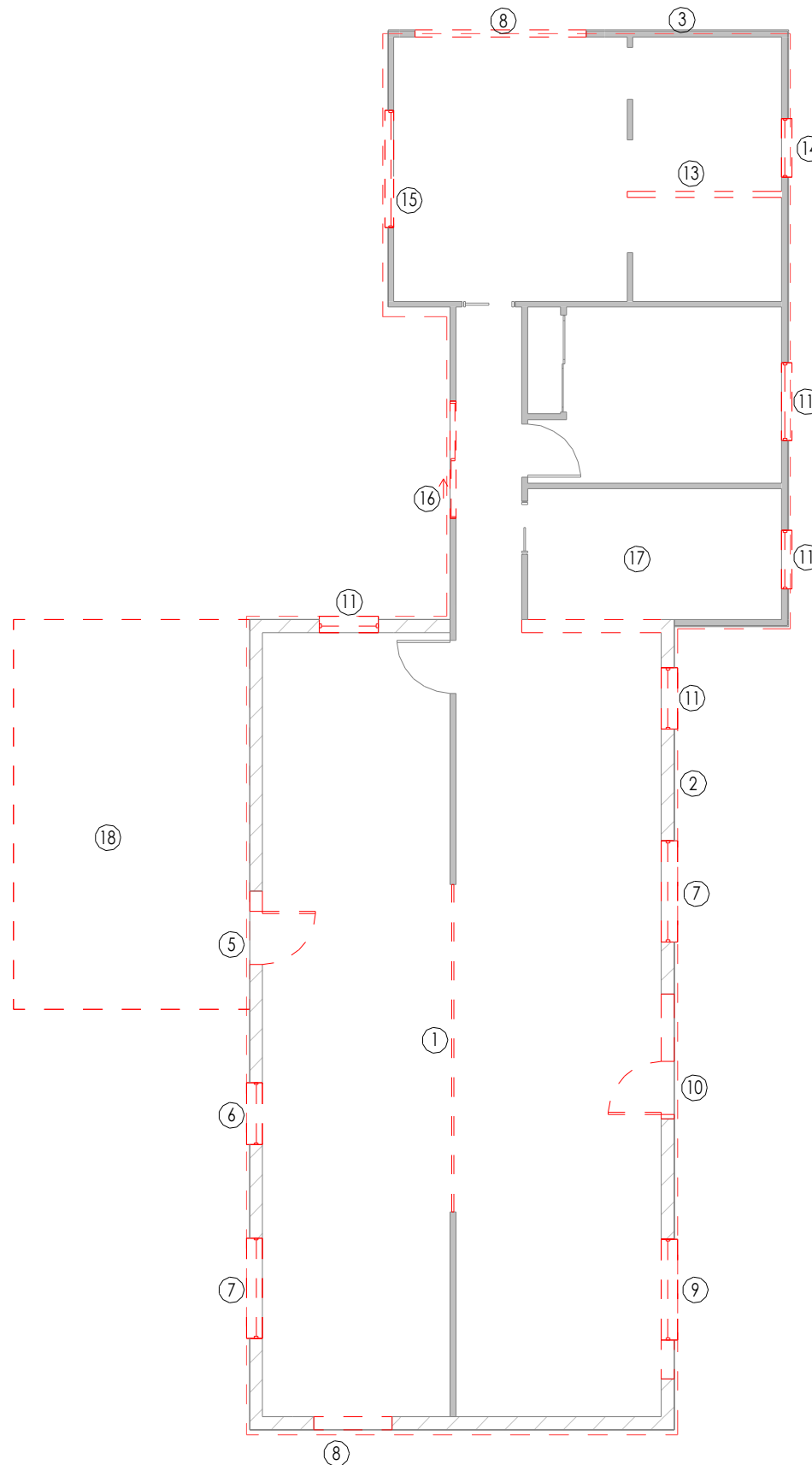
Scale at A3
1 : 2000

Date MAY 2023 **Drawn** RG/DW

Drawing No. 671MUR-01 **Issue** C



1 EXISTING FLOOR PLAN
SCALE 1 : 100



2 DEMOLITION FLOOR PLAN
SCALE 1 : 100

SCOPE OF WORKS

- ① REMOVE EXISTING BEAM AND RAFTERS TO MAKE WAY FOR NEW TIMBER TRUSS ROOF
- ② RAISE EXISTING BLOCK WALL TO APPROX. 2700mm TO MATCH EXISTING WESTERN WALL
- ③ RAISE EXISTING TIMBER FRAME WALL TO MATCH BLOCKWORK HEIGHT. REMOVE EXISTING CEILING JOIST AND RAFTER TO MAKE WAY FOR NEW TIMBER TRUSS ROOF
- ④ MATCH NEW WALL HEIGHT TO EXISTING RAISED LEVEL
- ⑤ REMOVE EXISTING DOOR AND PARTIAL WALL TO CREATE NEW OPENING
- ⑥ REMOVE EXISTING WINDOW AND CREATE NEW DOOR OPENING
- ⑦ BLOCK UP EXISTING WINDOW OPENING
- ⑧ CREATE NEW WINDOW OPENING TO SUIT NEW WINDOW. REFER TO SCHEDULE FOR SIZE
- ⑨ REMOVE EXISTING WINDOW AND CREATE DOOR OPENING TO SUIT SLIDING DOOR AS PER SCHEDULE
- ⑩ REMOVE DOOR AND CREATE LARGER OPENING FOR BI-FOLD WINDOW. REFER TO SCHEDULE FOR SIZE. BLOCK UP PARTIAL DOOR OPENING.
- ⑪ REMOVE EXISTING WINDOW AND BLOCK UP
- ⑫ SOLID HATCH DENOTES NEW STUD WALLS
- ⑬ DEMOLISHED WALLS AS SHOWN DOTTED. CONFIRM WITH ENGINEER PRIOR TO STRUCTURAL WALL REMOVAL
- ⑭ REMOVE EXISTING WINDOW AND FRAME UP
- ⑮ REMOVE EXISTING WINDOW AND CREATE OPENING FOR CSD. PARTIALLY FRAME UP.
- ⑯ REMOVE EXISTING SLIDING DOOR AND REPLACE WITH NEW SLIDING DOOR. REFER TO SCHEDULE FOR SIZE
- ⑰ REMOVE EXISTING LAUNDRY FIXTURES AND REPLACE WITH NEW FIXTURES AND LAYOUT. MAKE GOOD WALLS AND FLOOR NEW WALL LININGS
- ⑱ REMOVE EXISTING SLAB. INSTALL NEW SLAB TO MEDIA, GARAGE AND NEW AREAS

BAL-29 BUSHFIRE RATING
CONSTRUCTION OF
HFIRE PRONE AREAS

WALL TYPES - LEGEND	
	PROPOSED
	EXISTING
	DEMOLISHED
	EXISTING CONC. BLOCK

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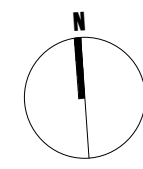
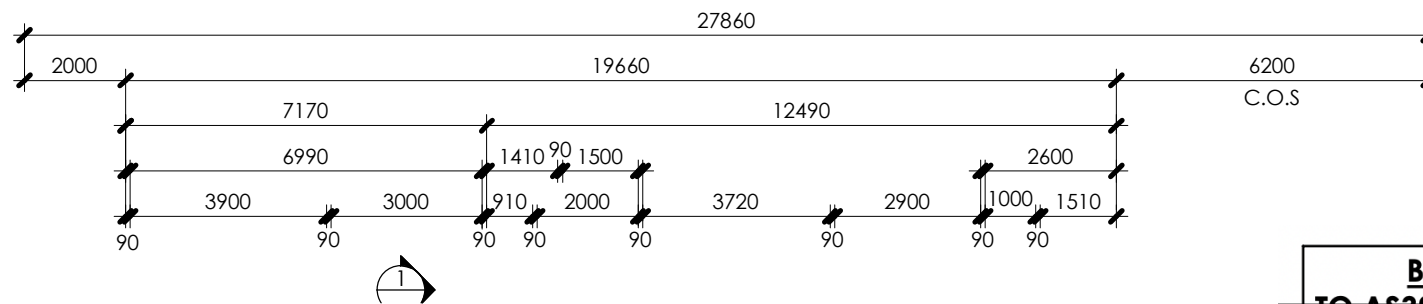
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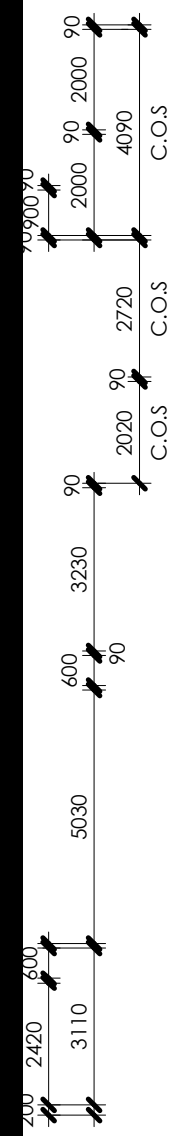
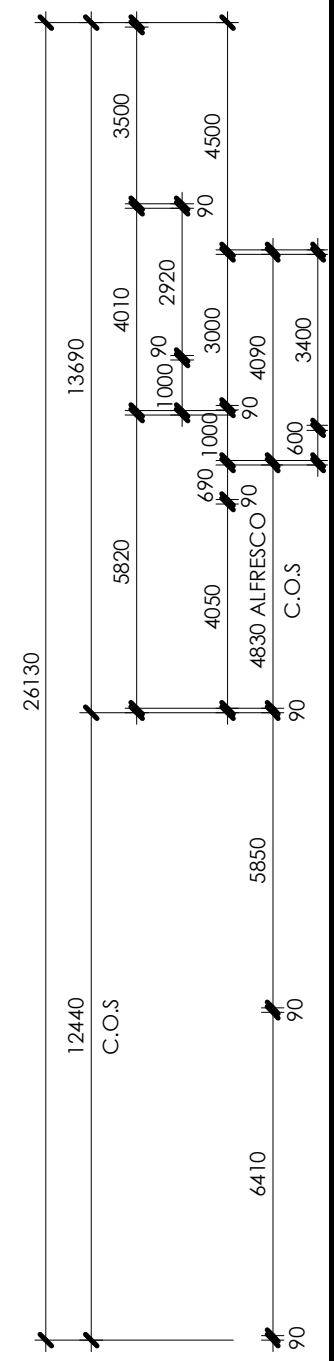
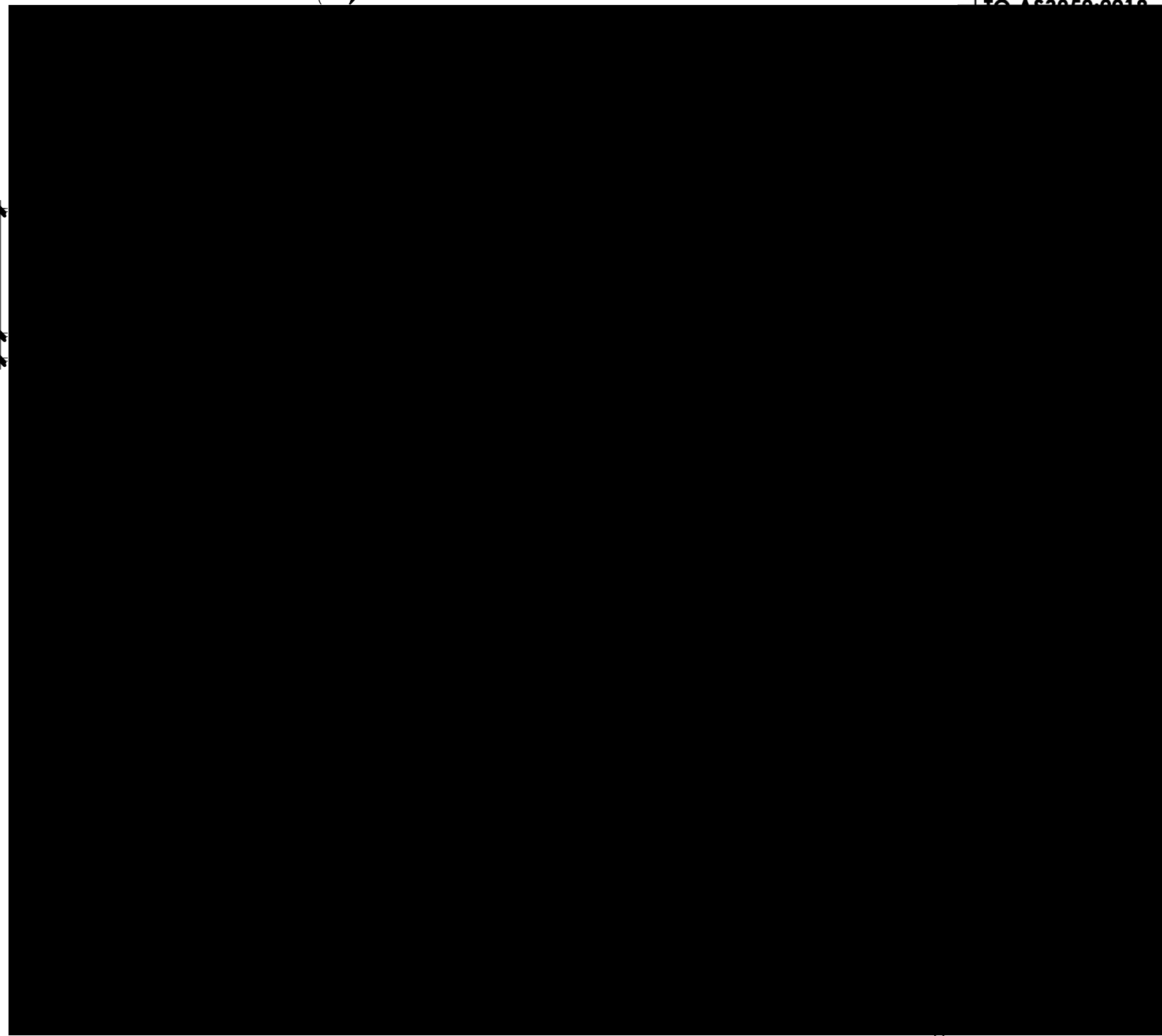
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Client	Mathew & Rachel Murphy	
Project	390 Yarrowonga Road Yarrowonga NSW 2850	
Title	EXISTING & DEMOLITION FLOOR PLANS	
Scale at A3	1 : 100	
Date	MAY 2023	Drawn RG/DW
Drawing No.	671MUR-02	Issue C



- Notes**
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BAL-29 BUSHFIRE RATING TO AS2999-2018 CONSTRUCTION OF FIRE PRONE AREAS



LEGEND

15-21	WINDOW DIMENSIONS - HEIGHT x WIDTH.
AAW	ALUMINIUM AWNING WINDOW
ADH	ALUMINIUM DOUBLE HUNG WINDOW
ASD	ALUMINIUM SLIDING DOOR
ASW	ALUMINIUM SLIDING WINDOW
BFD	BI-FOLDING DOOR
CLN	CLOTHES LINE
CONC	CONCRETE, TROWEL FINISH
C.O.S	CONFIRM ON SITE
CPT	CARPET
CSD	CAVITY SLIDING DOOR
CFT	CERAMIC FLOOR TILES
DP	DOWN PIPE
DR	DRYER SPACE
DW	DISHWASHER
F	FIXED GLASS WINDOW
FD	FRENCH DOOR
FP	FIREPLACE
F.TIM	FLOATING TIMBER FLOOR
FWG	FLOOR WASTE GULLY
HP	HOT PLATES
HWS	HOT WATER SYSTEM
J	JOINERY
LOH	LIFT OFF HINGES
LT	LAUNDRY TUB
LV	LOUVRE WINDOW
MB	METER BOX
MOD	MODWOOD DECKING
MSSD	MULTI STACK SLIDING DOOR
MW	MICROWAVE
OBS	OBSCURE GLASS
OV	OVEN
PC	POLISHED CONCRETE
PL	VINYL PLANK FLOORING
PLD	PANEL-LIFT GARAGE DOOR
RD	ROLLER DOOR
REF	REFRIGERATOR
RW	RETAINING WALL
SD	SMOKE DETECTOR
SK	SINK
SL	SIDE-LITE
TD	TIMBER DECKING
TF	POLISHED TIMBER FLOOR
WM	WASHING MACHINE SPACE

C	DA ISSUE	27.07.23
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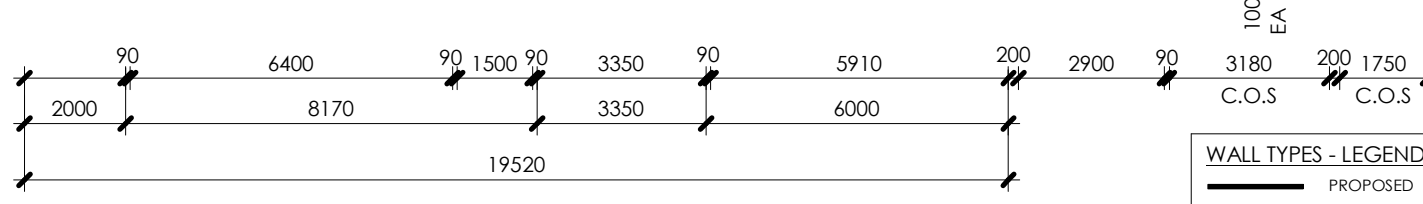
Project: 390 Yarrowonga Road Yarrowonga NSW 2850

Title: FLOOR PLAN

Scale at A3: As indicated

Date: MAY 2023 Drawn: RG/DW

Drawing No.: 671MUR-03 Issue: C



WALL TYPES - LEGEND

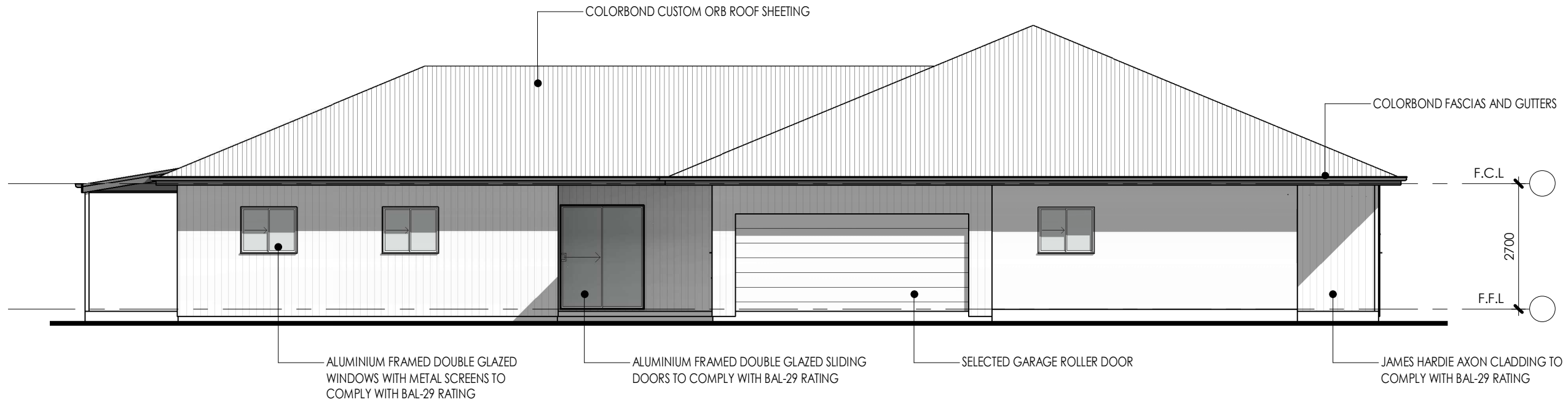
	PROPOSED
	EXISTING
	DEMOLISHED
	EXISTING CONC. BLOCK

AREA ANALYSIS

	SQ M
Proposed Living	166.5 m ²
Existing Dwelling	133.9 m ²
Proposed Alfresco	59.2 m ²
Proposed Garage 1	39.5 m ²
Proposed Verandah 1	29.0 m ²
Proposed Garage 2	24.1 m ²
Proposed Verandah 2	21.8 m ²
TOTAL	474.0 m²

1 FLOOR PLAN
SCALE 1 : 150

**BAL-29 BUSHFIRE RATING
TO AS3959:2018 - CONSTRUCTION OF
BUILDINGS IN BUSHFIRE PRONE AREAS**



1 SOUTH ELEVATION
SCALE 1 : 100



2 WEST ELEVATION
SCALE 1 : 100

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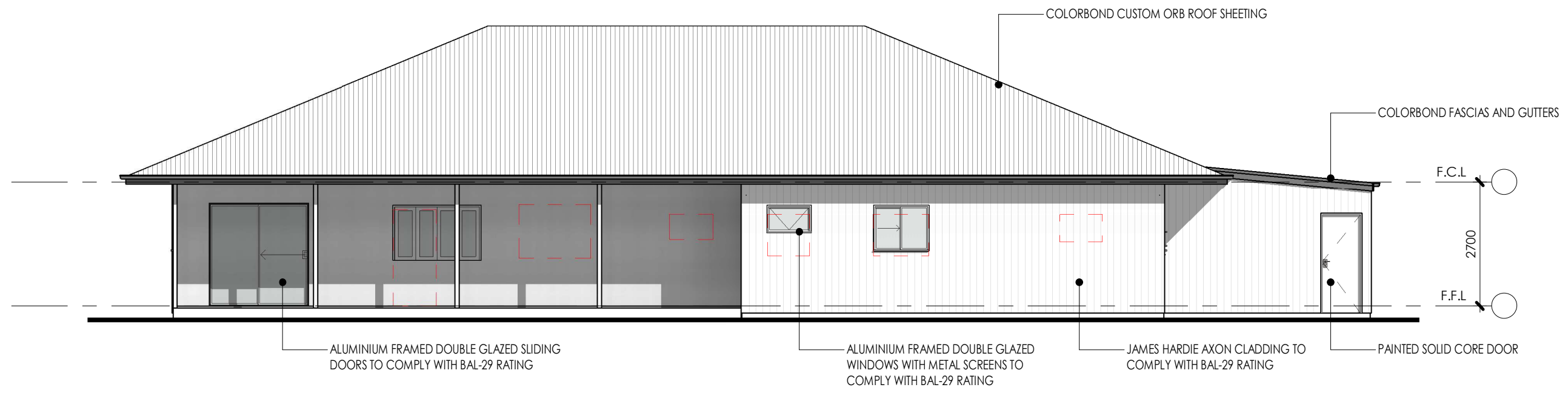
Title
ELEVATIONS - SHEET 1

Scale at A3
1 : 100

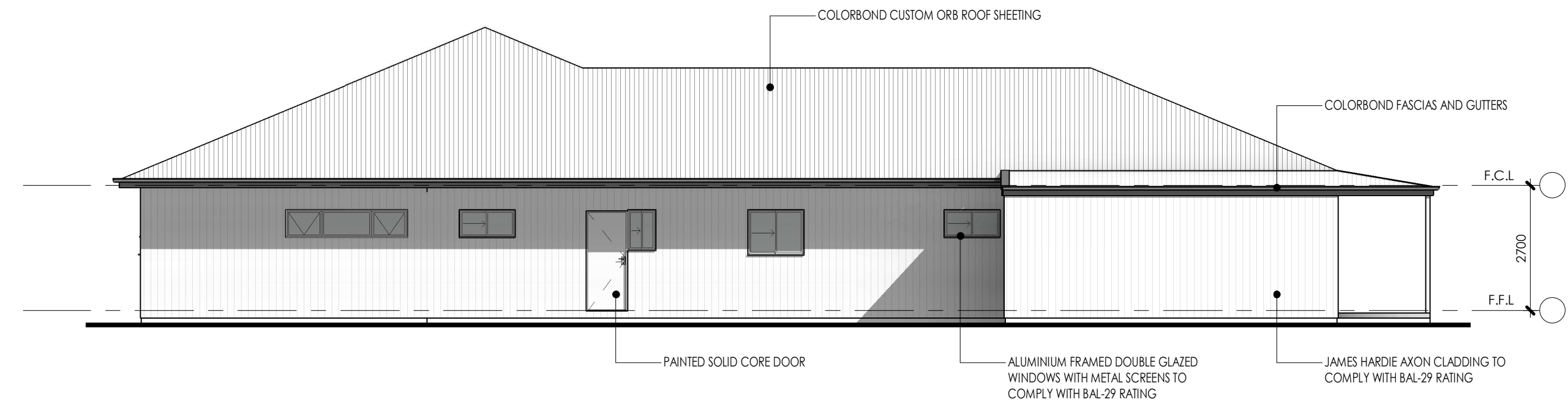
Date MAY 2023 Drawn RG/DW

Drawing No. 671MUR-04 Issue C

**BAL-29 BUSHFIRE RATING
TO AS3959:2018 - CONSTRUCTION OF
BUILDINGS IN BUSHFIRE PRONE AREAS**



1 EAST ELEVATION
SCALE 1 : 100



2 NORTH ELEVATION
SCALE 1 : 100

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C	DA ISSUE	27.07.23
B	FOR CLIENT APPROVAL	28.06.23
A	PRELIMINARY	04.06.23

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Client Mathew & Rachel Murphy

Project 390 Yarrowonga Road
Yarrowonga NSW 2850

Title ELEVATIONS - SHEET 2

Scale at A3 1 : 100

Date MAY 2023 Drawn RG/DW

Drawing No. 671MUR-05 Issue C



1 SECTION
SCALE 1 : 50

BAL-29 BUSHFIRE RATING
CONSTRUCTION OF
FIRE PRONE AREAS

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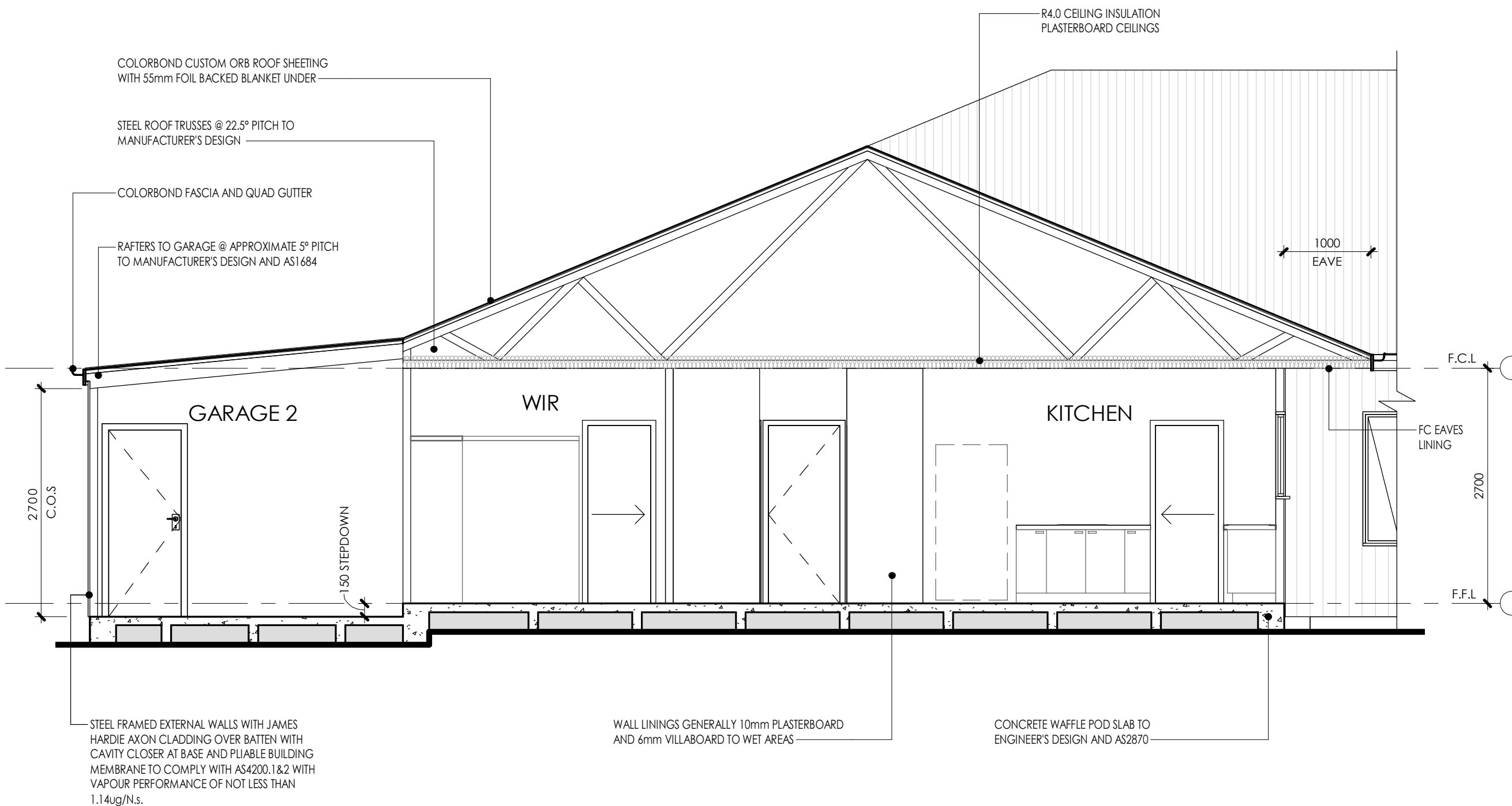
Project
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 Yarrowonga NSW 2850

Title SECTION

Scale at A3
 1 : 50

Date MAY 2023 Drawn RG/DW

Drawing No. 671MUR-06 Issue C



1 SECTION
SCALE 1 : 50

BAL-29 BUSHFIRE RATING
CONSTRUCTION OF
H/FIRE PRONE AREAS

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A	PRELIMINARY	04.06.23

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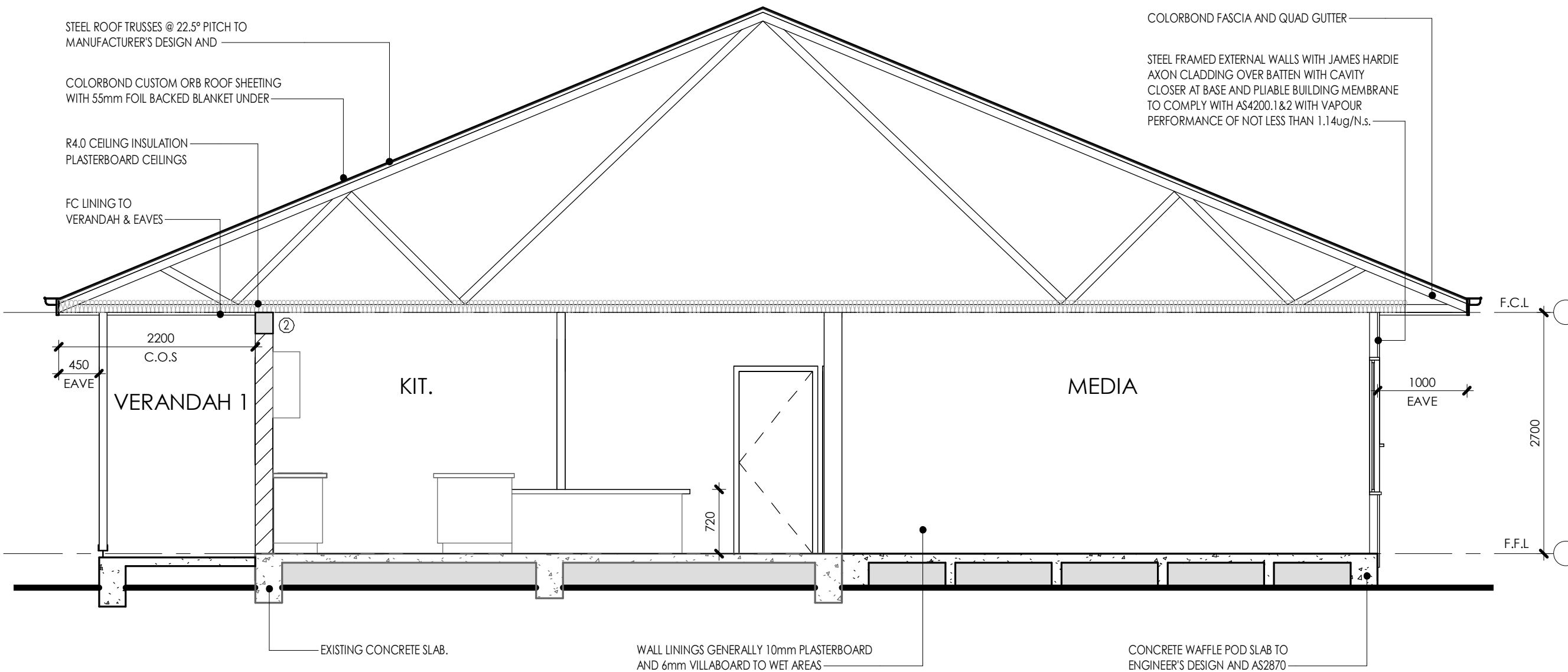
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Title	SECTION	
Scale at A3	1 : 50	
Date	MAY 2023	Drawn RG/DW
Drawing No.	671MUR-07	Issue C

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1 SECTION
SCALE 1 : 50

BAL-29 BUSHFIRE RATING
CONSTRUCTION OF
HFIRE PRONE AREAS

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A	PRELIMINARY	04.06.23

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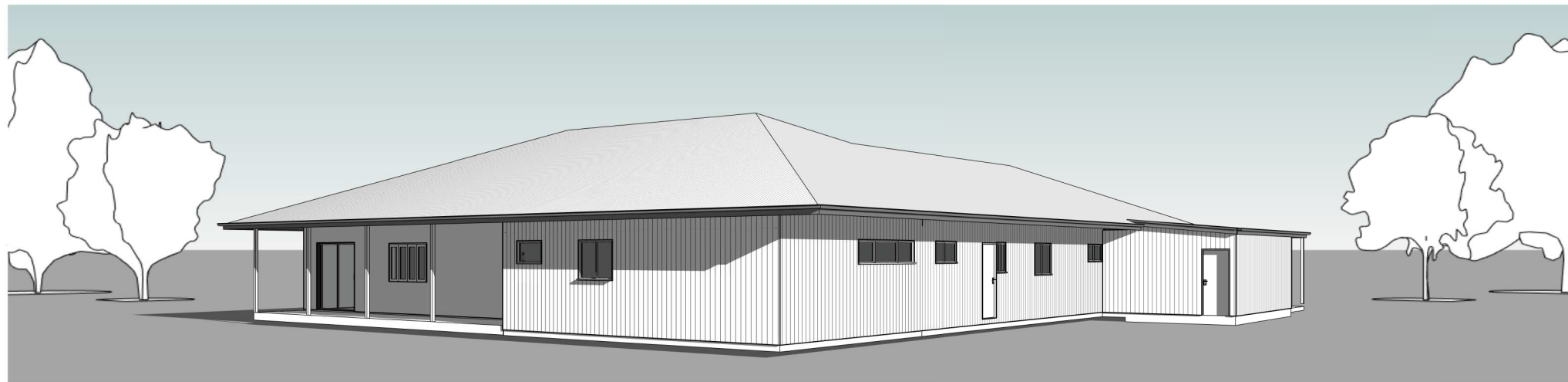
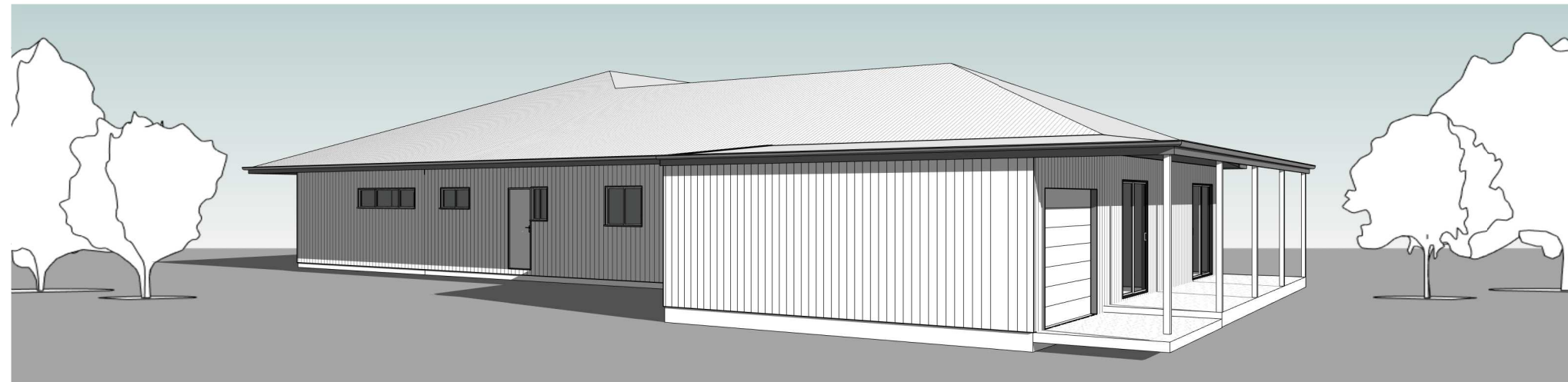
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Title	SECTION	
Scale at A3	1 : 50	
Date	MAY 2023	Drawn RG/DW
Drawing No.	671MUR-08	Issue C



**BAL-29 BUSHFIRE RATING
TO AS3959:2018 - CONSTRUCTION OF
BUILDINGS IN BUSHFIRE PRONE AREAS**



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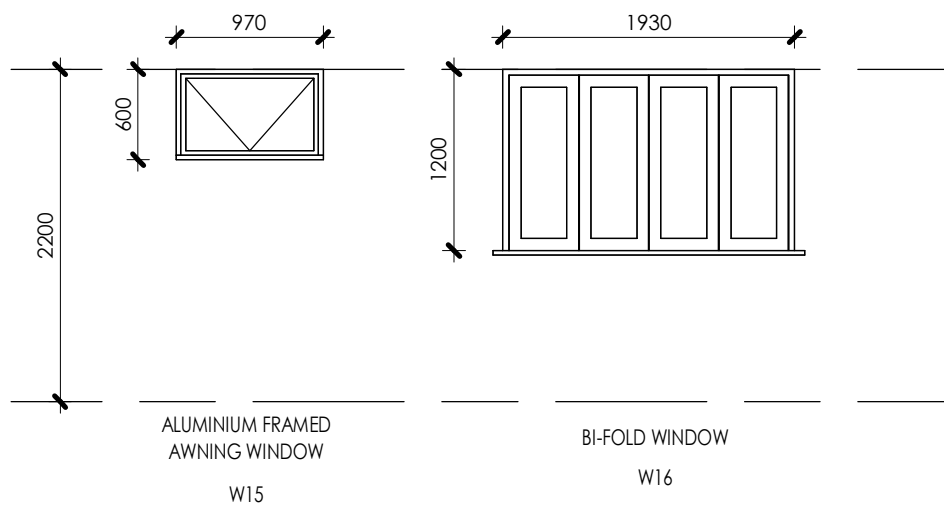
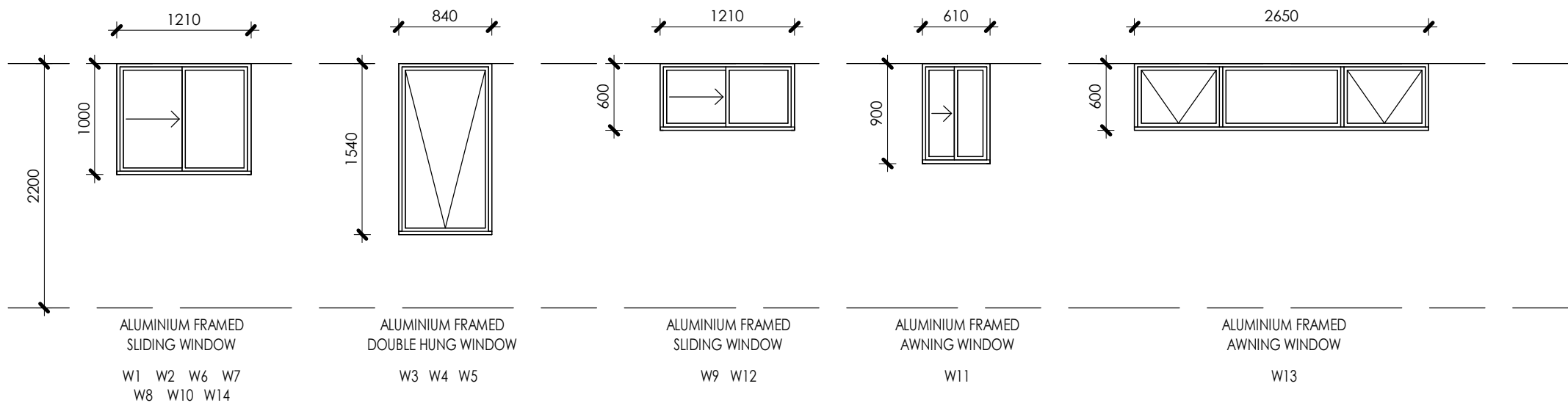
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Title PERSPECTIVES

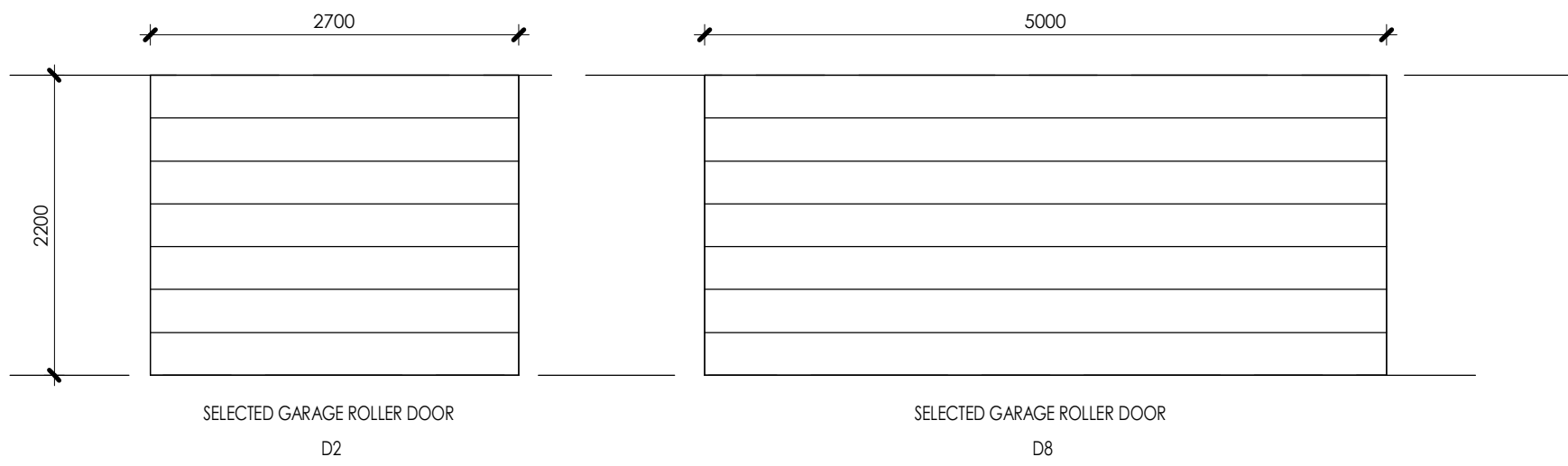
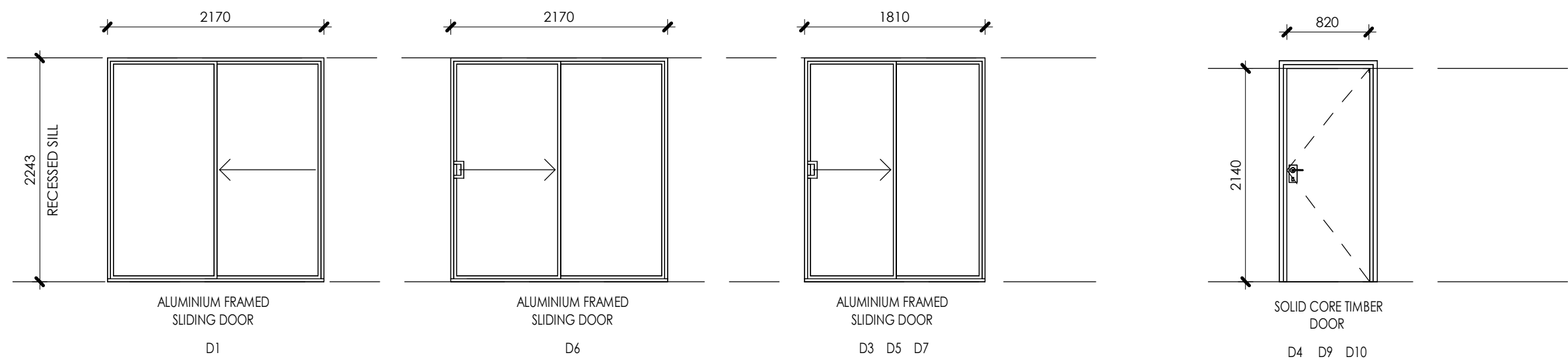
Scale at A3 NA

Date MAY 2023 Drawn RG/DW

Drawing No. 671MUR-09 Issue C



ALL WINDOWS AND SLIDING DOORS TO BE DOUBLE GLAZED TO COMPLY WITH BASIX U-VALUE, SHGC & BE RATED TO BAL-29.



BAL-29 BUSHFIRE RATING
CONSTRUCTION OF FIRE PRONE AREAS

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NOTE: WINDOWS & DOORS ARE DRAWN AS VIEWED FROM THE EXTERNAL SIDE

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Title WINDOW & DOOR SCHEDULE	
Scale at A3 1 : 50	
Date MAY 2023	Drawn RG/DW
Drawing No. 671MUR-10	Issue C