

PROPOSED ALTERATIONS & ADDITIONS

34 Lang Street, Mudgee NSW 2850



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DA 1.2	Site Plan
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SITE & BUILDING CALCULATIONS			
PLANING INSTRUMENTS	Mid-Western Regional Local Environmental Plan 2012		
	Mid-Western Regional Development Control Plan 2013		
SITE IDENTIFICATION	LOT 4	DP 790409	
ZONE	R1 - General Residential		
SITE AREA	964.1 m ²		
EXISTING FLOOR AREA	149.07 m ²		
SITE CONTROLS		REQUIRED	PROPOSED
GROSS FLOOR AREA		Lot area >920 m ² –1,000 m ² : max. 25% of lot area + 150 m ² = 391.025 m ²	188.09 m ²
SITE COVERAGE		max. 35 %	24.44 %
SETBACKS	FRONT	6.5m to building line 7.5 to the garage	EXISTING
	SIDE	0.9 m	COMPLIES
	REAR	0.9 m	COMPLIES
BUILDING HEIGHT		max. 8.5 m	COMPLIES
PRIVATE OPEN SPACE		min. 80 m ²	COMPLIES

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NOTE:
SELECTED TERMITE PROTECTION TO BE USED ON SITE IN ACCORDANCE WITH LOCAL COUNCIL'S REQUIREMENTS, B.C.A. AND ALL RELEVANT AUSTRALIAN STANDARDS

NOTE:
SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY.

NOTE:
LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC.

NOTE:
STAIRWAY TO HAVE A NON-SLIP FINISH OR NOSING STRIP IN ACCORDANCE WITH CLAUSE 3.9.1.4 AND TABLE 3.9.1.3 OF THE NCC.

NOTE:
METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

Project:
**34 Lang Street,
Mudgee NSW 2850**
Client:

Drawing:
Cover Sheet

newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 Gynea NSW
Phone: 0403 993 876
Email: info@planland.com.au
A.B.N.: 62 128 716 334

Drawn: **LT** Approved: **LT** Date: **OCT/2022**
Scale: Drawing No.: Sheet No.: Rev.:
@A3 **22113 DA 0.1**



Alterations and Additions

Certificate number: A488430_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au.

This certificate is a revision of certificate number A488430 lodged with the consent authority or certifier on 03 Mar 2023 with application 8061496.

It is the responsibility of the applicant to verify with the consent authority that the original, or the revised certificate, complies with the provisions of Sub 1, C 24, 4A or 5A of the Environmental Planning and Assessment Regulation 2000.

Secretary
Date of issue: Tuesday, 18 July 2023
To be valid, the certificate must be signed within 3 months of the date of issue.



Description of project

Project address	
Project name	34 Lang Street, Mudgee, 02
Street address	34 Lang Street Mudgee 2850
Local Government Area	Mid-Western Regional Council
Plan type and number	Deposited Plan 790409
Lot number	4
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name	Newton Teale Consulting
ABN (if applicable)	62 128 716 334

Pool and Spa		Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
Rainwater tank				
The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 200 square metres of roof area.			✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.			✓	✓
Outdoor swimming pool				
The swimming pool must be outdoors.		✓	✓	✓
The swimming pool must not have a capacity greater than 51 kilolitres.			✓	✓
The swimming pool must have a pool cover.			✓	✓
The applicant must install a pool pump timer for the swimming pool.			✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.			✓	✓

Fixtures and systems		Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
Lighting				
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			✓	✓
Fixtures				
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			✓	✓

Construction		Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
Insulation requirements				
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓	✓
Construction		Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor	nil			
external wall: brick veneer	R1.18 (or R1.70 including construction)			
flat ceiling, pitched roof	ceiling: R1.95 (up), roof: full backed blanket (55 mm)	medium (total absorbance 0.475 - 0.70)		

Glazing requirements		Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check		
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.		✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or polyvinyl low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓	✓		
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.		✓	✓	✓		
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.			✓	✓		
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.			✓	✓		
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass in frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	NE	17.38	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W2	NE	5.72	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W3	NE	0.88	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W4	NE	1.98	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W5	NE	1.88	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a "✓" in the "Show on DA Plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.	

Glazing requirements		Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check			
Window / door no.		Orientation	Area of glass in frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W6	SW	0.96	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)	
W7	SW	1.35	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)	
W8	SW	1.8	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)	
W9	SW	3.52	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)	

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Basix Certificate

newton teale consulting pty ltd		ABN:
trading as plan land		62 128 716 334
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Email: info@planland.com.au		
Drawn:	Approved:	Date:
LT	LT	OCT/2022
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@A3	22113	DA 0.2
	Rev.:	



1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

WHEREVER POSSIBLE, COMPONENTS FOR THIS BUILDING SHOULD BE PREFABRICATED OFF-SITE OR AT GROUND LEVEL TO MINIMISE THE RISK OF WORKERS FALLING MORE THAN TWO METRES. HOWEVER, CONSTRUCTION OF THIS BUILDING WILL REQUIRE WORKERS TO BE WORKING AT HEIGHTS WHERE A FALL IN EXCESS OF TWO METRES IS POSSIBLE AND INJURY IS LIKELY TO RESULT FROM SUCH A FALL. THE BUILDER SHOULD PROVIDE A SUITABLE BARRIER WHEREVER A PERSON IS REQUIRED TO WORK IN A SITUATION WHERE FALLING MORE THAN TWO METRES IS A POSSIBILITY.

DURING OPERATION OR MAINTENANCE

FOR HOUSES OR OTHER LOW-RISE BUILDINGS WHERE SCAFFOLDING IS APPROPRIATE: CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, LADDERS OR TRESTLES SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION. FOR BUILDINGS WHERE SCAFFOLD, LADDERS, TRESTLES ARE NOT APPROPRIATE: CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, FALL BARRIERS OR PERSONAL PROTECTIVE EQUIPMENT (PPE) SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION.

ANCHORAGE POINTS

ANCHORAGE POINTS FOR PORTABLE SCAFFOLD OR FALL ARREST DEVICES HAVE BEEN INCLUDED IN THE DESIGN FOR USE BY MAINTENANCE WORKERS. ANY PERSONS ENGAGED TO WORK ON THE BUILDING AFTER COMPLETION OF CONSTRUCTION WORK SHOULD BE INFORMED ABOUT THE ANCHORAGE POINTS.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES SPECIFIED

IF FINISHES HAVE BEEN SPECIFIED BY DESIGNER, THESE HAVE BEEN SELECTED TO MINIMISE THE RISK OF FLOORS AND PAVED AREAS BECOMING SLIPPERY WHEN WET OR WHEN WALKED ON WITH WET SHOES/FEET. ANY CHANGES TO THE SPECIFIED FINISH SHOULD BE MADE IN CONSULTATION WITH THE DESIGNER OR, IF THIS IS NOT PRACTICAL, SURFACES WITH AN EQUIVALENT OR BETTER SLIP RESISTANCE SHOULD BE CHOSEN.

FLOOR FINISHES BY OWNER

IF DESIGNER HAS NOT NOT BEEN INVOLVED IN THE SELECTION OF SURFACE FINISHES, THE OWNER IS RESPONSIBLE FOR THE SELECTION OF SURFACE FINISHES IN THE PEDESTRIAN TRAFFICABLE AREAS OF THIS BUILDING. SURFACES SHOULD BE SELECTED IN ACCORDANCE WITH AS HB 197:1999 AND AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

DUE TO DESIGN RESTRICTIONS FOR THIS BUILDING, STEPS AND/OR RAMPS ARE INCLUDED IN THE BUILDING WHICH MAY BE A HAZARD TO WORKERS CARRYING OBJECTS OR OTHERWISE OCCUPIED. STEPS SHOULD BE CLEARLY MARKED WITH BOTH VISUAL AND TACTILE WARNING DURING CONSTRUCTION, MAINTENANCE, DEMOLITION AND AT ALL TIMES WHEN THE BUILDING OPERATES AS A WORKPLACE. BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS AND IN PARTICULAR ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SO THAT THEY BECOME UNEVEN AND PRESENT A TRIP HAZARD. SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS. CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION TO REDUCE THE RISK OF TRIPS AND FALLS IN THE WORKPLACE. MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK ON OR AROUND THIS BUILDING IS LIKELY TO INVOLVE PERSONS WORKING ABOVE GROUND LEVEL OR ABOVE FLOOR LEVELS. WHERE THIS OCCURS ONE OR MORE OF THE FOLLOWING MEASURES SHOULD BE TAKEN TO AVOID OBJECTS FALLING FROM THE AREA WHERE THE WORK IS BEING CARRIED OUT ONTO PERSONS BELOW.

1. PREVENT OR RESTRICT ACCESS TO AREAS BELOW WHERE THE WORK IS BEING CARRIED OUT.
2. PROVIDE TOEBOARDS TO SCAFFOLDING OR WORK PLATFORMS.
3. PROVIDE PROTECTIVE STRUCTURE BELOW THE WORK AREA.
4. ENSURE THAT ALL PERSONS BELOW THE WORK AREA HAVE PERSONAL PROTECTIVE EQUIPMENT (PPE).

BUILDING COMPONENTS

DURING CONSTRUCTION, RENOVATION OR DEMOLITION OF THIS BUILDING, PARTS OF THE STRUCTURE INCLUDING FABRICATED STEELWORK, HEAVY PANELS AND MANY OTHER COMPONENTS WILL REMAIN STANDING PRIOR TO OR AFTER SUPPORTING PARTS ARE IN PLACE. CONTRACTORS SHOULD ENSURE THAT TEMPORARY BRACING OR OTHER REQUIRED SUPPORT IS IN PLACE AT ALL TIMES WHEN COLLAPSE WHICH MAY INJURE PERSONS IN THE AREA IS A POSSIBILITY. MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS. CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED, THAT LOADS ARE PROPERLY SECURED AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED.

3. TRAFFIC MANAGEMENT

FOR BUILDING ON A MAJOR ROAD, NARROW ROAD OR STEEPLY SLOPING ROAD: PARKING OF VEHICLES OR LOADING/UNLOADING OF VEHICLES ON THIS ROADWAY MAY CAUSE A TRAFFIC HAZARD. DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THIS BUILDING DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHOULD BE PROVIDED. TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE RESPONSIBLE FOR THE SUPERVISION OF THESE AREAS. FOR BUILDING WHERE ON-SITE LOADING/UNLOADING IS RESTRICTED: CONSTRUCTION OF THIS BUILDING WILL REQUIRE LOADING AND UNLOADING OF MATERIALS ON THE ROADWAY. DELIVERIES SHOULD BE WELL PLANNED TO AVOID CONGESTION OF LOADING AREAS AND TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE USED TO SUPERVISE LOADING/UNLOADING AREAS. FOR ALL BUILDINGS: BUSY CONSTRUCTION AND DEMOLITION SITES PRESENT A RISK OF COLLISION WHERE DELIVERIES AND OTHER TRAFFIC ARE MOVING WITHIN THE SITE. A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE ADOPTED FOR THE WORK SITE.

4. SERVICES

GENERAL

RUPTURE OF SERVICES DURING EXCAVATION OR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL. EXISTING SERVICES ARE LOCATED ON OR AROUND THIS SITE. WHERE KNOWN, THESE ARE IDENTIFIED ON THE PLANS BUT THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE (SUCH AS DIAL BEFORE YOU DIG), APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE USED. LOCATIONS WITH UNDERGROUND POWER: UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THIS SITE. ALL UNDERGROUND POWER LINES MUST BE DISCONNECTED OR CAREFULLY LOCATED AND ADEQUATE WARNING SIGNS USED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION COMMENCING. LOCATIONS WITH OVERHEAD POWER LINES: OVERHEAD POWER LINES MAY BE NEAR OR ON THIS SITE. THESE POSE A RISK OF ELECTROCUTION IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT AND PERSONS WORKING ABOVE GROUND LEVEL. WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHOULD BE, WHERE PRACTICAL, DISCONNECTED OR RELOCATED. WHERE THIS IS NOT PRACTICAL ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAPE OR SIGNAGE SHOULD BE USED OR A PROTECTIVE BARRIER PROVIDED.

5. MANUAL TASKS

COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25KG SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY MECHANICAL LIFTING DEVICE. WHERE THIS IS NOT PRACTICAL, SUPPLIERS OR FABRICATORS SHOULD BE REQUIRED TO LIMIT THE COMPONENT MASS. ALL MATERIAL PACKAGING, BUILDING AND MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL MASS OF PACKAGES AND WHERE PRACTICAL ALL ITEMS SHOULD BE STORED ON SITE IN A WAY WHICH MINIMISES BENDING BEFORE LIFTING. ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY OCCUR. CONSTRUCTION, MAINTENANCE AND DEMOLITION OF THIS BUILDING WILL REQUIRE THE USE OF PORTABLE TOOLS AND EQUIPMENT. THESE SHOULD BE FULLY MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND NOT USED WHERE FAULTY OR (IN THE CASE OF ELECTRICAL EQUIPMENT) NOT CARRYING A CURRENT ELECTRICAL SAFETY TAG. ALL SAFETY GUARDS OR DEVICES SHOULD BE REGULARLY CHECKED AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.

6. HAZARDOUS SUBSTANCES

ASBESTOS

FOR ALTERATIONS TO A BUILDING CONSTRUCTED PRIOR TO 1990: IF THIS EXISTING BUILDING WAS CONSTRUCTED PRIOR TO: 1990 - IT THEREFORE MAY CONTAIN ASBESTOS 1986 - IT THEREFORE IS LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. IN EITHER CASE, THE BUILDER SHOULD CHECK AND, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.

POWDERED MATERIALS

MANY MATERIALS USED IN THE CONSTRUCTION OF THIS BUILDING CAN CAUSE HARM IF INHALED IN POWDERED FORM. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION WHILE USING POWDERED MATERIAL OR WHEN SANDING, DRILLING, CUTTING OR OTHERWISE DISTURBING OR CREATING POWDERED MATERIAL.

TREATED TIMBER

THE DESIGN OF THIS BUILDING MAY INCLUDE PROVISION FOR THE INCLUSION OF TREATED TIMBER WITHIN THE STRUCTURE. DUST OR FUMES FROM THIS MATERIAL CAN BE HARMFUL. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL WHEN SANDING, DRILLING, CUTTING OR USING TREATED TIMBER IN ANY WAY THAT MAY CAUSE HARMFUL MATERIAL TO BE RELEASED. DO NOT BURN TREATED TIMBER.

VOLATILE ORGANIC COMPOUNDS

MANY TYPES OF GLUE, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHES AND SOME CLEANING MATERIALS AND DISINFECTANTS HAVE DANGEROUS EMISSIONS. AREAS WHERE THESE ARE USED SHOULD BE KEPT WELL VENTILATED WHILE THE MATERIAL IS BEING USED AND FOR A PERIOD AFTER INSTALLATION. PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURER'S RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES.

SYNTHETIC MINERAL FIBRE

FIBREGLASS, ROCKWOOL, CERAMIC AND OTHER MATERIAL USED FOR THERMAL OR SOUND INSULATION MAY CONTAIN SYNTHETIC MINERAL FIBRE WHICH MAY BE HARMFUL IF INHALED OR IF IT COMES IN CONTACT WITH THE SKIN, EYES OR OTHER SENSITIVE PARTS OR THE BODY. PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL SHOULD BE USED WHEN INSTALLING, REMOVING OR WORKING NEAR BULK INSULATION MATERIAL.

TIMBER FLOORS

THIS BUILDING MAY CONTAIN TIMBER FLOORS WHICH HAVE AN APPLIED FINISH. AREAS WHERE FINISHES ARE APPLIED SHOULD BE KEPT WELL VENTILATED DURING SANDING AND APPLICATION AND FOR A PERIOD AFTER INSTALLATION. PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURER'S RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES.

7. CONFINED SPACES

EXCAVATION

CONSTRUCTION OF THIS BUILDING AND SOME MAINTENANCE ON THE BUILDING WILL REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN EXCAVATIONS. WHERE PRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING METHODS WHICH DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION. WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHOULD BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHOULD BE PROVIDED.

ENCLOSED SPACES

FOR BUILDINGS WITH ENCLOSED SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED: ENCLOSED SPACES WITHIN THIS BUILDING MAY PRESENT A RISK TO PERSONS ENTERING FOR CONSTRUCTION, MAINTENANCE OR ANY OTHER PURPOSE. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER ENCLOSED SPACES, AIR TESTING EQUIPMENT AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE PROVIDED.

SMALL SPACES

FOR BUILDINGS WITH SMALL SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED: SOME SMALL SPACES WITHIN THIS BUILDING WILL REQUIRE ACCESS BY CONSTRUCTION OR MAINTENANCE WORKERS. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER SMALL SPACES THEY SHOULD BE SCHEDULED SO THAT ACCESS IS FOR SHORT PERIODS. MANUAL LIFTING AND OTHER MANUAL ACTIVITY SHOULD BE RESTRICTED IN SMALL SPACES.

8. PUBLIC ACCESS

PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION SITES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND PUBLIC. WARNING SIGNS AND SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED. WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PLANT OR LOOSE MATERIALS ARE PRESENT THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

THIS BUILDING HAS BEEN DESIGNED AS A RESIDENTIAL BUILDING. IF IT, AT A LATER DATE, IT IS USED OR INTENDED TO BE USED AS A WORKPLACE, THE PROVISIONS OF THE WORK HEALTH AND SAFETY ACT 2011 OR SUBSEQUENT REPLACEMENT ACT SHOULD BE APPLIED TO THE NEW USE.

10. OTHER HIGH RISK ACTIVITY

ALL ELECTRICAL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING ELECTRICAL RISKS AT THE WORKPLACE, AS/NZ 3012 AND ALL LICENSING REQUIREMENTS. ALL WORK USING PLANT SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING RISKS OF PLANT AT THE WORKPLACE. ALL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK. DUE TO THE HISTORY OF SERIOUS INCIDENTS IT IS RECOMMENDED THAT PARTICULAR CARE BE EXERCISED WHEN UNDERTAKING WORK INVOLVING STEEL CONSTRUCTION AND CONCRETE PLACEMENT. ALL THE ABOVE APPLIES.

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NOTE: ALL EXISTING & OVERALL DIMENSIONS ARE NOMINAL & SUBJECT TO VERIFICATION ON SITE. WHERE ANY DISCREPANCY OCCURS BETWEEN NEW WORK & EXISTING BETWEEN NEW WORK & EXISTING DIMENSIONS - EXISTING DIMENSIONS/WORK SHOULD TAKE PREFERENCE WHERE NECESSARY - OTHERWISE NOTIFY PLAN LAND
NOTE: SELECTED TERMITE PROTECTION TO BE USED ON SITE IN ACCORDANCE WITH LOCAL COUNCIL'S REQUIREMENTS. B.C.A. AND ALL RELEVANT AUSTRALIAN STANDARDS
NOTE: SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION EL7 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY.
NOTE: LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC.
NOTE: STAIRWAY TO HAVE A NON-SLIP FINISH OR NOSING STRIP IN ACCORDANCE WITH CLAUSE 3.9.1.4 AND TABLE 3.9.1.3 OF THE NCC.
NOTE: METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

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[PLAN
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THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (BUT IS NOT EXCLUDED TO): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

STANDARD SPECIFICATION & GENERAL CONSTRUCTION NOTES

ALL CONTRACTORS & SUPPLIERS ARE TO READ ALL NOTES CONTAINED WITHIN THIS DOCUMENTATION. THE FOLLOWING NOTES BELOW ARE A BRIEF EXTRACT FROM THE NCC 2022 FOR CONVENIENCE & CONTRACTUAL PURPOSES. EVERY EFFORT IS MADE TO PROVIDE ACCURATE, COMPLETE AND UP TO DATE INFORMATION, HOWEVER ALL CONTRACTORS & SUPPLIERS ARE TO ENSURE THEY WORK WITHIN AND COMPLY IN STRICT ACCORDANCE WITH THE FULL CURRENT NCC, ALL RELEVANT NATIONAL, STATE & LOCAL LAWS, REGULATIONS, LEGISLATION & STANDARD. THESE PLANS ARE TO BE READ IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DRAWINGS & COMPUTATIONS, BUILDING PERMIT CONDITIONS AS WELL AS ANY MANUFACTURES SPECIFICATIONS.

ALL CONTRACTORS & SUPPLIERS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS & ARE TO USE FIGURED DIMENSIONS ONLY. THESE ARE NOT TO BE SCALED OFF. IF IN DOUBT, ASK.

EARTHWORKS

TO BE READ IN ACCORDANCE WITH NCC, PART 3.1.1 & PART 3.2

CONTRACTORS ASSOCIATED WITH EARTHWORKS SHALL CHECK AND CONFIRM STRUCTURAL ENGINEERS DRAWINGS/ COMPUTATIONS AND/ OR GEOLOGICAL SURVEY FOR ALL SOIL CLASSIFICATION, SITE CONDITIONS 7 MINIMUM FOOTING DEPTH PRIOR TO COMMENCEMENT OF ANY WORKS. WHERE REQUIRED, APPROPRIATE EMBANKMENT PROTECTION TO BE PROVIDED & MAINTAINED BY ASSOCIATED CONTRACTORS FOR DURATION OF WORKS.

DRAINAGE

TO BE READ IN ACCORDANCE WITH NCC, PART 3.3, AS/NZS3500.3-2003-STORMWATER DRAINAGE, & AS/NZS3500.5-2000- DOMESTIC INSTALLATIONS, SECTION 5-STORMWATER DRAINAGE.

NEW DRAINAGE SYSTEMS MUST NOT ENCROACH AREAS DEFINED AS LOAD ABSORPTION FROM FOOTINGS. (NCC FIGURE 3.1.2.1) SURFACE WATER DRAINAGE TO BE DIVERTED FROM CLASS 1 & 10 BUILDINGS AT ALL TIMES. (NCC FIGURE 3.1.2.2 & 3.1.2.3) STORM WATER DRAINAGE SYSTEMS, POSITIONS & POINT OF DISCHARGE MUST BE TO THE SATISFACTION OF THE APPROPRIATE AUTHORITY.

FOOTINGS & SLABS

TO BE READ IN ACCORDANCE WITH NCC, PART 4.2, AS2870-1996-RESIDENTIAL SLABS & FOOTINGS & AS2159-1995-PILLING- DESIGN & INSTALLATION. EXCAVATION FOR FOOTINGS INCLUDING THICKENING FOR SLAB & PADS MUST BE CLEAN CUT EITHER VERTICAL SIDES & FLAT BASE WHERE POSSIBLE.

FILLING UNDER CONCRETE SLABS MUST BE EITHER CONTROLLED FILL OR ROLLED FILL. MINIMUM 20MM CLEAN QUARRY SAND TO BE PLACED ON TOP OF FILL.

VAPOR / MOISTURE BARRIER MUST BE INSTALLED UNDER SLAB-ON-GROUND CONSTRUCTION. MINIMUM 0.2MM THICKNESS POLYETHYLENE FILM. MEDIUM IMPACT RESISTANCE. JOINTS TO LAP MINIMUM 200MM WITH ALL SERVICES AND PENETRATIONS TO BE SEALED/ TAPED ADEQUATELY. (NCC FIGURE 4.2.2.3).

CONCRETE MUST BE MANUFACTURED TO COMPLY WITH AS3600-2001-CONCRETE STRUCTURES & HAVE A STRENGTH AT 28 DAYS NOT LESS THEN 20MPa (N20 GRADE), HAVE 20MM NOMINAL AGGREGATE SIZE & HAVE NOMINAL 80MM SLUMP. REINFORCEMENT STEEL MUST HAVE LESS THAN 40MM COVER TO EXTERNAL FACES & 20MM TO AN INTERNAL PROTECTED SURFACE & BAR CHAIRS SPACED AT NOT MORE THAN 800MM CENTRES.

MASONRY

TO BE READ IN ACCORDANCE WITH NCC, PART 5.6 & AS3700-2001-MASONRY STRUCTURES. MORTAR JOINTS MUST NOTE EXCEED NOMINAL 10MM & RACKED JOINTS NO DEEPER THAN 10MM. ARTICULATION JOINTS MUST HAVE A WIDTH NOT LESS THAN 10MM & NOT EXCEEDING 20MM & BE CLEAN OF MORTAR & ARE TO BE STRAIGHT.

WALLS WITHOUT OPENINGS AT MAXIMUM 6000MM CENTERS & NOT CLOSER THAN HEIGHT OF THE WALL AWAY FROM CORNERS. WHERE OPENINGS MORE THAN 900x900MM OCCUR, AT MAXIMUM 5000MM CENTERS & POSITIONED AT ONE EDGE OF OPENING. ALL JOINTS ARE TO BE SEALED WITH A COMPRESSIBLE, FLEXIBLE MATERIAL. (REFER TO NCC FIGURE 5.6.1.7)

WALL TIES IN MASONRY VENEER CONSTRUCTION WITH 450C/C STUD WALLS TO BE SPACED 600x450MM, 600C/C STUD WALLS TO BE SPACED 600x600MM, CAVITY MASONRY 600x600MM. NUMBER OR TIES TO BE DOUBLED WITHIN 300MM OF OPENINGS & CONTROL JOINTS. TIES TO BE HOT DIPPED GALVANISED WITH A GRADE OF Z600. FACE FIXING TIES TO BE USED IN MASONRY VENEER TO AVOID HOLES IN FOIL. (NCC FIGURE 5.6.3.1)

HOOP IRON STRAPS TO BE 32x0.8M GALVANISED AT MAXIMUM 1200MM CENTRES & BE FIXED MINIMUM 900MM TO BRICK WORK. (REFER TO NCC FIGURE 5.6.3.3(b))

LINTELS SUPPORTING MASONRY WALLS ABOVE OPENINGS LESS THAN 1000MM TO HAVE MINIMUM BEARING LENGTH OF 100MM AT EACH END. OPENING GREATER THAN 1000MM TO HAVE MINIMUM BEARING OF 150MM AT EACH END WITH MINIMUM 3 COURSE MASONRY ABOVE ALL OPENINGS. (NCC FIGURE 5.6.3.4 TO 5.6.3.5)

WEEPHOLES ARE TO BE AT MAX. 1200MM CENTRES & IMMEDIATLY ABOVE ANY DPC/ FLASHING. CONTRACTOR TO ENSURE THAT WEEPHOLES ABOVE OPENINGS ARE CENTRED & ALL WEEPHOLES ARE TO BE CLEAN & STRAIGHT.

DPC/ FLASHING FOR SUB FLOOR & ABOVE OPENINGS TO BE EMBOSSED BLACK POLYETHYLENE FILM OF HIGH IMPACT RESISTANCE, LOW SLIP WITH NOMINAL THICKNESS OF 0.5MM & MINIMUM 300MM IN WIDTH. DPC/ FLASHING MUST BE TURNED UP MINIMUM 150MM FIXED TO FRAME & JOINTS MUST LAP NOT LESS THAN 150MM. (REFER TO NCC FIGURES 5.6.4.1 TO 5.6.4.5 INCLUSIVE & NCC FIGURES 5.6.4.6 & 5.6.4.7 FOR ROOF/WALL JUNCTIONS).

SUB-FLOOR VENTILATION

TO BE IN ACCORDANCE WITH NCC, PART 6.2

SUB-FLOOR VENTILATION TO BE PROVIDED AT A RATE OF 6000mm²/m OF WALL. SUB-FLOOR CLEARANCE BETWEEN GROUND LEVEL & UNDERSIDE OF BEARERS TO BE A MINIMUM OF 150MM WITHIN 2000MM FROM PERIMETER & AN AVERAGE OF 400MM FOR REMAINDER. SUBFLOOR VENTS TO BE PROVIDED AT 1200MM CENTRES & MAX 600MM FROM CORNERS. (REFER TO NCC FIGURES 6.2.1 & 6.2.2)

STEEL FRAMING & STRUCTURAL MEMBERS

TO BE IN ACCORDANCE WITH NCC, PART 6.3, AS4100-1998-STEEL STRUCTURES, AS/NZS4600-2005-COLD FORMED STEEL STRUCTURES & NASH- RESIDENTIAL & LOW-RISE STEEL FRAMING.

TIMBER FRAMING

TO BE IN ACCORDANCE WITH NCC, PART 6.1 AND AS1684-2006-RESIDENTIAL TIMBER FRAMED CONSTRUCTION.

ALL TIMBER STORED ON SITE TO BE STACKED CLEAR FROM GROUND, IN A DRY LOCATION & IN A MANOR TO PREVENT TWISTING & WARPING.**ROOF & WALL CLADDING**

TO BE IN ACCORDANCE WITH NCC, PART 7.5, AS2049-2002-ROOF TILES, AS2050-2002-INSTALLATION OF ROOF TILES, AS1562.1-1992-DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING, AS/NZS1562.2-1999-DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING, AS/NZS1562.3-1996-PLASTIC SHEET ROOFING, AS/NZS4256-Pts 1,2,3 & 5-1994-PLASTIC ROOF & WALL CLADDING MATERIAL, AS/NZS4200-1994- INSTALLATION OF PLIABLE MEMBRANE & UNDERLAY, & ASTM D3018-90-1994-ASPHALT SHINGLES.

LEAD FLASHING MUST NOT BE USED ON ANY ROOF THAT IS PART OF PORTABLE WATER CATCHMENT AREA.

ALL METAL SHEET ROOFING, FLASHING, CAPPING, FASTENERS & GUTTERING TO BE PROTECTED FROM CORROSION & WHERE DIFFERENT MATERIALS ARE USED IN ANY PART OF THE ROOFING SYSTEM AS NOTED ABOVE, THEY MUST BE COMPATIBLE WITH EACH OTHER TO PREVENT CORROSION DUE TO AN ADVERSE CHEMICAL REACTION.

GUTTERS & DOWNPIPES

TO BE IN ACCORDANCE WITH NCC, PART 7.4, AS/NZS3500.3-2003-STORMWATER DRAINAGE, AS/NZS3500.5-2000- DOMESTIC INSTALLATIONS, AS1273-1991-UPVC DOWNPIPES & FITTINGS FOR RAINWATER & AS/NZS2179.1-1994-METAL SHAPE OR SHEET RAINWATER GOODS AND METAL ACCESSORIES AND FASTENERS.

GUTTERS TO BE INSTALLED WITH A FALL NOT LESS THAN 1:500 FOR EAVE GUTTERS UNLESS FIXED TO METAL FASCIA & MUST BE SUPPORTED BY BRACKETS AT MAXIMUM 1200MM CENTRES.

BOX GUTTERS TO HAVE A MINIMUM FALL WIDTH OF 1:100 VALLEY GUTTERS TO HAVE A MINIMUM WIDTH OF 400MM

DOWNPIPES MUST BE SECURELY FIXED TO WALLS, BE LOCATED AT MAX 1200MM CENTRES & WHERE POSSIBLE BE PROVIDED AS CLOSE TO VALLEY GUTTERS AS POSSIBLE

ALL ROOF DRAINAGE TO DESIGNED SO THAT OVERFLOW DURING HEAVY RAIN PERIODS IS PREVENTED FROM FLOWING BACK INTO THE BUILDING.

DOWNPIPE TYPES & SIZES TO COMPLY WITH NCC TABLES 7.4.2.1 & 7.4.2.2.

GLAZING

TO BE IN ACCORDANCE WITH NCC, PART 3.6, AS2047-1999-WINDOWS IN BUILDING-SELECTION & INSTALLATION & AS1288-2006-GLASS IN BUILDINGS-SELECTION & INSTALLATION.

FULLY FRAMED GLAZING GREATER THAN 0.5m² (OTHER THAN 1200MM FROM FINISHED FLOOR LEVEL TO BE GRADE A TOUGHENED SAFETY GLASS. UNFRAMED DOORS TO BE GRADE A TOUGHENED SAFETY GLASS WITH STANDARD MINIMUM NOMINAL THICKNESS OF 10MM.

FULL HEIGHT FRAMED GLAZED PANELS LESS THAN 500MM FROM THE HIGHEST ABUTTING FINISHED FLOOR LEVEL GREATER THAN 0.9m² TO BE GRADE A SAFETY GLASS IN ACCORDANCE WITH NCC TABLE 3.6.5

FRAMED GLAZING FOR SHOWER DOORS, SHOWER SCREEN AND BATH ENCLOSURE AS WELL AS WINDOWS WITHIN 1500MM VERTICAL AND OR 500MM HORIZONTAL TO THE BASE OF SHOWERS OR BATHS TO BE EITHER GRADE A SAFETY GLASS IN ACCORDANCE WITH NCC TABLE 3.6.6 OR

GRADE B SAFETY GLASS IN ACCORDANCE WITH NCC TABLE 3.6.5 GLAZING WITH EXPOSED EDGE MUST BE TOUGHENED SAFETY GLASS IN ACCORDANCE WITH NCC TABLE 3.6.4 WITH A MINIMUM NOMINAL THICKNESS OF 5MM.

ALL EXTERNAL PERIMETER WINDOWS TO BE FLASHED RIGHT ROUND ALL WINDOW SIZES WITHIN THESE PLANS ARE NOMINAL AND MAY VARY ACCORDING TO MANUFACTURE.

FIRE SAFETY

TO BE IN ACCORDANCE WITH NCC, PART H3, AS3786-1993-SMOKE ALARMS, AS1691-1985-DOMESTIC OIL-FIRED APPLIANCES-INSTALLATION, ASINZS2918-2001-DOMESTIC SOLID FUEL BURNING APPLIANCES-INSTALLATION & AS3959-1999-CONSTRUCTION OF BUILDING IN BUSHFIRE-PRONE AREAS.

ALL FLOORS BETWEEN OTHERS OCCUPANCIES, PARTY WALLS, WALLS WITHIN 900MM DISTANCE AND EAVES WITHIN 500MM DISTANCE FROM TITLE BOUNDARY OR OTHER ADJOINING BUILDINGS MUST BE CONSTRUCTED WITH A NON- COMBUSTABLE MATERIAL HAVING A FRL OF NOT LESS THAN 60 / 60 / 60.

ROOF LIGHTS MUST NOT BE 900MM DISTANCE FROM TITLE BOUNDARY OR ADJOINING BUILDINGS OR WITHIN 1800MM FROM ADJOINING BUILDING ROOF LIGHTS. (REFER TO NCC FIGURE 3.7.1.12)

SMOKE ALARMS TO BE HARD WIRED TO CONSUMER MAINS & INSTALLED ON OR NEAR THE CEILING (WITH SPECIAL CARE TAKEN TO AVOID DEAD AIR SPACES) OF ANY STOREY CONTAINING BEDROOMS AS SHOWN IN NCC FIGURE 3.7.2.1 AND IN ANY OTHER STOREY NOT CONTAINING BEDROOMS AS IN NCC FIGURE 3.7.2.2.

ALL HEATING APPLIANCES TO BE INSTALLED IN STRICT ACCORDANCE TO MANUFACTURES SPECS AND NCC, PART H3

WET AREAS

TO BE IN ACCORDANCE WITH NCC, PART 10.2 & AS3740-2004-WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS. ALL WET AREAS MUST BE WATERPROOFED OR WATER RESISTANT IN ACCORDANCE WITH NCC TABLE 10.2.1.1 & NCC FIGURES 10.2.1.1.1 TO 3.8.1.16 ALL INCLUSIVE.

ALL PLASTERBOARD USED IN WET AREAS MUST BE W/R GRADE (WATER RESISTANT) WITH ALL CORNERS AND EDGES INCLUDING BOTTOM EDGES OVER SHOWER BASE/ HOB, BATH TUBS & BENCHES WITH BASINS, ADEQUATELY WATERPROOFING TO PREVENT MOISTURE PENETRATION. STRICTLY MOULD RESISTANT GROUT AND SILICON TO BE USED IN ALL WET AREAS.

VENTILATION

TO BE IN ACCORDANCE WITH NCC, PART 3.8.5 & AS1668.2-1991-MECHANICAL VENTILATION FOR ACCEPTABLE INDOOR-AIR QUALITY.

MECHANICAL VENTILATION TO SANITARY ROOMS & RANGE-HOODS ARE TO BE DISCHARGE DIRECTLY TO THE OUTSIDE AIR AT A MINIMUM RATE OF 25L/s MINIMUM.

BALUSTRADE

TO BE IN ACCORDANCE WITH NCC, PART 10.6, AS1170.1-1989-DEAD AND LIVE LOADS AND LOAD COMBINATIONS, & AS/ NZS1170.1-

PERANENT.

IMPOSED AND OTHER ACTIONS. BALUSTRADES ARE REQUIRED WHERE ANY LEVEL IS MORE THAN 1000MM ABOVE THE SURFACE BENEATH (REFER TO NCC FIGURE 10.6.2.3) & BE MINIMUM 865MM ABOVE THE FINISHED SURFACE OF THE NOSING ON TREADS & MINIMUM 1000MM ABOVE THE FINISHED SURFACE OF LANDINGS WITH NO PART OF THE BALUSTRADE TO ALLOW A 125MM SPHERE TO PASS THROUGH.

(REFER TO NCC FIGURE 10.6.2.1)

BALUSTRADES 4000MM AND GREATER ABOVE ADJOINING SURFACE MUST NOT HAVE ANY PART THAT IS CLIMBABLE.

SWIMMING POOL

TO BE IN ACCORDANCE WITH NCC, PART H7 & AS1926.1-1993-FENCING FOR SWIMMING POOLS.

SAFETY FENCING LOCATIONS MUST BE IN ACCORDANCE WITH NCC FIGURE H7.02 & IN A MANOR THAT THE MINIMUM HEIGHT OF FENCING IS 1200MM RIGHT ROUND AND MUST NOT BE AFFECTED BY NEARBY OBJECTS. (REFER TO NCC FIGURE H7.3.4) WHERE PERFORATED MESH MATERIAL WITH APERTURE MORE THAN 13MM IS USED BUT LESS THAN 100MM, HEIGHT OF FENCE MUST BE IN ACCORDANCE WITH NCC FIGURE 3.9.3.3

NO PART OF POOL FENCING IS TO BE CLIMBABLE IN ANY WAY WITH MAXIMUM VERTICAL SPACING OF 10MM. GATES ARE TO SWING OUTWARDS

FROM POOL AREA, BE FITTED WITH CLOSING DEVICE & LATCH, WITH LATCH LOCATED AND SHIELDED IN ACCORDANCE WITH NCC FIGURE H7.3.4

STAIR CONSTRUCTION

TO BE IN ACCORDANCE WITH NCC, PART 11.2 AND AS1657-1992-FIXED PLATFORMS, WALKWAYS, STAIRWAYS & LADDERS-DESIGN, CONSTRUCTION AND INSTALLATION.

EACH FLIGHT OF STAIRS TO HAVE MAXIMUM 18 RISES, 3 WINDERS IN LIEU OF QUARTER LANDING OR 6 WINDERS IN LIEU OF EACH HALF LANDING. LANDINGS MUST NOT BE LESS THAN 750MM LONG MEASURED 500MM FROM INSIDE EDGE OF LANDING. (REFER TO NCC FIGURE 11.2.1.5) AND HAVE A GRADIENT NOT STEEPER THAN 1:50 RISES (OTHER THAN SPIRAL) TO BE MINIMUM 115MM & MAXIMUM 190MM. GOING (OTHER THAN SPIRAL) TO BE MINIMUM 240MM & MAXIMUM 355MM. A 125MM SPHERE MUST NOT PASS THROUGH TREADS. (REFER TO NCC FIGURES 11.2.1.2 TO 11.2.1.4 INCLUSIVE)

ENERGY EFFICIENCY

TO BE IN ACCORDANCE WITH NCC, PART H6 & J2, NCC APPENDIX A & AS4859.1-2002-GENERAL CRITERIA AND TECHNICAL PROVISIONS.

REFER TO ENERGY EFFICIENCY REPORT BASIX FOR ALL, INSTALLATION LEVELS, WINDOW FRAME & GLAZING TYPES, AND OTHER SPECIFICATIONS REQUIRED TO ACHIEVE STAR RATING.

REFLECTIVE FOIL MUST BE INSTALLED ADEQUATLY TO FRAMING MEMBERS WITH JOINS OVERLAPPING MINIMUM 150MM OR ADEQUATELY TAPPED.

WHERE REQUIRED, BULK INSULATION SHOULD MAINTAIN ITS POSITION & THICKNESS (OTHER THAN AREAS SUCH AS NOGGINS, BATTENS, SERVICES ETC) & PLACED HARD UP AGAINST ALL STUDS, OPENINGS & THE LIKE TO MINIMISE AIR MOVEMENT & MAINTAIN ITS EFFECTIVE PERFORMANCE INTEGRITY.

ALL GAPS AROUND & WITHIN EXTERNAL DOORS, WINDOWS, ROOF LIGHTS & SERVICES PENETRATING EXTERNAL WALLS TO BE SEALED OR CAPABLE OF BEING SEALED WHEN IN A CLOSED POSITION SO AS TO RESTRICT AIR INFILTRATION.

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ALL WORK IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY REQUIREMENTS.

BUILDING CONTRACTOR & ALL RELEVANT SUB TRADES TO CHECK & VERIFY ALL DIMENSIONS & ASSOCIATED DRAWING PARTS PRIOR TO MANUFACTURE.

CONSTRUCTION & INSTALLATION ON SITE. DO NOT SCALE OFF DRAWINGS - WRITTEN DIMENSIONS TAKE PRECEDENCE.

PLAN LAND ACCEPTS NO LIABILITY OR RESPONSIBILITY RESULTING FROM BUILDERS NEGLECT OR PREFERRED METHOD OF CONSTRUCTION FOR ANY BUILDING DEFECT.

THESE DRAWINGS ARE THE PROPERTY OF PLAN LAND. DRAWINGS ARE NOT TO BE REPRODUCED IN PART OR IN WHOLE ON ANY MEDIUM WITHOUT THE WRITTEN PERMISSION OF PLAN LAND.

NOTE:
ALL EXISTING & OVERALL DIMENSIONS ARE NOMINAL & SUBJECT TO VERIFICATION ON SITE. WHERE ANY DISCREPANCY OCCURS BETWEEN NEW WORK & EXISTING BETWEEN NEW WORK & EXISTING DIMENSIONS - EXISTING DIMENSIONS/WORK SHOULD TAKE PREFERENCE WHERE NECESSARY - OTHERWISE NOTIFY PLAN LAND

NOTE:
SELECTED TERMITE PROTECTION TO BE USED ON SITE IN ACCORDANCE WITH LOCAL COUNCILS REQUIREMENTS. B.C.A. AND ALL RELEVANT AUSTRALIAN STANDARDS

NOTE:
SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY.

NOTE:
LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC.

NOTE:
STAIRWAY TO HAVE A NON-SLIP FINISH OR NOSING STRIP IN ACCORDANCE WITH CLAUSE 3.9.1.4 AND TABLE 3.9.1.3 OF THE NCC.

NOTE:
METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

NOTE:
METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

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NCC NATIONAL CONSTRUCTION CODE 2022 ABCB HOUSING PROVISIONS - REFERENCED DOCUMENTS

AS/NZS 1170.2	The 2021 edition of AS/NZS 1170 Part 2 'Structural design actions — Wind actions' has been referenced.
AS 1288	The 2021 edition of AS 1288 'Glass in buildings — Selection and installation' has been referenced.
AS 1397	The 2021 edition of AS 1397 'Continuous hot-dip metallic coated steel sheet and strip — Coatings of zinc and zinc alloyed with aluminium and magnesium' has been referenced. A note has been included to outline transitional arrangements.
AS 1530 Parts 1 to 4	The notes to AS 1530 Parts 1 to 4 have been deleted.
AS 1530.8.1	The 2018 edition of AS 1530 Part 8.1 'Methods for fire tests on building materials, components and structures — Tests on elements of construction for buildings exposed to simulated bushfire attack — Radiant heat and small flaming sources' has been referenced.
AS/NZS 1546.1	The 2008 edition of AS/NZS 1546 Part 1 'On-site domestic wastewater treatment units — Septic tanks' has been referenced.
AS/NZS 1546.2	The 2008 edition of AS/NZS 1546 Part 2 'On-site domestic wastewater treatment units — Waterless composting toilets' has been referenced.
AS 1546.3	Amdt 1 of the 2017 edition of AS 1546 Part 3 'On-site domestic wastewater treatment units — Secondary treatment systems (incorporating amendment 1)' has been referenced.
AS 1546.4	The 2016 edition of AS 1546 Part 4 'On-site domestic wastewater treatment units — Domestic greywater treatment systems' has been referenced.
AS/NZS 1547	The 2012 edition of AS/NZS 1547 'On-site domestic wastewater management' has been referenced.
AS/NZS 1562.2	The 1999 edition of AS/NZS 1562 Part 2 'Design and installation of sheet roof and wall cladding — Corrugated fibre-reinforced cement' has been deleted.
AS 1562.3	The 2006 edition of AS 1562 Part 3 'Design and installation of sheet roof and wall cladding — Plastic' has been referenced.
AS 1670.1	Amdt 1 of the 2018 edition AS 1670 Part 1 'Fire detection, warning, control and intercom systems — System design, installation and commissioning — Fire (incorporating amendment 1)' has been referenced. Notes to AS 1670 have been amended to outline transitional arrangements.
AS 1670.3	Amdt 1 of the 2018 edition AS 1670 Part 3 'Fire detection, warning, control and intercom systems — System design, installation and commissioning — Fire alarm monitoring (incorporating amendment 1)' has been referenced. Notes to AS 1670 have been amended to outline transitional arrangements.
AS 1670.4	Amdt 1 of the 2018 edition AS 1670 Part 4 'Fire detection, warning, control and intercom systems — System design, installation and commissioning — Emergency warning and intercom systems (incorporating amendment 1)' has been referenced. Notes to AS 1670 have been amended to outline transitional arrangements.
AS 1684.2	The 2021 edition of AS 1684 Part 2 'Residential timber-framed construction — Non-cyclonic areas' has been referenced.
AS 1684.3	The 2021 edition of AS 1684 Part 3 'Residential timber-framed construction — Cyclonic areas' has been referenced.
AS/NZS 1720.4	The 2019 edition of AS/NZS 1720 Part 4 'Timber structures — Fire resistance of timber elements' has been referenced.
AS 1720.5	Amdt 1 of the 2015 edition of AS 1720 Part 5 'Timber structures — Nailplated timber roof trusses (incorporating amendment 1)' has been referenced.
AS/NZS 1859.4	The note to AS/NZS 1859 Part 4 has been deleted.
AS 2118.1	Amdt 2 of the 2017 edition of AS 2118 Part 1 'Automatic fire sprinkler systems — General systems (incorporating amendments 1 and 2)' has been referenced.
AS 2118.4	The 2012 edition of AS 2118 Part 4 'Automatic fire sprinkler systems — Sprinkler protection for accommodation buildings not exceeding four storeys in height'.
AS 2118.5	The 2008 edition of AS 2118 Part 5 'Automatic fire sprinkler systems — Home fire sprinkler systems' has been referenced.
AS 2118.6	The 2012 edition of AS 2118 Part 6 'Automatic fire sprinkler systems — Combined sprinkler and hydrant systems in multistorey buildings.'
AS/NZS 2293.1	Amdt 1 of the 2018 edition of AS/NZS 2293 Part 1 'Emergency lighting and exit signs for buildings — System design, installation and operation (incorporating amendment 1)' has been referenced.
AS 2312.1	The 2014 edition of AS 2312 Part 1 'Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings — Paint coatings' has been referenced.
AS/NZS 2312.2	The 2014 edition of AS 2312/NZS Part 2 'Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings — Hot dip galvanizing' has been referenced.
AS/NZS 2327	Amdt 1 of the 2017 edition of AS/NZS 2327 'Composite structures — composite steel-concrete construction in buildings (incorporating amendment 1)' has been referenced.
AS 2419.1	The 2021 edition of AS 2419 Part 1 'Fire hydrant installations — System design, installation and commissioning' has been referenced.
AS 2699.1	The 2020 edition of AS 2699 Part 1 'Built-in components for masonry construction — Wall ties' has been referenced. A note has been included to outline transitional arrangements.
AS 2699.3	The 2020 edition of AS 2699 Part 3 'Built-in components for masonry construction — Lintels and shelf angles (durability requirements)' has been referenced. A note has been included to outline transitional arrangements.
AS/NZS 3500.0	The 2021 edition of AS 3500 Part 0 'Plumbing and drainage — Glossary of terms' has been referenced.
AS/NZS 3500.1	The 2021 edition of AS 3500 Part 1 'Plumbing and drainage — Water services' has been referenced.
AS/NZS 3500.2	Amdt 1 of the 2021 edition of AS 3500 Part 2 'Plumbing and drainage — Sanitary plumbing and drainage (incorporating amendment 1)' has been referenced.
AS/NZS 3500.3	The 2021 edition of AS 3500 Part 3 'Plumbing and drainage — Stormwater drainage' has been referenced. A note has been included to outline transitional arrangements.
AS/NZS 3500.4	The 2021 edition of AS 3500 Part 4 'Plumbing and drainage — Heated water services' has been referenced.
AS 3600	Amdt 2 of the 2018 edition of AS 3600 'Concrete structures (incorporating amendments 1 and 2)' has been referenced.
AS 3740	The 2021 edition of AS 3740 'Waterproofing of domestic wet areas' has been referenced.
AS 3959	Amdts 1 and 2 of the 2018 edition of AS 3959 'Construction of buildings in bushfire-prone areas (incorporating amendments 1 and 2)' has been referenced.
AS 4055	The 2021 edition of AS 4055 'Wind loads for housing' has been referenced.
AS 4072.1	The note to AS 4072 Part 1 has been deleted.
AS 4100	The 2020 edition of AS 4100 'Steel structures' has been referenced.
AS 4200.1	Amdt 1 of the 2017 edition of AS 4200 Part 1 'Pliable building membranes and underlays — Materials (incorporating amendment 1)' has been referenced.
AS 4200.2	Amdts 1 and 2 of the 2017 edition of AS 4200 Part 2 'Pliable building membranes and underlays — Installation (incorporating amendments 1 and 2)' has been referenced.
AS/NZS 4234	The 2021 edition of AS/NZS 4234 'Heated water systems — Calculation of energy consumption' has been referenced.
AS 4254.1	The 2021 edition of AS 4254 Part 1 'Ductwork for air-handling systems in buildings — Flexible duct' has been referenced.
AS/NZS 4256.1	The 1994 edition of AS/NZS 4256 Part 1 'Plastic roof and wall cladding materials — General requirements' has been deleted.
AS/NZS 4256.2	The 1994 edition of AS/NZS 4256 Part 2 'Plastic roof and wall cladding materials — Unplasticized polyvinyl chloride (uPVC) building sheets' has been deleted.
AS/NZS 4256.3	The 1994 edition of AS/NZS 4256 Part 3 'Plastic roof and wall cladding materials — Glass fibre reinforced polyester (GRP)' has been deleted.
AS/NZS 4256.5	The 1996 edition of AS/NZS 4256 Part 5 'Plastic roof and wall cladding materials — Polycarbonate' has been deleted.
AS 4773.2	Amdt 1 of the 2015 edition of AS 4773 Part 2 'Masonry in small buildings — Construction' has been referenced.
AS/NZS 4858	The 2004 edition of AS/NZS 4858 'Wet area membranes' has been referenced.
AS 5146.3	The 2018 edition of AS 5146 Part 3 'Reinforced Autoclaved Aerated Concrete — Construction' has been referenced.
AS 5216	The 2021 edition of AS 5216 'Design of post-installed and cast-in fastenings in concrete' has been referenced.
AS/NZS 5601.1	The 2013 edition of AS/NZS 5601 Part 1 'Gas installations — General installations' has been referenced.
AIRAH-DA07	The 2021 edition of AIRAH-DA07 'Criteria for moisture control design analysis in buildings' has been referenced.
ASTM E903	The 2012 edition of ASTM E903 'Standard Test Method for Solar Absorptance, Reflectance, and Transmittance of Materials Using Integrating Spheres' has been deleted.
ASTM E96	The 2016 edition of ASTM E96 'Standard Test Methods for Water Vapor Transmission of Materials' has been referenced.
ABCB	The 2022 version of the ABCB 'Fire Safety Verification Method' Standard has been referenced. As a consequence, the FSVM is deleted as a standalone schedule.
ABCB	The 2022 version of the ABCB 'Housing Provisions' Standard has been referenced.
ABCB	The 2022 version of the ABCB 'Livable Housing Design' Standard has been referenced.
ABCB	The 2022 version of the ABCB 'Standard for NatHERS Heating and Cooling Load Limits' has been referenced.
ABCB	The 2022 version of the ABCB 'Standard for Whole-of-home Efficiency Factors' has been referenced.
FPAA101D	The 2021 edition of FPAA101D 'Automatic Fire Sprinkler System Design and Installation — Drinking Water Supply' has been referenced.
FPAA101H	Amdt 1 of the 2018 edition of FPAA101H 'Automatic Fire Sprinkler System Design and Installation — Hydrant Water Supply (incorporating amendment 1)' has been referenced.
NASH Standard	The 2021 edition of NASH Standard 'Steel Framed Construction in Bushfire Areas' has been referenced.
NSF/ANSI/CAN 372	The 2020 edition of NSF/ANSI/CAN 372 'Drinking Water System Components — Lead Content' has been referenced.

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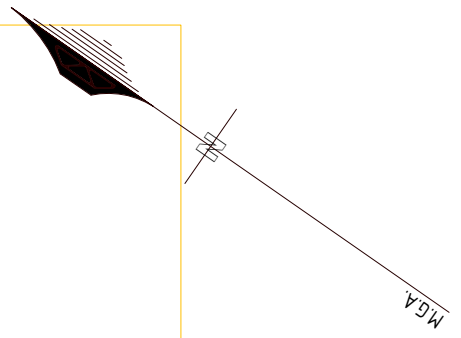
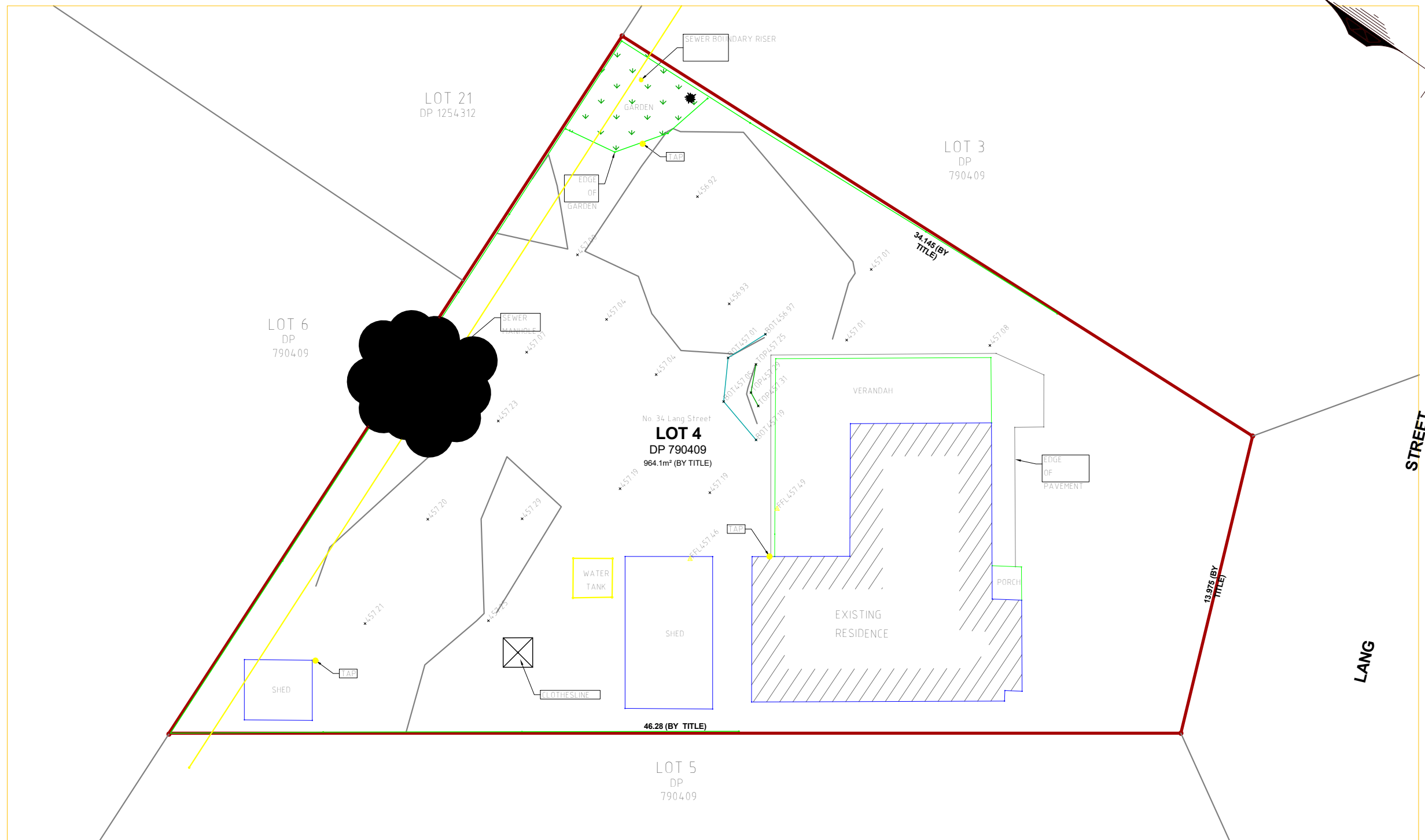
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Project:
34 Lang Street,
Mudgee NSW 2850
 Client:

Drawing:
Spec. & Notes

newton teale consulting pty ltd		ABN:
trading as plan land		62 128 716 334
PO BOX 495 Gynea NSW		
Phone: 0403 993 876		
Email: info@planland.com.au		
Drawn:	Approved:	Date:
LT	LT	OCT/2022
Scale:	Drawing No.:	Sheet No.:
@A3	22113	DA 0.5
		Rev.:





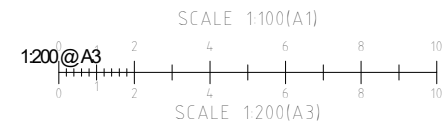
KEY	
	EXISTING SUBJECT CADASTRAL BOUNDARIES
	EXISTING FENCE LINE
	EXISTING (UNDERGROUND) SEWER PIPE (CONDUIT)
	TOP OF BANK
	BOTTOM OF BANK

NOTES

- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9(1) OF THE SURVEYING AND SPATIAL INFORMATION REGULATION 2017. IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.
- A LEVEL & LEVEL SURVEY IS NOT A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT 2002. IF CONSTRUCTION OR DESIGN WORK WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE OPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY.
- THE LOCATIONS AND DEPTHS OF UNDERGROUND SERVICES ARE NOT ASSURED BY BARNSON. SERVICE AUTHORITIES SHOULD BE CONSULTED BEFORE ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- THERE MAY BE UNDERGROUND SERVICES THAT HAVE NOT BEEN SHOWN HEREON.
- BARNSON TAKES NO RESPONSIBILITY FOR LOSSES, DAMAGES OR INJURIES TO ANY PERSON OR ORGANISATION THAT MAY OCCUR DUE TO THE RELIANCE ON THIS PLAN FOR THE LOCATION OF UNDERGROUND SERVICES.



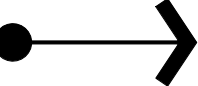


DATE OF SURVEY : 16th SEPTEMBER 2022
 SURVEY BY : R. Boylan
 DATUM : AUSTRALIAN HEIGHT DATUM (AHD)
 ORIGIN : PM 2994 RL 460.341m (S.C.I.M.S)
 MAJOR CONTOUR INTERVAL : 1 METRE
 MINOR CONTOUR INTERVAL : 0.2 METRES

LEVEL AND DETAIL SURVEY PLAN
 REDUCTION RATIO 1:100 @ A1



ISSUED TO CLIENT

LEGEND:

-  SITE PHOTO VIEWS
-  VIEW CORRIDORS
-  VIEWS FROM SUBJECT SITE
-  PREVAILING WINDS
-  NOISE LEVEL

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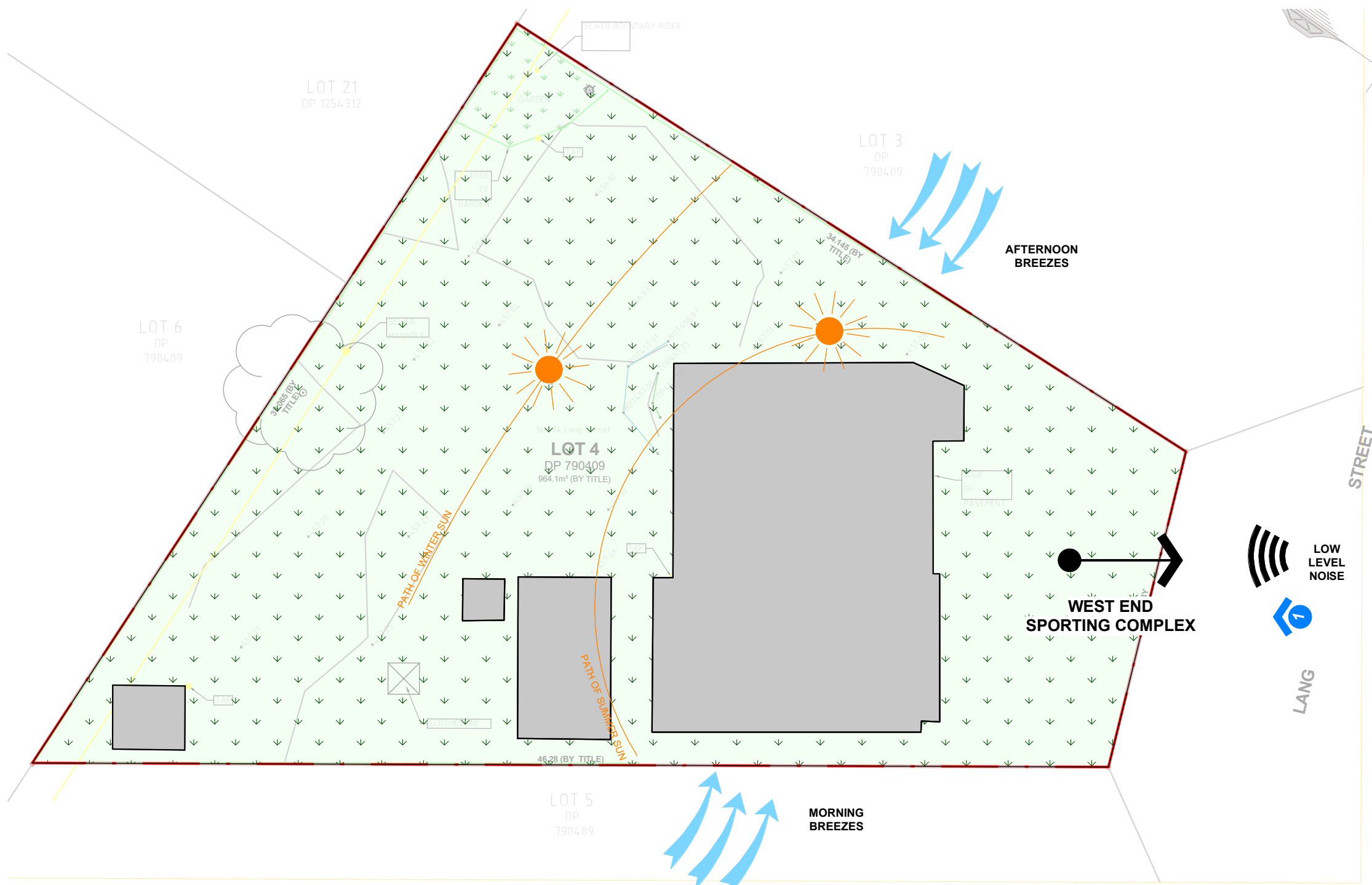
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 Mudgee NSW 2850**
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Drawing:
Site Analysis

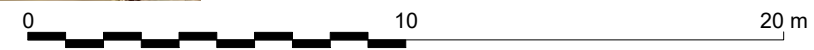
newton teale consulting pty ltd
 trading as **plan land**
 PO BOX 495 Gympie NSW
 Phone: 0403 993 876
 Email: info@planland.com.au
 Drawn: **LT** Approved: **LT** Date: **OCT/2022**
 Scale: 1:200@A3 Drawing No.: 22113 Sheet No.: DA 1.1 Rev.:
 ABN: 62 128 716 334



Aerial View



View 1



NET AREAS

No.	NAME	AREA
1	Ex.Entry	1.65 m ²
2	Ex.Family	16.03 m ²
3	Ex. Corridor	4.54 m ²
4	Ex.Kitchen	6.36 m ²
5	New Dining	26.27 m ²
6	New Living	30.11 m ²
7	Ex.Bedroom 1	8.90 m ²
8	Ex.Bedroom 2	13.44 m ²
9	Ex.Bath	5.31 m ²
10	Ex.WC	1.44 m ²
11	Ex.Bedroom 3	15.57 m ²
12	Ex.L'dry	3.89 m ²
13	Ex.Shed	25.42 m ²
2.Ground FFL: 13		158.93 m ²
Granny		
14	New Kitchen/Living	19.56 m ²
15	New Bedroom	11.65 m ²
16	New Bath/L'dry	6.39 m ²
17	New Pantry	2.56 m ²
2.Ground FFL: 4		40.15 m ²
Grand total: 17		199.08 m ²

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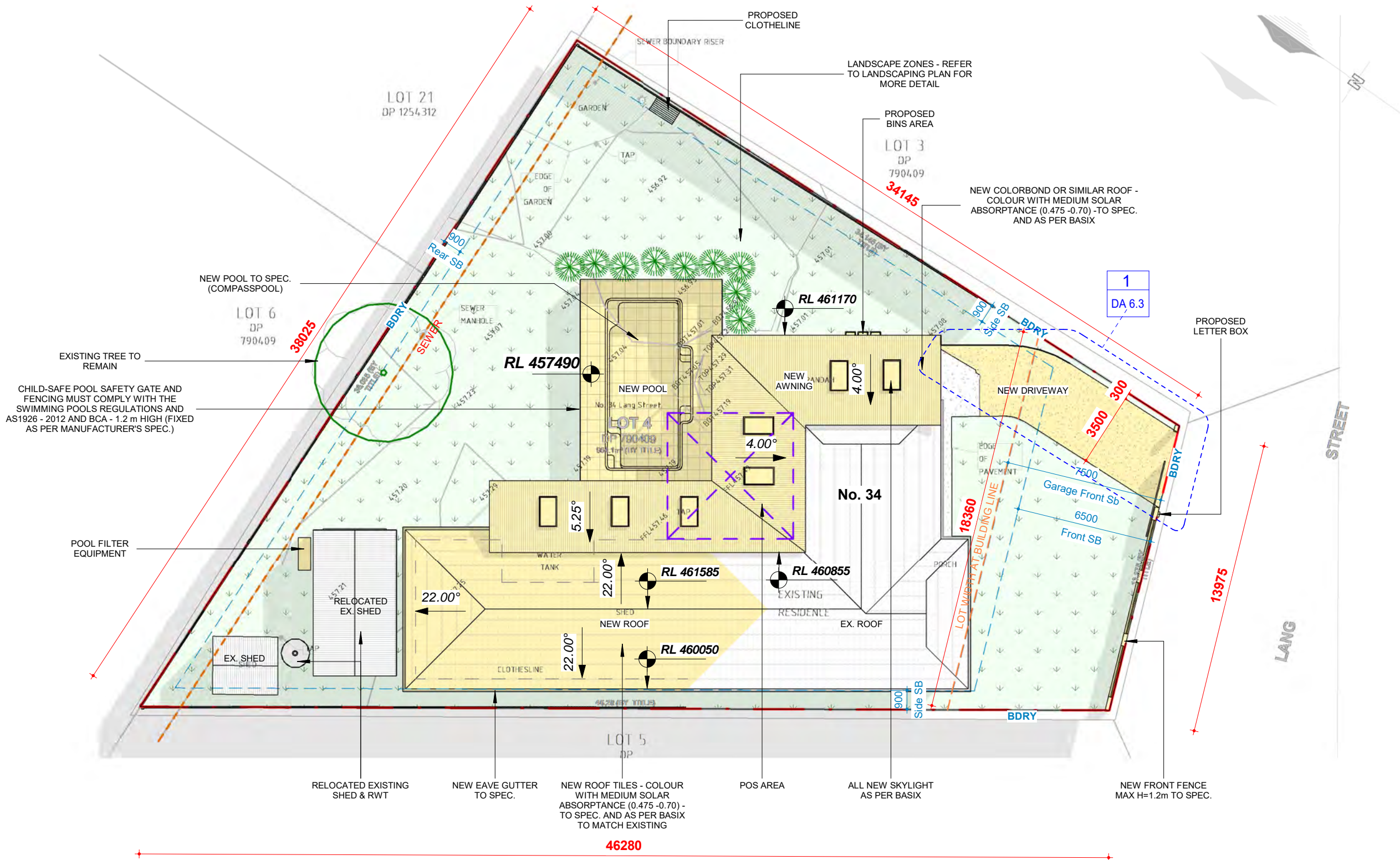
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Project:
**34 Lang Street,
Mudgee NSW 2850**
Client:

Drawing:
Site Plan

newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 Gynea NSW
Phone: 0403 993 876
Email: info@planland.com.au
ABN: 62 128 716 334
Drawn: **LT** Approved: **LT** Date: **OCT/2022**
Scale: 1:200@A3 Drawing No.: 22113 DA 1.2 Sheet No.: Rev.:



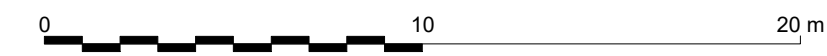
PHASING LEGEND:
(Note: legend applies to building elements, not finishes)

- NEW WORK
- EXISTING ELEMENTS
- DEMOLISHED ELEMENTS



LOT AREA	GFA	FSR
964.10 m ²	189.84 m ²	0.20

LOT AREA	LSA	LSA COVERAGE
964.10 m ²	516.22 m ²	53.54%



BASIX NOTES:
The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 51 kilolitres.
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

BASIC NOTES:
 The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.
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NOTE:
 SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY.

NOTE:
 LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC.

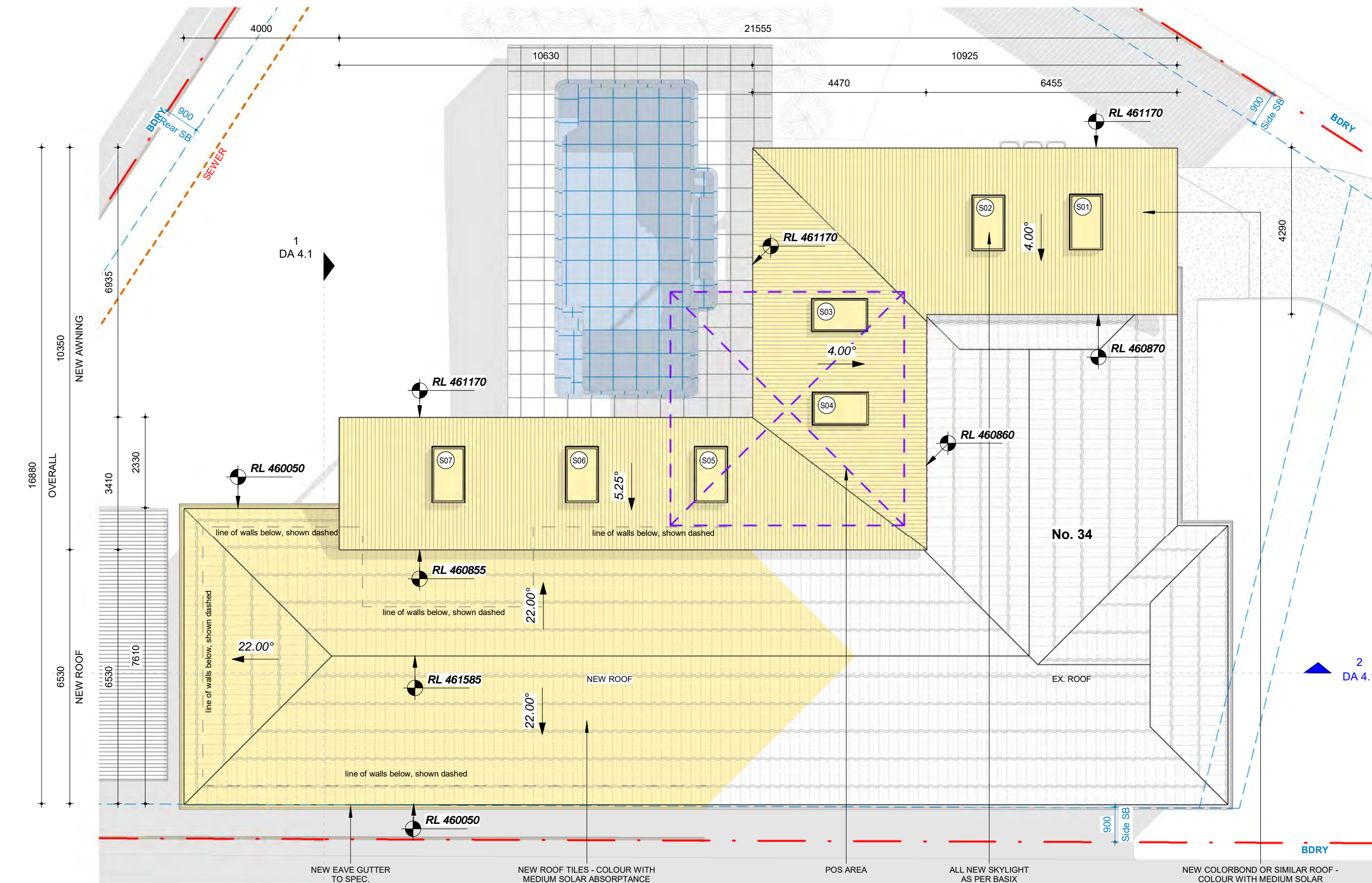
NOTE:
 STAIRWAY TO HAVE A NON-SLIP FINISH OR NOSING STRIP IN ACCORDANCE WITH CLAUSE 3.9.1.4 AND TABLE 3.9.1.3 OF THE NCC.

NOTE:
 METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

Project:
34 Lang Street, Mudgee NSW 2850
 Client:

Drawing:
Roof Plan

newton teale consulting pty ltd
 trading as **plan land**
 PO BOX 495 Gymea NSW
 Phone: 0403 993 876
 Email: info@planland.com.au
 Drawn: **LT** Approved: **LT** Date: **OCT/2022**
 Scale: 1:100@A3 Drawing No.: 22113 DA 2.2 Sheet No.: Rev.:

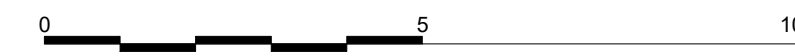


PHASING LEGEND:
 (Note: legend applies to building elements, not finishes)
 ■ NEW WORK
 ■ EXISTING ELEMENTS
 □ DEMOLISHED ELEMENTS



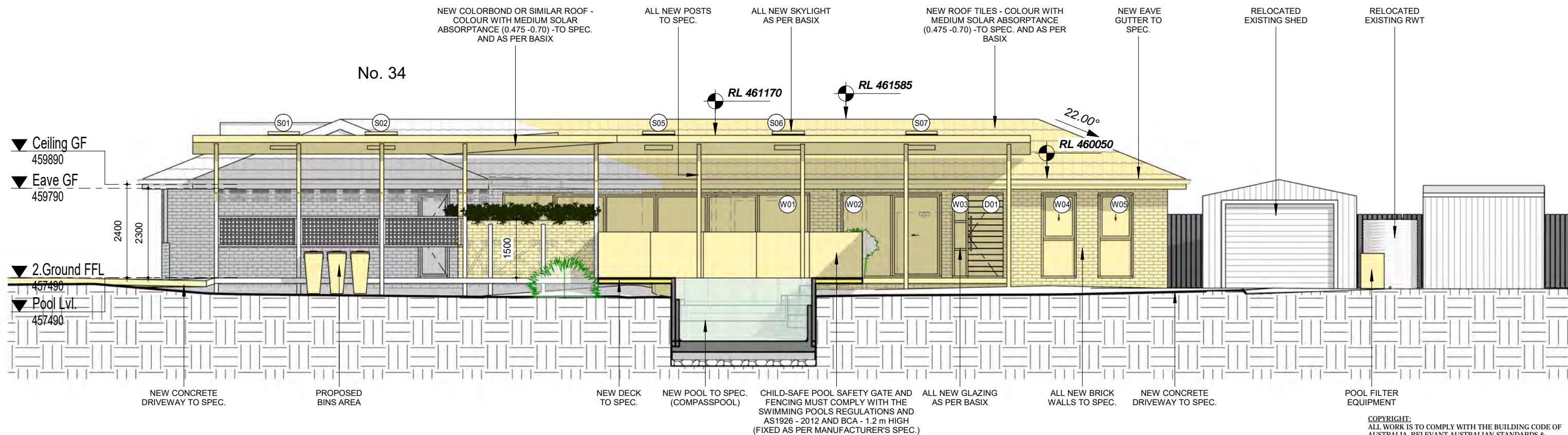
LOT AREA	GFA	FSR
964.10 m ²	189.84 m ²	0.20

LOT AREA	LSA	LSA COVERAGE
964.10 m ²	516.22 m ²	53.54%



1 DA 4.1

2 DA 4.1



2 Side (NE) Elevation
1 : 100

BASIX NOTES:

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The swimming pool must be outdoors.

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NOTE:
SELECTED TERMITE PROTECTION TO BE USED ON SITE IN ACCORDANCE WITH LOCAL COUNCIL'S REQUIREMENTS, B.C.A. AND ALL RELEVANT AUSTRALIAN STANDARDS

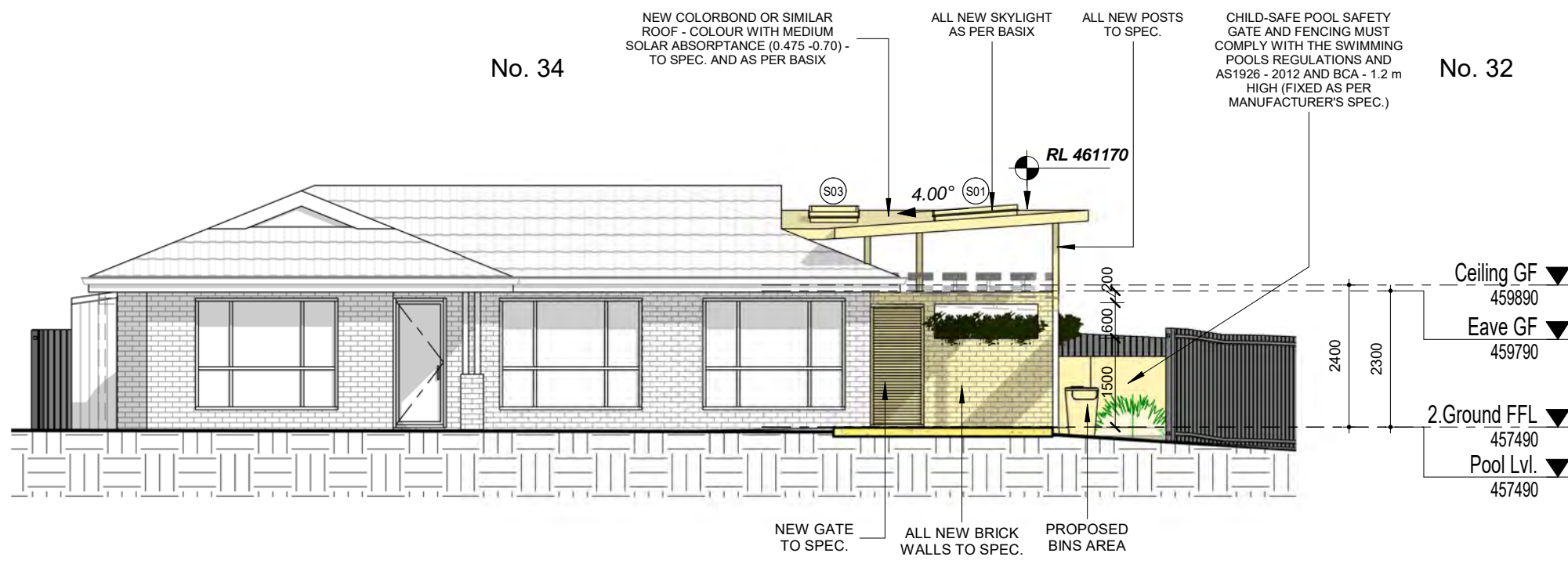
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NOTE:
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NOTE:
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No. 36 **No. 34** **No. 32**



1 Front (SE) Elevation
1 : 100

PHASING LEGEND:
(Note: legend applies to building elements, not finishes)

NEW WORK

EXISTING ELEMENTS

DEMOLISHED ELEMENTS

Project:
34 Lang Street, Mudgee NSW 2850
Client:

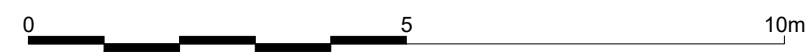
Drawing:
Elevations

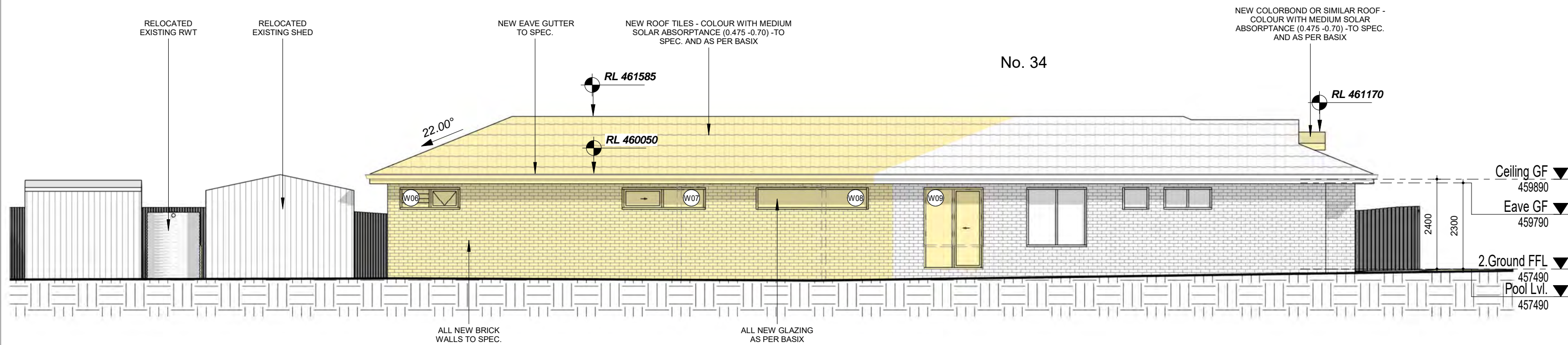
newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 Gynea NSW
Phone: 0403 993 876
Email: info@planland.com.au

ABN:
62 128 716 334

Drawn: **LT** Approved: **LT** Date: **OCT/2022**

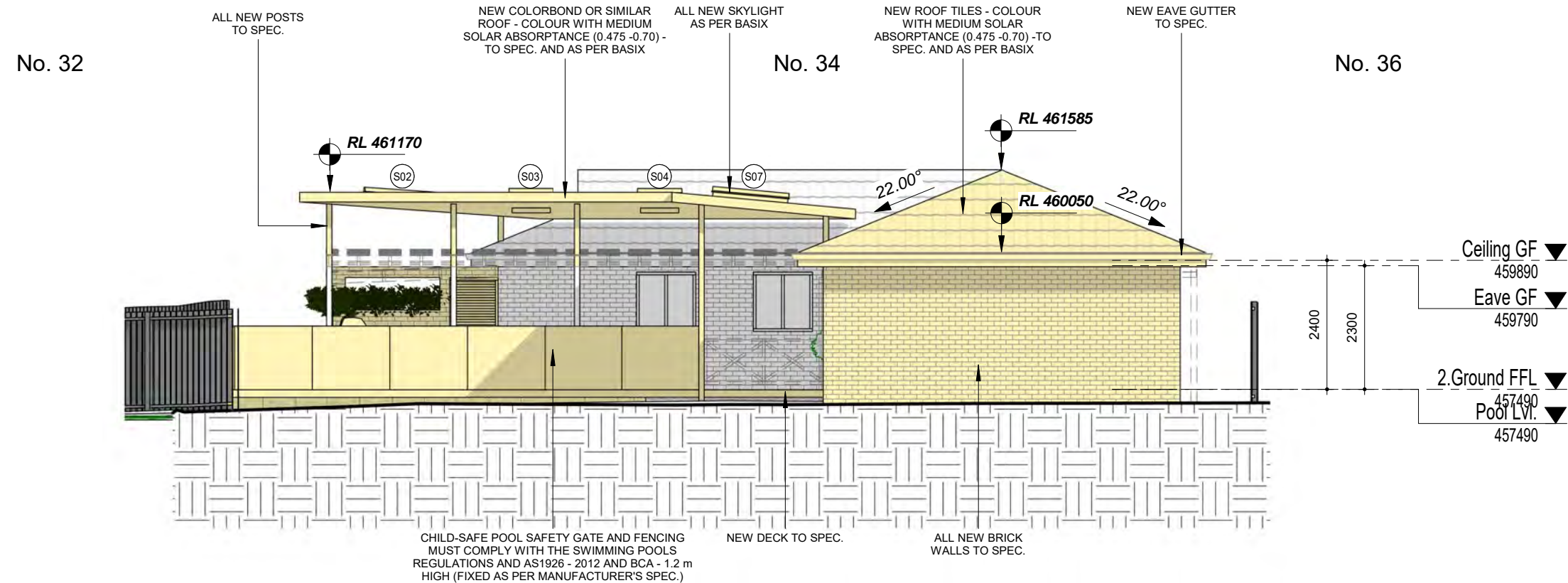
Scale: 1:100@A3 Drawing No.: 22113 DA 3.1 Sheet No.: Rev.:





2 Side (SW) Elevation
1 : 100

BASIX NOTES:
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1 Rear (WN) Elevation
1 : 100

PHASING LEGEND:
 (Note: legend applies to building elements, not finishes)
 ■ NEW WORK
 ■ EXISTING ELEMENTS
 □ DEMOLISHED ELEMENTS

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NOTE:
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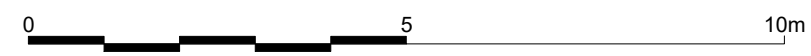
NOTE:
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NOTE:
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Project:
**34 Lang Street,
 Mudgee NSW 2850**
 Client:

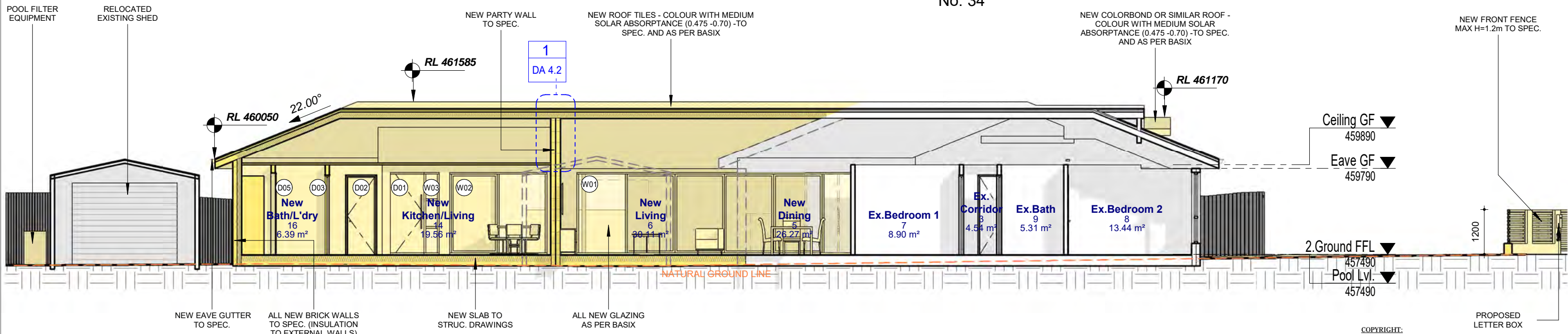
Drawing:
Elevations

newton teale consulting pty ltd
 trading as **plan land**
 PO BOX 495 Gympie NSW
 Phone: 0403 993 876
 Email: info@planland.com.au
 Drawn: **LT** Approved: **LT** Date: **OCT/2022**
 Scale: 1:100@A3 Drawing No.: 22113 DA 3.2 Sheet No.: Rev.:



8.5M MAX BUILDING HEIGHT

No. 34



2 Section 2
1 : 100

BASIX NOTES:
 The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.
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Project:
34 Lang Street, Mudgee NSW 2850
 Client:

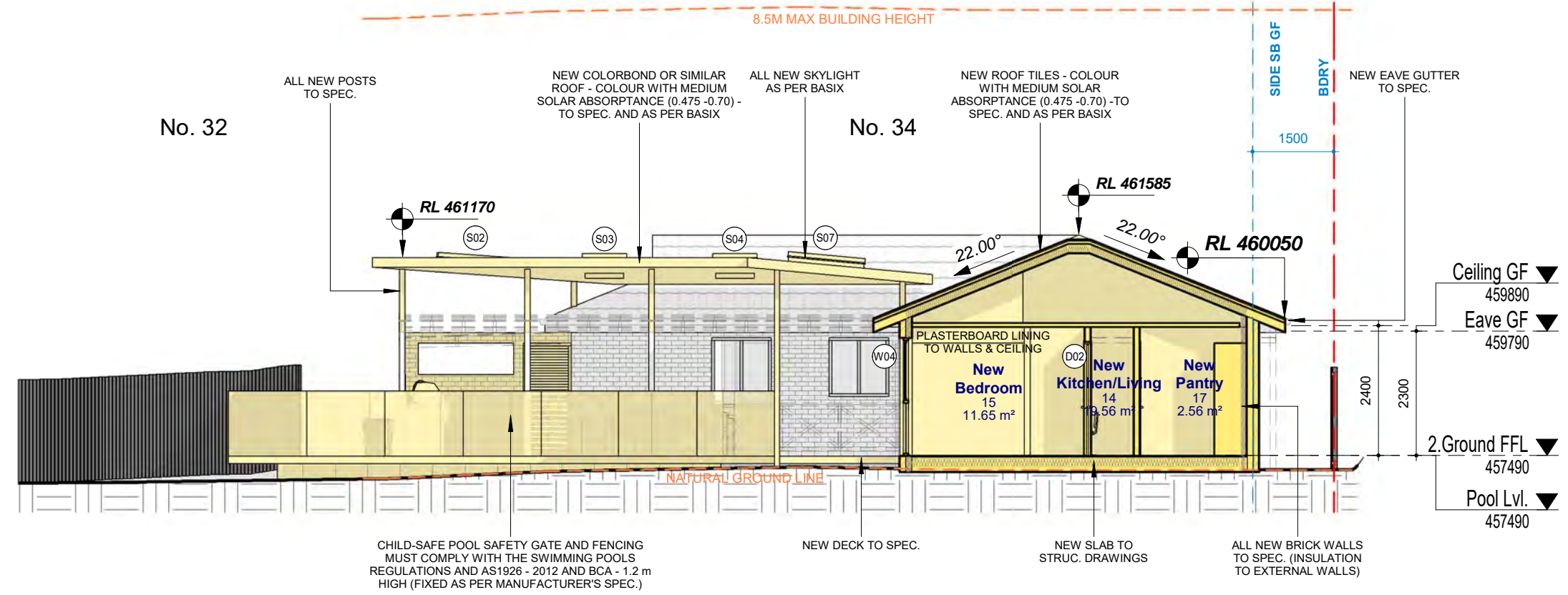
Drawing:
Sections

newton teale consulting pty ltd
 trading as **plan land**
 PO BOX 495 Gynea NSW
 Phone: 0403 993 876
 Email: info@planland.com.au
 Drawn: **LT** Approved: **LT** Date: **OCT/2022**
 Scale: 1 : 100@A3 Drawing No.: 22113 DA 4.1 Sheet No.: Rev.:

8.5M MAX BUILDING HEIGHT

No. 32

No. 34



1 Section 1
1 : 100

PHASING LEGEND:
 (Note: legend applies to building elements, not finishes)
 ■ NEW WORK
 ■ EXISTING ELEMENTS
 □ DEMOLISHED ELEMENTS

CHILD-SAFE POOL SAFETY GATE AND FENCING MUST COMPLY WITH THE SWIMMING POOLS REGULATIONS AND AS1926 - 2012 AND BCA - 1.2 m HIGH (FIXED AS PER MANUFACTURER'S SPEC.)



BASIX NOTES:

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The swimming pool must be outdoors.

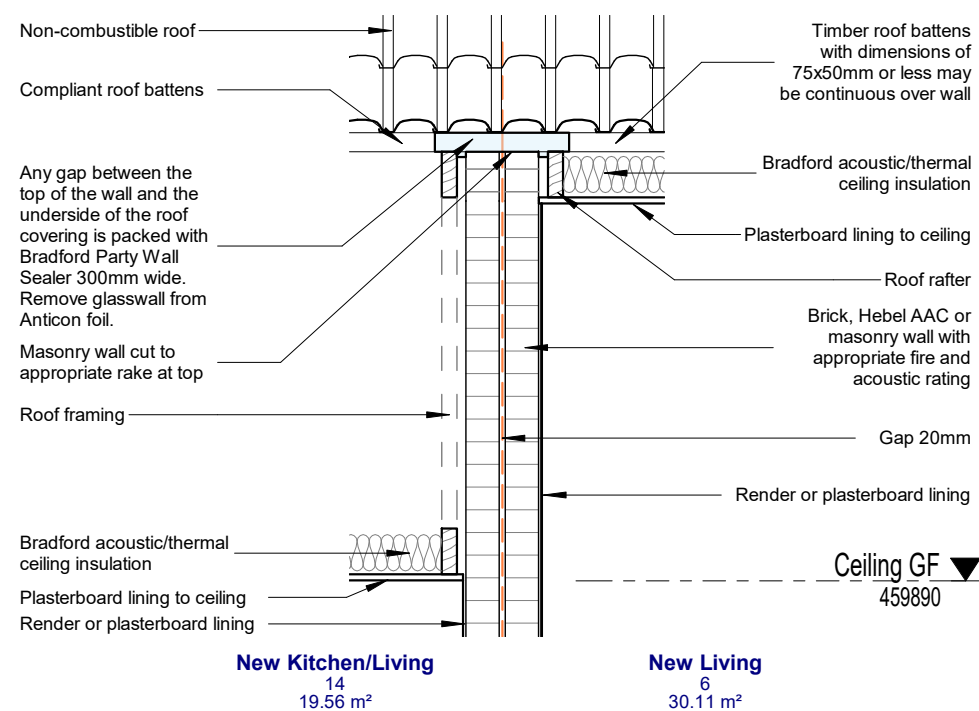
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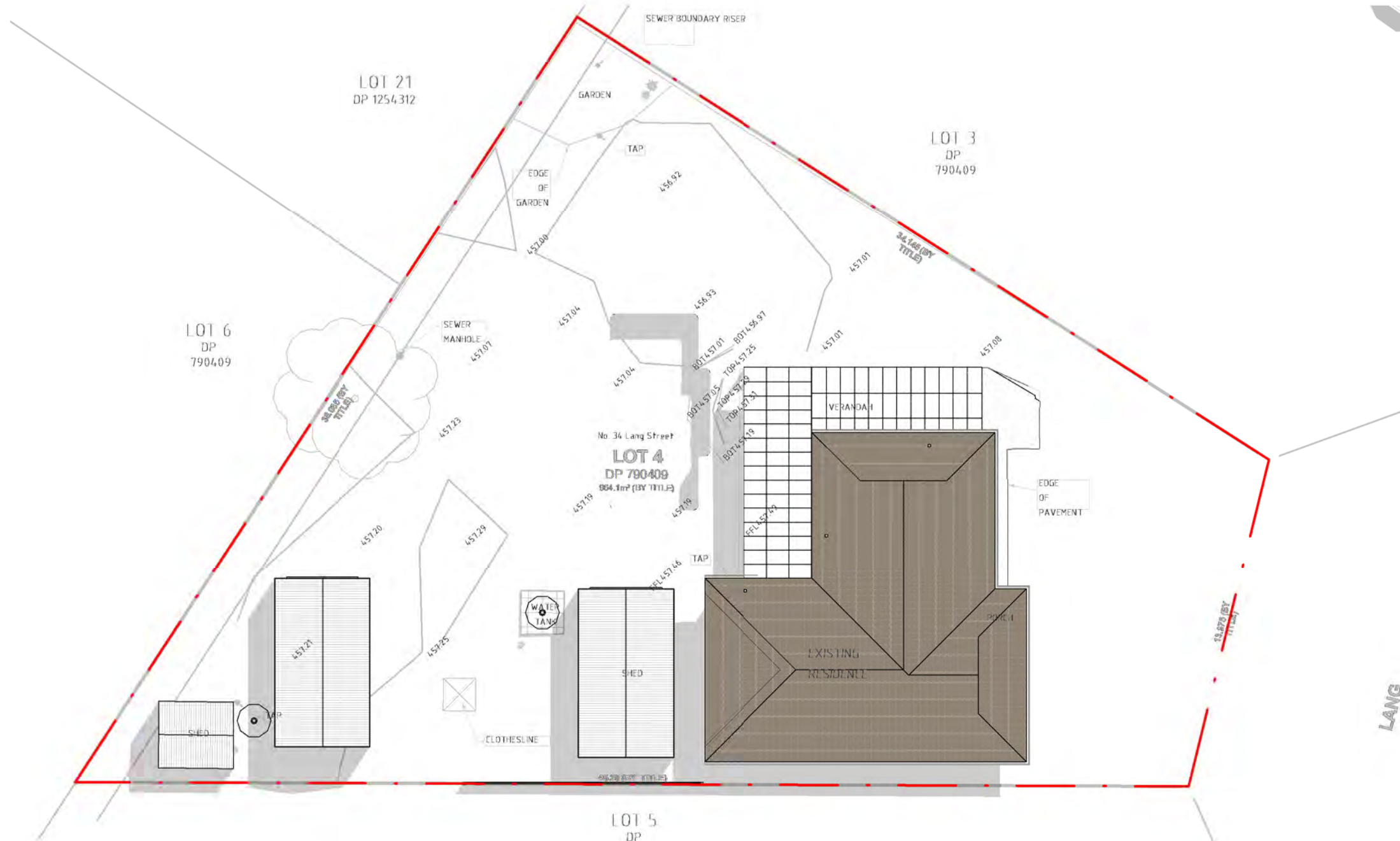
Project:
**34 Lang Street,
Mudgee NSW 2850**
Client:

Drawing:
Detail - Party Wall

newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 Gynea NSW
Phone: 0403 993 876
Email: info@planland.com.au

ABN:
62 128 716 334

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Scale: 1:25@A3 Drawing No.: **22113** Sheet No.: **DA 4.2** Rev.:



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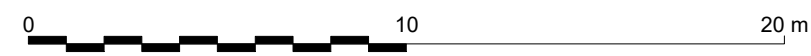
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Project:
**34 Lang Street,
 Mudgee NSW 2850**
 Client:

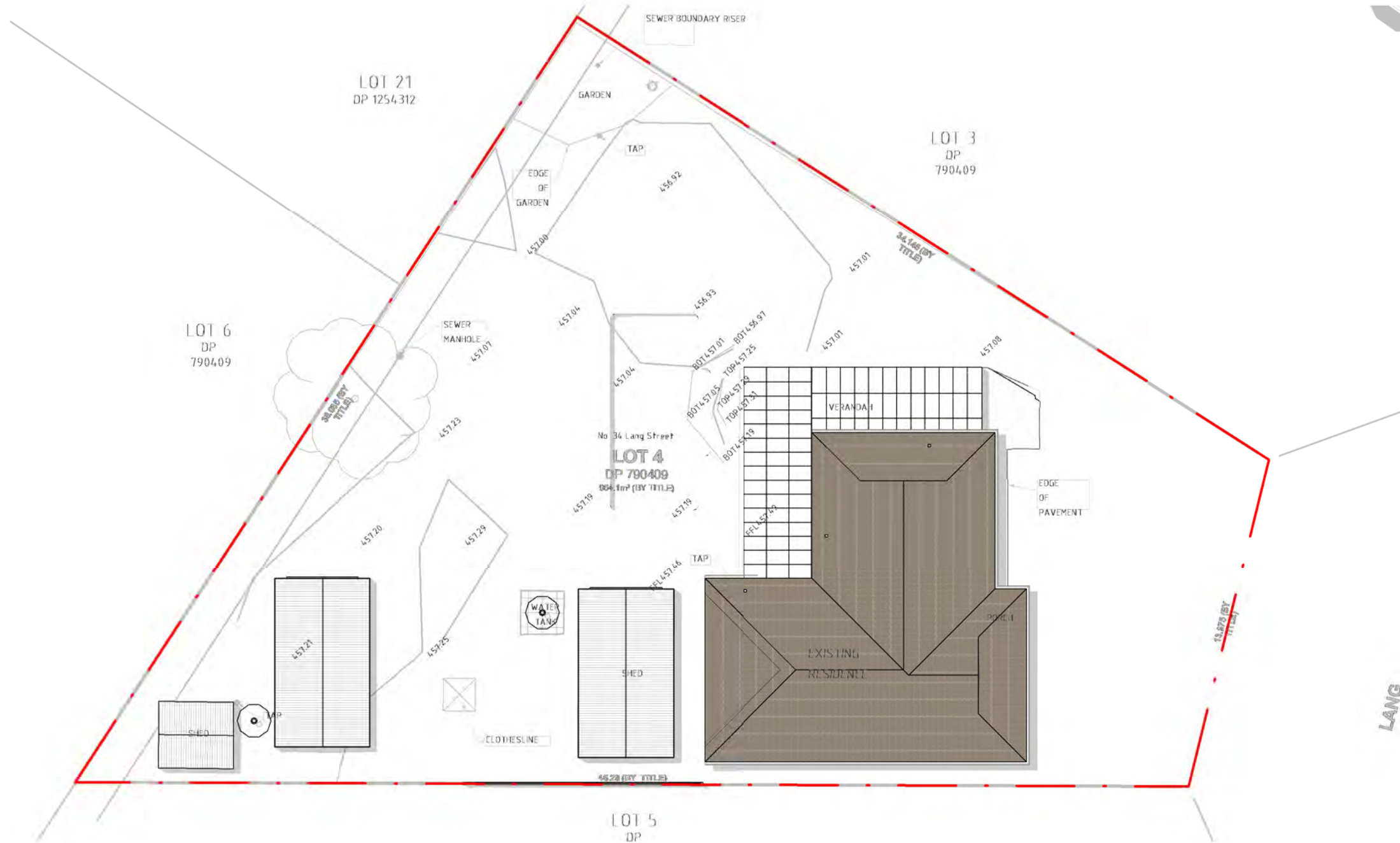
Drawing:
**Shadow Diagram
 (Existing)**

1 22 DEC - 9AM
 1 : 200



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 trading as **plan land**
 PO BOX 495 Gynea NSW
 Phone: 0403 993 876
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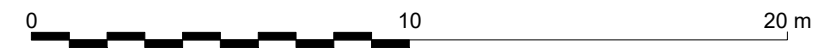
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Project:
**34 Lang Street,
 Mudgee NSW 2850**
 Client:

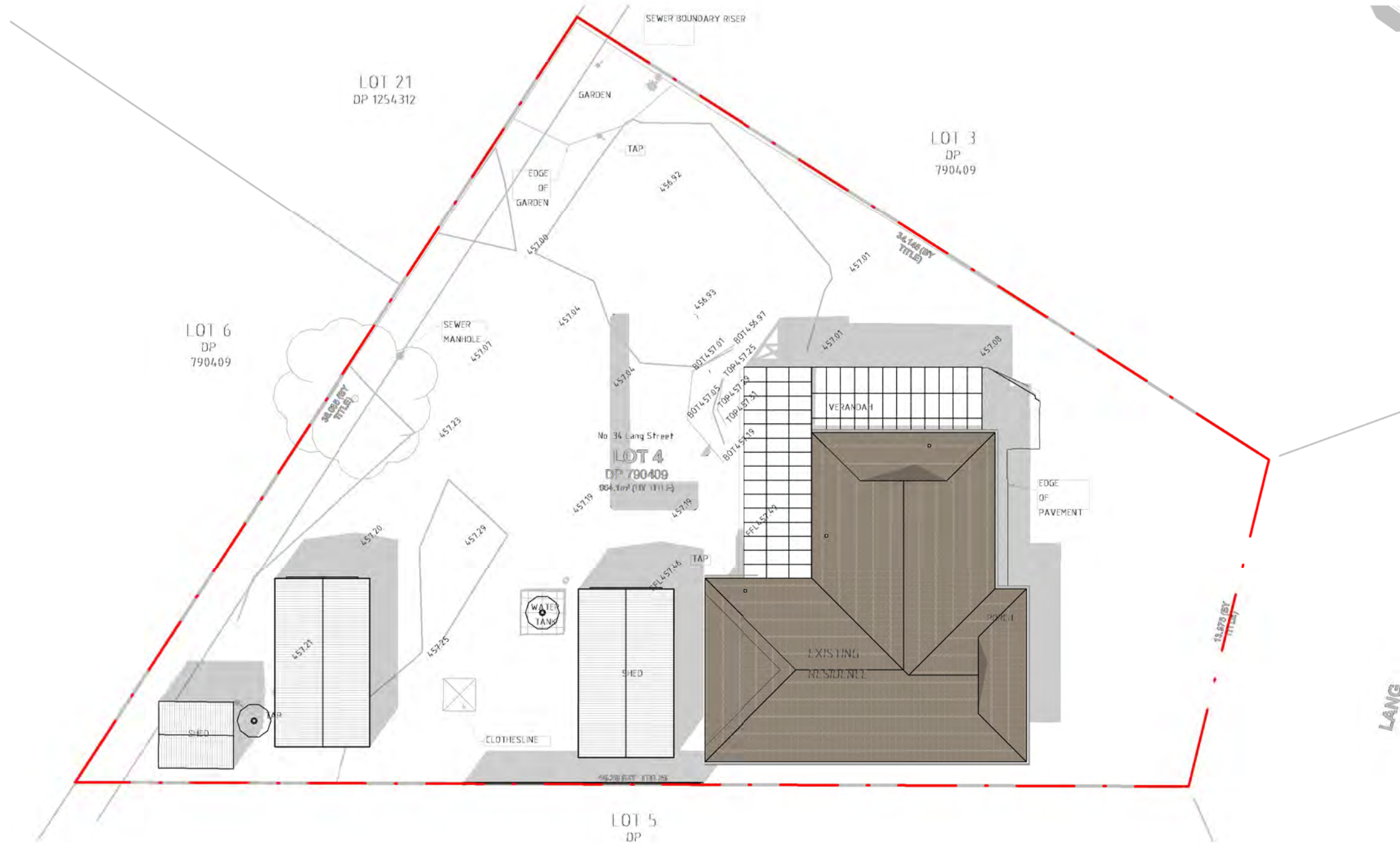
Drawing:
**Shadow Diagram
 (Existing)**

1 22 DEC - 12PM
 1 : 200



newton teale consulting pty ltd
 trading as **plan land**
 PO BOX 495 Gynea NSW
 Phone: 0403 993 876
 Email: info@planland.com.au
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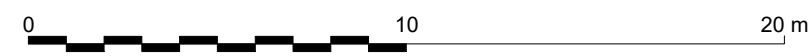
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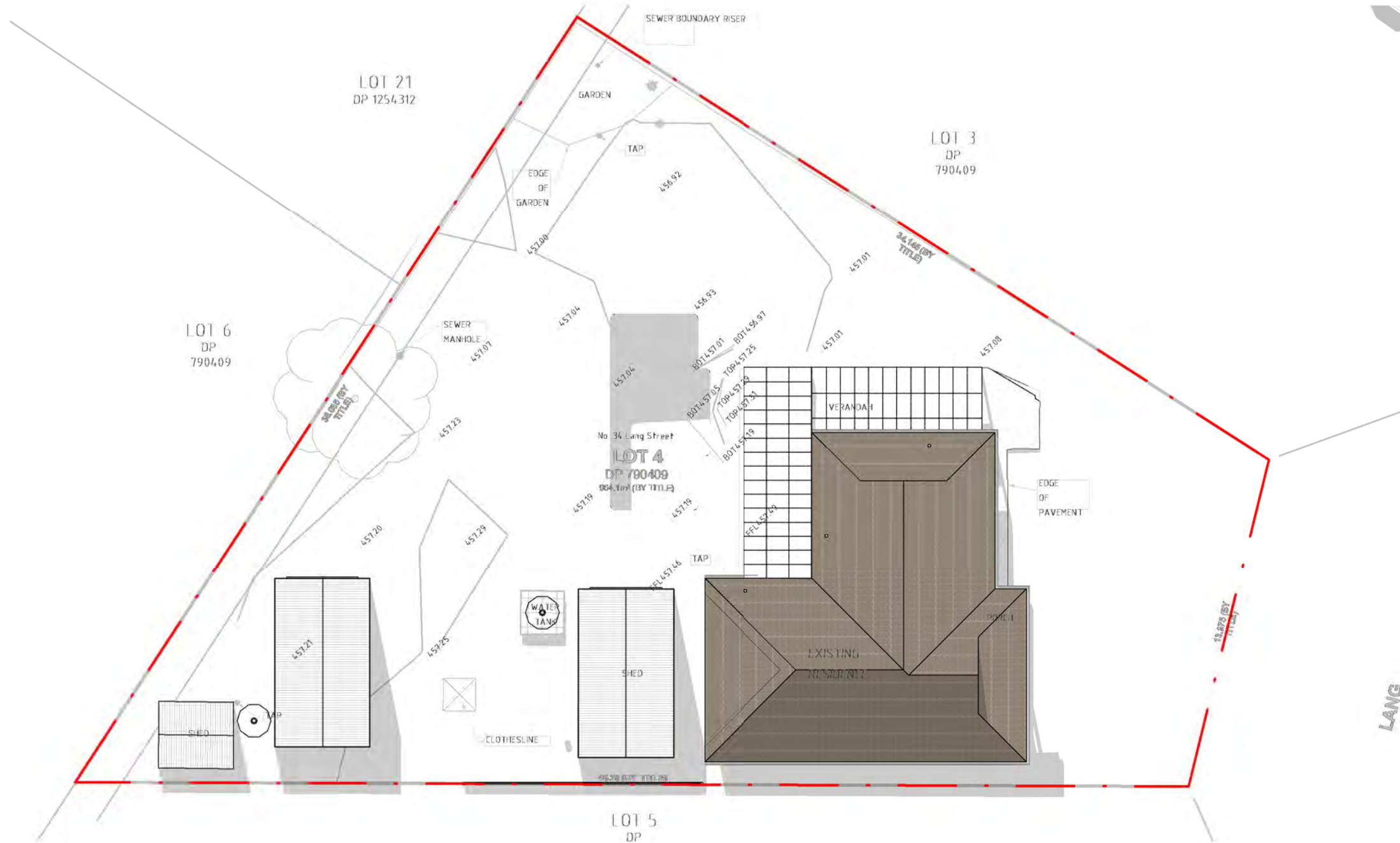
Drawing:
**Shadow Diagram
 (Existing)**

1 22 DEC - 3PM
 1 : 200



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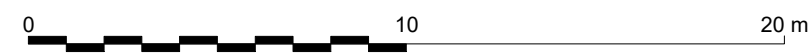
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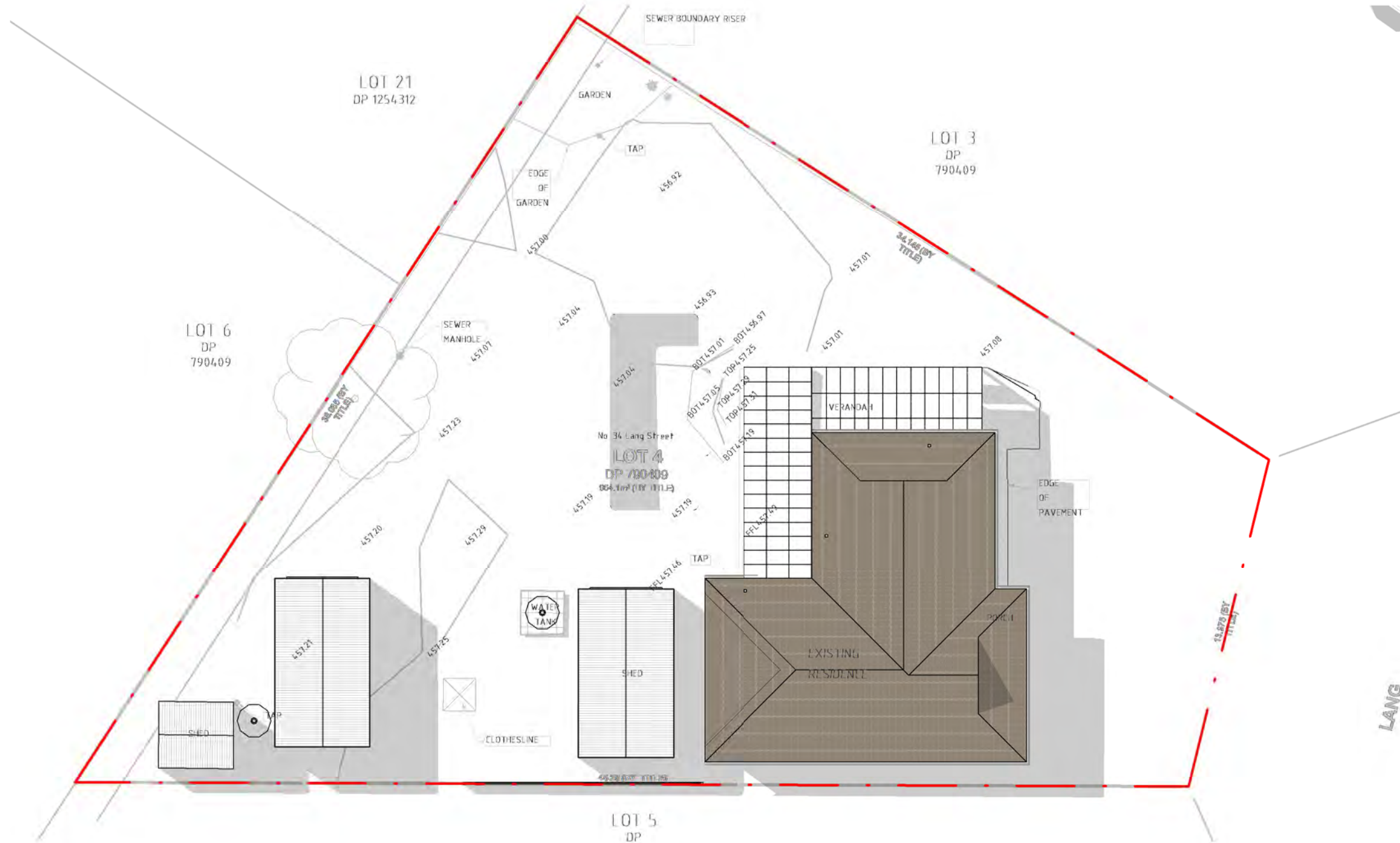
Drawing:
**Shadow Diagram
 (Existing)**

1 **22 JUN - 9AM**
 1 : 200



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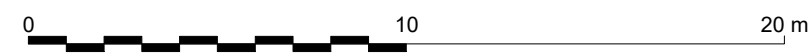
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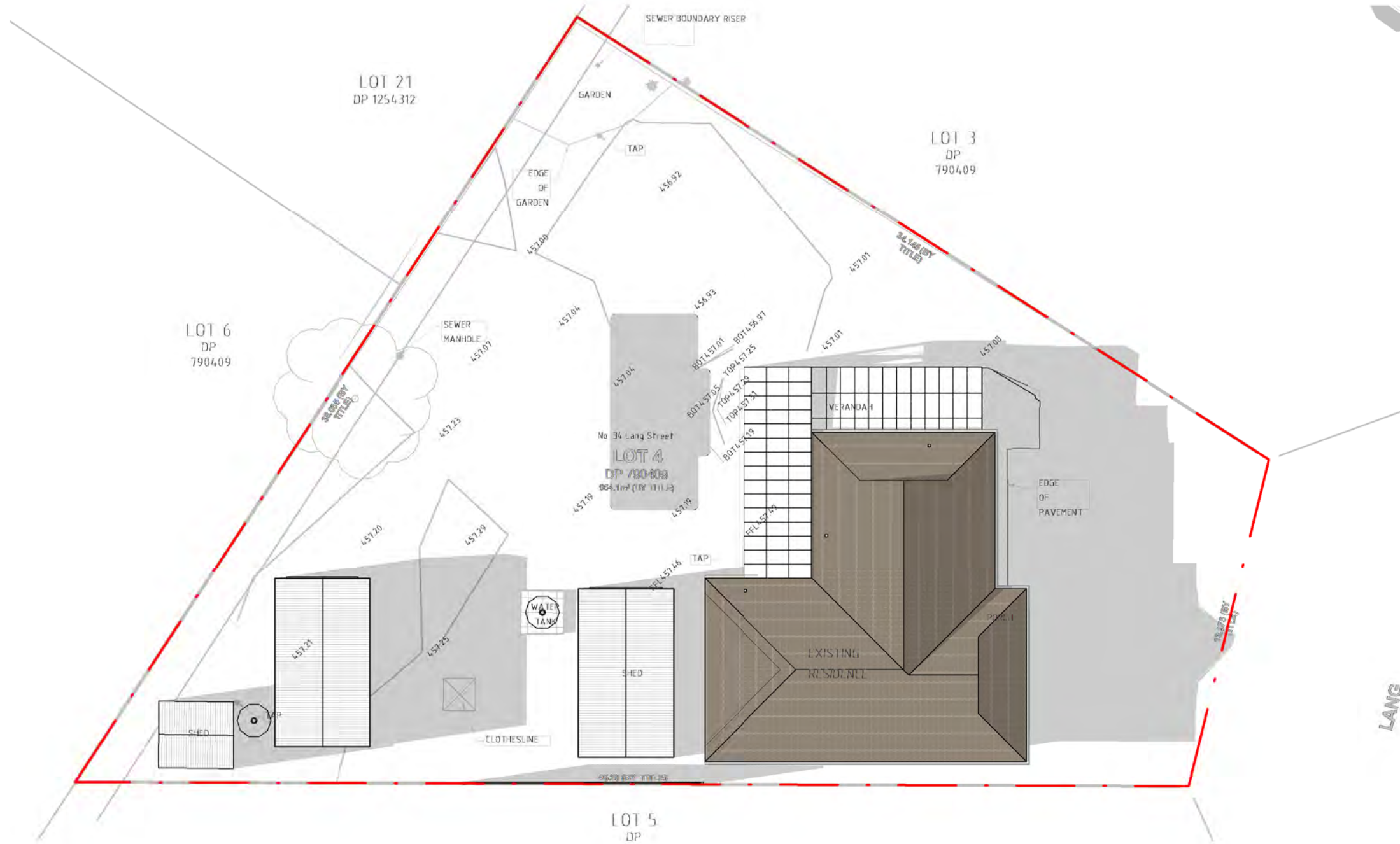
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 Client:

Drawing:
**Shadow Diagram
 (Existing)**

1 22 JUN - 12PM
 1 : 200



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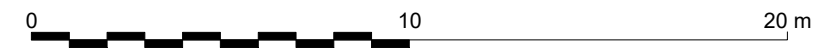
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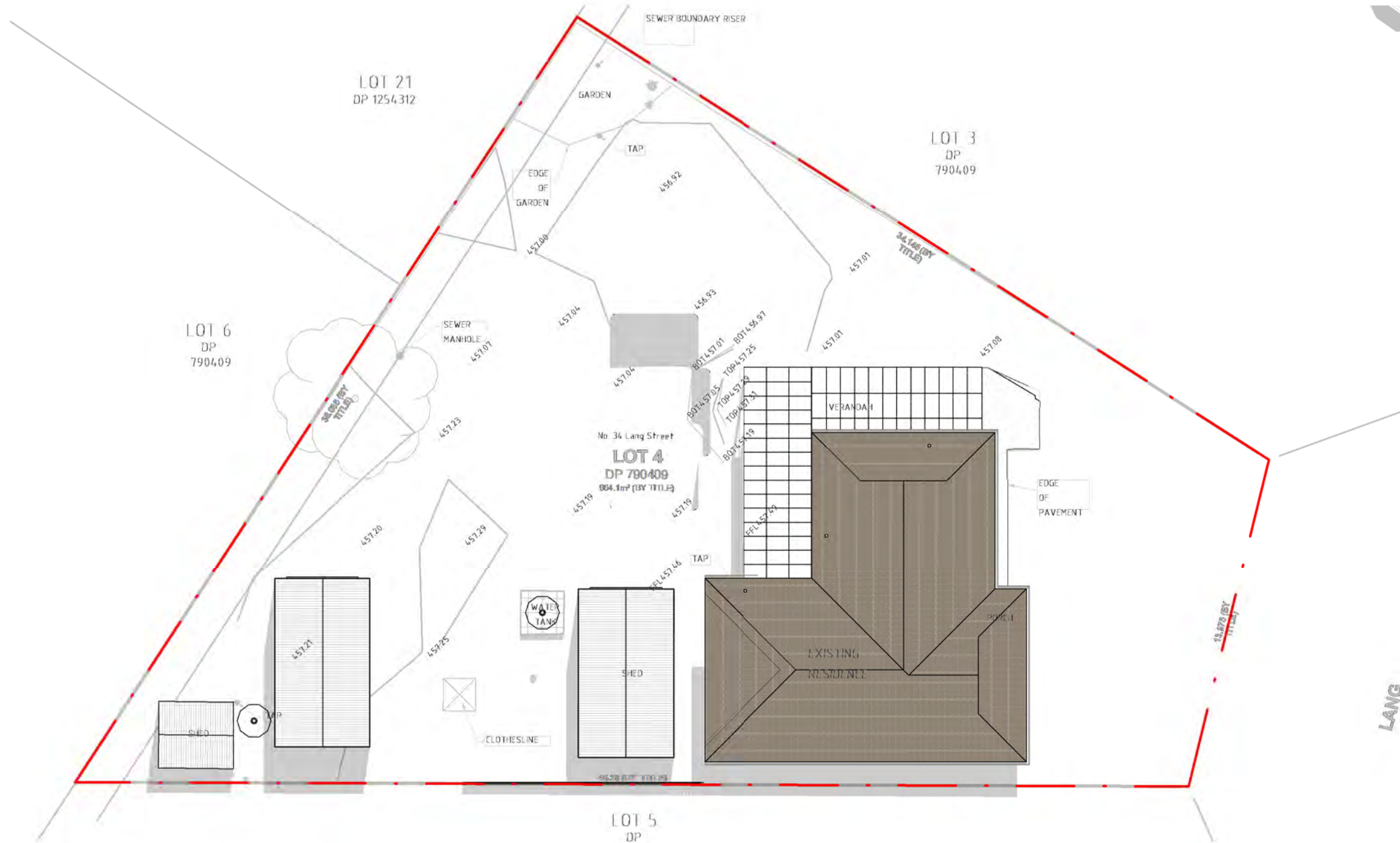
Project:
**34 Lang Street,
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Client:

Drawing:
**Shadow Diagram
(Existing)**

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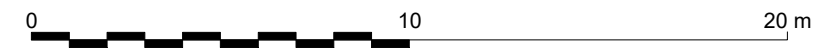
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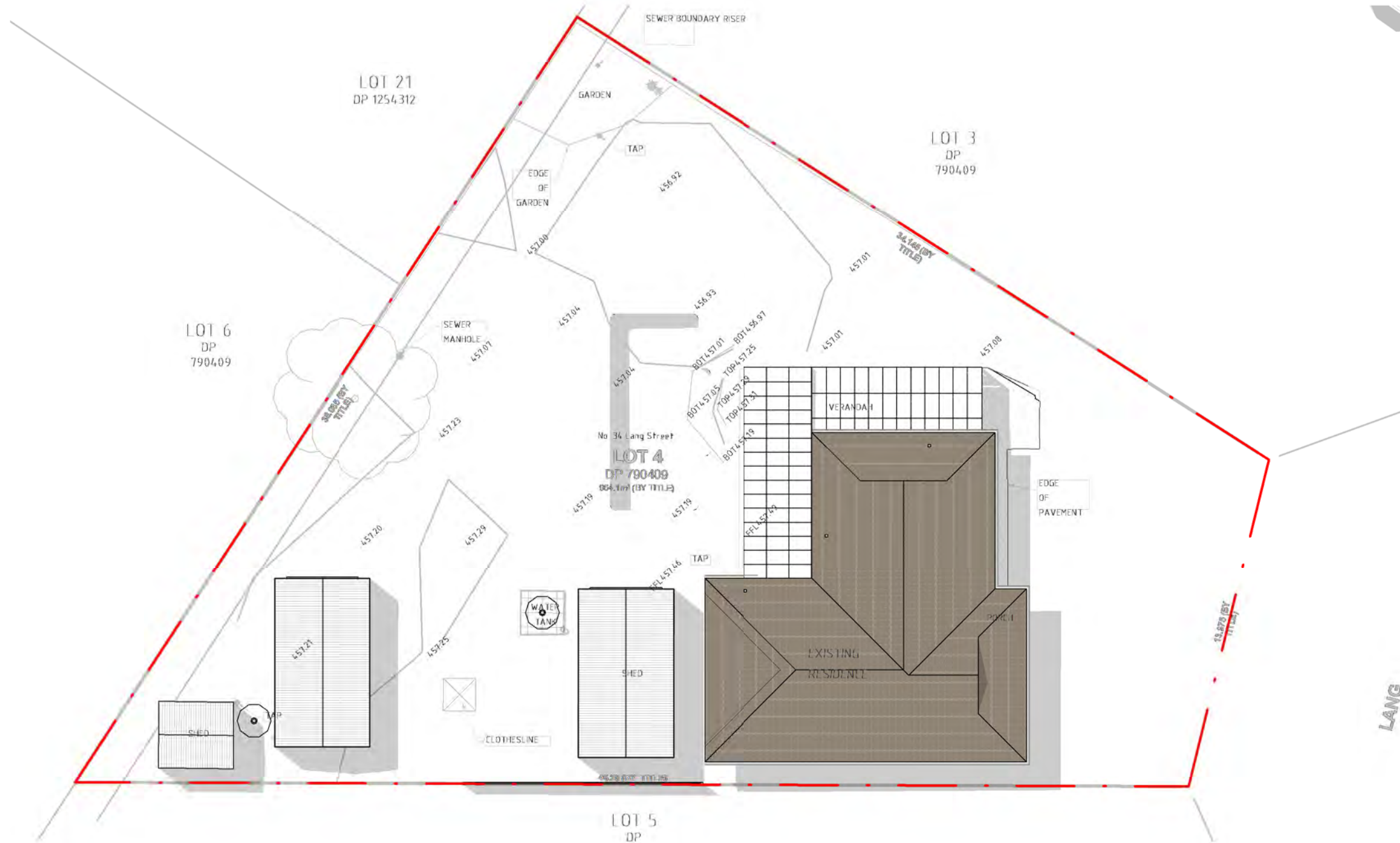
Project:
**34 Lang Street,
 Mudgee NSW 2850**
 Client:

Drawing:
**Shadow Diagram
 (Existing)**

1 22 MAR / 22 SEP - 9AM
 1 : 200



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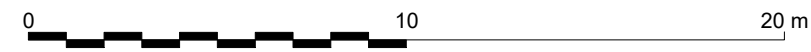
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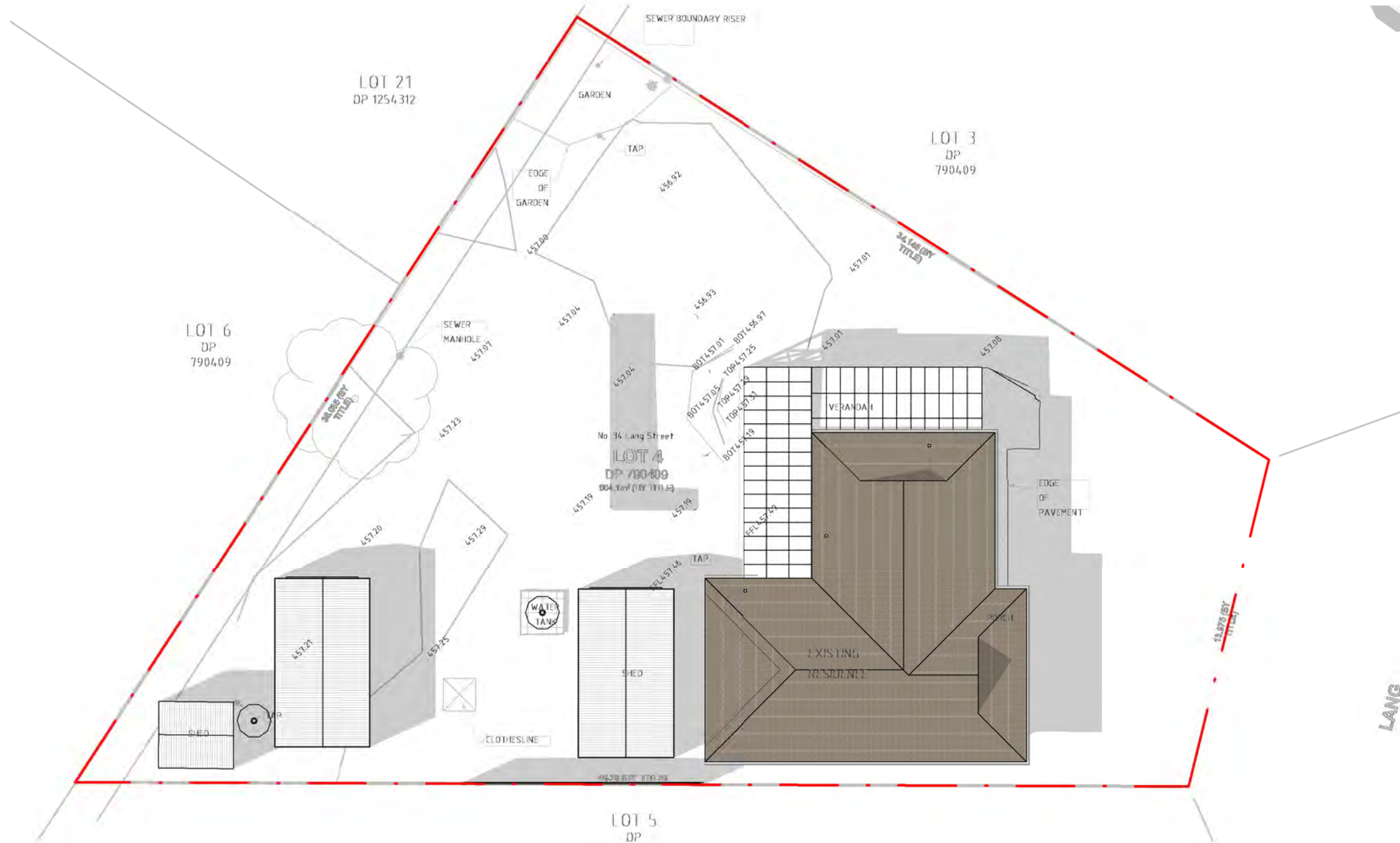
Drawing:
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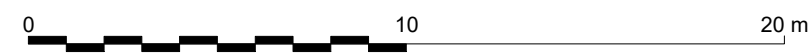
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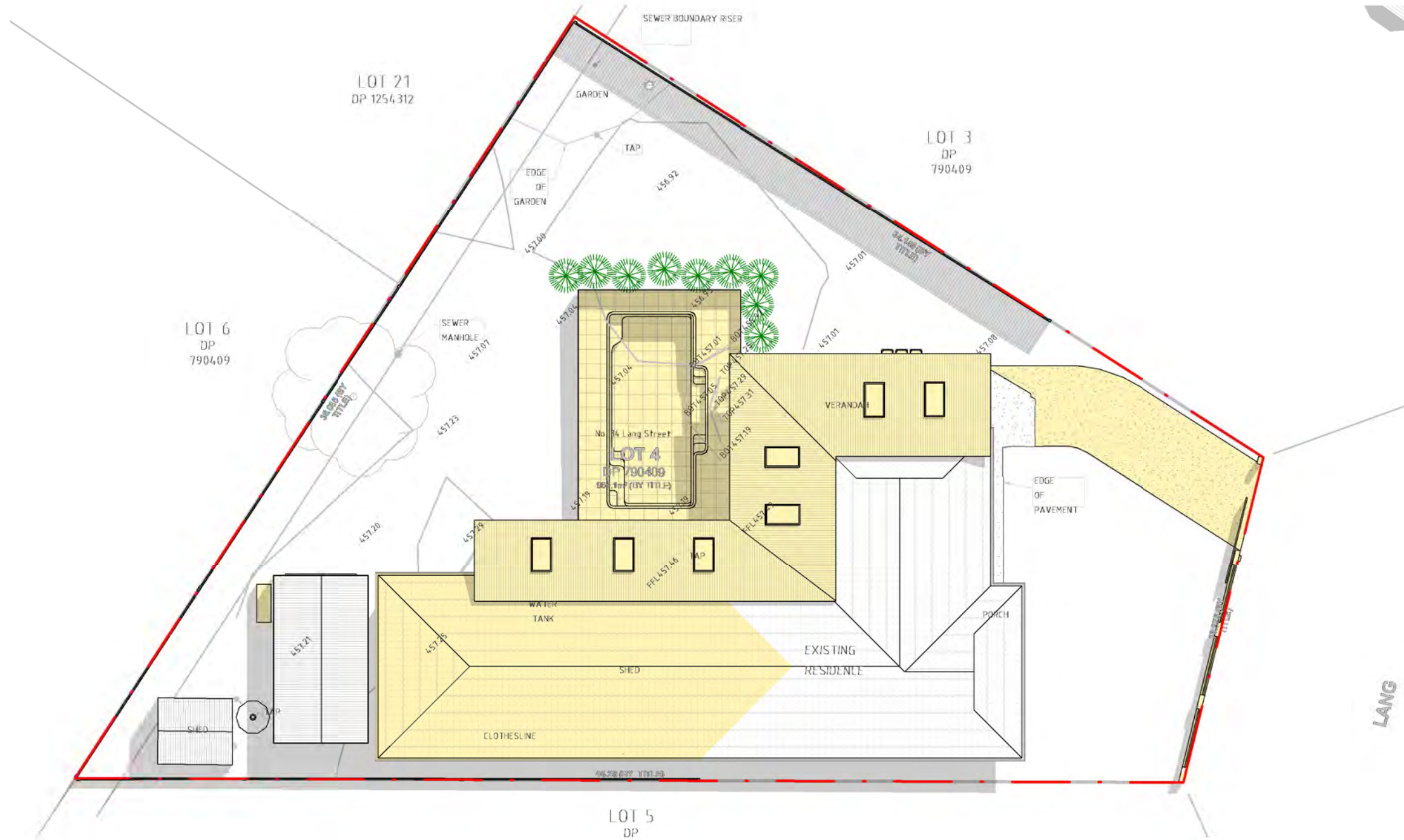
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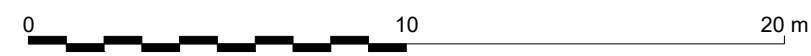
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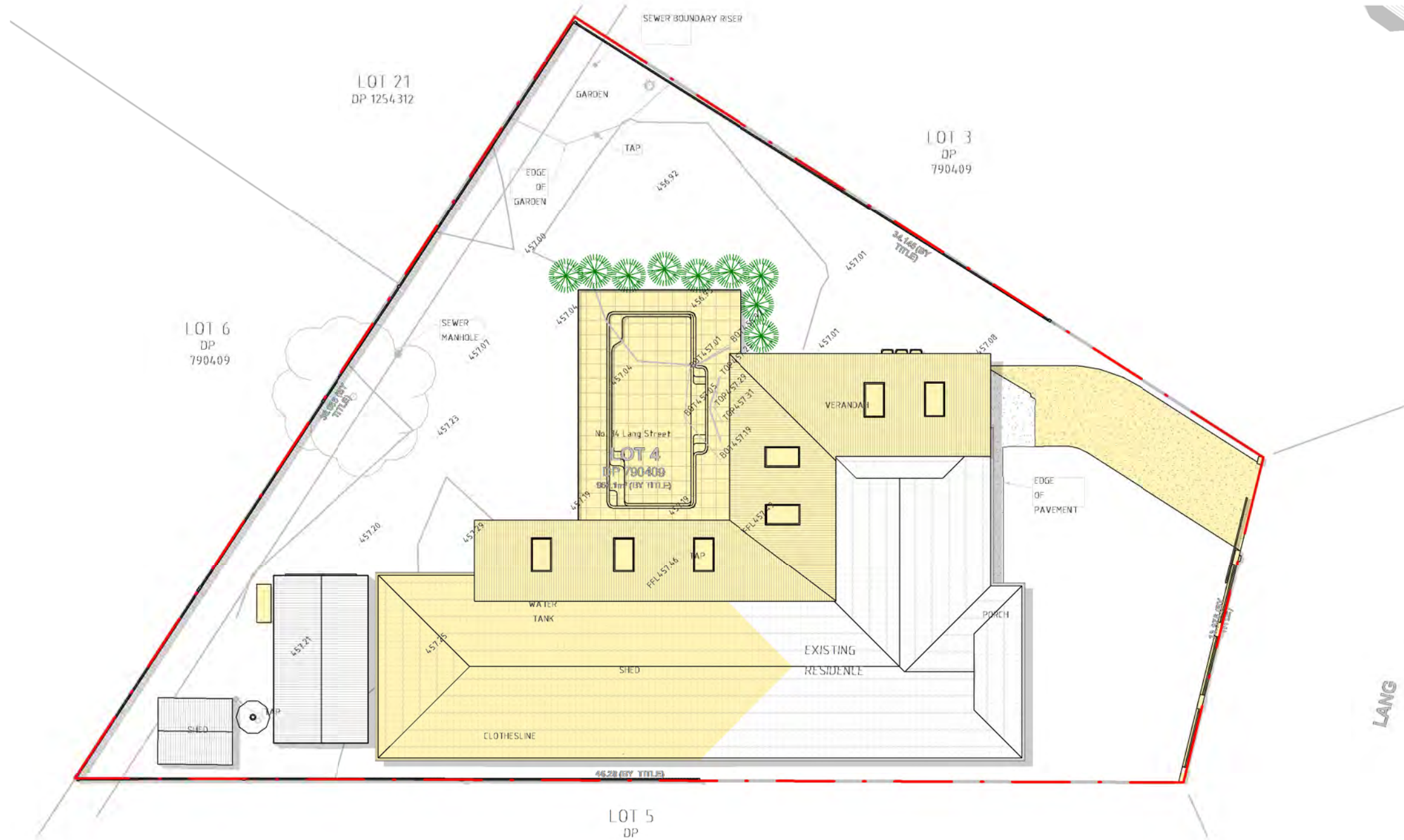
Drawing:
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 (New)**

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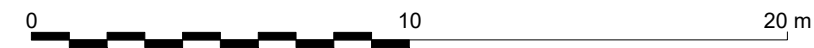
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Project:
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 Client:

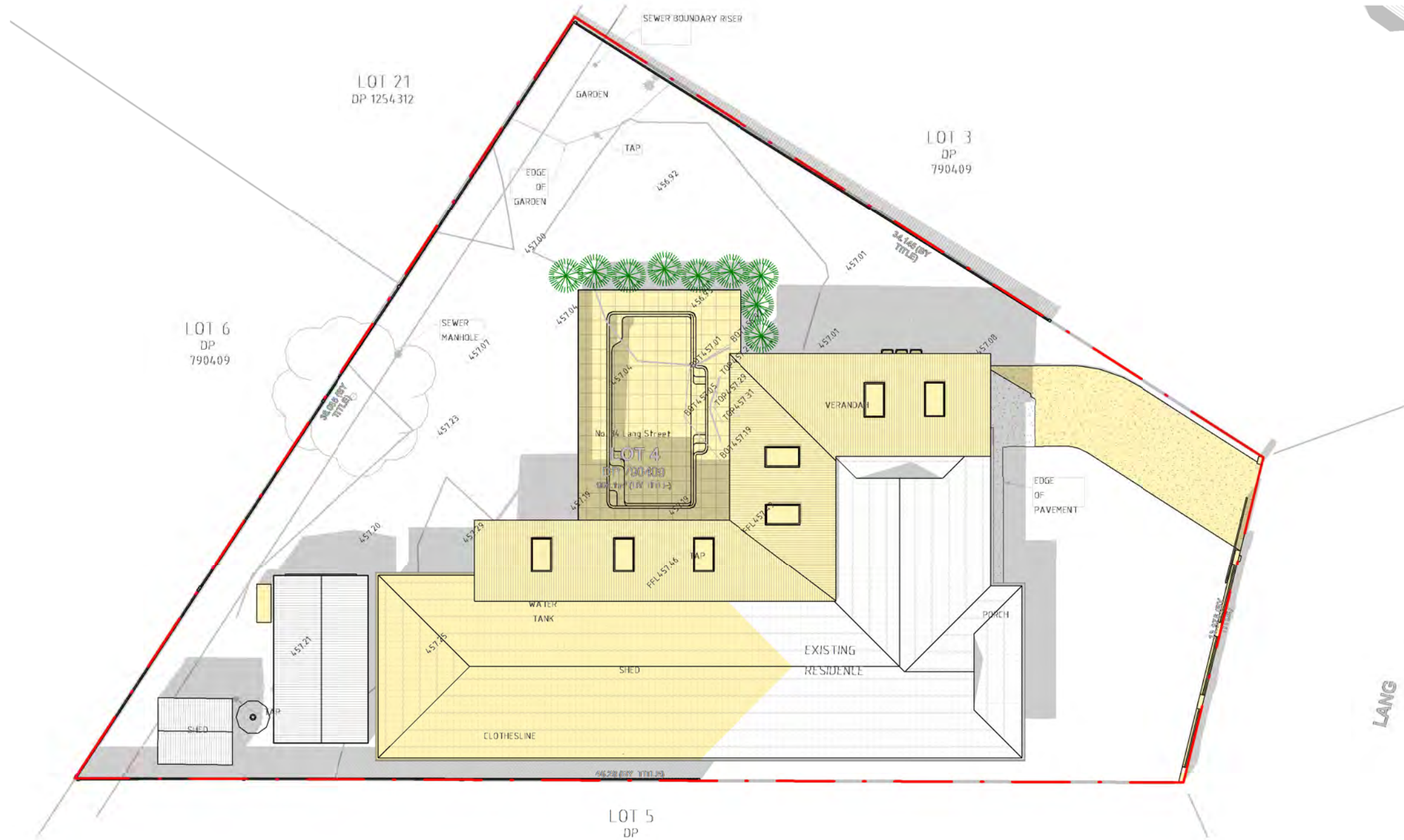
Drawing:
**Shadow Diagram
 (New)**

1 **22 DEC - 12PM**
 1 : 200



newton teale consulting pty ltd
 trading as **plan land**
 PO BOX 495 Gynea NSW
 Phone: 0403 993 876
 Email: info@planland.com.au
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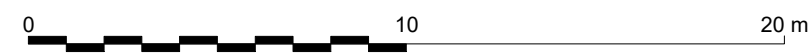
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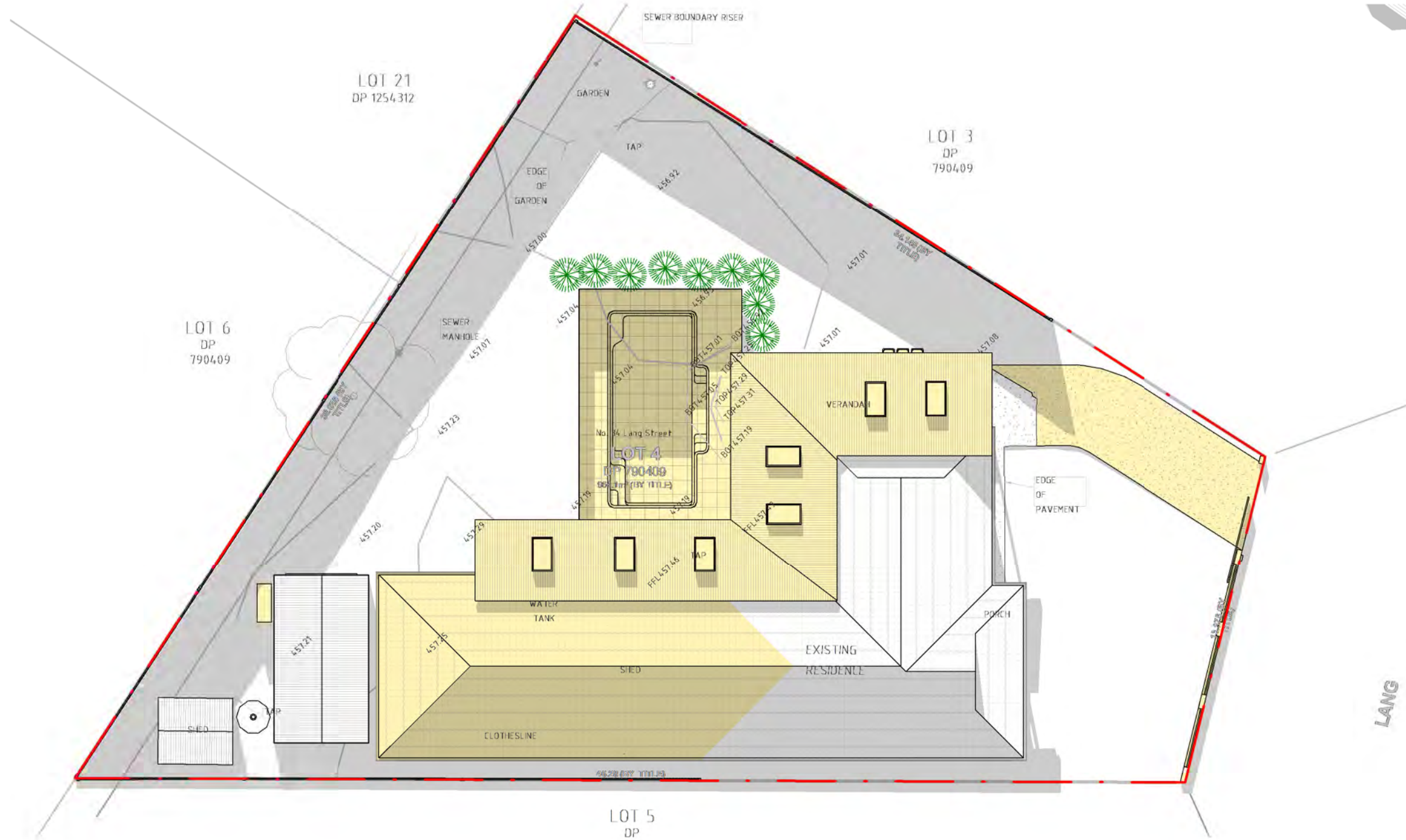
Project:
**34 Lang Street,
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Drawing:
**Shadow Diagram
 (New)**

1 22 DEC - 3PM
 1 : 200



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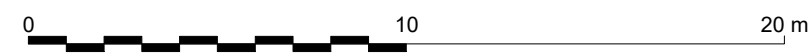
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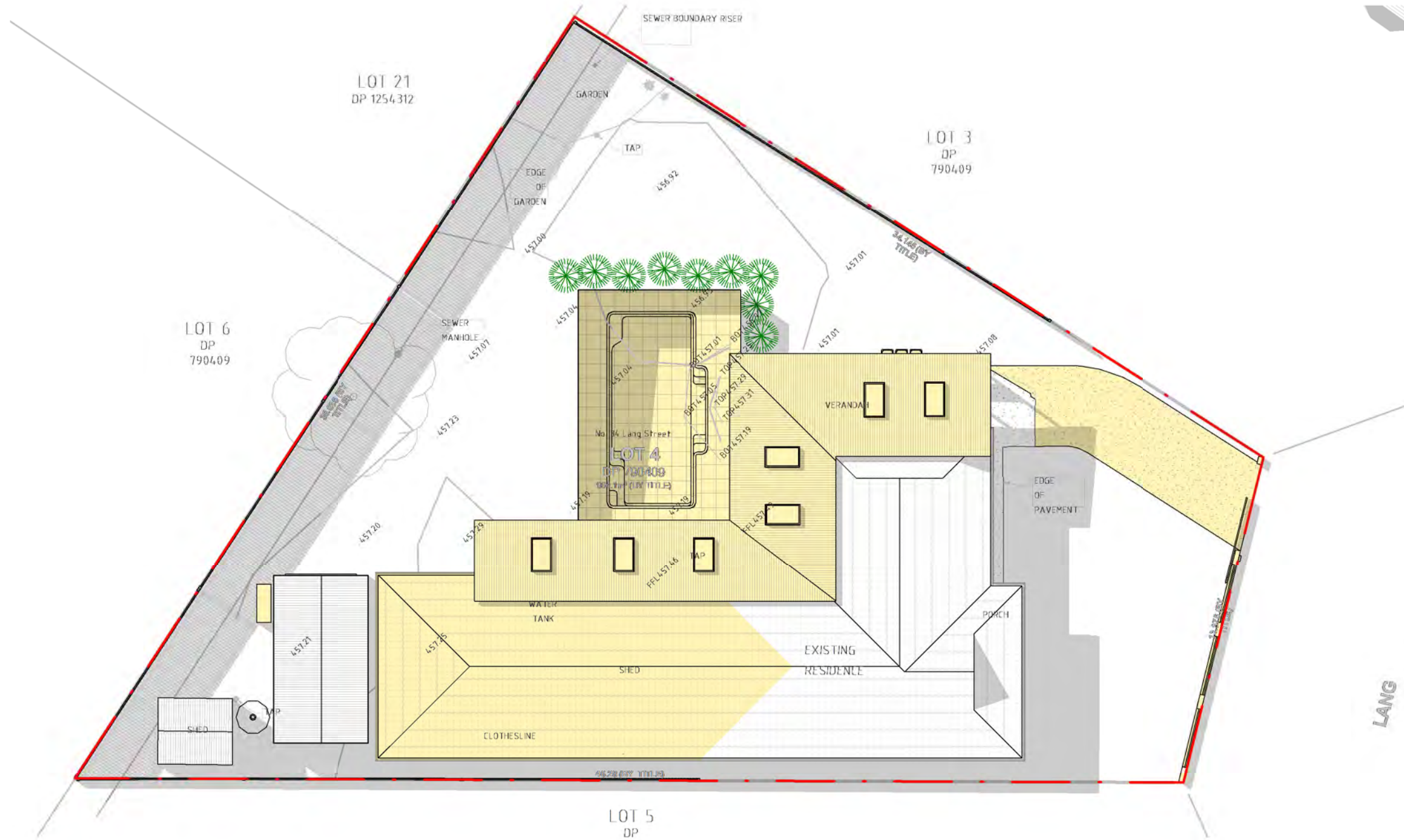
Drawing:
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1 22 JUN - 9AM
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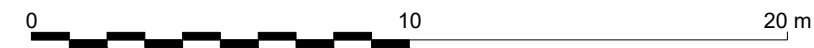
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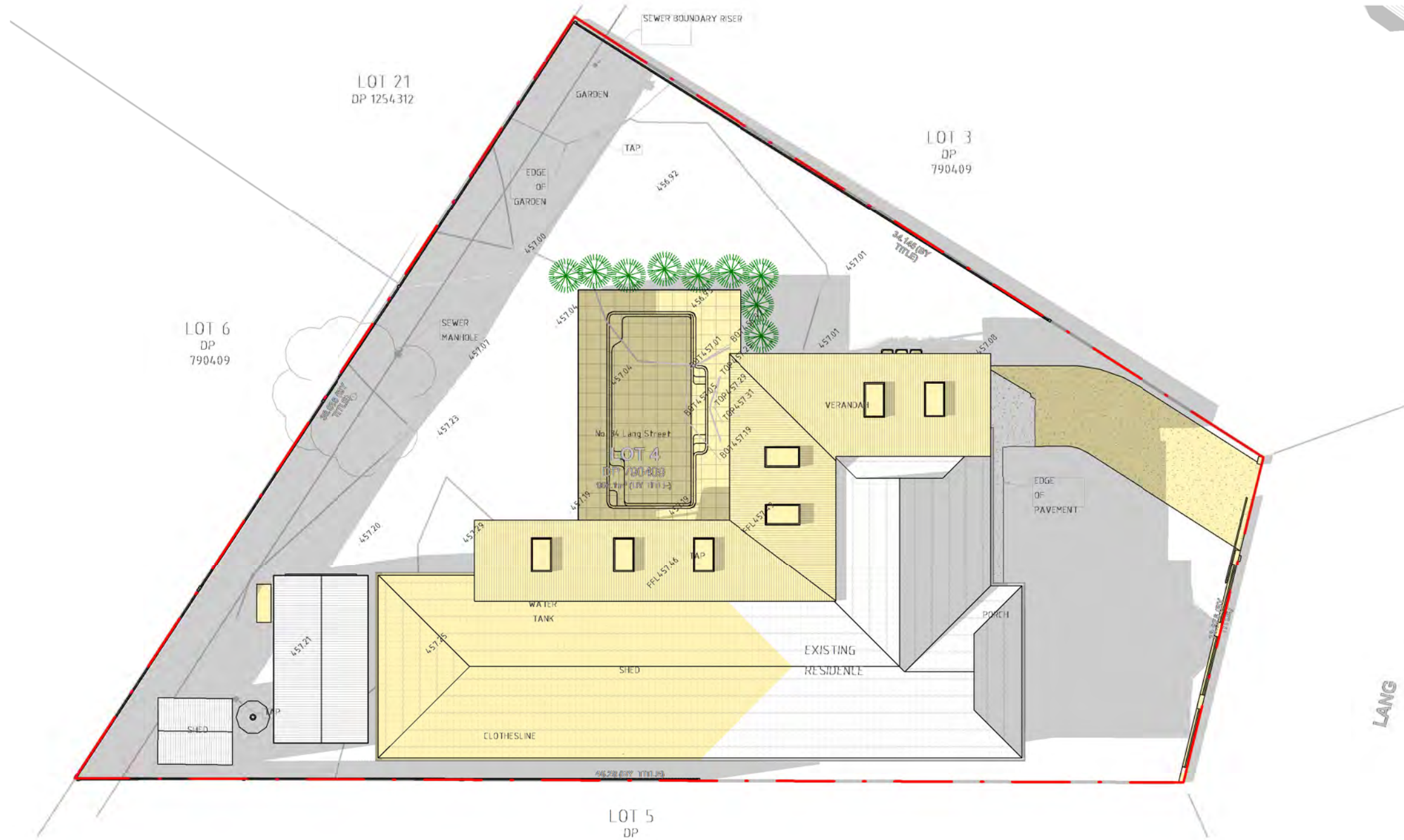
Drawing:
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 (New)**

1 **22 JUN - 12PM**
 1 : 200



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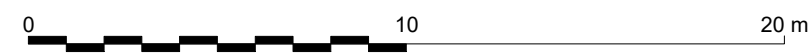
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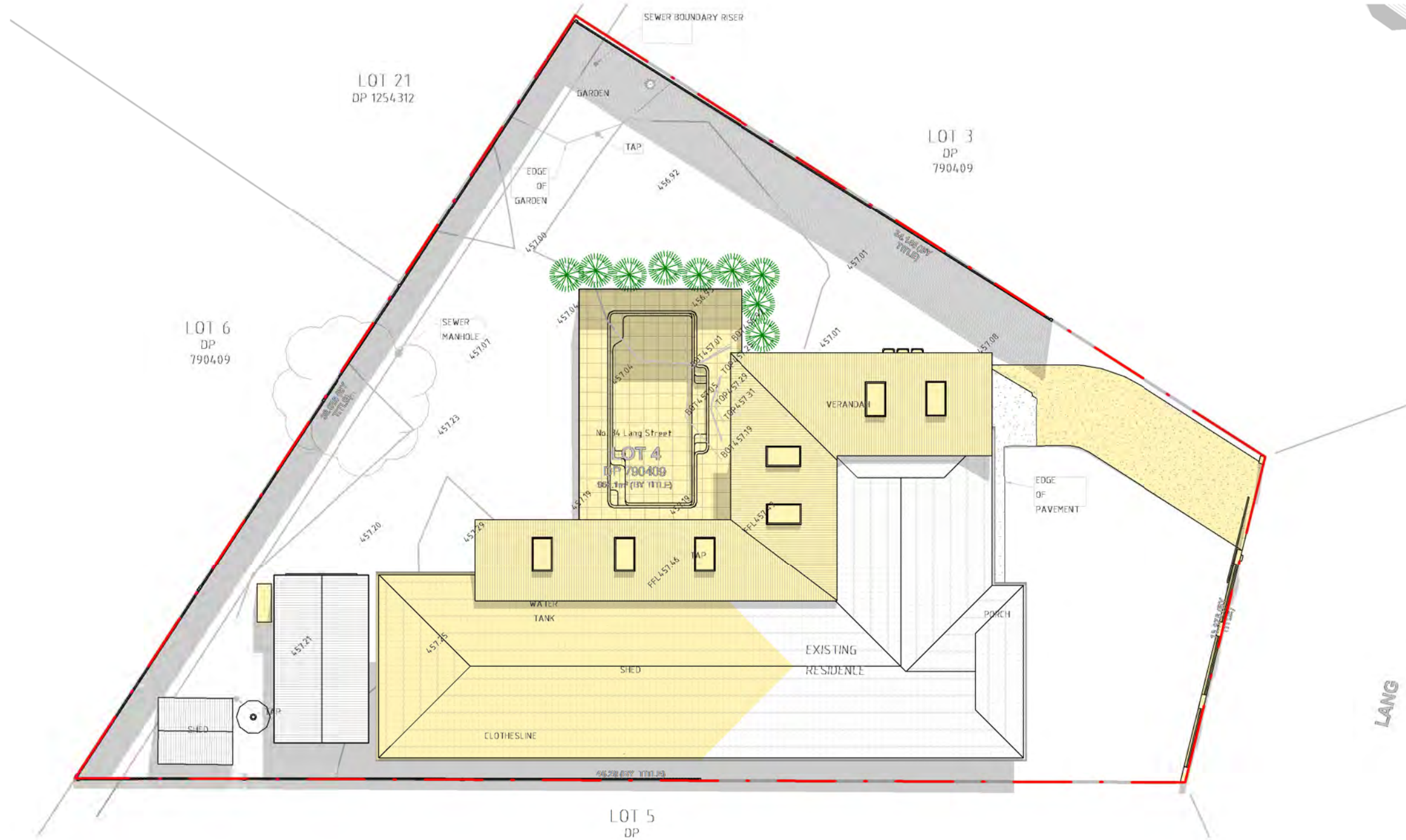
Drawing:
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1 **22 JUN - 3PM**
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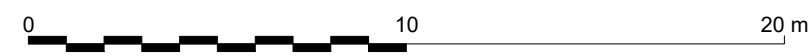
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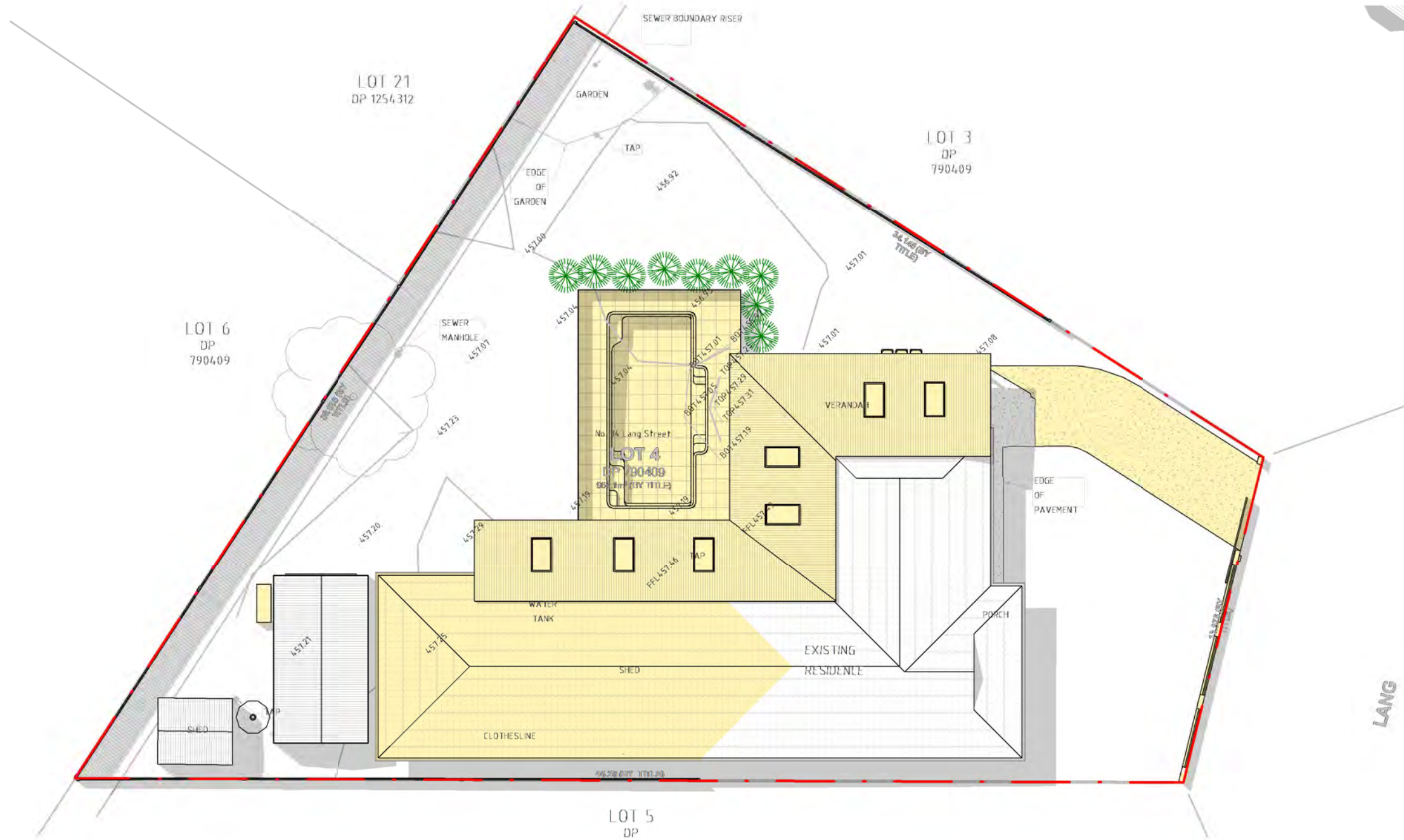
Drawing:
**Shadow Diagram
 (New)**

1 22 MAR / 22 SEP - 9AM
 1 : 200



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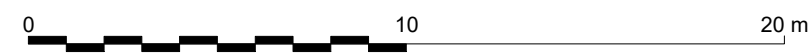
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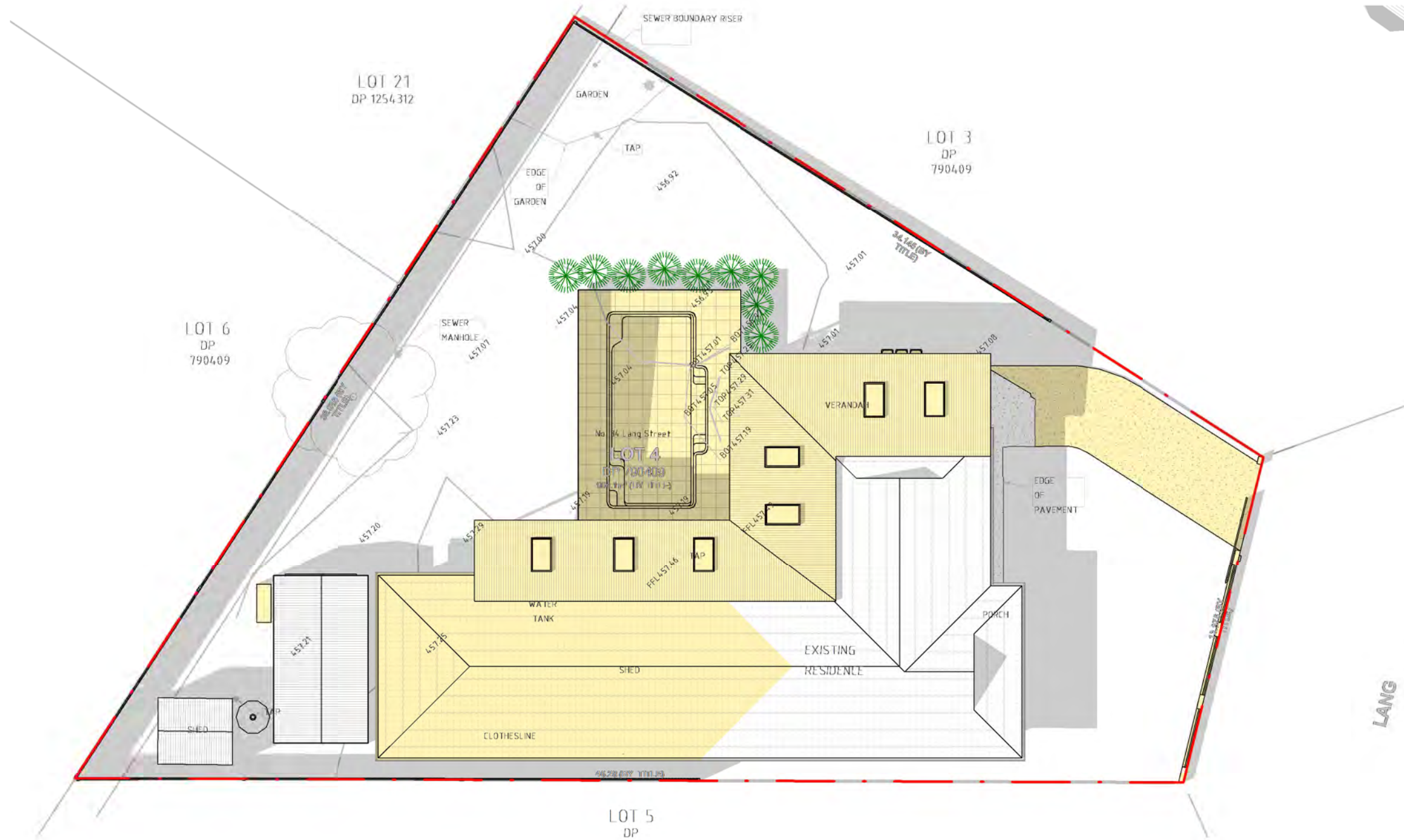
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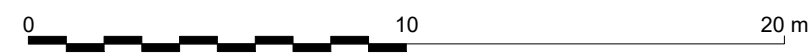
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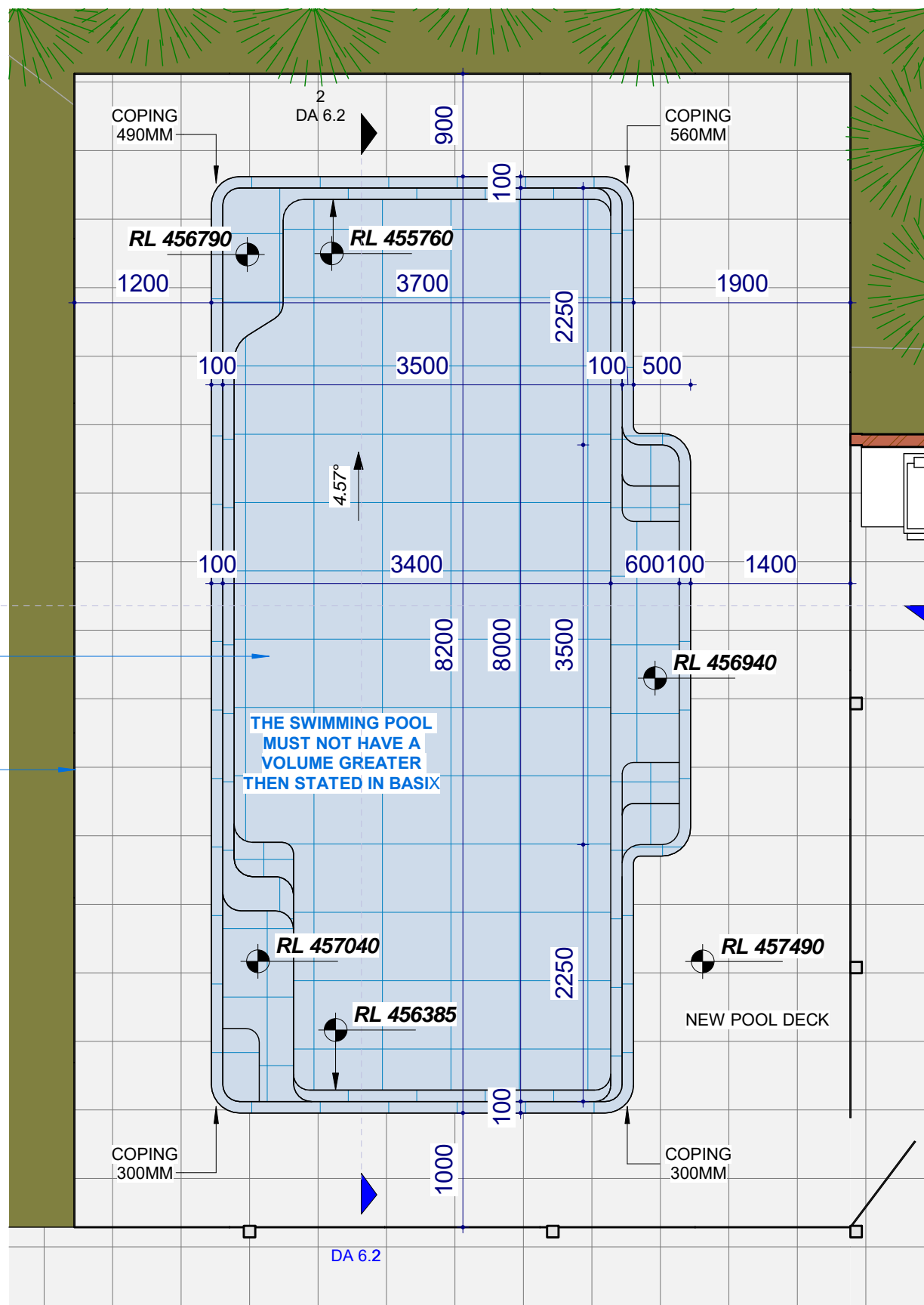
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BASIX NOTES:

The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.
 The swimming pool must be outdoors.
 The swimming pool must not have a capacity greater than 51 kilolitres.
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m²; b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
 Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.



1 DA 6.2
 NEW POOL TO SPEC. (COMPASSPOOL)
 CHILD-SAFE POOL SAFETY GATE AND FENCING MUST COMPLY WITH THE SWIMMING POOLS REGULATIONS AND AS1926 - 2012 AND BCA - 1.2 m HIGH (FIXED AS PER MANUFACTURER'S SPEC.)

1 DA 6.2

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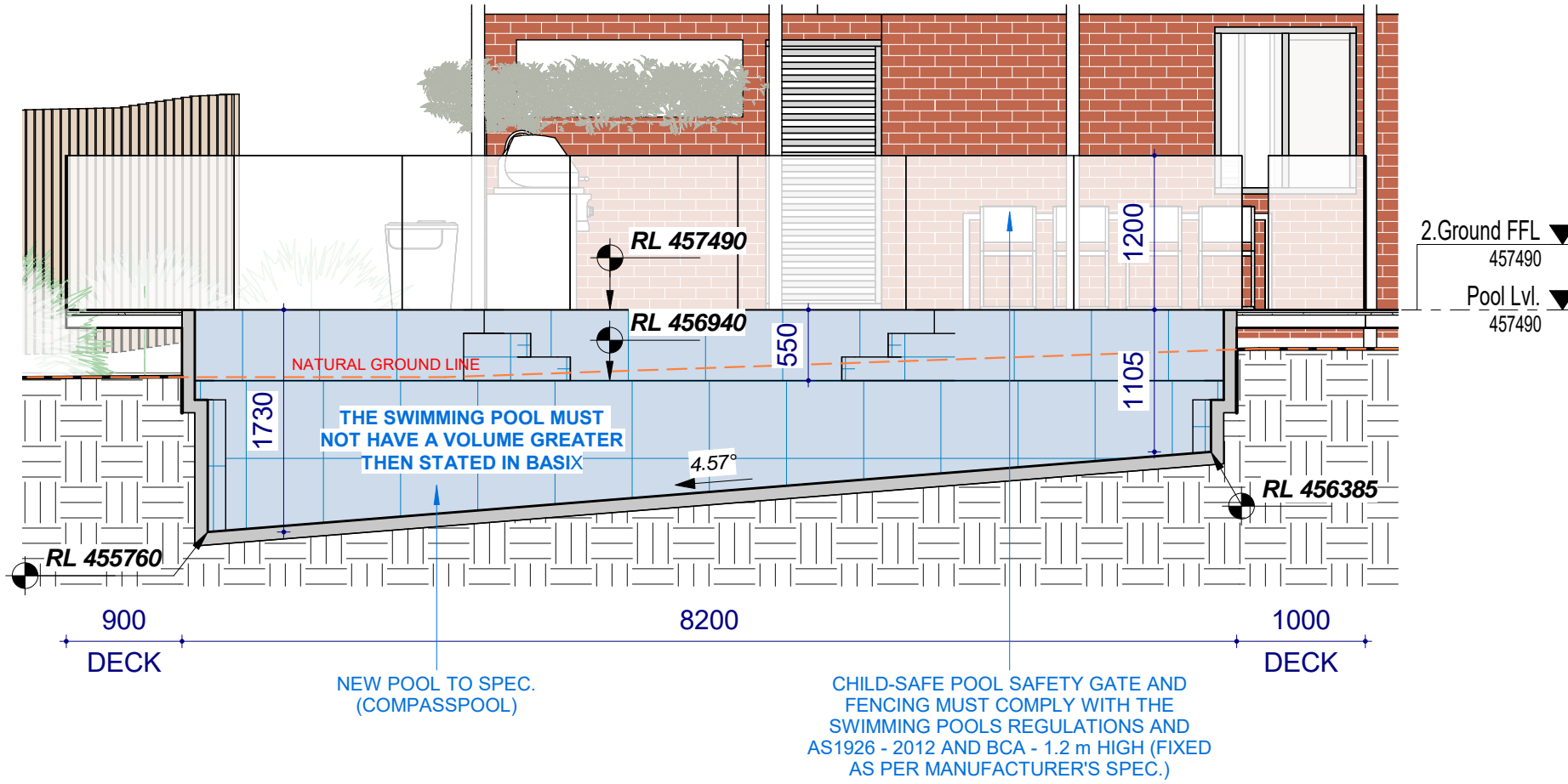
Project:
**34 Lang Street,
 Mudgee NSW 2850**
 Client:

Drawing:
Pool Plan

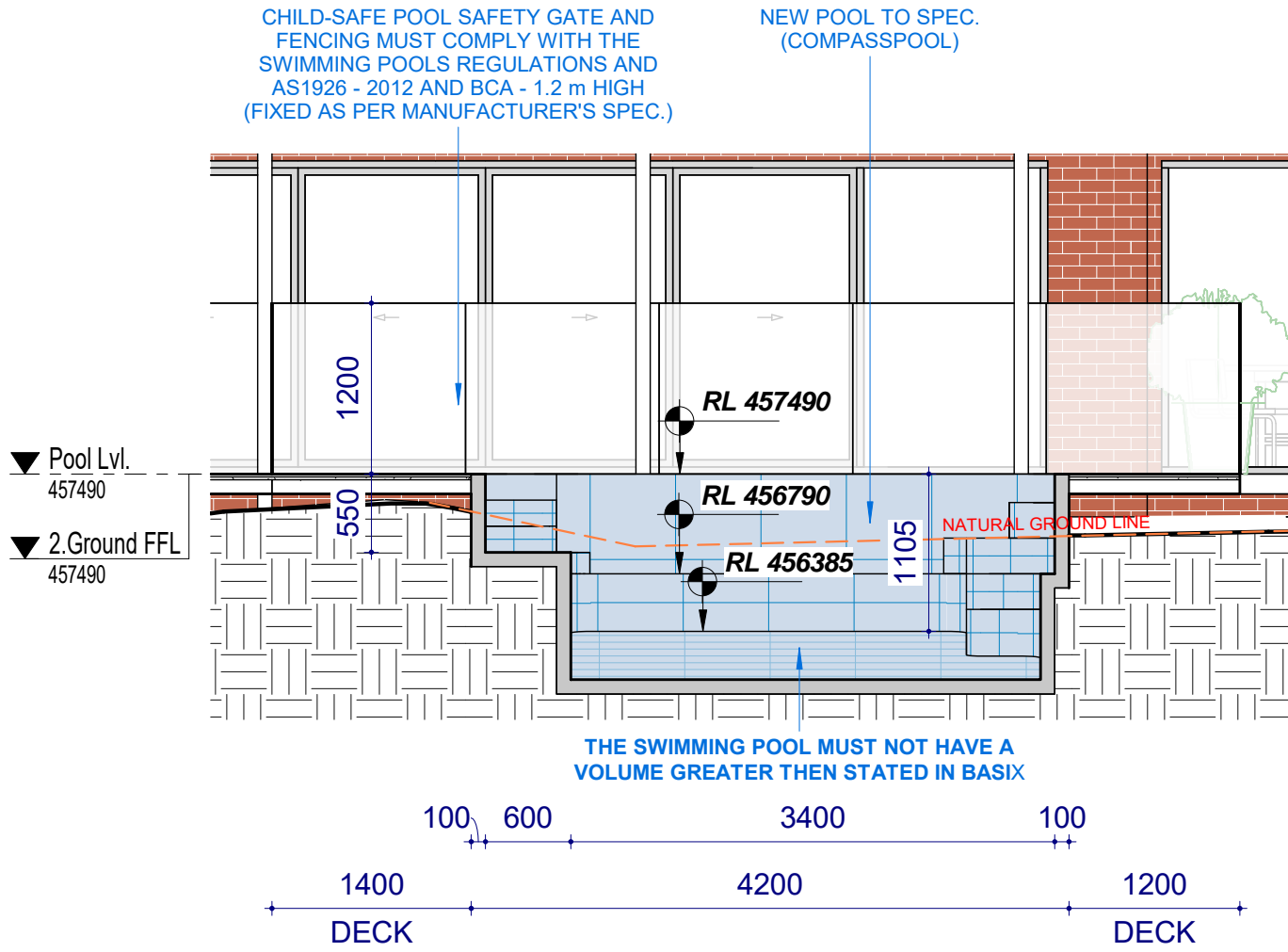
newton teale consulting pty ltd
 trading as **plan land**
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 Phone: 0403 993 876
 Email: info@planland.com.au
 Drawn: **LT** Approved: **LT** Date: **OCT/2022**
 Scale: 1:50@A3 Drawing No.: 22113 DA 6.1 Sheet No.: Rev.:



2 Pool Section 2
1 : 50



1 Pool Section 1
1 : 50



BASIX NOTES:
The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 51 kilolitres.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

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SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY.
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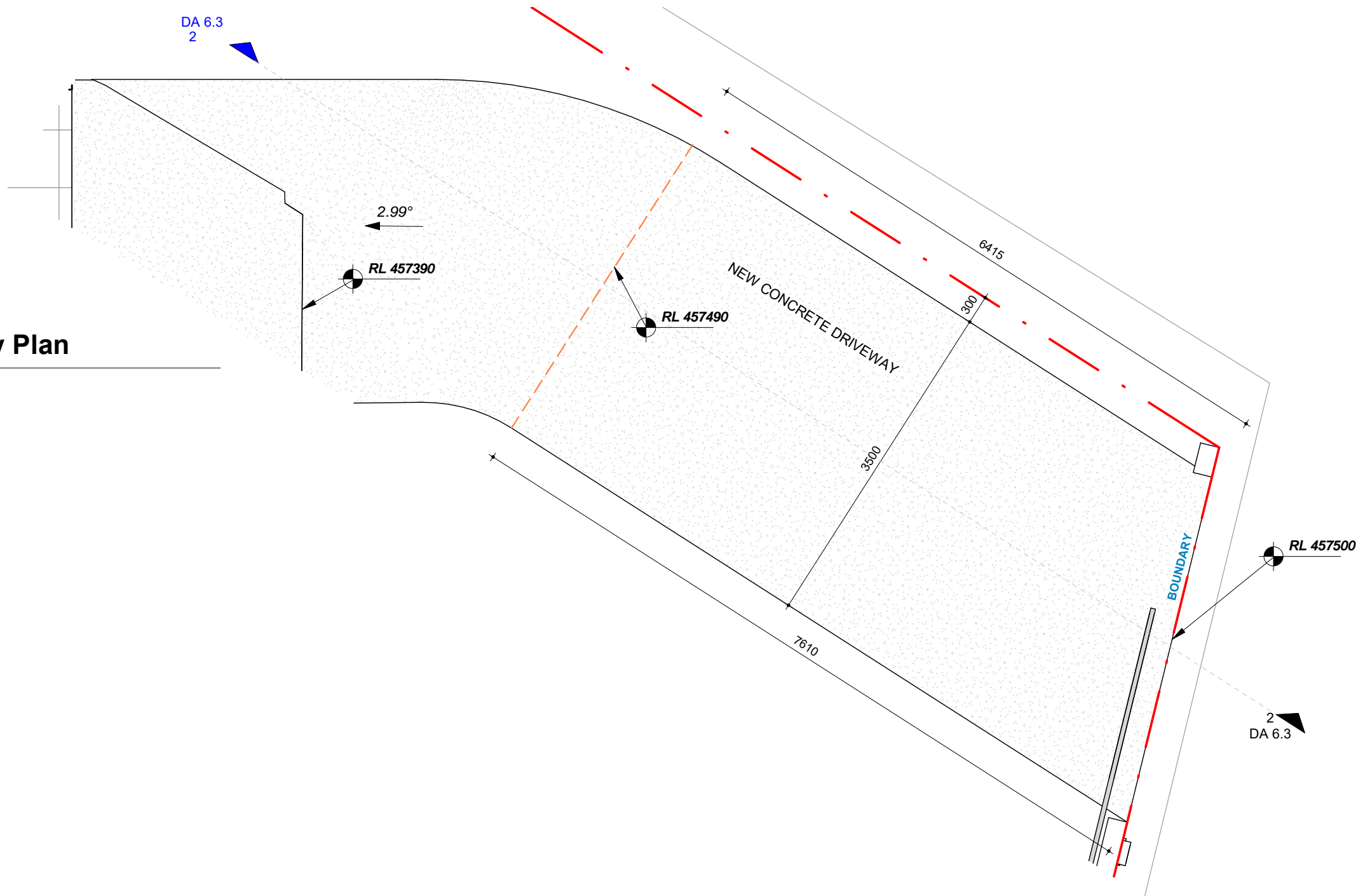
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Drawing:
Pool Sections

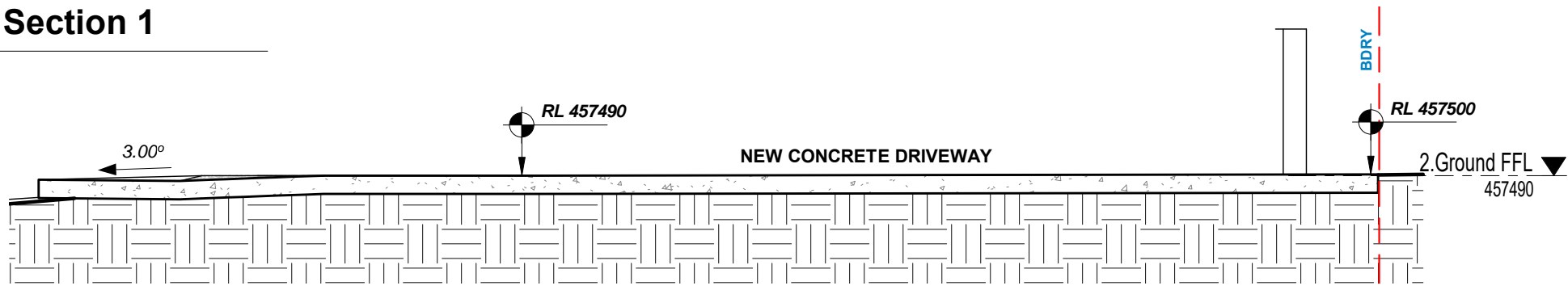
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Sheet No.:
Rev.:



1 Driveway Plan
1 : 50



2 Driveway Section 1
1 : 50



PHASING LEGEND:
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- NEW WORK
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- DEMOLISHED ELEMENTS

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Client:

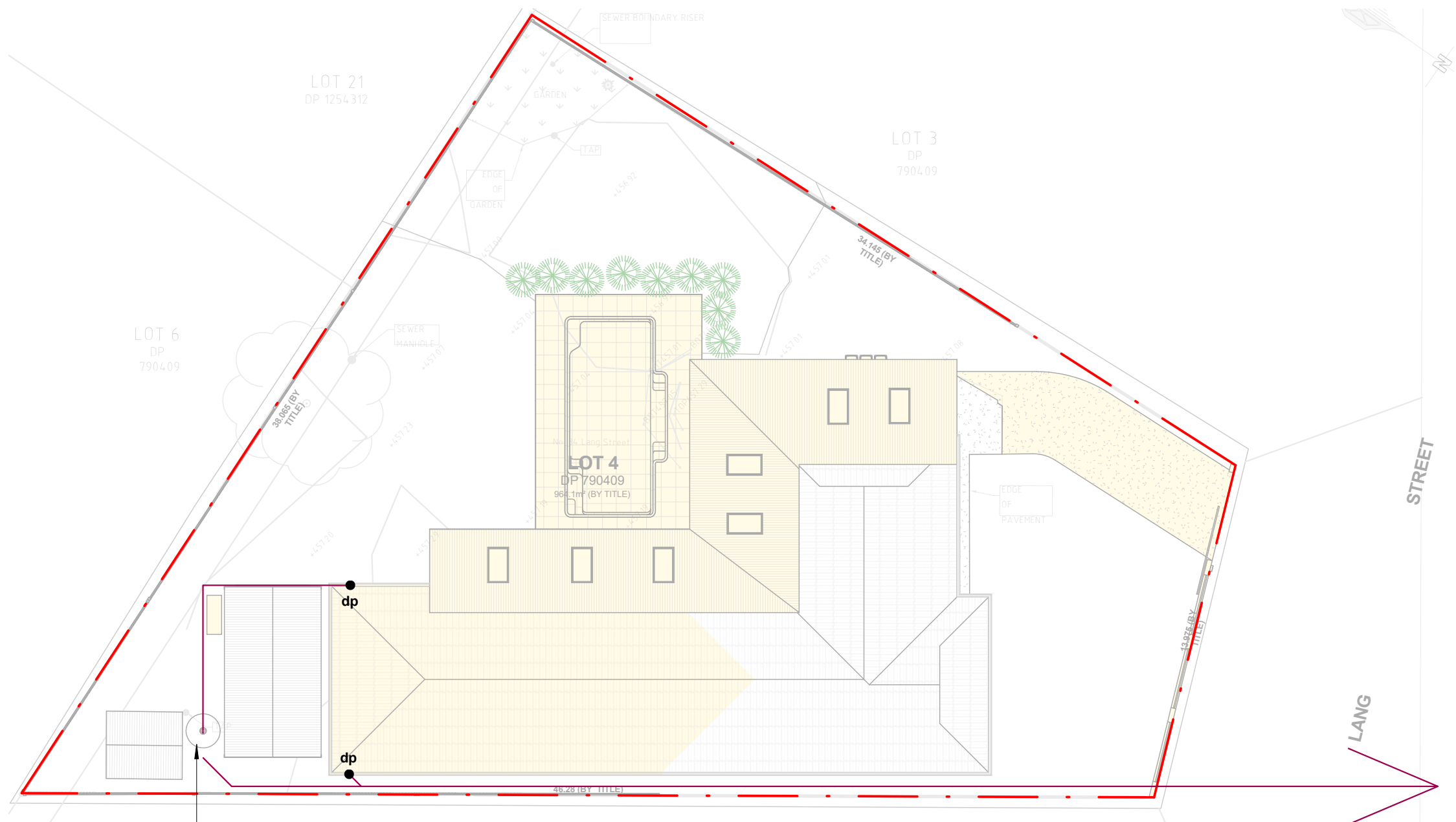
Drawing:
**Driveway Plan &
Section**

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trading as **plan land**
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Email: info@planland.com.au

ABN:
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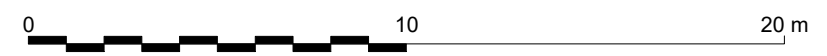


PHASING LEGEND:
 (Note: legend applies to building elements, not finishes)

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- DEMOLISHED ELEMENTS



**PROPOSED STORMWATER PIPES
 TO BE CONNECTED TO EXISTING
 DRAINAGE SYSTEM**



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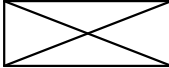

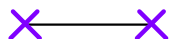
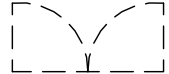


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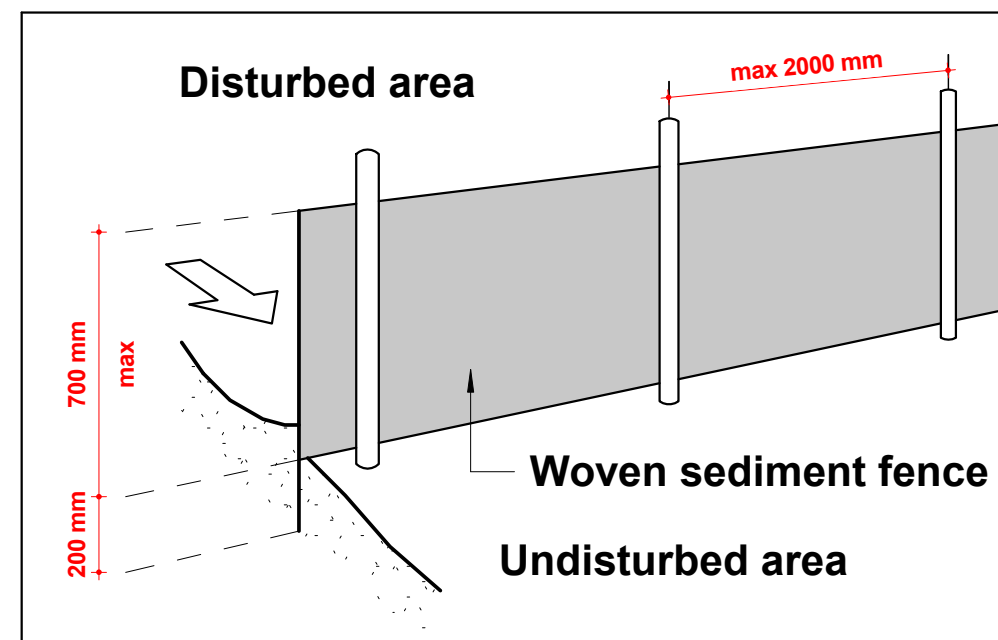
Drawing:
Concept Drainage Plan

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 PO BOX 495 Gympie NSW
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 Email: info@planland.com.au
 ABN: 62 128 716 334

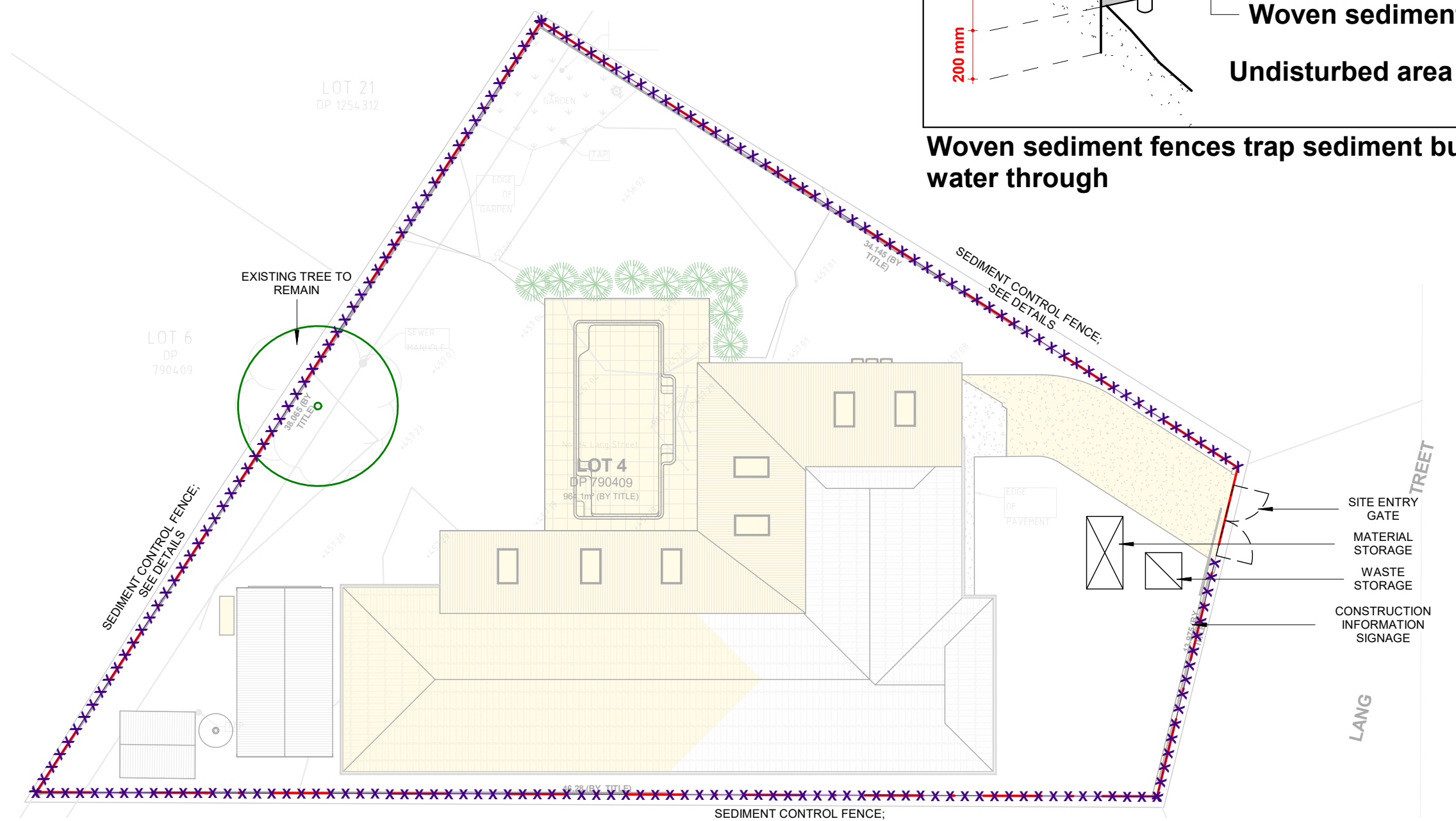
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 Scale: 1:200@A3 Drawing No.: 22113 Sheet No.: DA 7.0 Rev.:

LEGEND:




-  MATERIAL STORAGE
-  WASTE STORAGE
-  SEDIMENT CONTROL FENCE
-  SITE ENTRY GATE
-  EX. TREE TO BE RETAINED AND PROTECTED DURING CONSTRUCTION
-  EX. TREE TO BE REMOVED

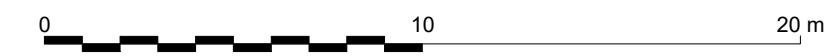


Woven sediment fences trap sediment but allow water through



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Project:
**34 Lang Street,
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Client:

Drawing:
**Construction Mgmt.
Plan**

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trading as **plan land**
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Email: info@planland.com.au
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Scale: Drawing No.: Sheet No.: Rev.:
As indicated@A **22113 DA 7.1**

1 LANDSCAPE PRELIMINARIES

1 GENERAL

1.1 GENERAL
This preliminary Specification is not for Tender or construction.
The Specification Generally
This Landscape Specification is to be read with the Architectural Specification. Any Specification detail not in this Landscape Specification is to be taken from the Architectural Specification, then taken from other *documents* as appropriate. This Landscape Specification must be read with the Architectural Specification including common *SECTIONS* 1 Preliminaries, 2 Fixing & Sealing, & 3 Metalwork.
Maintenance & Establishment
Refer to the Soft Landscaping *SECTION* of this Landscape Specification for detail of soft landscaping maintenance & establishment. Maintain & establish all *Work* after Practical Completion for 12 months at 1 *Month* intervals. Immediately make good to any *Work* of which quality has become less than that *documented*.
SUBMIT inspection log immediately after each inspection.

2 GROUND WORKS

1 GENERAL

1.1 GENERAL
Provide Work as per this *SECTION* & as *doc* elsewhere.

1.2 REFERENCED DOCUMENTS
Cross References
Read with Architectural Specification SECTIONS 1 Preliminaries, 2 Fixing & Sealing, 3 Metalwork & all related *SECTIONS* & other *documents*.
For detail in this specification of the following, refer:
-Fertilizer – Soft Landscaping *SECTION*.
-Mulch – Soft Landscaping *SECTION*.
Standards
Provide to documented A/O Standards including associated Parts, if those Parts are *Work* related. Refer also the Architectural Specification Preliminaries *SECTION*, Sub-*SECTION* 1, Clause 'Referenced Documents (RD)'.
1.3 INTERPRETATION
Refer Architectural Specification Preliminaries *SECTION*, Sub-*SECTION* 1, for definition of other *italicized* text.
-*Bad ground*: Includes ground contaminated, soft, liable to subside, containing cavities/faults/fissures.
-*Base*: One or more layers of material on which surface pavement may be placed, composed of either, fine crushed *rock*, natural gravel, broken stone, stabilised material, asphalt or concrete.
-*Formation*: Surface of the finished earthworks, excluding batters & *subbase/Base*.
-*Line of influence*: A line extending down & out approx 45 *deg* from footing/slab bottom outside edge, defining the extent of foundation material supporting the footing or slab. To be confirmed by a Geotechnical *Engineer*.
-*Rock*: Monolithic material, pre-excavation (in-ground) volume more than 1.5m³, which can't be removed until broken up by percussion tools.
-*Subbase*: The material laid on the *subgrade* below the *Base* to make up additional thickness, to prevent *subgrade* intrusion into the *Base* & to transfer load to the *subgrade*.
-*Subgrade*: The prepared portion of the *formation* on which the *subbase* then *Base*, is constructed.

1.4 INSPECTION & TESTING
Refer Architectural Specification Preliminaries *SECTION*, Sub-*SECTION* 4 'Inspection & Testing'. Refer also Specification text. **SUBMIT** results of tests & inspections. **NOTIFY** for inspection of:
-Initial set-out of paving, garden beds, features, structures.
-Services laid in trenches, ready for backfilling.
-Completed excavation, ready for laying of subsequent materials.
-Completed proof roll of *subgrade* before filling.
-Fill completion.
-Cultivated ground ready for topsoil.

1.5 SUBMISSIONS
Refer items written **SUBMIT**, in text. Refer Architectural Specification Preliminaries *SECTION*, Sub-*SECTION* 5.
SUBMIT also:
-Erosion & Sediment Control Plan.

2 MATERIALS

2.1 MATERIAL COMMON DETAIL
Read with Architectural Specification SECTIONS 1 Preliminaries, 2 Fixing & Sealing, 3 Metalwork.
Pedestrian/vehicle surfaces & their edges (nosing) to be slip-resistant. *Provide* anti-tamper fixings as per Architectural Specification Fixing & Sealing *SECTION*.
Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 3 'Materials' for more materials detail.

2.2 RELATED SPECIFICATION DETAIL
*** Refer to this page header note***

2.3 MISCELLANEOUS MATERIALS
Refer to the applicable Specification *SECTIONS* for description of *external* products & materials.

2.4 TOPSOIL
General
Topsoil to comply with AS 4419 'Soils for Landscaping' & ASTM D5268-07 'Standard Spec for Topsoil'. Potting Mix to comply with AS 3743. Soil conditioner to AS 4454 'Composts, Soil Conditioners & Mulches'.
Podium/Building Planter Soils: **NOTIFY** if type & composition not *doc*. Allow to *provide* high performance lightweight soil mix.
Test both imported & *Site* obtained topsoil & potting mixes to AS 1289 (Methods of Testing Soil) & AS 3743. *Provide* 1 test per 10 m³. *Provide* Soil Supplier Test Compliance Certificate.
Topsoil to contain organic matter 6-8% by mass & have sandy loam texture to AS 4419.
Soil organic matter to be 6-8% by mass.
Imported topsoil mix to comply with the following:
-Contain organic matter which supports plant life.
-Components to be evenly distributed throughout the mix.
-Mixes to be mechanically screened prior to despatch using screen size: <25mm.
-The mix is to be moist but still free flowing & of such moisture content that water cannot be squeezed from it by hand.
-Material to be void of ingredients which display high shrinkage tendencies.
-Free of acrid odours (*including* those caused by excessive ammonia or organic acids), chemicals & toxins detrimental to plants & human touch contact.
-Free of stones, clay lumps, weeds and weed propagules *including* Cyperus Rotundus (nut-grass tubers), tree roots, sticks, rubbish, sharp items & other foreign matter.
-Free of pests and diseases such as pathogenic organisms e.g. Phytophthora spp and the larval stage of insect pests.
SUBMIT 1 kg sample of imported of test-passed topsoil & 1 kg of test-passed potting mix with the Soil Supplier Test Compliance Certificate.
SUBMIT detail of soil additives.
Topsoil Spreading
Topsoil to grassed and turfed areas: 100mm (*min*) thick.
Topsoil to planting areas: 300mm (*min*) thick (add 75mm to this *min* thickness for planting area crown).
Crown topsoil in planting areas.
Lightly consolidate topsoil to a smooth surface, free from lumps of soil and roots, ready for planting.
Progressively layer (max 100mm compacted thickness) & tamp topsoil to prevent voids & subsidence. Prevent excess compaction.
Add topsoil (*including* during the Defects Liability Period) to bring subsided topsoil back up to *doc* levels.

1.1 CULTIVATION
Cultivate to loosen the existing ground to receive topsoil.
Cultivation depth for grassed areas: 150mm deep.
Cultivation depth for plants & planting areas: 300mm deep.
Break-up cultivated earth so that pieces are less than 50mm. Remove stones exceeding 50mm, and any other deleterious material from cultivated earth *including* roots, sticks, weeds.

1.2 BULK FILL
Bulk fill may be imported or obtained from *Site*.
Material Records: **SUBMIT** Supplier name, material detail & source. **SUBMIT** NATA Registered Laboratory Certificate, *including* test results, certifying material compliance with intended use as determined by the NATA Certifier. *Min* 1 test per 50m³, *min* 2 tests.
Remove materials that will prevent satisfactory filling. Do not *provide* fill with sulphur content exceeding 0.5%. *Max rock* & lump size: 2/3 compacted layer thickness.
Do not fill with: **a)** organic soils, top soil, silt or silt-like materials, **b)** soluble/leachable substances, or materials which change volume or weaken when worked or wet, **c)** fill containing contaminants, wood, metal, plastic or other deleterious, organic or perishable material.
Spray water to obtain moisture content, uniformly in controlled quantities over uniform lane widths.
Do not place material or equipment on surfaces weakened by moisture. Commence compacting close to structures & compact away from structures.
Batter Faces: Compact separately or overfill & cut back. Form roughened surfaces.
Test completed fill: 1 test per layer per 200m². Refer 'Geotechnical Testing' below.
Lay in 200mm finished layers. Mix fill uniformly. Place fill in near-horizontal layers of uniform thickness, systematically deposited. Do not feather edges at junctions of fill & existing surfaces.

1.3 PAVEMENT BASE & SUBBASE
Extent: *Provide* under pavements.
Material Records: **SUBMIT** Supplier name, material detail & source. **SUBMIT** NATA Registered Laboratory Certificate, *including* test results, certifying material compliance with intended use as determined by the NATA Certifier. *Min* 1 test per 50m³, *min* 2 tests.
Base & Subbase: Crushed *rock* or natural gravel. **SUBMIT** NATA Registered

2.2 RELATED SPECIFICATION DETAIL
Laboratory Certificate, *including* test results, certifying material compliance with intended use as determined by the NATA Certifier.
Test completed *base & subbase*: *Min* 1 test per layer per 200m². Refer 'Geotechnical Testing' below.
Lay in 75-150mm finished layers, with equal layers in multilayer courses.

1.4 SITE STORMWATER
Comply with the following Standards:
Joining: Up-stream pipes socket into down-stream pipes. Cap in-complete, open pipe ends.
Anchor Blocks: In-situ concrete, to pipe junctions & changes of grade or direction. Before backfilling or concealing, conduct air or water pressure tests to AS 3500.
Test each run or line, *UDO*. Clean & flush the stormwater system.
Subsoil Slotted Pipe/Cell Drainage: *Provide if required* for drainage. *Min* area = to a 100mm *dia* pipe to AS 2439, geotextile fabric (to AS 3706) wrapped (no soil to enter the system), laid to fall, run in free draining granular fill (eg 5-10mm gravel) which is also geotextile fabric wrapped, connected to the stormwater system.
Provide drains behind all retaining walls at wall base. *Min* depth 250mm below finished surface.
Prevent erosion, contamination & sedimentation of *Site*/adjacent areas/stockpiles/drainage systems.
Keep *Works* free of ponding water. Maintain surfaces/excavations/drains to allow drainage. Do not place materials, *including* fill, on water logged ground. Prevent water flow over new *Work*. Obtain relevant Statutory Authority approvals.

2 EXECUTION

2.1 EXECUTION COMMON DETAIL
General
Read with Architectural Specification SECTIONS 1 Preliminaries, 2 Fixing & Sealing, 3 Metalwork. Refer Sub-*SECTION* 2 'Materials' (above), for specific material execution detail.
Control weeds by non-chemical means. Mow grassed areas to height *min* 75mm & *max* 200mm.
NOTIFY upon un-*doc* or un-expected ground work discoveries *including* cavities, water, rock, contaminated or hazardous materials, land-fill, archaeological materials.
External surfaces to fall away from buildings & structures. **NOTIFY** to confirm falls if they are not *doc*.
NOTIFY on finding a hazardous material which *include*:
Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 4 'Building Work' for more execution detail.

2.2 GEOTECHNICAL TESTING
Test (as *doc*, *min* 2 tests) excavations, fill, *subbases* & *Bases* to AS 3798 by a NATA registered Geotechnical Test Authority. Test against requirements for intended use as determined by the NATA Certifier.
SUBMIT Geotechnical *Engineer* certification of completed *formation* & ground bearing capacity (both natural & fill) is as *doc* or adequate to support building loads.
Proof roll all excavations (except trenching), fill, *subbases* & *Bases*, to determine extent of *bad ground* as *advised* by NATA registered Geotechnical Test Authority. Remove & reinstate *bad ground*.

2.3 SITE CLEARING & EXCAVATION
Site clear as *doc*, as *min* for *Work*. Dispose of off-*Site*, excess excavations, rubbish, grass, vegetable/organic debris, stumps, rocks/rubble & disused built elements, *including* slabs, footings, paving, *UDO*.
In areas to be cleared & where *doc* to remove trees/plants, remove stumps & remove roots over 15mm *dia* within 200mm below ground surface. Backfill grubbing holes with sandy loam, compacted to the relative density of the adjacent ground.
Temporarily stockpile on-*Site* topsoil excavated from the *Work* area, *UDO*.
Remove excess excavations from *Site*.
Do not use explosives.
Excavation Tolerance: +0 -20mm. Finish self-draining, no ponding, scraper blade finish to even plane.
Record excavation & fill quantities, *including rock* quantities by Licensed Surveyor.
Pre-excavation (in-ground) volume applies for excavation measurement.
Rock Excavation: No Contract variation given for *rock* excavation.
Compact excavations/*formations*. Test finished excavations: *Min* 1 test per 200m². Refer 'Geotechnical Testing' above.
If excavation exceeds required depth, deteriorates or has *bad ground* removed, reinstate to *doc* depth & bearing capacity. Prevent void formation. Fill & compact voids to match surrounding material.
Provide temporary excavation support & remove when not required.
Provide temporary then permanent excavation support below *line of influence* as *doc*. If not *doc*, allow this support as *advised* by the Geotechnical *Engineer* & **NOTIFY**.

2.4 TRENCHING
General
Excavate trenches: **a)** to uniform grades, **b)** in straight lines between pits/inspection points/junctions, **c)** sides stable & supported, **d)** widths *min* & consistent, **e)** clean, no projections, no obstructions, no water, **f)** with a firm base. Cut tree roots within 600mm of services. No access over open trenches.
Over-excavation: Reinstate to correct depth & bearing value using compacted bedding material or sand stabilised with 1 part of cement to 20 parts of sand by weight.
Trenches open for *min* time. Backfill as soon as possible after service laid & bedded, if possible, same day. Place backfill in layers *max* 150mm compacted thickness.

2.2 RELATED SPECIFICATION DETAIL

2.3 MISCELLANEOUS MATERIALS

2.4 TOPSOIL

2 EXECUTION

2.1 EXECUTION COMMON DETAIL

2.2 GEOTECHNICAL TESTING

2.3 SITE CLEARING & EXCAVATION

2.4 TRENCHING

If boring under pavements is required, *provide* a tight fit of service pipes. Pressure grout fill voids.
Trench Backfill
Services Marking: *Min* 350mm above services, lay underground marking tape (to AS/NZS 2648.1).
Bedding Material: For bed & haunch zones to be granular material, grading as per AS 1141.
Fill (General): Well graded, inorganic, non-perishable material, *max* size 75mm, plasticity index to be under 55%. No stones more than 25mm size within 150mm of services.
Fill under roads & paved areas & within 4000mm of structures to be coarse sand, controlled low strength material or 'B' grade fine crushed *rock*. Compact to achieve 95% solidified compaction test as per AS 1289 at optimum moisture content.
Fill In Topsoil Areas: Compact to *min* equal to that of adjacent

3 SOFT LANDSCAPING

1 GENERAL

1.1 GENERAL
Provide Work as per this *SECTION* & as *doc* elsewhere.

1.2 REFERENCED DOCUMENTS
Cross References
Read with Architectural Specification SECTIONS 1 Preliminaries, 2 Fixing & Sealing, 3 Metalwork & all related *SECTIONS* & other *documents*.
For detail in this specification of the following, refer:
-Excavation – Ground Works *SECTION*.
-Topsoil – Ground Works *SECTION*.

Standards
Provide to documented A/O Standards including associated Parts, if those Parts are *Work* related. Refer also the Architectural Specification Preliminaries *SECTION*, Sub-*SECTION* 1, Clause 'Referenced Documents (RD)'.
1.3 INTERPRETATION
Refer Architectural Specification Preliminaries *SECTION*, Sub-*SECTION* 1, for definition of *italicized* text.

1.4 INSPECTION & TESTING
Refer Architectural Specification Preliminaries *SECTION*, Sub-*SECTION* 4 'Inspection & Testing'. Refer also Specification text. **SUBMIT** results of tests & inspections. **NOTIFY** for inspection of:
-Plants at Nursery ready for delivery to *Site*.
-Plant materials delivered to the *Site*.
-Grassing bed prepared prior to turfing or seeding.
-Garden bed/grassed area edge set-out.
-Planting set out before planting.
-Planting start.
-Staking and tying completed.
-End of establishment period.

1.5 SUBMISSIONS
Refer items written **SUBMIT**, in text. Refer Architectural Specification Preliminaries *SECTION*, Sub-*SECTION* 5.

2 MATERIALS

2.1 MATERIAL COMMON DETAIL
Read with Architectural Specification SECTIONS 1 Preliminaries, 2 Fixing & Sealing, 3 Metalwork.
Provide plant life in healthy condition, without scarring or deformations. Establish plant life for optimum growth for the environmental conditions. Continuously *Work* to keep plant life free of disease, and free of plant (weeds) & animal pests. Immediately replace failed planting.
Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 3 'Materials' for more materials detail.

2.2 RELATED SPECIFICATION DETAIL
*** Refer to this page header note***

2.3 MULCH
Provide mulch to AS 4454 'Composts, Soil Conditioners & Mulches'. Mulch to be free of deleterious and extraneous matter *including* soil, weeds, sticks, roots. Mulch to be sieved to size to prevent accumulation of mulch fines.
SUBMIT 1 kg samples of each mulch type.
Spread mulches evenly to a *min* depth of 100mm, *UDO*. Grade the finished surface evenly. Do not place mulch in contact with stems of plants.

2.4 CHEMICALS
SUBMIT a Schedule of proposed chemicals to be used in landscape construction & maintenance including additives, pesticides, herbicides, un-*doc* fertilizer, disease treatments.

2.5 FERTILIZER
Deliver fertilizer to *Site* in sealed bags, branded with the fertilizer type & Manufacturer name.

2.6 TURFING
Turf to be comprised of consistently thick grass & root (fully soiled) parts. Grass part to be 20mm thick, root part to be 25mm thick.
Evenly mix fertilizer into the topsoil before placing the turf.
Lay turf within 24 hours of cutting. Prevent turf from drying out between cutting

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Project:
34 Lang Street, Mudgee NSW 2850
Client:

Drawing:
Landscape Specifications

newton teale consulting pty ltd ABN: 62 128 716 334
trading as **plan land**
PO BOX 495 Gynea NSW
Phone: 0403 993 876
Email: info@planland.com.au

Drawn:	Approved:	Date:
LT	LT	OCT/2022
Scale:	Drawing No.:	Sheet No.:
1 : 1@A3	22113	DA 7.3



WATER & TAMP
PLANT TO SETTLE
SOIL

APPLY MULCH MIN
75MM DEEP THICK
KEEPING CLEAR OF
STEMS/ROOTS

EXCAVATE TO AT
TWICE THE VOLUME
OF THE CONTAINER
TO ALLOW ROOT &
WATER PENETRATION

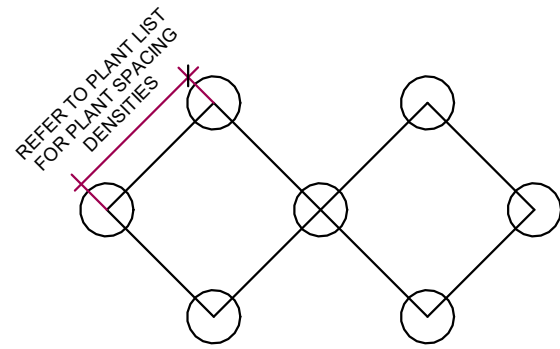
COMPLY FERTILISER
REQUIREMENTS &
ONLY USE LOW
PHOSPHORUS SLOW
RELEASE FERTILISER
AS SPECIFIED

WATER POTTED
PLANTS & HOLES
BEFORE PLANTING

BACKFILL WITH
SOIL ENSURING
ROOT REMAINS AT
ORIGINAL SOIL
LEVEL

GENERAL PLANTING SPECIFICATION

REFER TO PLANT LIST
FOR PLANT SPACING
DENSITIES



STAGGERED PATTERN AS
PER PLANT LIST

PLANTS AS PER
PLANTING SCHEDULE

TYPICAL PLANT STAGGERING DETAIL



75MM DEPTH MULCH
AS SPECIFIED

BACKFILL WITH
150MM MIN. DEPTH
SITE SOIL AS
SPECIFIED

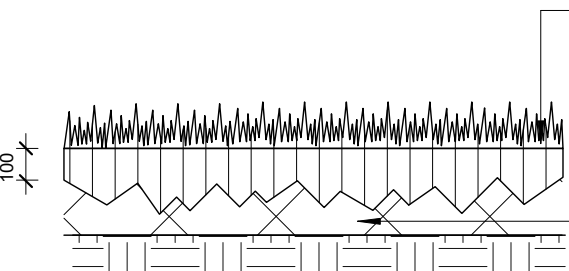


EXISTING SUBGRADE

CULTIVATE
SUBGRADE TO MIN.
15MM DEPTH

TYPICAL SHRUB PLANTING

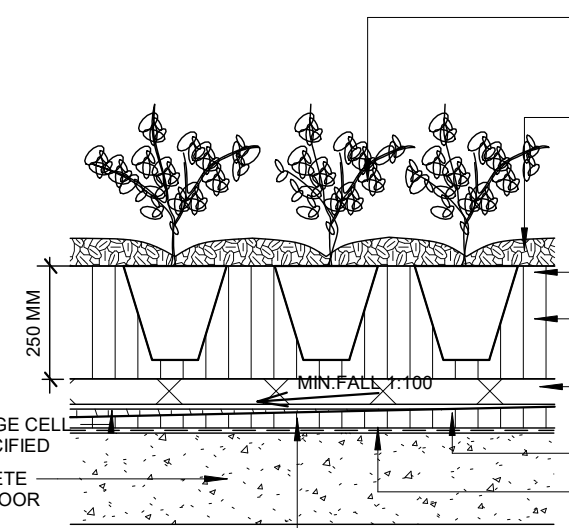
TURF ROLLS AS SPECIFIED. LAY ROLLS
SO THAT TURF FINISHES 300MM PROUD
ADJACENT SURFACES. COMPACT EDGES
TO PREVENT SUBSIDENCE



MIN. 100MM LAYER OF
TURF UNDERLAY SOIL
(80X20 SAND/SOIL
MIX) GRADE TO
FINISHED LEVELS &
CONSOLIDATE AS
REQUIRED

CULTIVATE SUBGRADE

TURF DETAIL



PLANTING AT
SPECIFIED DENSITIES
IN PLANT LIST

75MM MULCH
DEPTH

MEDIA TO A DEPTH
OF 200MM
IRRIGATION AS
REQUIRED

SPECIFIED WATER
RESERVOAR 45MM

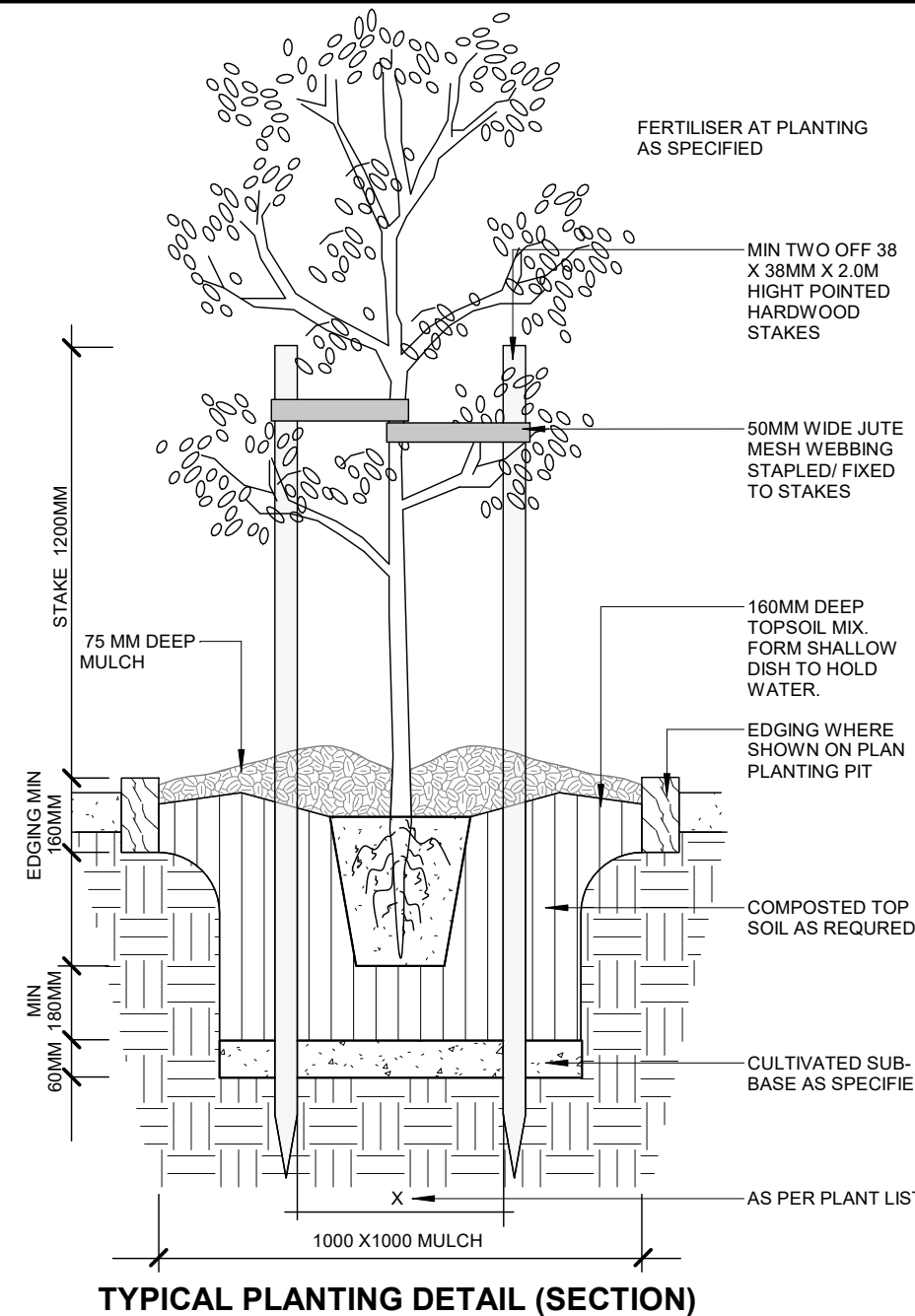
PROTECTION BOARD

GEOFABRIC

PROVIDE MIN. 1:100
FALL FOR DRAINAGE

TYPICAL PLANTING/PODIUM DETAIL

FERTILISER AT PLANTING
AS SPECIFIED



MIN TWO OFF 38
X 38MM X 2.0M
HIGHT POINTED
HARDWOOD
STAKES

50MM WIDE JUTE
MESH WEBBING
STAPLED/ FIXED
TO STAKES

160MM DEEP
TOPSOIL MIX.
FORM SHALLOW
DISH TO HOLD
WATER.

EDGING WHERE
SHOWN ON PLAN
PLANTING PIT

COMPOSTED TOP
SOIL AS REQUIRED

CULTIVATED SUB-
BASE AS SPECIFIED

AS PER PLANT LIST

TYPICAL PLANTING DETAIL (SECTION)

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Project:
**34 Lang Street,
Mudgee NSW 2850**
Client:

Drawing:
Landscape Details

newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 Gynea NSW
Phone: 0403 993 876
Email: info@planland.com.au
ABN: 62 128 716 334
Drawn: **LT** Date: **OCT/2022**
Approved: **LT**
Scale: 1:1@A3 Drawing No.: 22113 DA 7.5 Sheet No.: Rev.:

BASIX NOTES:

The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 51 kilolitres.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	LEVEL	FROM ROOM: NAME	TO ROOM: NAME	DESCRIPTION
D01	900	2100	2.Ground FFL	New Kitchen/Living		ENTRY DOOR
D02	820	2125	2.Ground FFL	New Kitchen/Living	New Bedroom	INTERIOR SINGLE HINGED DOOR
D03	720	2125	2.Ground FFL	New Kitchen/Living	New Bath/L'dry	INTERIOR SINGLE HINGED DOOR
D04	720	2125	2.Ground FFL	New Kitchen/Living	New Pantry	INTERIOR SINGLE HINGED DOOR
D05	1780	2180	2.Ground FFL	New Bath/L'dry	New Bath/L'dry	INTERIOR ACCORDION DOOR

5

GLAZING BASIX

MARK	ASPECT	SILL	WIDTH	HEIGHT	AREA	EXTERIOR GLAZING DESCRIPTION
W01	NE	0	7900	2200	17.38 m ²	SLIDING DOOR
W02	NE	0	2600	2200	5.72 m ²	SLIDING DOOR
W03	NE	0	400	2200	0.88 m ²	FIXED WINDOW
W04	NE	0	900	2200	1.98 m ²	HUNG DOWN WINDOW
W05	NE	0	900	2200	1.98 m ²	HUNG DOWN WINDOW
W06	SW	1600	1600	600	0.96 m ²	AWNING/GLASS LOUVRE FROSTED WINDOW
W07	SW	1600	2245	600	1.35 m ²	SLIDING WINDOW
W08	SW	1600	3000	600	1.80 m ²	FIXED WINDOW
W09	SW	0	1600	2200	3.52 m ²	SLIDING DOOR

Grand total: 9

SKYLIGHT SCHEDULE

MARK	HEIGHT	WIDTH	AREA
S01	1400	800	1.12 m ²
S02	1400	800	1.12 m ²
S03	1400	800	1.12 m ²
S04	1400	800	1.12 m ²
S05	1400	800	1.12 m ²
S06	1400	800	1.12 m ²
S07	1400	800	1.12 m ²

Grand total: 7

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Project:

**34 Lang Street,
Mudgee NSW 2850**

Client:**Drawing:**

**Window & Door
Schedules**

newton teale consulting pty ltd

trading as **plan land**

PO BOX 495 Gynea NSW

Phone: 0403 993 876

Email: info@planland.com.au

Drawn: **LT**Approved: **LT**Scale: **@A3**

ABN:

62 128 716 334

Date:

OCT/2022

Rev.:

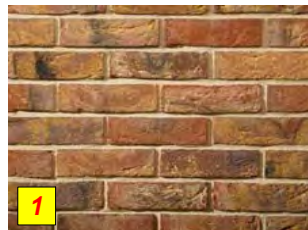
Drawing No.: **22113 DA 8.0**



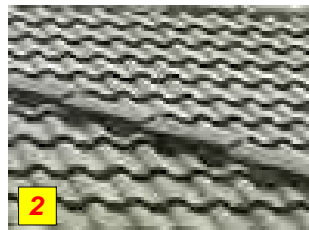
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RECYCLED BRICK WALL:
TO MATCH EXISTING



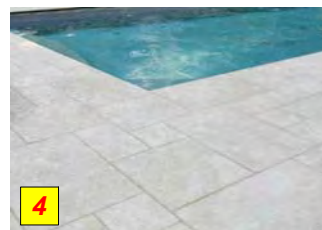
ROOF TILES:
TO MATCH EXISTING



COLORBOND STEEL MATT
ROOF



DECK TILES



GLASS POOL FENCE



POWDER COATED WHITE
ALUMINIUM DOORS/WINDOWS



SINGLE PANEL SLIDING
DRIVEWAY GATES



Project:
**34 Lang Street,
 Mudgee NSW 2850**
 Client:

Drawing:
**External Materials &
 Finishes**

newton teale consulting pty ltd
 trading as **plan land**
 PO BOX 495 Gynea NSW
 Phone: 0403 993 876
 Email: info@planland.com.au
 ABN: 62 128 716 334
 Drawn: **LT** Approved: **LT** Date: **OCT/2022**
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Project:
34 Lang Street,
Mudgee NSW 2850
 Client:

Drawing:
Perspective

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 ABN: 62 128 716 334

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PHASING LEGEND:
 (Note: legend applies to building elements, not finishes)

- NEW WORK
- EXISTING ELEMENTS
- DEMOLISHED ELEMENTS





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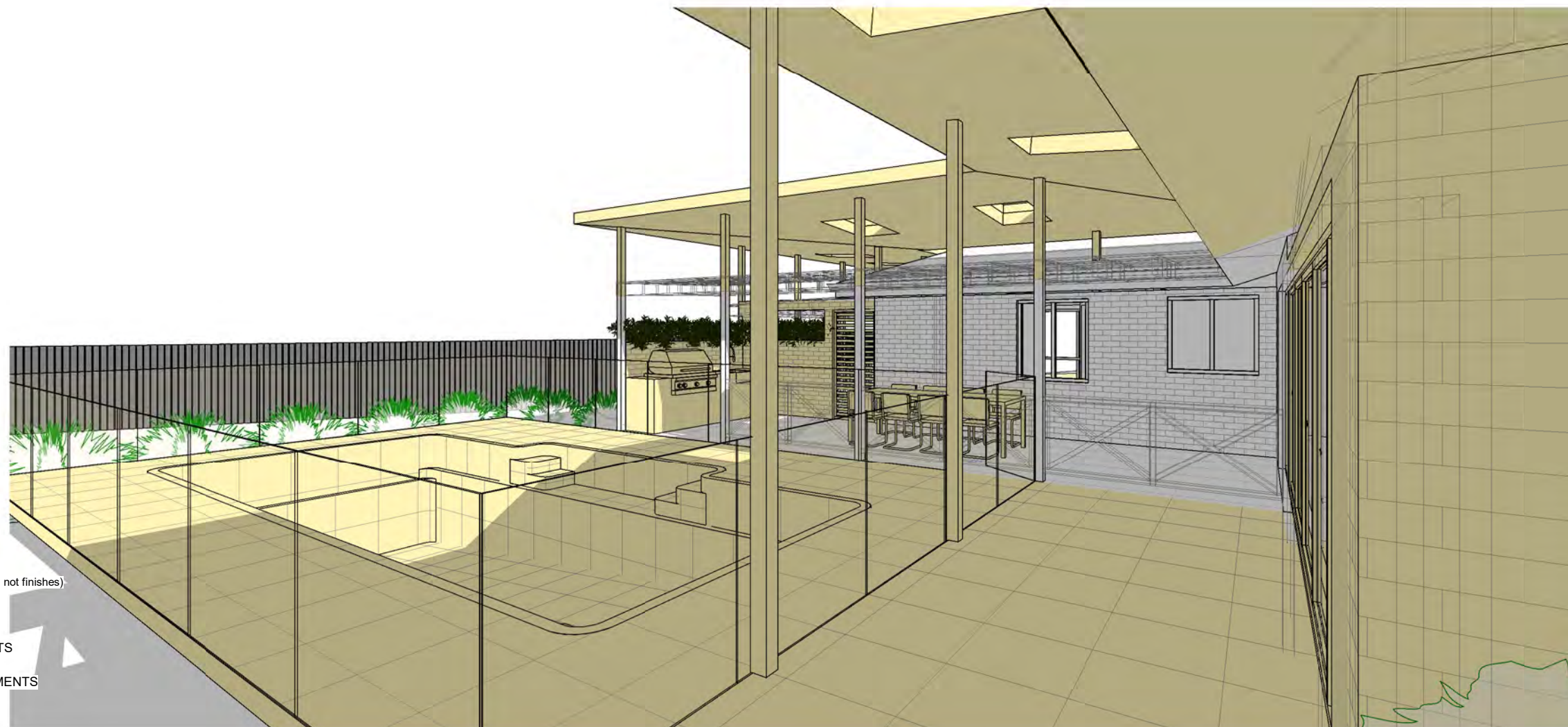
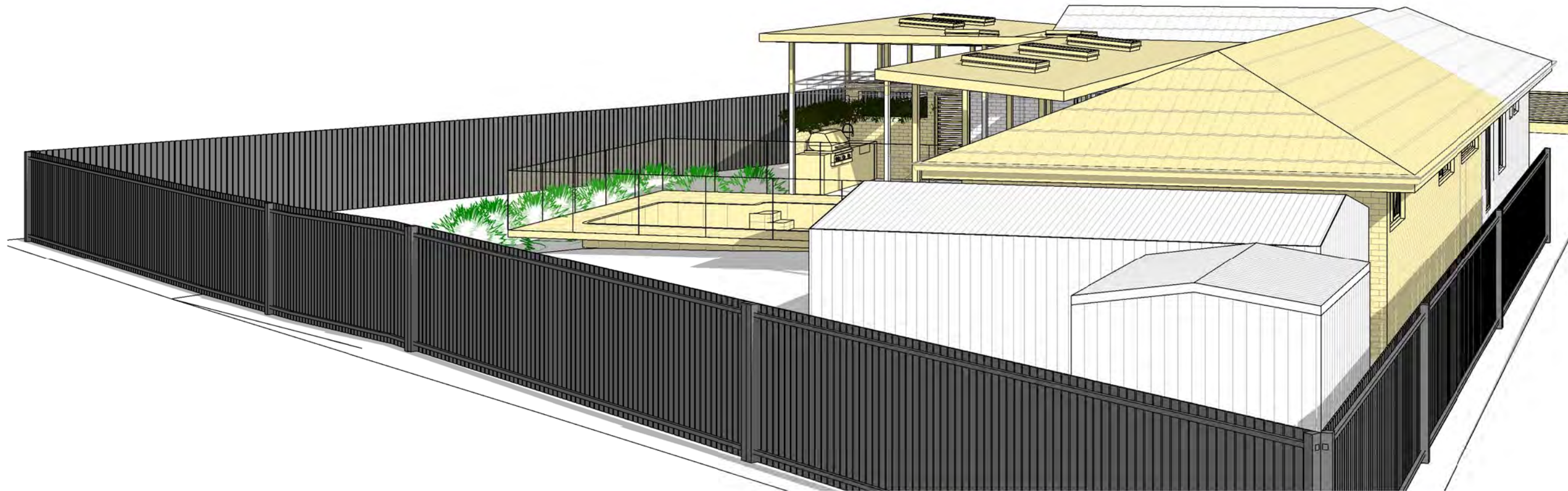
NOTE:
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Project:
**34 Lang Street,
 Mudgee NSW 2850**
 Client:

Drawing:
Perspective

newton teale consulting pty ltd
 trading as **plan land**
 PO BOX 495 Gynea NSW
 Phone: 0403 993 876
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 ABN: 62 128 716 334
 Drawn: **LT** Approved: **LT** Date: **OCT/2022**
 Scale: Drawing No.: Sheet No.: Rev.:
 @A3 **22113 DA 10.2**





PHASING LEGEND:
 (Note: legend applies to building elements, not finishes)

- NEW WORK
- EXISTING ELEMENTS
- DEMOLISHED ELEMENTS

**[PLAN]
[LAND]**

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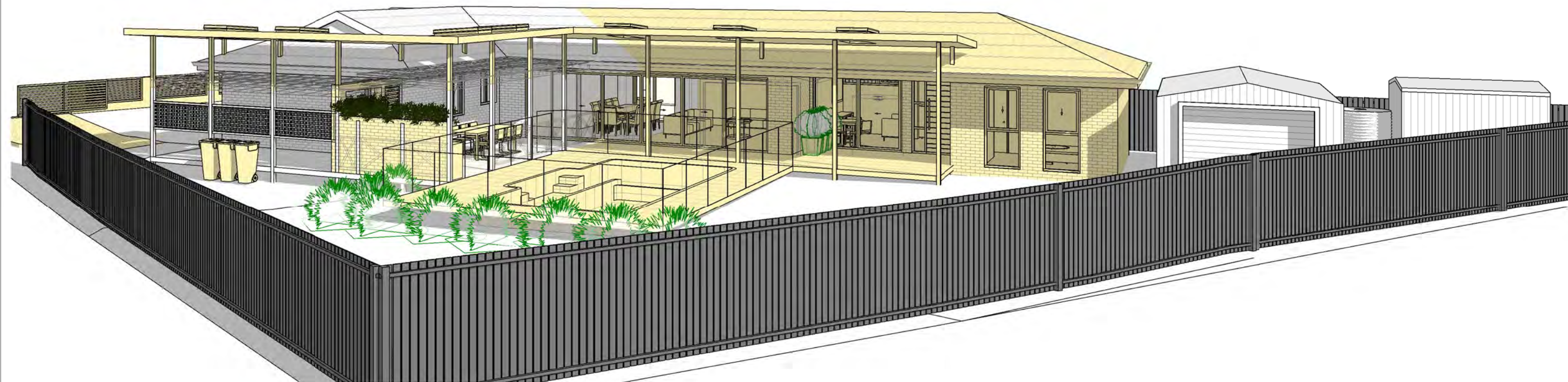
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NEW WORK

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DEMOLISHED ELEMENTS

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 @A3 **22113** **DA 10.4**