

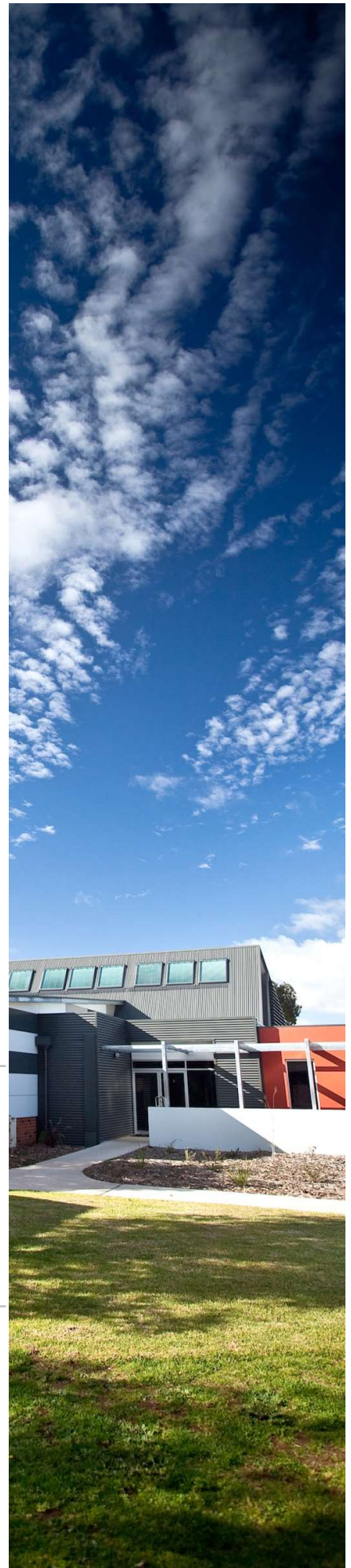


Flood Impact Analysis

34 Lang Street, Mudgee

(Our Reference: 34462-FR01_A.docx)

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date
14.06.2023

reference
41129-FR01_a

receiver
Attn: Mr Link Teale
PLAN BUILD

Dear Link,

Flood Impact Analysis 34 Lang Street, Mudgee

The following information has been prepared by Barnson Pty Ltd in support of a proposed development at 34 Lang Street, Mudgee. The background information pertaining to this report includes:

- A. It is proposed that the site be developed in accordance with the architectural plans as prepared by Plan Build. These plans are shown in Appendix A;
- B. A site survey of the area was conducted and levels are shown on the plans as presented in Appendix A;
- C. A local flood study was prepared for the site by WMA Water and is presented in Appendix B.

In addition, Mid-Western Regional Council's Development Control Plan (DCP 2013) has a section (5.2) for flooding. The procedure to determining what controls apply is as follows:

1. Identify the which risk matrix applies – Urban;
2. Identify what part of the floodplain the land is located.

From Appendix A, the existing surface levels at the rear of the site are around 457.000m (AHD). From Appendix B, the 1% AEP Peak Flood Level is around 457.290m.

By definition from Table 32 of WMA Waters "Mudgee Flood Study 2021", a Medium Flood Risk is 'land below the 100yr flood line that is not subject to high hydraulic hazard and where there are no significant evacuation difficulties'.

Therefore, the subject site has been classified as 'Medium Flood Risk'.

It has been determined that the site is therefore subject to the following controls, based on Matrix 1 (Appendix A) of the Mid-Western-Regional Council Development Control Plan (DCP) as shown below:

MATRIX 1 URBAN FLOODPLAINS

Urban Floodplains
Planning & Development Controls

Planning Consideration	Flood Risk Precincts (FRP's)																								
	Low Flood Risk					Medium Flood Risk					High Flood Risk														
	Essential Community Facilities	Critical Facilities	Subdivision	Residential	Commercial & Industrial	Tourist Related Development	Recreation & Agriculture	Minor Development	Essential Community Facilities	Critical Facilities	Subdivision	Residential	Commercial & Industrial	Tourist Related Development	Recreation & Agriculture	Minor Development	Essential Community Facilities	Critical Facilities	Subdivision	Residential	Commercial & Industrial	Tourist Related Development	Recreation & Agriculture	Minor Development	
Floor Level	3	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Building Components	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
Structural Soundness	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Flood Affection	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Evacuation	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Management & Design	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5	4,5

Not Relevant
 Unsuitable Land Use

Note: reference to freeboard refers to an increased height of 0.5 metres

Figure 1 – Matrix 1 (Appendix A) of the Mid-Western-Regional Council DCP

Floor level

- DCP Requirements - Habitable floor levels to be equal to or greater than the 100-year ARI flood (plus freeboard).
- Barnson Response – the proposed development features an extension to an existing dwelling. The existing dwelling and extension have a Finished Floor Level (FFL) of 457.490m (approx.). From Appendix B, the corresponding 1% AEP Peak Flood Level is 457.290m. Therefore, the proposed extension is 0.2m above the 1% AEP Peak Flood Level. If freeboard is assumed as 0.5m however, the 1% AEP Peak Flood Level plus freeboard level is 457.790m (457.290m + 0.5m) and the existing and proposed FFL is 0.3m below the 1% AEP Peak Flood Level plus freeboard level

Building Components

- DCP Requirements – All structures to have flood compatible building components below or at the 100-year ARI flood level (plus freeboard).
- Barnson Response – Appendix A of councils DCP lists which building materials are classified as flood compatible material. The proposed floor structure is a concrete slab on-ground. All additional building materials for the levels from 457.490m to 457.790m (0.3m above slab) must be in accordance with Appendix A of councils DCP.

Structural Soundness

- DCP Requirements – Engineers report to certify that any structure can withstand the forces of floodwater, debris and buoyancy up to and including the 100 ARI (plus freeboard).

- Barnson Response – From Appendix B, the velocity at the subject site is (point C) is 0.1m/s and a depth of 0.3m. Upon analysis, we advise the proposed slab on ground and conventional framing can withstand the expected flood forces during a 1:100yr ARI plus freeboard due to the extremely low velocity and level of inundation expected.

Flood Affection

- DCP Requirements – The impact of the development on flooding elsewhere to be considered;
- Barnson Response – the existing ground level at the subject site is typically 200mm below the 1:100yr ARI. From Appendix B, the floodplain width is in excess of 200m. From Appendix A, the building footprint width perpendicular to the floodplain is around 15m. The area of the building perpendicular to the floodplain inundated during a 1:100yr ARI (plus freeboard) is $15\text{m} \times 0.2\text{m} = 3\text{m}^2$. Over a 200m wide floodplain, the expected incremental impact on flooding is $3\text{m}^2/200\text{m} = 15\text{mm}$. This is considered negligible.

Evacuation

- DCP Requirements – Reliable access for pedestrian or vehicles required during a 1:100yr ARI flood;
- Barnson Response – the typical waring time for a 1:100yr ARI flood is around 8hrs. There is excellent street access and from Figure 29 of WMA Waters “Mudgee Flood Study 2021”, the distance to areas above the 1:100yr ARI flood is less than 500m. It is expected evacuation can be achieved over this distance with the expect flood warning time.

Please do not hesitate to contact the undersigned if you have any further enquires.

Yours faithfully

BARNSON PTY LTD



Luke Morris

BE MIEAust CPEng (NPER)

Director



Appendix A

Proposed Site Plans (by Client)

PROPOSED ALTERATIONS & ADDITIONS

**34 Lang Street,
Mudgee NSW 2850**



SITE & BUILDING CALCULATIONS			
PLANNING INSTRUMENTS	Mid-Western Regional Local Environmental Plan 2012		
	State Environmental Planning Policy (Exempt and Complying Development Codes) 2008		
SITE IDENTIFICATION	LOT 4	DP 790409	
ZONE	R1 - General Residential		
SITE AREA	964.1 m ²		
EXISTING FLOOR AREA	149.07 m ²		
SITE CONTROLS		REQUIRED	PROPOSED
GROSS FLOOR AREA		Lot area >920 m ² –1,000 m ² : max. 25% of lot area + 150 m ² = 391.025 m ²	188.09 m ²
SETBACKS	FRONT	established street setback	EXISTING
	SIDE	Lot width >18m–24m, GF: min. 1.5m FF: min. (building height–4.5m) ÷ 4 + 1.5m	COMPLIES
	REAR	Lot area >900 m ² –1,500 m ² , GF: min. 5 m FF: min. 12 m	COMPLIES
BUILDING HEIGHT		max. 8.5 m	COMPLIES
LANDSCAPED AREAS	OVERALL	Lot area >900 m ² –1,500 m ² : min. 40 % (385.64 m ²)	50.59% (487.7 m ²)
	DSL INSIDE FRONT SETBACK	min. 0.5 x 121.71 = 60.855 m ²	COMPLIES
PRIVATE OPEN SPACE		min. 24 m ²	COMPLIES

Drawing Register CDC	
Sheet Number	Sheet Name
CDC 0.1	Cover Sheet
CDC 0.2	Basix Certificate
CDC 0.3	Spec. & Notes
CDC 0.4	Spec. & Notes
CDC 0.5	Survey
CDC 1.1	Site Plan
CDC 1.2	GFA Calculations
CDC 1.3	LSA Calculation
CDC 2.1	Ground Floor Plan
CDC 2.2	Roof Plan
CDC 3.1	Elevations
CDC 3.2	Elevations
CDC 4.1	Sections
CDC 4.2	Detail - Party Wall
CDC 6.1	Pool Plan
CDC 6.2	Pool Sections
CDC 6.3	Driveway Plan & Section
CDC 7.0	Concept Drainage Plan
CDC 7.1	Construction Mgmt. Plan
CDC 7.2	Proposed Landscape Plan
CDC 7.3	Landscape Specifications
CDC 7.4	Landscape Specifications
CDC 7.5	Landscape Details
CDC 8.0	Window & Door Schedules
CDC 9.1	External Materials & Finishes
CDC 10.1	Perspective
CDC 10.2	Perspective
CDC 10.3	Perspective
CDC 10.4	Perspective

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NOTE:
SELECTED TERMITE PROTECTION TO BE USED ON SITE IN ACCORDANCE WITH LOCAL COUNCIL'S REQUIREMENTS, B.C.A. AND ALL RELEVANT AUSTRALIAN STANDARDS

NOTE:
SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY.

NOTE:
LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC.

NOTE:
STAIRWAY TO HAVE A NON-SLIP FINISH OR NOSING STRIP IN ACCORDANCE WITH CLAUSE 3.9.1.4 AND TABLE 3.9.1.3 OF THE NCC.

NOTE:
METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

Project:
**34 Lang Street,
Mudgee NSW 2850**
Client:

Drawing:
Cover Sheet

newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 Gynea NSW
Phone: 0403 993 876
Email: info@planland.com.au
ABN: 62 128 716 334

Drawn: **LT** Approved: **LT** Date: **OCT/2022**
Scale: Drawing No.: Sheet No.: Rev.:
@A3 22113 CDC 0.1

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A488430

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 16 February 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	34 Lang Street, Mudgee
Street address	34 Lang Street Mudgee 2850
Local Government Area	Mid-Western Regional Council
Plan type and number	Deposited Plan 790409
Lot number	4
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Newton Teale Consulting
ABN (if applicable): 62 128 716 334

BASIX Certificate number: A488430

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Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Pool and Spa			
Rainwater tank			
The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 200 square metres of roof area.	✓	✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.	✓	✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 51 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.	✓	✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.	✓	✓	✓

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Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	✓	✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	✓	✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	✓	✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	✓	✓	✓

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Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R1.95 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	

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Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.	✓	✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.	✓	✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	NE	17.38	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W2	NE	5.72	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W3	NE	0.88	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W4	NE	1.98	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W5	NE	1.98	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)

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Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Window / door no.	Orientation	Area of glass inc. frame (m²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W6	SW	0.98	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W7	SW	1.35	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W8	SW	1.8	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W9	SW	3.52	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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Project:
**34 Lang Street,
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Drawing:
Basix Certificate

newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 Gynea NSW
Phone: 0403 993 876
Email: info@planland.com.au
ABN: 62 128 716 334

Drawn: **LT** Approved: **LT** Date: **OCT/2022**
Scale: Drawing No.: Sheet No.: Rev.:
@A3 **22113 CDC 0.2**



1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

WHEREVER POSSIBLE, COMPONENTS FOR THIS BUILDING SHOULD BE PREFABRICATED OFF-SITE OR AT GROUND LEVEL TO MINIMISE THE RISK OF WORKERS FALLING MORE THAN TWO METRES. HOWEVER, CONSTRUCTION OF THIS BUILDING WILL REQUIRE WORKERS TO BE WORKING AT HEIGHTS WHERE A FALL IN EXCESS OF TWO METRES IS POSSIBLE AND INJURY IS LIKELY TO RESULT FROM SUCH A FALL. THE BUILDER SHOULD PROVIDE A SUITABLE BARRIER WHEREVER A PERSON IS REQUIRED TO WORK IN A SITUATION WHERE FALLING MORE THAN TWO METRES IS A POSSIBILITY.

DURING OPERATION OR MAINTENANCE

FOR HOUSES OR OTHER LOW-RISE BUILDINGS WHERE SCAFFOLDING IS APPROPRIATE: CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, LADDERS OR TRESTLES SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION. FOR BUILDINGS WHERE SCAFFOLD, LADDERS, TRESTLES ARE NOT APPROPRIATE: CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, FALL BARRIERS OR PERSONAL PROTECTIVE EQUIPMENT (PPE) SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION.

ANCHORAGE POINTS

ANCHORAGE POINTS FOR PORTABLE SCAFFOLD OR FALL ARREST DEVICES HAVE BEEN INCLUDED IN THE DESIGN FOR USE BY MAINTENANCE WORKERS. ANY PERSONS ENGAGED TO WORK ON THE BUILDING AFTER COMPLETION OF CONSTRUCTION WORK SHOULD BE INFORMED ABOUT THE ANCHORAGE POINTS.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES SPECIFIED

IF FINISHES HAVE BEEN SPECIFIED BY DESIGNER, THESE HAVE BEEN SELECTED TO MINIMISE THE RISK OF FLOORS AND PAVED AREAS BECOMING SLIPPERY WHEN WET OR WHEN WALKED ON WITH WET SHOES/FEET. ANY CHANGES TO THE SPECIFIED FINISH SHOULD BE MADE IN CONSULTATION WITH THE DESIGNER OR, IF THIS IS NOT PRACTICAL, SURFACES WITH AN EQUIVALENT OR BETTER SLIP RESISTANCE SHOULD BE CHOSEN.

FLOOR FINISHES BY OWNER

IF DESIGNER HAS NOT NOT BEEN INVOLVED IN THE SELECTION OF SURFACE FINISHES, THE OWNER IS RESPONSIBLE FOR THE SELECTION OF SURFACE FINISHES IN THE PEDESTRIAN TRAFFICABLE AREAS OF THIS BUILDING. SURFACES SHOULD BE SELECTED IN ACCORDANCE WITH AS HB 197:1999 AND AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

DUE TO DESIGN RESTRICTIONS FOR THIS BUILDING, STEPS AND/OR RAMPS ARE INCLUDED IN THE BUILDING WHICH MAY BE A HAZARD TO WORKERS CARRYING OBJECTS OR OTHERWISE OCCUPIED. STEPS SHOULD BE CLEARLY MARKED WITH BOTH VISUAL AND TACTILE WARNING DURING CONSTRUCTION, MAINTENANCE, DEMOLITION AND AT ALL TIMES WHEN THE BUILDING OPERATES AS A WORKPLACE. BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS AND IN PARTICULAR ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SO THAT THEY BECOME UNEVEN AND PRESENT A TRIP HAZARD. SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS. CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION TO REDUCE THE RISK OF TRIPS AND FALLS IN THE WORKPLACE. MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK ON OR AROUND THIS BUILDING IS LIKELY TO INVOLVE PERSONS WORKING ABOVE GROUND LEVEL OR ABOVE FLOOR LEVELS. WHERE THIS OCCURS ONE OR MORE OF THE FOLLOWING MEASURES SHOULD BE TAKEN TO AVOID OBJECTS FALLING FROM THE AREA WHERE THE WORK IS BEING CARRIED OUT ONTO PERSONS BELOW.

1. PREVENT OR RESTRICT ACCESS TO AREAS BELOW WHERE THE WORK IS BEING CARRIED OUT.
2. PROVIDE TOEBOARDS TO SCAFFOLDING OR WORK PLATFORMS.
3. PROVIDE PROTECTIVE STRUCTURE BELOW THE WORK AREA.
4. ENSURE THAT ALL PERSONS BELOW THE WORK AREA HAVE PERSONAL PROTECTIVE EQUIPMENT (PPE).

BUILDING COMPONENTS

DURING CONSTRUCTION, RENOVATION OR DEMOLITION OF THIS BUILDING, PARTS OF THE STRUCTURE INCLUDING FABRICATED STEELWORK, HEAVY PANELS AND MANY OTHER COMPONENTS WILL REMAIN STANDING PRIOR TO OR AFTER SUPPORTING PARTS ARE IN PLACE. CONTRACTORS SHOULD ENSURE THAT TEMPORARY BRACING OR OTHER REQUIRED SUPPORT IS IN PLACE AT ALL TIMES WHEN COLLAPSE WHICH MAY INJURE PERSONS IN THE AREA IS A POSSIBILITY. MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS. CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED, THAT LOADS ARE PROPERLY SECURED AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED.

3. TRAFFIC MANAGEMENT

FOR BUILDING ON A MAJOR ROAD, NARROW ROAD OR STEEPLY SLOPING ROAD: PARKING OF VEHICLES OR LOADING/UNLOADING OF VEHICLES ON THIS ROADWAY MAY CAUSE A TRAFFIC HAZARD. DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THIS BUILDING DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHOULD BE PROVIDED. TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE RESPONSIBLE FOR THE SUPERVISION OF THESE AREAS. FOR BUILDING WHERE ON-SITE LOADING/UNLOADING IS RESTRICTED: CONSTRUCTION OF THIS BUILDING WILL REQUIRE LOADING AND UNLOADING OF MATERIALS ON THE ROADWAY. DELIVERIES SHOULD BE WELL PLANNED TO AVOID CONGESTION OF LOADING AREAS AND TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE USED TO SUPERVISE LOADING/UNLOADING AREAS. FOR ALL BUILDINGS: BUSY CONSTRUCTION AND DEMOLITION SITES PRESENT A RISK OF COLLISION WHERE DELIVERIES AND OTHER TRAFFIC ARE MOVING WITHIN THE SITE. A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE ADOPTED FOR THE WORK SITE.

4. SERVICES

GENERAL

RUPTURE OF SERVICES DURING EXCAVATION OR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL. EXISTING SERVICES ARE LOCATED ON OR AROUND THIS SITE. WHERE KNOWN, THESE ARE IDENTIFIED ON THE PLANS BUT THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE (SUCH AS DIAL BEFORE YOU DIG), APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE USED. LOCATIONS WITH UNDERGROUND POWER: UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THIS SITE. ALL UNDERGROUND POWER LINES MUST BE DISCONNECTED OR CAREFULLY LOCATED AND ADEQUATE WARNING SIGNS USED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION COMMENCING. LOCATIONS WITH OVERHEAD POWER LINES: OVERHEAD POWER LINES MAY BE NEAR OR ON THIS SITE. THESE POSE A RISK OF ELECTROCUTION IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT AND PERSONS WORKING ABOVE GROUND LEVEL. WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHOULD BE, WHERE PRACTICAL, DISCONNECTED OR RELOCATED. WHERE THIS IS NOT PRACTICAL ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAPE OR SIGNAGE SHOULD BE USED OR A PROTECTIVE BARRIER PROVIDED.

5. MANUAL TASKS

COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25KG SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY MECHANICAL LIFTING DEVICE. WHERE THIS IS NOT PRACTICAL, SUPPLIERS OR FABRICATORS SHOULD BE REQUIRED TO LIMIT THE COMPONENT MASS. ALL MATERIAL PACKAGING, BUILDING AND MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL MASS OF PACKAGES AND WHERE PRACTICAL ALL ITEMS SHOULD BE STORED ON SITE IN A WAY WHICH MINIMISES BENDING BEFORE LIFTING. ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY OCCUR. CONSTRUCTION, MAINTENANCE AND DEMOLITION OF THIS BUILDING WILL REQUIRE THE USE OF PORTABLE TOOLS AND EQUIPMENT. THESE SHOULD BE FULLY MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND NOT USED WHERE FAULTY OR (IN THE CASE OF ELECTRICAL EQUIPMENT) NOT CARRYING A CURRENT ELECTRICAL SAFETY TAG. ALL SAFETY GUARDS OR DEVICES SHOULD BE REGULARLY CHECKED AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.

6. HAZARDOUS SUBSTANCES

ASBESTOS

FOR ALTERATIONS TO A BUILDING CONSTRUCTED PRIOR TO 1990: IF THIS EXISTING BUILDING WAS CONSTRUCTED PRIOR TO: 1990 - IT THEREFORE MAY CONTAIN ASBESTOS 1986 - IT THEREFORE IS LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. IN EITHER CASE, THE BUILDER SHOULD CHECK AND, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.

POWDERED MATERIALS

MANY MATERIALS USED IN THE CONSTRUCTION OF THIS BUILDING CAN CAUSE HARM IF INHALED IN POWDERED FORM. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION WHILE USING POWDERED MATERIAL OR WHEN SANDING, DRILLING, CUTTING OR OTHERWISE DISTURBING OR CREATING POWDERED MATERIAL.

TREATED TIMBER

THE DESIGN OF THIS BUILDING MAY INCLUDE PROVISION FOR THE INCLUSION OF TREATED TIMBER WITHIN THE STRUCTURE. DUST OR FUMES FROM THIS MATERIAL CAN BE HARMFUL. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL WHEN SANDING, DRILLING, CUTTING OR USING TREATED TIMBER IN ANY WAY THAT MAY CAUSE HARMFUL MATERIAL TO BE RELEASED. DO NOT BURN TREATED TIMBER.

VOLATILE ORGANIC COMPOUNDS

MANY TYPES OF GLUE, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHES AND SOME CLEANING MATERIALS AND DISINFECTANTS HAVE DANGEROUS EMISSIONS. AREAS WHERE THESE ARE USED SHOULD BE KEPT WELL VENTILATED WHILE THE MATERIAL IS BEING USED AND FOR A PERIOD AFTER INSTALLATION. PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURER'S RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES.

SYNTHETIC MINERAL FIBRE

FIBREGLASS, ROCKWOOL, CERAMIC AND OTHER MATERIAL USED FOR THERMAL OR SOUND INSULATION MAY CONTAIN SYNTHETIC MINERAL FIBRE WHICH MAY BE HARMFUL IF INHALED OR IF IT COMES IN CONTACT WITH THE SKIN, EYES OR OTHER SENSITIVE PARTS OR THE BODY. PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL SHOULD BE USED WHEN INSTALLING, REMOVING OR WORKING NEAR BULK INSULATION MATERIAL.

TIMBER FLOORS

THIS BUILDING MAY CONTAIN TIMBER FLOORS WHICH HAVE AN APPLIED FINISH. AREAS WHERE FINISHES ARE APPLIED SHOULD BE KEPT WELL VENTILATED DURING SANDING AND APPLICATION AND FOR A PERIOD AFTER INSTALLATION. PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURER'S RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES.

7. CONFINED SPACES

EXCAVATION

CONSTRUCTION OF THIS BUILDING AND SOME MAINTENANCE ON THE BUILDING WILL REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN EXCAVATIONS. WHERE PRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING METHODS WHICH DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION. WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHOULD BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHOULD BE PROVIDED.

ENCLOSED SPACES

FOR BUILDINGS WITH ENCLOSED SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED: ENCLOSED SPACES WITHIN THIS BUILDING MAY PRESENT A RISK TO PERSONS ENTERING FOR CONSTRUCTION, MAINTENANCE OR ANY OTHER PURPOSE. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER ENCLOSED SPACES, AIR TESTING EQUIPMENT AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE PROVIDED.

SMALL SPACES

FOR BUILDINGS WITH SMALL SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED: SOME SMALL SPACES WITHIN THIS BUILDING WILL REQUIRE ACCESS BY CONSTRUCTION OR MAINTENANCE WORKERS. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER SMALL SPACES THEY SHOULD BE SCHEDULED SO THAT ACCESS IS FOR SHORT PERIODS. MANUAL LIFTING AND OTHER MANUAL ACTIVITY SHOULD BE RESTRICTED IN SMALL SPACES.

8. PUBLIC ACCESS

PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION SITES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND PUBLIC. WARNING SIGNS AND SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED. WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PLANT OR LOOSE MATERIALS ARE PRESENT THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

THIS BUILDING HAS BEEN DESIGNED AS A RESIDENTIAL BUILDING. IF IT, AT A LATER DATE, IT IS USED OR INTENDED TO BE USED AS A WORKPLACE, THE PROVISIONS OF THE WORK HEALTH AND SAFETY ACT 2011 OR SUBSEQUENT REPLACEMENT ACT SHOULD BE APPLIED TO THE NEW USE.

10. OTHER HIGH RISK ACTIVITY

ALL ELECTRICAL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING ELECTRICAL RISKS AT THE WORKPLACE, AS/NZ 3012 AND ALL LICENSING REQUIREMENTS. ALL WORK USING PLANT SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING RISKS OF PLANT AT THE WORKPLACE. ALL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK. DUE TO THE HISTORY OF SERIOUS INCIDENTS IT IS RECOMMENDED THAT PARTICULAR CARE BE EXERCISED WHEN UNDERTAKING WORK INVOLVING STEEL CONSTRUCTION AND CONCRETE PLACEMENT. ALL THE ABOVE APPLIES.

COPYRIGHT: ALL WORK IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY REQUIREMENTS. BUILDING CONTRACTOR & ALL RELEVANT SUB TRADES TO CHECK & VERIFY ALL DIMENSIONS & ASSOCIATED DRAWING PARTS PRIOR TO MANUFACTURE, CONSTRUCTION & INSTALLATION ON SITE. DO NOT SCALE OFF DRAWINGS - WRITTEN DIMENSIONS TAKE PRECEDENCE. PLAN LAND ACCEPTS NO LIABILITY OR RESPONSIBILITY RESULTING FROM BUILDERS NEGLECT OR PREFERRED METHOD OF CONSTRUCTION FOR ANY BUILDING DEFECT. THESE DRAWINGS ARE THE PROPERTY OF PLAN LAND. DRAWINGS ARE NOT TO BE REPRODUCED IN PART OR IN WHOLE ON ANY MEDIUM WITHOUT THE WRITTEN PERMISSION OF PLAN LAND.

NOTE: ALL EXISTING & OVERALL DIMENSIONS ARE NOMINAL & SUBJECT TO VERIFICATION ON SITE. WHERE ANY DISCREPANCY OCCURS BETWEEN NEW WORK & EXISTING BETWEEN NEW WORK & EXISTING DIMENSIONS - EXISTING DIMENSIONS/WORK SHOULD TAKE PREFERENCE WHERE NECESSARY - OTHERWISE NOTIFY PLAN LAND
NOTE: SELECTED TERMITE PROTECTION TO BE USED ON SITE IN ACCORDANCE WITH LOCAL COUNCIL'S REQUIREMENTS. B.C.A. AND ALL RELEVANT AUSTRALIAN STANDARDS
NOTE: SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY.
NOTE: LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC.
NOTE: STAIRWAY TO HAVE A NON-SLIP FINISH OR NOSING STRIP IN ACCORDANCE WITH CLAUSE 3.9.1.4 AND TABLE 3.9.1.3 OF THE NCC.
NOTE: METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

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[PLAN]
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STANDARD SPECIFICATION & GENERAL CONSTRUCTION NOTES

ALL CONTRACTORS & SUPPLIERS ARE TO READ ALL NOTES CONTAINED WITHIN THIS DOCUMENTATION. THE FOLLOWING NOTES BELOW ARE A BRIEF EXTRACT FROM THE BCA FOR CONVENIENCE & CONTRACTUAL PURPOSES. EVERY EFFORT IS MADE TO PROVIDE ACCURATE, COMPLETE AND UP TO DATE INFORMATION, HOWEVER ALL CONTRACTORS & SUPPLIERS ARE TO ENSURE THEY WORK WITHIN AND COMPLY IN STRICT ACCORDANCE WITH THE FULL CURRENT BCA, ALL RELEVANT NATIONAL, STATE & LOCAL LAWS, REGULATIONS, LEGISLATION & STANDARD. THESE PLANS ARE TO BE READ IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DRAWINGS & COMPUTATIONS, BUILDING PERMIT CONDITIONS AS WELL AS ANY MANUFACTURES SPECIFICATIONS
ALL CONTRACTORS & SUPPLIERS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS & ARE TO USE FIGURED DIMENSIONS ONLY. THESE ARE NOT TO BE SCALED OFF. IF IN DOUBT, ASK.

EARTHWORKS

TO BE READ IN ACCORDANCE WITH BCA, PART 3.1.1

CONTRACTORS ASSOCIATED WITH EARTHWORKS SHALL CHECK AND CONFIRM STRUCTURAL ENGINEERS DRAWINGS/ COMPUTATIONS AND/ OR GEOLOGICAL SURVEY FOR ALL SOIL CLASSIFICATION, SITE CONDITIONS 7 MINIMUM FOOTING DEPTH PRIOR TO COMMENCEMENT OF ANY WORKS.

WHERE REQUIRED, APPROPRIATE EMBANKMENT PROTECTION TO BE PROVIDED & MAINTAINED BY ASSOCIATED CONTRACTORS FOR DURATION OF WORKS.

DRAINAGE

TO BE READ IN ACCORDANCE WITH BCA, PART 3.1.2, AS/NZS3500.3-2003-STORMWATER DRAINAGE, & AS/NZS3500.5-2000- DOMESTIC INSTALLATIONS, SECTION 5-STORMWATER DRAINAGE.

NEW DRAINAGE SYSTEMS MUST NOT ENCROACH AREAS DEFINED AS LOAD ABSORPTION FROM FOOTINGS. (BCA FIGURE 3.1.2.1)

SURFACE WATER DRAINAGE TO BE DIVERTED FROM CLASS 1 & 10 BUILDINGS AT ALL TIMES. (BCA FIGURE 3.1.2.2 & 3.1.2.3)

STORM WATER DRAINAGE SYSTEMS, POSITIONS & POINT OF DISCHARGE MUST BE TO THE SATISFACTION OF THE APPROPRIATE AUTHORITY.

FOOTINGS & SLABS

TO BE READ IN ACCORDANCE WITH BCA, PART 3.2, AS2870-1996-RESIDENTIAL SLABS & FOOTINGS & AS2159-1995-PILLING- DESIGN & INSTALLATION.

EXCAVATION FOR FOOTINGS INCLUDING THICKENING FOR SLAB & PADS MUST BE CLEAN CUT EITHER VERTICAL SIDES & FLAT BASE WHERE POSSIBLE.

FILLING UNDER CONCRETE SLABS MUST BE EITHER CONTROLLED FILL OR ROLLED FILL. MINIMUM 20MM CLEAN QUARRY SAND TO BE PLACED ON TOP OF FILL.

VAPOR / MOISTURE BARRIER MUST BE INSTALLED UNDER SLAB-ON-GROUND CONSTRUCTION. MINIMUM 0.2MM THICKNESS POLYETHYLENE FILM, MEDIUM IMPACT RESISTANCE. JOINTS TO LAP MINIMUM 200MM WITH ALL SERVICES AND PENETRATIONS TO BE SEALED/ TAPED ADEQUATELY. (BCA FIGURE 3.2.2.3)

CONCRETE MUST BE MANUFACTURED TO COMPLY WITH AS3600-2001-CONCRETE STRUCTURES, & HAVE A STRENGTH AT 28 DAYS NOT LESS THEN 20MPa (N20 GRADE), HAVE 20MM NOMINAL AGGREGATE SIZE & HAVE NOMINAL 80MM SLUMP.

REINFORCEMENT STEEL MUST HAVE LESS THAN 40MM COVER TO EXTERNAL FACES & 20MM TO AN INTERNAL PROTECTED SURFACE & BAR CHAIRS SPACED AT NOT MORE THAN 800MM CENTRES.

MASONRY

TO BE READ IN ACCORDANCE WITH BCA, PART 3.3 & AS3700-2001-MASONRY STRUCTURES.

MORTAR JOINTS MUST NOTE EXCEED NOMINAL 10MM & RACKED JOINTS NO DEEPER THAN 10MM.

ARTICULATION JOINTS MUST HAVE A WIDTH NOT LESS THAN 10MM & NOT EXCEEDING 20MM & BE CLEAN OF MORTAR & ARE TO BE STRAIGHT.

WALLS WITHOUT OPENINGS AT MAXIMUM 6000MM CENTERS & NOT CLOSER THAN HEIGHT OF THE WALL AWAY FROM CORNERS. WHERE OPENINGS MORE THAN 900x900MM OCCUR, AT MAXIMUM 5000MM CENTERS & POSITIONED AT ONE EDGE OF OPENING. ALL JOINTS ARE TO BE SEALED WITH A COMPRESSIBLE, FLEXIBLE MATERIAL. (REFER TO BCA FIGURE 3.3.1.7)

WALL TIES IN MASONRY VENEER CONSTRUCTION WITH 450C/C STUD WALLS TO BE SPACED 600x450MM, 600C/C STUD WALLS TO BE SPACED 600x600MM, CAVITY MASONRY 600x600MM. NUMBER OR TIES TO BE DOUBLED WITHIN 300MM OF OPENINGS & CONTROL JOINTS. TIES TO BE HOT DIPPED GALVANISED WITH A GRADE OF Z600. FACE FIXING TIES TO BE USED IN MASONRY VENEER TO AVOID HOLES IN FOIL. (BCA FIGURE 3.3.3.1)

HOOP IRON STRAPS TO BE 32x0.8M GALVANISED AT MAXIMUM 1200MM CENTRES & BE FIXED MINIMUM 900MM TO BRICK WORK. (REFER TO BCA FIGURE 3.3.3.3(b))

LINTELS SUPPORTING MASONRY WALLS ABOVE OPENINGS LESS THAN 1000MM TO HAVE MINIMUM BEARING LENGTH OF 100MM AT EACH END.

OPENING GREATER THAN 1000MM TO HAVE MINIMUM BEARING OF 150MM AT EACH END WITH MINIMUM 3 COURSE MASONRY ABOVE ALL OPENINGS. (BCA FIGURE 3.3.3.4 TO 3.3.3.5)

WEEPHOLES ARE TO BE AT MAX. 1200MM CENTRES & IMMEDIATLY ABOVE ANY DPC/ FLASHING. CONTRACTOR TO ENSURE THAT WEEPHOLES ABOVE OPENINGS ARE CENTRED & ALL WEEPHOLES ARE TO BE CLEAN & STRAIGHT.

DPC/ FLASHING FOR SUB FLOOR & ABOVE OPENINGS TO BE EMBOSSED BLACK POLYETHYLENE FILM OF HIGH IMPACT RESISTANCE, LOW SLIP WITH NOMINAL THICKNESS OF 0.5MM & MINIMUM 300MM IN WIDTH. DPC/ FLASHING MUST BE TURNED UP MINIMUM 150MM FIXED TO FRAME & JOINTS MUST LAP NOT LESS THAN 150MM. (REFER TO BCA FIGURES 3.3.4.1 TO 3.3.4.5 INCLUSIVE & BCA FIGURES 3.3.4.6 & 3.3.4.7 FOR ROOF/ WALL JUNCTIONS).

SUB-FLOOR VENTILATION

TO BE IN ACCORDANCE WITH BCA, PART 3.4.1

SUB-FLOOR VENTILATION TO BE PROVIDED AT A RATE OF 6000mm²/m OF WALL. SUB-FLOOR CLEARANCE BETWEEN GROUND LEVEL & UNDERSIDE OF BEARERS TO BE A MINIMUM OF 150MM WITHIN 2000MM FROM PERIMETER & AN AVERAGE OF 400MM FOR REMAINDER. SUBFLOOR VENTS TO BE PROVIDED AT 1200MM CENTRES & MAX 600MM FROM CORNERS. (REFER TO BCA FIGURES 3.4.1 & 3.4.2)

STEEL FRAMING & STRUCTURAL MEMBERS

TO BE IN ACCORDANCE WITH BCA, PART 3.4.2 & 3.4.4, AS4100-1998-STEEL STRUCTURES, AS/NZS4600-2005-COLD FORMED STEEL STRUCTURES & NASH-RESIDENTIAL & LOW RISE STEEL FRAMING.

TIMBER FRAMING

TO BE IN ACCORDANCE WITH BCA, PART 3.4.3 AND AS1684-2006-RESIDENTIAL TIMBER FRAMED CONSTRUCTION.

ALL TIMBER STORED ON SITE TO BE STACKED CLEAR FROM GROUND, IN A DRY LOCATION & IN A MANOR TO PREVENT TWISTING & WARPING.

ROOF & WALL CLADDING

TO BE IN ACCORDANCE WITH BCA, PART 3.5, AS2049-2002-ROOF TILES, AS2050-2002-INSTALLATION OF ROOF TILES, AS1562.1-1992-DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING, AS/NZS1562.2-1999-DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING, AS/ NZS1562.3-1996-PLASTIC SHEET ROOFING, AS/NZS4256-Pls 1,2,3 & 5-1994-PLASTIC ROOF & WALL CLADDING MATERIAL, AS/NZS4200-1994-INSTALLATION OF PLIABLE MEMBRANE & UNDERLAY, & ASTM D3018-90-1994-ASPHALT SHINGLES.

LEAD FLASHING MUST NOT BE USED ON ANY ROOF THAT IS PART OF PORTABLE WATER CATCHMENT AREA.

ALL METAL SHEET ROOFING, FLASHING, CAPPING, FASTENERS & GUTTERING TO BE PROTECTED FROM CORROSION & WHERE DIFFERENT MATERIALS ARE USED IN ANY PART OF THE ROOFING SYSTEM AS NOTED ABOVE, THEY MUST BE COMPATIBLE WITH EACH OTHER TO PREVENT CORROSION DUE TO AN ADVERSE CHEMICAL REACTION.

GUTTERS & DOWNPIPES

TO BE IN ACCORDANCE WITH BCA, PART 3.5.2, AS/NZS3500.3-2003-STORMWATER DRAINAGE, AS/NZS3500.5-2000- DOMESTIC INSTALLATIONS, AS1273-1991-UPVC DOWNPIPES & FITTINGS FOR RAINWATER & AS/NZS2179.1-1994-METAL SHAPE OR SHEET RAINWATER GOODS AND METAL ACCESSORIES AND FASTENERS.

GUTTERS TO BE INSTALLED WITH A FALL NOT LESS THAN 1:500 FOR EAVE GUTTERS UNLESS FIXED TO METAL FASCIA & MUST BE SUPPORTED BY BRACKETS AT MAXIMUM 1200MM CENTRES.

BOX GUTTERS TO HAVE A MINIMUM FALL WIDTH OF 1:100 VALLEY GUTTERS TO HAVE A MINIMUM WIDTH OF 400MM

DOWNPIPES MUST BE SECURELY FIXED TO WALLS, BE LOCATED AT MAX 1200MM CENTRES & WHERE POSSIBLE BE PROVIDED AS CLOSE TO VALLEY GUTTERS AS POSSIBLE

ALL ROOF DRAINAGE TO DESIGNED SO THAT OVERFLOW DURING HEAVY RAIN PERIODS IS PREVENTED FROM FLOWING BACK INTO THE BUILDING.

DOWNPIPE TYPES & SIZES TO COMPLY WITH BCA TABLES 3.5.2.1 & 3.5.2.2.

GLAZING

TO BE IN ACCORDANCE WITH BCA, PART 3.6, AS2047-1999-WINDOWS IN BUILDING-SELECTION & INSTALLATION & AS1288-2006-GLASS IN BUILDINGS-SELECTION & INSTALLATION.

FULLY FRAMED GLAZING GREATER THAN 0.5m² (OTHER THAN 1200MM FROM FINISHED FLOOR LEVEL TO BE GRADE A TOUGHENED SAFETY GLASS. UNFRAMED DOORS TO BE GRADE A TOUGHENED SAFETY GLASS WITH STANDARD MINIMUM NOMINAL THICKNESS OF 10MM.

FULL HEIGHT FRAMED GLAZED PANELS LESS THAN 500MM FROM THE HIGHEST ABUTTING FINISHED FLOOR LEVEL GREATER THAN 0.9m² TO BE GRADE A SAFETY GLASS IN ACCORDANCE WITH BCA TABLE 3.6.5

FRAMED GLAZING FOR SHOWER DOORS, SHOWER SCREEN AND BATH ENCLOSURE AS WELL AS WINDOWS WITHIN 1500MM VERTICAL AND OR 500MM HORIZONTAL TO THE BASE OF SHOWERS OR BATHS TO BE EITHER GRADE A SAFETY GLASS IN ACCORDANCE WITH BCA TABLE 3.6.6 OR GRADE B SAFETY GLASS IN ACCORDANCE WITH BCA TABLE 3.6.5 GLAZING WITH EXPOSED EDGE MUST BE TOUGHENED SAFETY GLASS IN ACCORDANCE WITH BCA TABLE 3.6.4 WITH A MINIMUM NOMINAL THICKNESS OF 5MM.

ALL EXTERNAL PERIMETER WINDOWS TO BE FLASHED RIGHT ROUND

ALL WINDOW SIZES WITHIN THESE PLANS ARE NOMINAL AND MAY VARY ACCORDING TO MANUFACTURE.

FIRE SAFETY

TO BE IN ACCORDANCE WITH BCA, PART 3.7, AS3786-1993-SMOKE ALARMS, AS1691-1985-DOMESTIC OIL-FIRED APPLIANCES-INSTALLATION, AS/ NZS2918-2001-DOMESTIC SOLID FUEL BURNING APPLIANCES-INSTALLATION & AS3959-1999-CONSTRUCTION OF BUILDING IN BUSHFIRE-PRONE AREAS.

ALL FLOORS BETWEEN OTHERS OCCUPANCIES, PARTY WALLS, WALLS WITHIN 900MM DISTANCE AND EAVES WITHIN 500MM DISTANCE FROM TITLE BOUNDARY OR OTHER ADJOINING BUILDINGS MUST BE CONSTRUCTED WITH A NON- COMBUSTABLE MATERIAL HAVING A FRL OF NOT LESS THAN 60 / 60 / 60.

ROOF LIGHTS MUST NOT BE 900MM DISTANCE FROM TITLE BOUNDARY OR ADJOINING BUILDINGS OR WITHIN 1800MM FROM ADJOINING BUILDING ROOF LIGHTS. (REFER TO BCA FIGURE 3.7.1.12)

SMOKE ALARMS TO BE HARD WIRED TO CONSUMER MAINS & INSTALLED ON OR NEAR THE CEILING (WITH SPECIAL CARE TAKEN TO AVOID DEAD AIR SPACES) OF ANY STOREY CONTAINING BEDROOMS AS SHOWN IN BCA FIGURE 3.7.2.1 AND IN ANY OTHER STOREY NOT CONTAINING BEDROOMS AS IN BCA FIGURE 3.7.2.2.

ALL HEATING APPLIANCES TO BE INSTALLED IN STRICT ACCORDANCE TO MANUFACTURES SPECS AND BCA, PART 3.7.3

WET AREAS

TO BE IN ACCORDANCE WITH BCA, PART 3.8.1 & AS3740-2004-WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.

ALL WET AREAS MUST BE WATERPROOFED OR WATER RESISTANT IN ACCORDANCE WITH BCA TABLE 3.8.1.1 & BCA FIGURES 3.8.1.1.1 TO 3.8.1.16 ALL INCLUSIVE.

ALL PLASTERBOARD USED IN WET AREAS MUST BE WR GRADE (WATER RESISTANT) WITH ALL CORNERS AND EDGES INCLUDING BOTTOM EDGES OVER SHOWER BASE/ HOB, BATH TUBS & BENCHES WITH BASINS, ADEQUATELY WATERPROOFING TO PREVENT MOISTURE PENETRATION.

STRICTLY MOULD RESISTANT GROUT AND SILICON TO BE USED IN ALL WET AREAS.

VENTILATION

TO BE IN ACCORDANCE WITH BCA, PART 3.8.5 & AS1668.2-1991-MECHANICAL VENTILATION FOR ACCEPTABLE INDOOR-AIR QUALITY. MECHANICAL VENTILATION TO SANITARY ROOMS & RANGE-HOODS ARE TO BE DISCHARGE DIRECTLY TO THE OUTSIDE AIR AT A MINIMUM RATE OF 25L/s MINIMUM.

BALUSTRADE

TO BE IN ACCORDANCE WITH BCA, PART 3.9.2, AS1170.1-1989-DEAD AND LIVE LOADS AND LOAD COMBINATIONS, & AS/ NZS1170.1-PERANENT, IMPOSED AND OTHER ACTIONS.

BALUSTRADES ARE REQUIRED WHERE ANY LEVEL IS MORE THAN 1000MM ABOVE THE SURFACE BENEATH (REFER TO BCA FIGURE 3.9.2.3) & BE MINIMUM 865MM ABOVE THE FINISHED SURFACE OF THE NOSING ON TREADS & MINIMUM 1000MM ABOVE THE FINISHED SURFACE OF LANDINGS WITH NO PART OF THE BALUSTRADE TO ALLOW A 125MM SPHERE TO PASS THROUGH. (REFER TO BCA FIGURE 3.9.2.1)

BALUSTRADES 4000MM AND GREATER ABOVE ADJOINING SURFACE MUST NOT HAVE ANY PART THAT IS CLIMBABLE.

SWIMMING POOL

TO BE IN ACCORDANCE WITH BCA, PART 3.9.3 & AS1926.1-1993-FENCING FOR SWIMMING POOLS.

SAFETY FENCING LOCATIONS MUST BE IN ACCORDANCE WITH BCA FIGURE 3.9.3.1 & IN A MANOR THAT THE MINIMUM HEIGHT OF FENCING IS 1200MM RIGHT ROUND AND MUST NOT BE AFFECTED BY NEARBY OBJECTS. (REFER TO BCA FIGURE 3.9.3.4) WHERE PERFORATED MESH MATERIAL WITH APERTURE MORE THAN 13MM IS USED BUT LESS THAN 100MM, HEIGHT OF FENCE MUST BE IN ACCORDANCE WITH BCA FIGURE 3.9.3.3

NO PART OF POOL FENCING IS TO BE CLIMBABLE IN ANY WAY WITH MAXIMUM VERTICAL SPACING OF 10MM. GATES ARE TO SWING OUTWARDS FROM POOL AREA, BE FITTED WITH CLOSING DEVICE & LATCH, WITH LATCH LOCATED AND SHIELDED IN ACCORDANCE WITH BCA FIGURE 3.9.3.7

STAIR CONSTRUCTION

TO BE IN ACCORDANCE WITH BCA, PART 3.9.1 AND AS1657-1992-FIXED PLATFORMS, WALKWAYS, STAIRWAYS & LADDERS-DESIGN, CONSTRUCTION AND INSTALLATION.

EACH FLIGHT OF STAIRS TO HAVE MAXIMUM 18 RISES, 3 WINDERS IN LIEU OF QUARTER LANDING OR 6 WINDERS IN LIEU OF EACH HALF LANDING. LANDINGS MUST NOT BE LESS THAN 750MM LONG MEASURED 500MM FROM INSIDE EDGE OF LANDING, (REFER TO BCA FIGURE 3.9.1.5) AND HAVE A GRADIENT NOT STEEPER THAN 1:50

RISES (OTHER THAN SPIRAL) TO BE MINIMUM 115MM & MAXIMUM 190MM. GOING (OTHER THAN SPIRAL) TO BE MINIMUM 240MM & MAXIMUM 355MM. A 125MM SPHERE MUST NOT PASS THROUGH TREADS. (REFER TO BCA FIGURES 3.9.1.2 TO 3.9.1.4 INCLUSIVE)

ENERGY EFFICIENCY

TO BE IN ACCORDANCE WITH BCA, PART 3.12, BCA APPENDIX A & AS4859.1-2002-GENERAL CRITERIA AND TECHNICAL PROVISIONS. REFER TO ENERGY EFFICIENCY REPORT BASIX FOR ALL, INSTALLATION LEVELS, WINDOW FRAME & GLAZING TYPES, AND OTHER SPECIFICATIONS REQUIRED TO ACHIEVE STAR RATING.

REFLECTIVE FOIL MUST BE INSTALLED ADEQUATLY TO FRAMING MEMBERS WITH JOINS OVERLAPPING MINIMUM 150MM OR ADEQUATELY TAPPED.

WHERE REQUIRED, BULK INSULATION SHOULD MAINTAIN ITS POSITION & THICKNESS (OTHER THAN AREAS SUCH AS NOGGINS, BATTENS, SERVICES ETC) & PLACED HARD UP AGAINST ALL STUDS, OPENINGS & THE LIKE TO MINIMISE AIR MOVEMENT & MAINTAIN ITS EFFECTIVE PERFORMANCE INTEGRITY.

ALL GAPS AROUND & WITHIN EXTERNAL DOORS, WINDOWS, ROOF LIGHTS & SERVICES PENETRATING EXTERNAL WALLS TO BE SEALED OR CAPABLE OF BEING SEALED WHEN IN A CLOSED POSITION SO AS TO RESTRICT AIR INFILTRATION.

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CONSTRUCTION & INSTALLATION ON SITE. DO NOT SCALE OFF DRAWINGS - WRITTEN DIMENSIONS TAKE PRECEDENCE.

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NOTE:

SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY.

NOTE:

LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC.

NOTE:

STAIRWAY TO HAVE A NON-SLIP FINISH OR NOSING STRIP IN ACCORDANCE WITH CLAUSE 3.9.1.4 AND TABLE 3.9.1.3 OF THE NCC.

NOTE:

METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

Project:

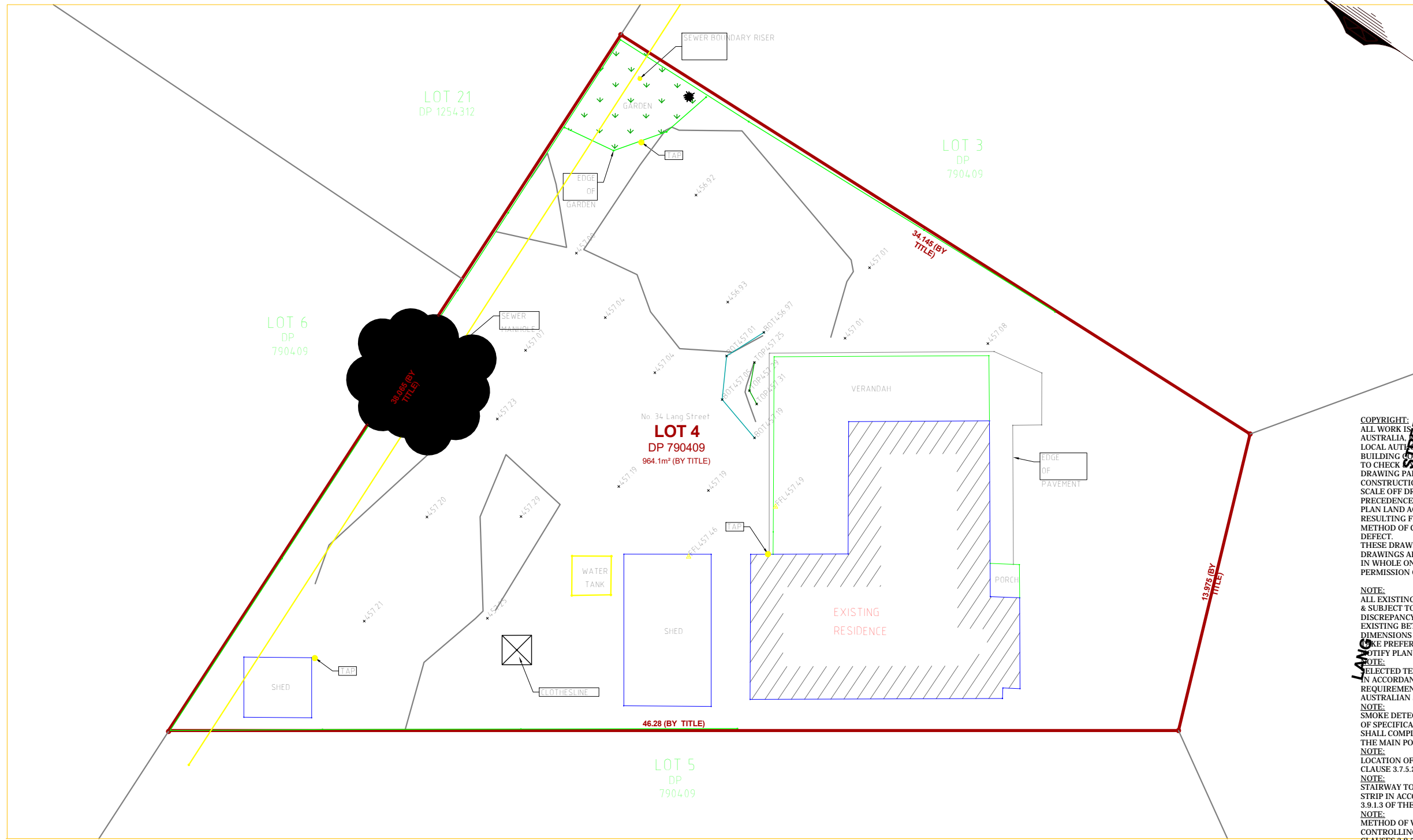
**34 Lang Street,
Mudgee NSW 2850**
Client:

Drawing:

Spec. & Notes

newton teale consulting pty ltd	ABN:		
trading as plan land	62 128 716 334		
PO BOX 495 Gynea NSW			
Phone: 0403 993 876			
Email: info@planland.com.au			
Drawn: LT	Approved: LT	Date: OCT/2022	
Scale: @A3	Drawing No.: 22113	Sheet No.: CDC 0.4	Rev.:

**[PLAN
LAND]**



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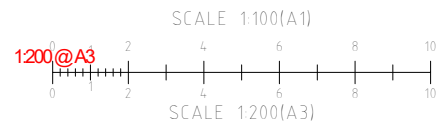
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METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

KEY	
	EXISTING SUBJECT CADASTRAL BOUNDARIES
	EXISTING FENCE LINE
	EXISTING (UNDERGROUND) SEWER PIPE (CONDUIT)
	TOP OF BANK
	BOTTOM OF BANK

- NOTES**
- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9(1) OF THE SPATIAL INFORMATION REGULATION 2017. IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.
 - THIS PLAN & LEVEL SURVEY IS NOT A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT 2002. IF CONSTRUCTION OR DESIGN WORK WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE OPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY.
 - THE LOCATIONS AND DEPTHS OF UNDERGROUND SERVICES ARE NOT ASSURED BY BARNSON. SERVICE AUTHORITIES SHOULD BE CONSULTED BEFORE ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
 - THERE MAY BE UNDERGROUND SERVICES THAT HAVE NOT BEEN SHOWN HEREON.
 - BARNSON TAKES NO RESPONSIBILITY FOR LOSSES, DAMAGES OR INJURIES TO ANY PERSON OR ORGANISATION THAT MAY OCCUR DUE TO THE RELIANCE ON THIS PLAN FOR THE LOCATION OF UNDERGROUND SERVICES.

DATE OF SURVEY: 16th SEPTEMBER 2022
 SURVEY BY: R. Boylan
 DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
 ORIGIN: PM 2994, RL 460.341m (S.C.I.M.S)
 MAJOR CONTOUR INTERVAL: 1 METRE
 MINOR CONTOUR INTERVAL: 200 MMES

LEVEL AND DETAIL SURVEY PLAN
 REDUCTION RATIO 1:100 @ A1



Project:
**34 Lang Street,
 Mudgee NSW 2850**
 Client:

Drawing:
Survey

newton teale consulting pty ltd
 trading as **plan land**
 PO BOX 495 Gymer NSW
 Phone: 0403 993 876
 Email: info@planland.com.au

ABN: 62 128 716 334

ISSUED TO CLIENT

Drawn: **LT** Approved: **LT** Date: **OCT/2022**
 Scale: 1:200@A3 Drawing No.: 22113 Sheet No.: CDC 0.5 Rev.:

NET AREAS

No.	NAME	AREA
1	Ex.Entry	1.65 m ²
2	Ex.Family	16.03 m ²
3	Ex. Corridor	4.54 m ²
4	Ex.Kitchen	6.36 m ²
5	New Dining	26.26 m ²
6	New Living	29.48 m ²
7	Ex.Bedroom 1	8.90 m ²
8	Ex.Bedroom 2	13.44 m ²
9	Ex.Bath	5.31 m ²
10	Ex.WC	1.44 m ²
11	Ex.Bedroom 3	15.57 m ²
12	Ex.L'dry	3.89 m ²
13	Ex.Shed	25.42 m ²
2.Ground FFL: 13		158.29 m ²
Granny		
14	New Kitchen/Living	19.13 m ²
15	New Bedroom	11.28 m ²
16	New Bath/L'dry	6.32 m ²
17	New Pantry	2.39 m ²
2.Ground FFL: 4		39.12 m ²
Grand total: 17		197.40 m ²

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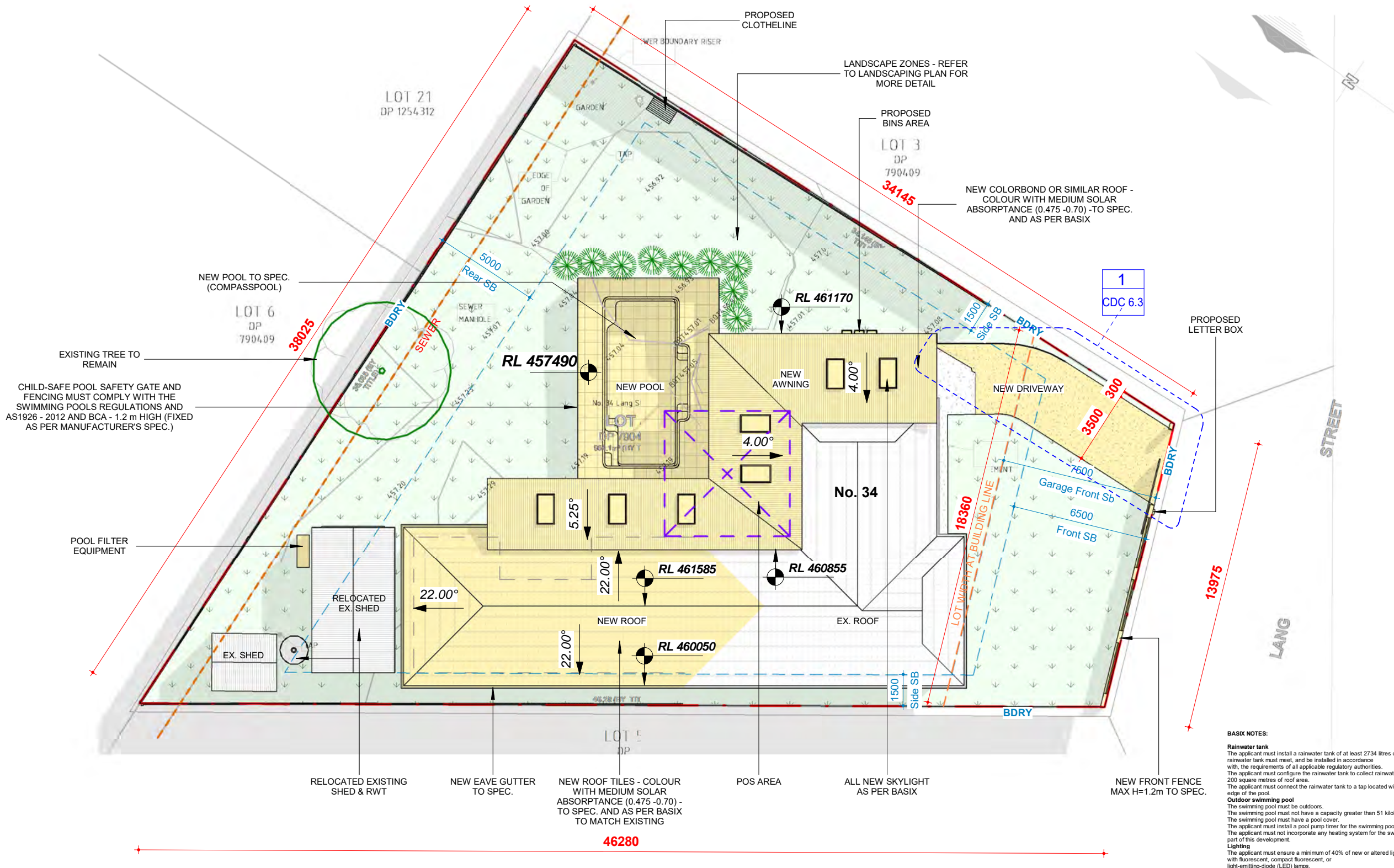
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Project:
34 Lang Street, Mudgee NSW 2850
Client:

Drawing:
Site Plan

newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 GYMES NSW
Phone: 0403 993 876
Email: info@planland.com.au
ABN: 62 128 716 334

Drawn: **LT** Approved: **LT** Date: **OCT/2022**
Scale: 1:200@A3 Drawing No.: 22113 CDC 1.1 Sheet No.: Rev.:

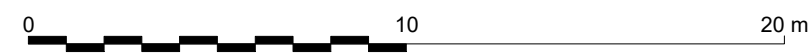


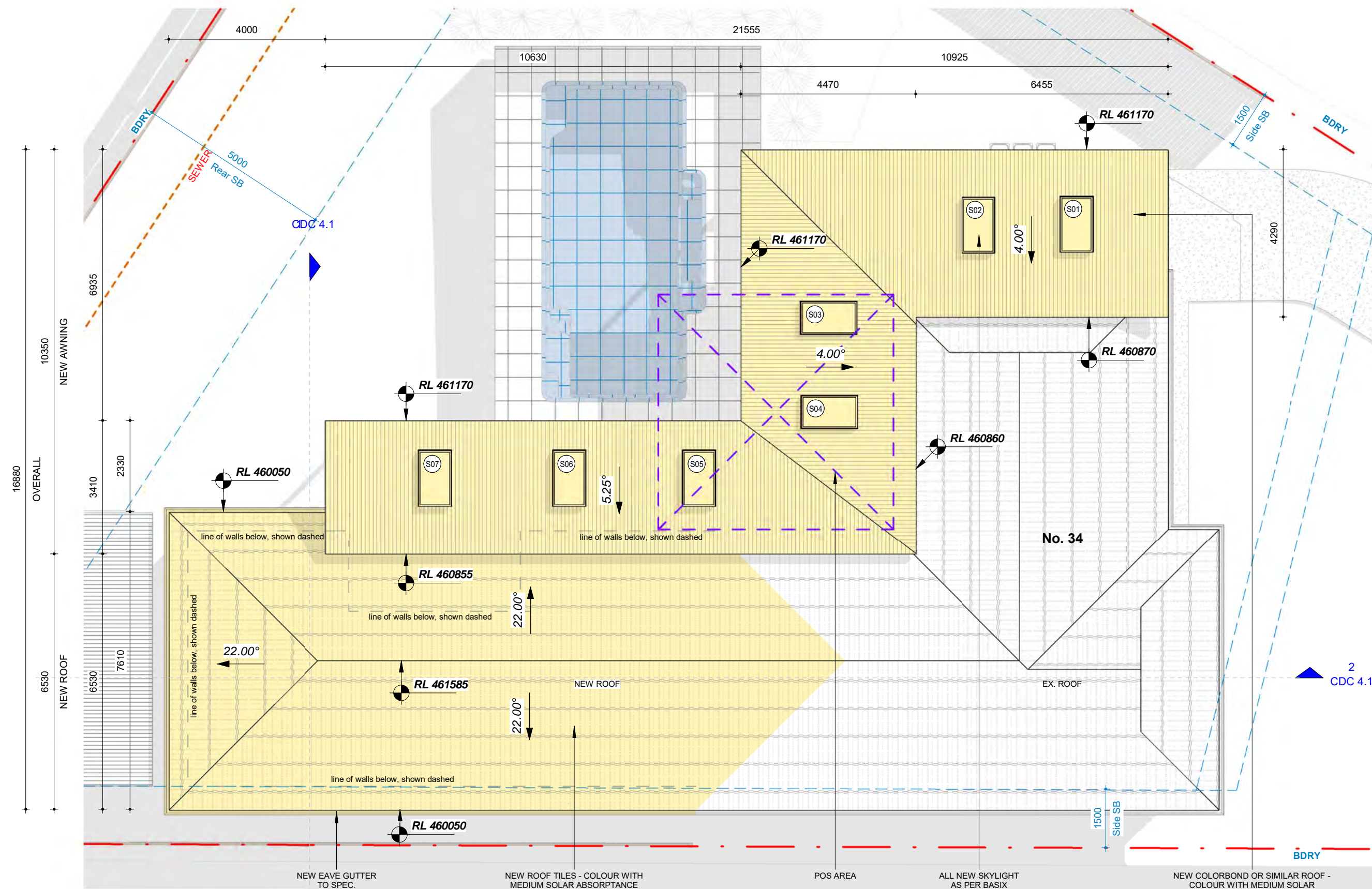
PHASING LEGEND:
(Note: legend applies to building elements, not finishes)

- NEW WORK
- EXISTING ELEMENTS
- DEMOLISHED ELEMENTS

LOT AREA	GFA	FSR
964.10 m ²	188.09 m ²	0.20

LOT AREA	LSA	LSA COVERAGE
964.10 m ²	487.70 m ²	50.59%





BASIC NOTES:

Rainwater tank
The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 200 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool
The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 51 kilolitres. The swimming pool must have a pool cover. The applicant must install a pool pump timer for the swimming pool. The applicant must not incorporate any heating system for the swimming pool that is part of this development.

Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Windows and glazed doors
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door:
Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fire Protection Rating Council (NFRC) conditions.
For projections described in millimetres, the leading edge of each eave, perole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Perolias with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.
Perolias with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the perole also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

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PHASING LEGEND:
(Note: legend applies to building elements, not finishes)

NEW WORK

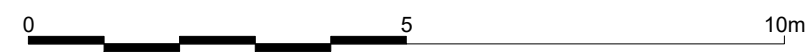
EXISTING ELEMENTS

DEMOLISHED ELEMENTS



LOT AREA	GFA	FSR
964.10 m ²	188.09 m ²	0.20

LOT AREA	LSA	LSA COVERAGE
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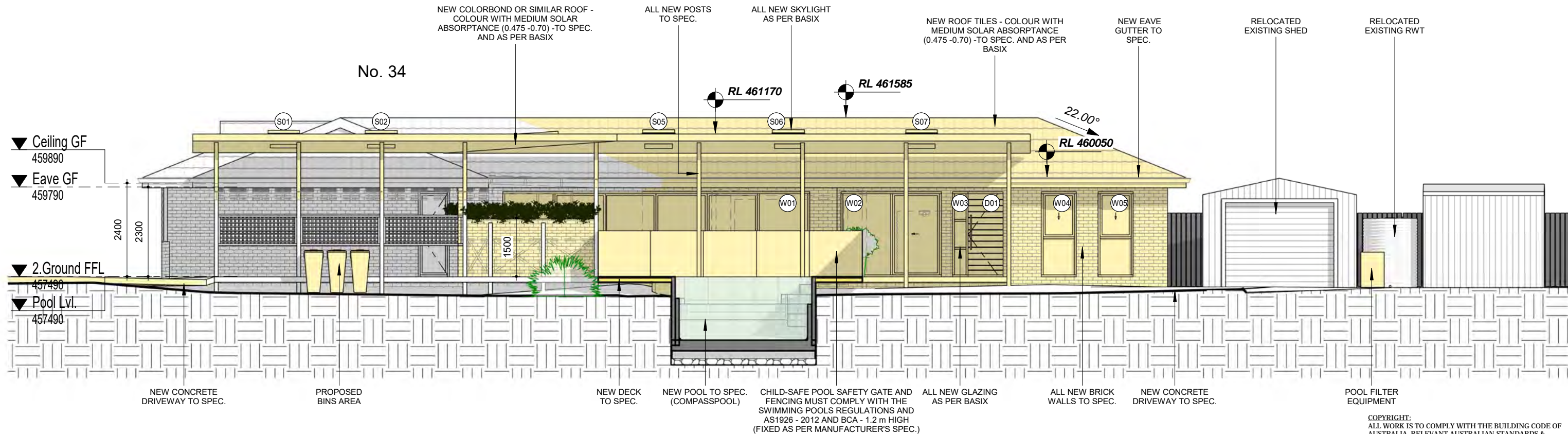
Drawing:
Roof Plan

newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 Gynea NSW
Phone: 0403 993 876
Email: info@planland.com.au

ABN: 62 128 716 334

Drawn: **LT** Approved: **LT** Date: **OCT/2022**

Scale: 1:100@A3 Drawing No.: **22113 CDC 2.2** Sheet No.: Rev.:



2 Side (NE) Elevation
1 : 100

BASIX NOTES:

Rainwater tank
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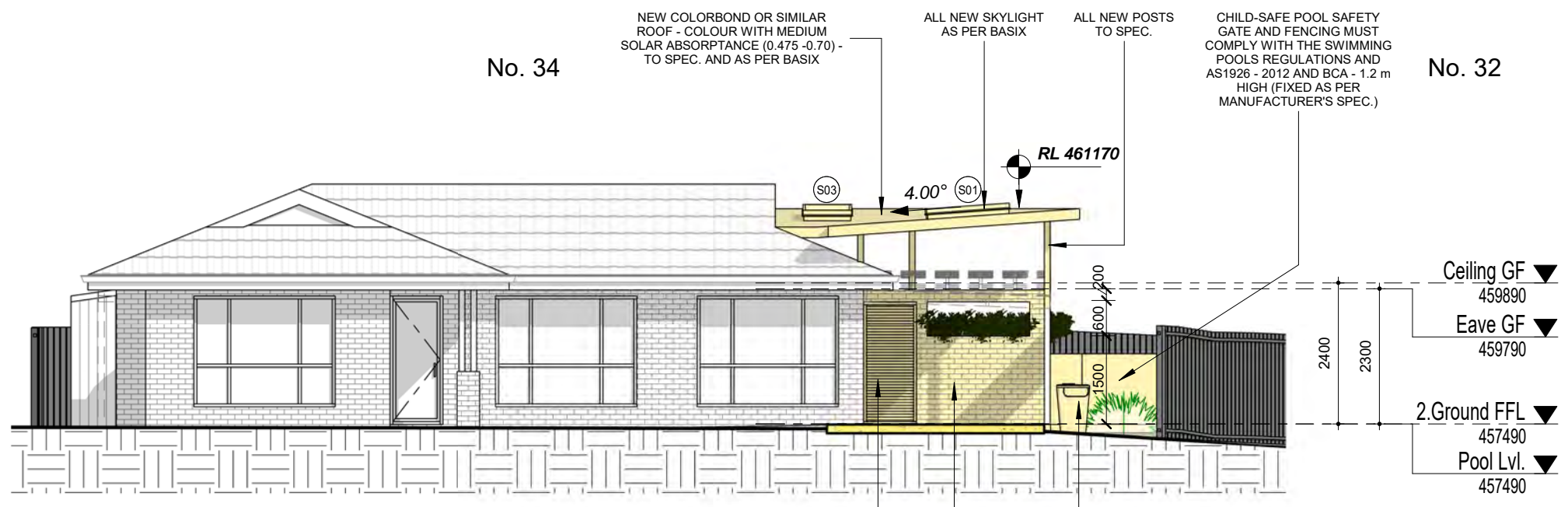
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No. 36

No. 34

No. 32



1 Front (SE) Elevation
1 : 100

PHASING LEGEND:
(Note: legend applies to building elements, not finishes)

NEW WORK

EXISTING ELEMENTS

DEMOLISHED ELEMENTS

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**34 Lang Street,
Mudgee NSW 2850**
Client:

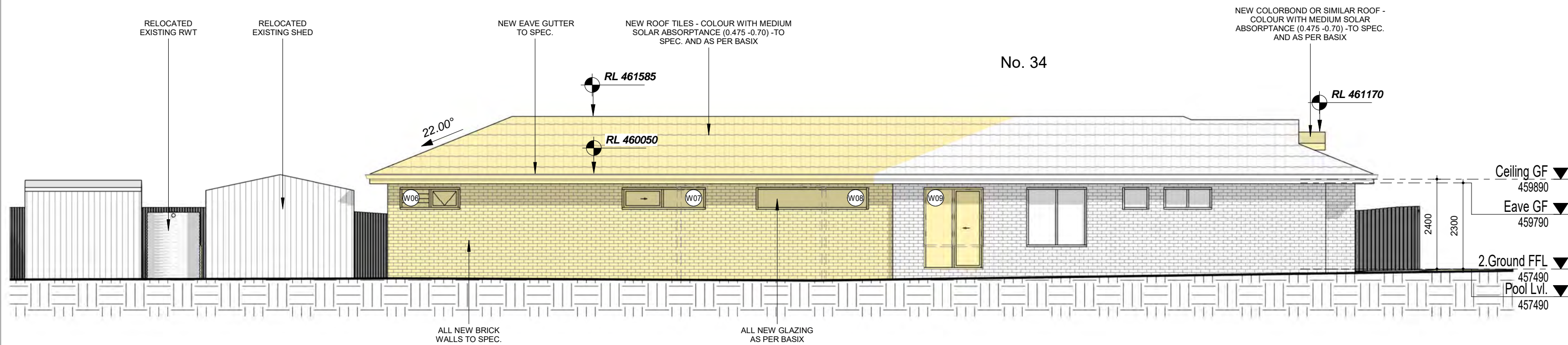
Drawing:
Elevations

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ABN:
62 128 716 334

Drawn: **LT** Date: **OCT/2022**
Approved: **LT**
Scale: 1:100@A3 Drawing No.: 22113 CDC 3.1 Sheet No.: Rev.:





2 Side (SW) Elevation
1 : 100

BASIX NOTES:

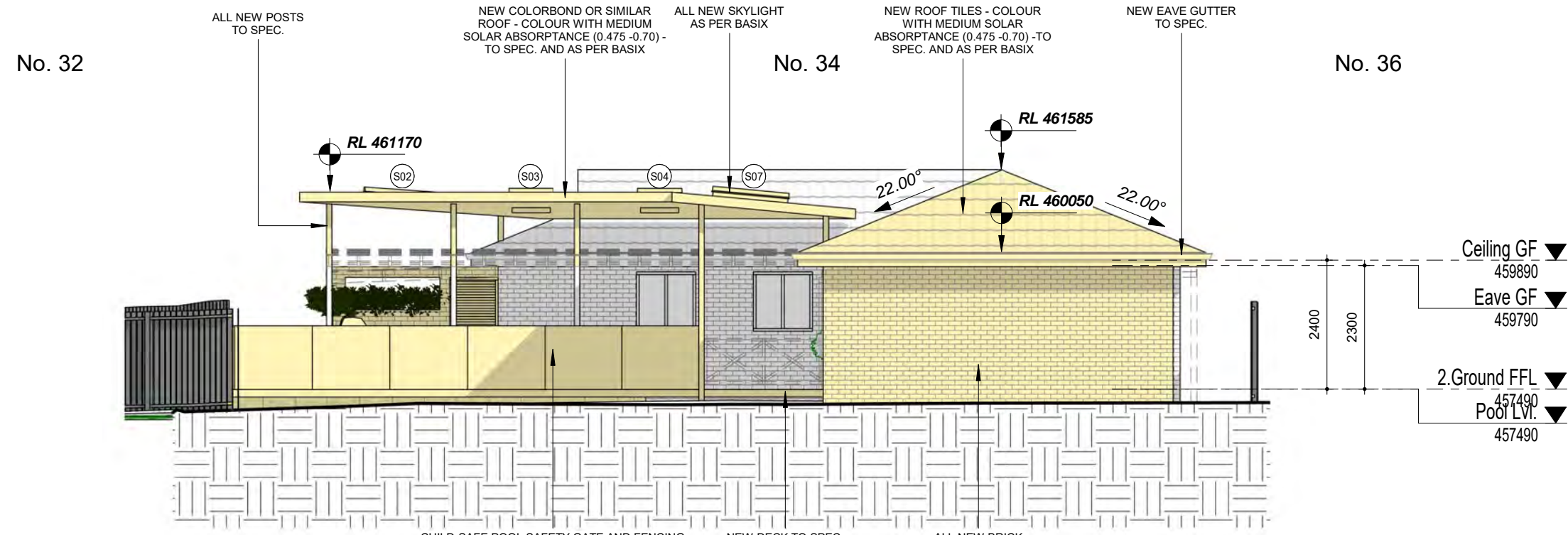
Rainwater tank
The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 200 square metres of roof area.
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 51 kilolitres.
The swimming pool must have a pool cover.
The applicant must install a pool pump timer for the swimming pool.
The applicant must not incorporate any heating system for the swimming pool that is part of this development.

Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Windows and glazed doors
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
The following requirements must also be satisfied in relation to each window and glazed door:
Each window or glazed door with standard aluminium or timber frames and single clear or low-e glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.
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Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.



1 Rear (WN) Elevation
1 : 100

PHASING LEGEND:
(Note: legend applies to building elements, not finishes)

NEW WORK

EXISTING ELEMENTS

DEMOLISHED ELEMENTS

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NOTE:
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NOTE:
SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY.

NOTE:
LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC.

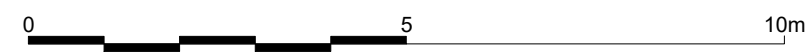
NOTE:
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NOTE:
METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

Project:
**34 Lang Street,
Mudgee NSW 2850**
Client:

Drawing:
Elevations

newton teale consulting pty ltd ABN:
trading as **plan land** 62 128 716 334
PO BOX 495 Gynea NSW
Phone: 0403 993 876
Email: info@planland.com.au
Drawn: **LT** Approved: **LT** Date: **OCT/2022**
Scale: 1 : 100@A3 Drawing No.: **22113** Sheet No.: **CDC 3.2** Rev.:



8.5M MAX BUILDING HEIGHT

No. 34

NEW COLORBOND OR SIMILAR ROOF - COLOUR WITH MEDIUM SOLAR ABSORPTANCE (0.475 -0.70) -TO SPEC. AND AS PER BASIX

NEW FRONT FENCE MAX H=1.2m TO SPEC.

POOL FILTER EQUIPMENT

RELOCATED EXISTING SHED

NEW PARTY WALL TO SPEC.

NEW ROOF TILES - COLOUR WITH MEDIUM SOLAR ABSORPTANCE (0.475 -0.70) -TO SPEC. AND AS PER BASIX

RL 461170

RL 460050

22.00°

RL 461585

1 CDC 4.2

Ceiling GF 459890

Eave GF 459790

2.Ground FFL 457490

Pool Lvl. 457490

1200

NEW EAVE GUTTER TO SPEC.

ALL NEW BRICK WALLS TO SPEC. (INSULATION TO EXTERNAL WALLS)

NEW SLAB TO STRUC. DRAWINGS

ALL NEW GLAZING AS PER BASIX

NATURAL GROUND LINE

PROPOSED LETTER BOX

2 Section 2 1 : 100

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Project: 34 Lang Street, Mudgee NSW 2850 Client:

Drawing: Sections

newton teale consulting pty ltd trading as plan land ABN: 62 128 716 334 PO BOX 495 Gympie NSW Phone: 0403 993 876 Email: info@planland.com.au Drawn: LT Approved: LT Date: OCT/2022 Scale: 1:100@A3 Drawing No.: 22113 CDC 4.1 Rev.:

BASIX NOTES: Rainwater tank The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 200 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool. Outdoor swimming pool The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 51 kilolitres. The swimming pool must have a pool cover. The applicant must install a pool pump timer for the swimming pool. The applicant must not incorporate any heating system for the swimming pool that is part of this development. Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. Windows and glazed doors The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or low-e glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

PHASING LEGEND: (Note: legend applies to building elements, not finishes) NEW WORK EXISTING ELEMENTS DEMOLISHED ELEMENTS



1 Section 1 1 : 100

8.5M MAX BUILDING HEIGHT

No. 32

No. 34

ALL NEW POSTS TO SPEC.

NEW COLORBOND OR SIMILAR ROOF - COLOUR WITH MEDIUM SOLAR ABSORPTANCE (0.475 -0.70) - TO SPEC. AND AS PER BASIX

ALL NEW SKYLIGHT AS PER BASIX

NEW ROOF TILES - COLOUR WITH MEDIUM SOLAR ABSORPTANCE (0.475 -0.70) -TO SPEC. AND AS PER BASIX

SIDE SB GF

BDRY

NEW EAVE GUTTER TO SPEC.

1500

RL 461170

S02

S03

S04

S07

RL 461585

22.00°

22.00°

RL 460050

Ceiling GF 459890

Eave GF 459790

2.Ground FFL 457490

Pool Lvl. 457490

2400

2300

NATURAL GROUND LINE

CHILD-SAFE POOL SAFETY GATE AND FENCING MUST COMPLY WITH THE SWIMMING POOLS REGULATIONS AND AS1926 - 2012 AND BCA - 1.2 m HIGH (FIXED AS PER MANUFACTURER'S SPEC.)

NEW DECK TO SPEC.

NEW SLAB TO STRUC. DRAWINGS

ALL NEW BRICK WALLS TO SPEC. (INSULATION TO EXTERNAL WALLS)



BASIX NOTES:

Rainwater tank

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Outdoor swimming pool

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Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

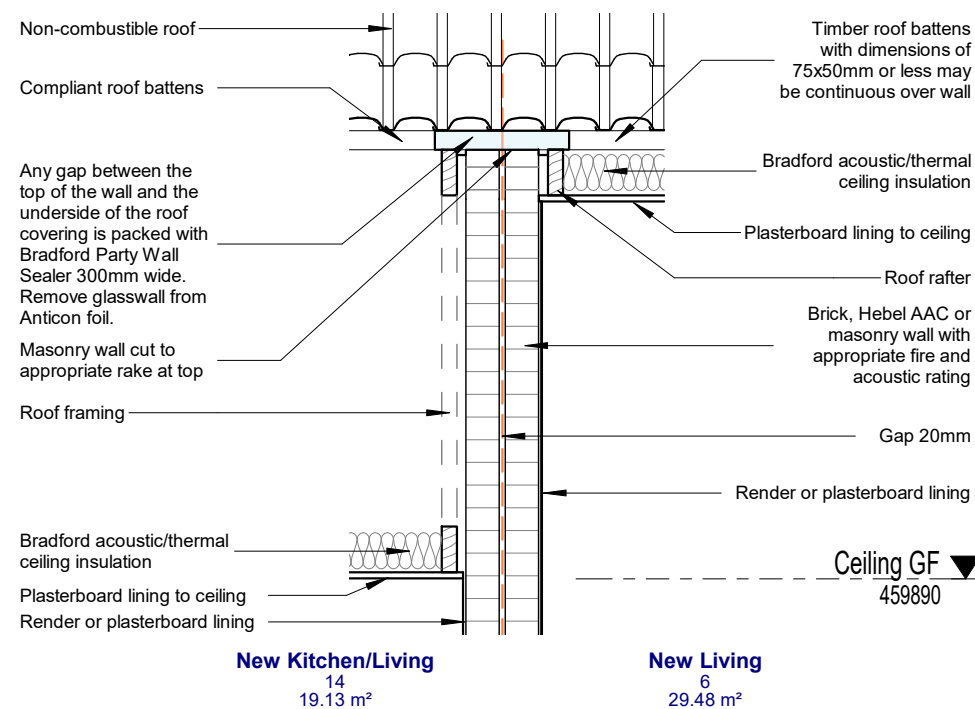
Fixtures

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NOTE: SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY.

NOTE: LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC.

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NOTE: METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

Project:
34 Lang Street,
Mudgee NSW 2850
 Client:

Drawing:
Detail - Party Wall

newton teale consulting pty ltd
 trading as **plan land**
 PO BOX 495 Gynea NSW
 Phone: 0403 993 876
 Email: info@planland.com.au
 ABN: 62 128 716 334

Drawn: **LT** Approved: **LT** Date: **OCT/2022**
 Scale: 1:25@A3 Drawing No.: **22113** Sheet No.: **CDC 4.2** Rev.:



BASIX NOTES:

Rainwater tank
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The swimming pool must have a pool cover.
The applicant must install a pool pump timer for the swimming pool.
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METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

Project:
**34 Lang Street,
Mudgee NSW 2850**

Client:

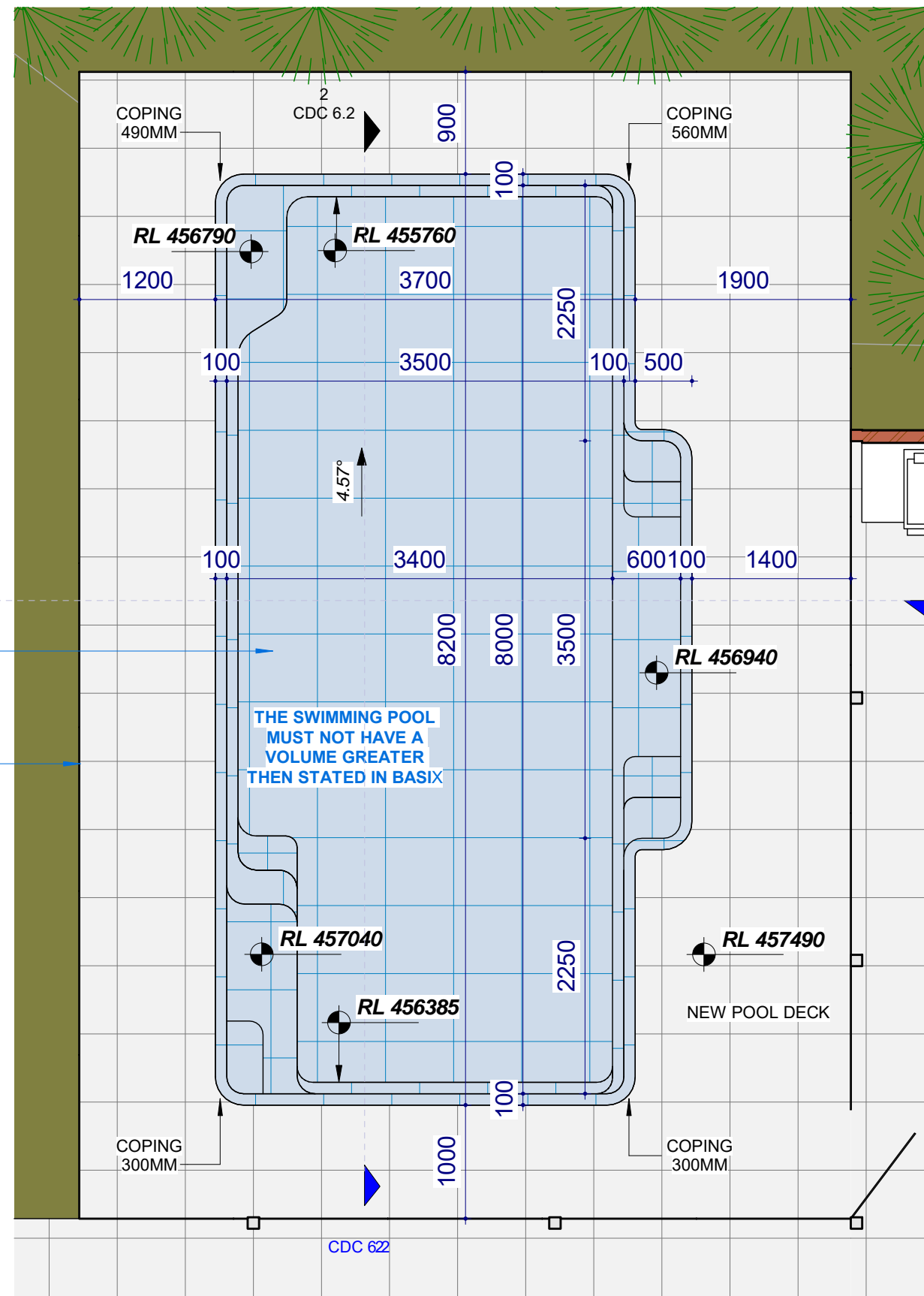
Drawing:
Pool Plan

Drawing:
Pool Plan

newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 Gympie NSW
Phone: 0403 993 876
Email: info@planland.com.au

ABN:
62 128 716 334

Drawn: **LT** Date: **OCT/2022**
Approved: **LT**
Scale: 1:50@A3 Drawing No.: **22113 CDC 6.1** Sheet No.: Rev.:



1 CDC 6.2

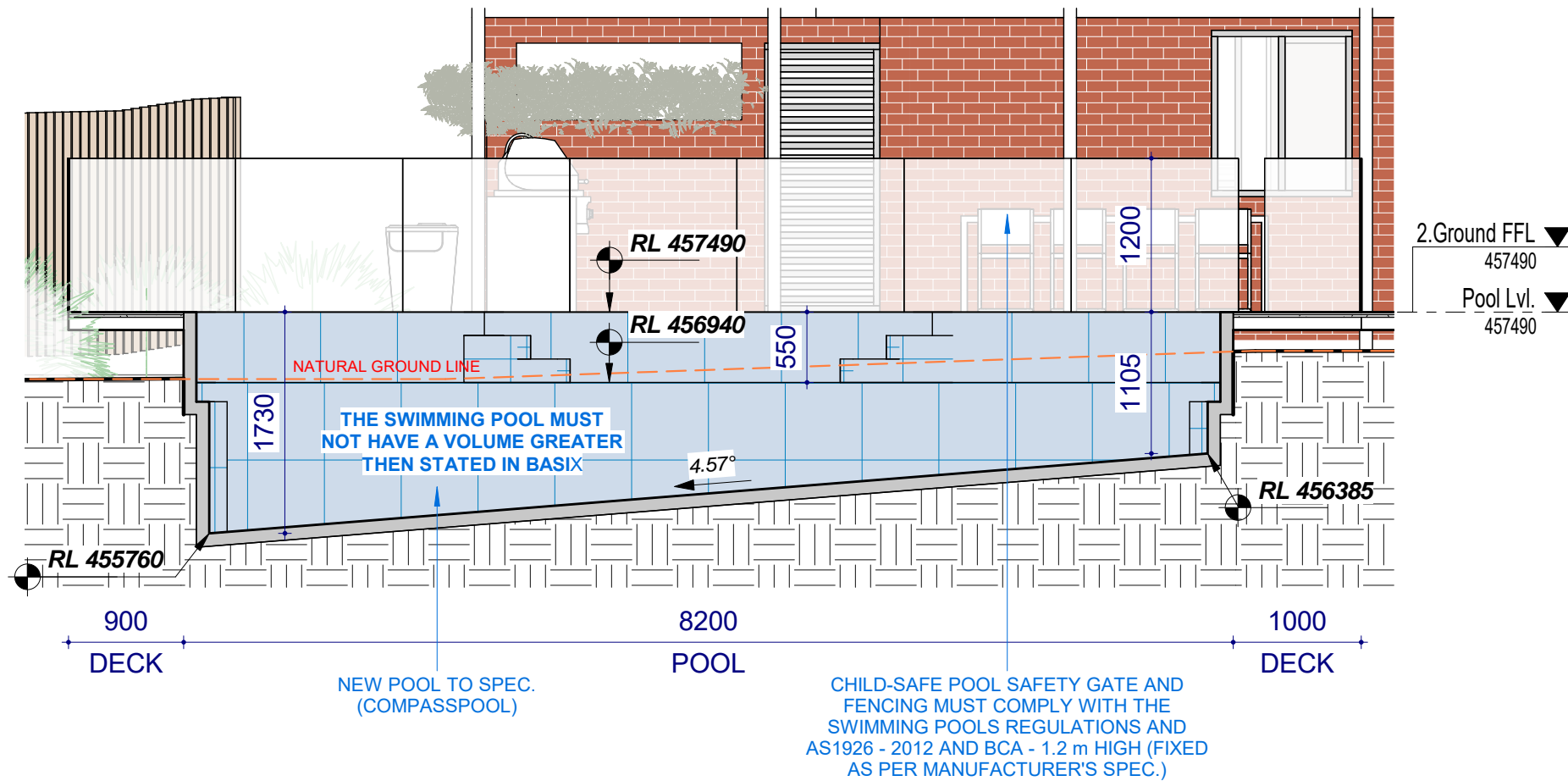
NEW POOL TO SPEC. (COMPASSPOOL)

CHILD-SAFE POOL SAFETY GATE AND FENCING MUST COMPLY WITH THE SWIMMING POOLS REGULATIONS AND AS1926 - 2012 AND BCA - 1.2 m HIGH (FIXED AS PER MANUFACTURER'S SPEC.)

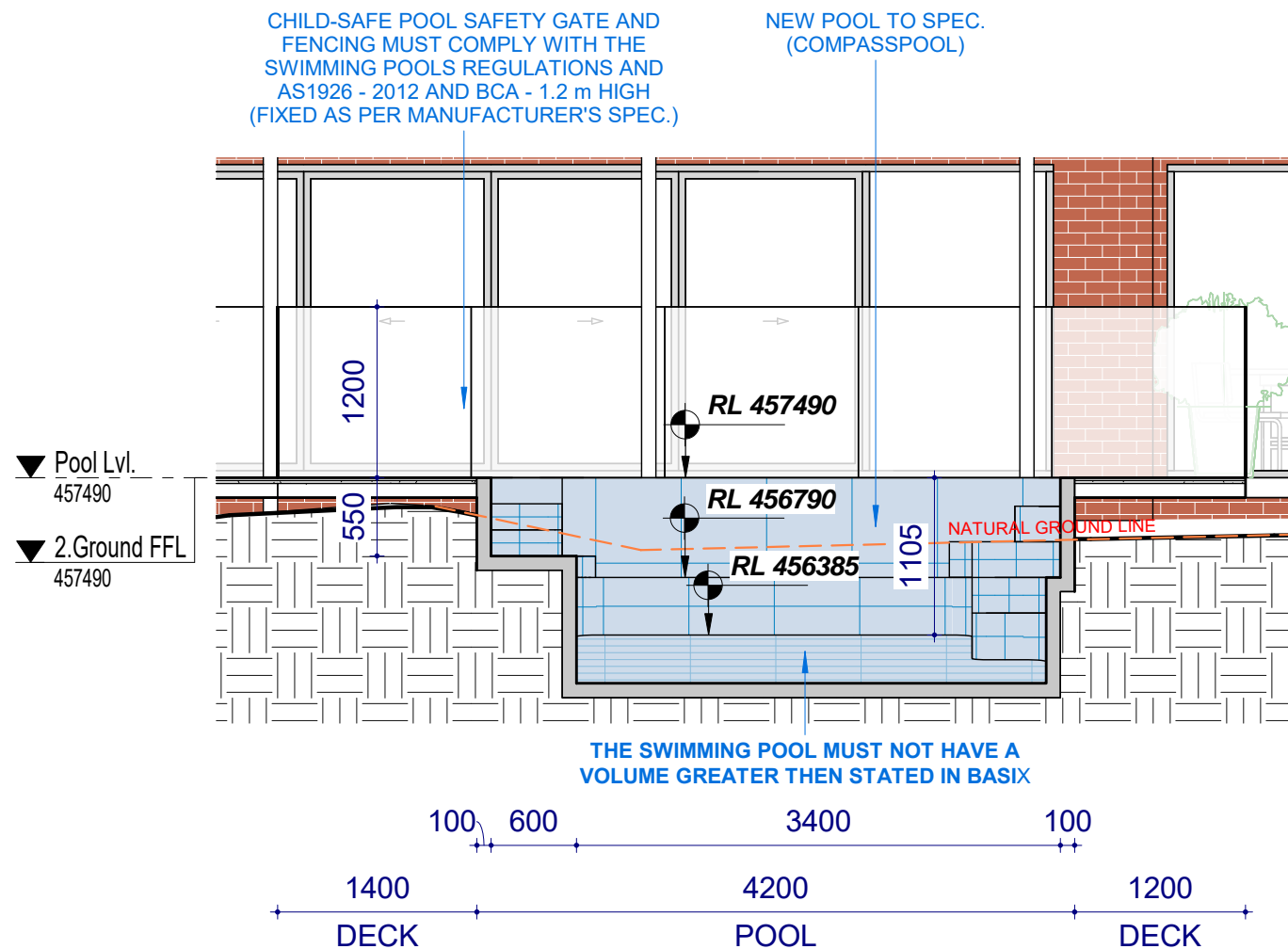
THE SWIMMING POOL MUST NOT HAVE A VOLUME GREATER THEN STATED IN BASIX



2 Pool Section 2
1 : 50



1 Pool Section 1
1 : 50



BASIX NOTES:

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NOTE:
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NOTE:
METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

Project:
**34 Lang Street,
Mudgee NSW 2850**
Client:

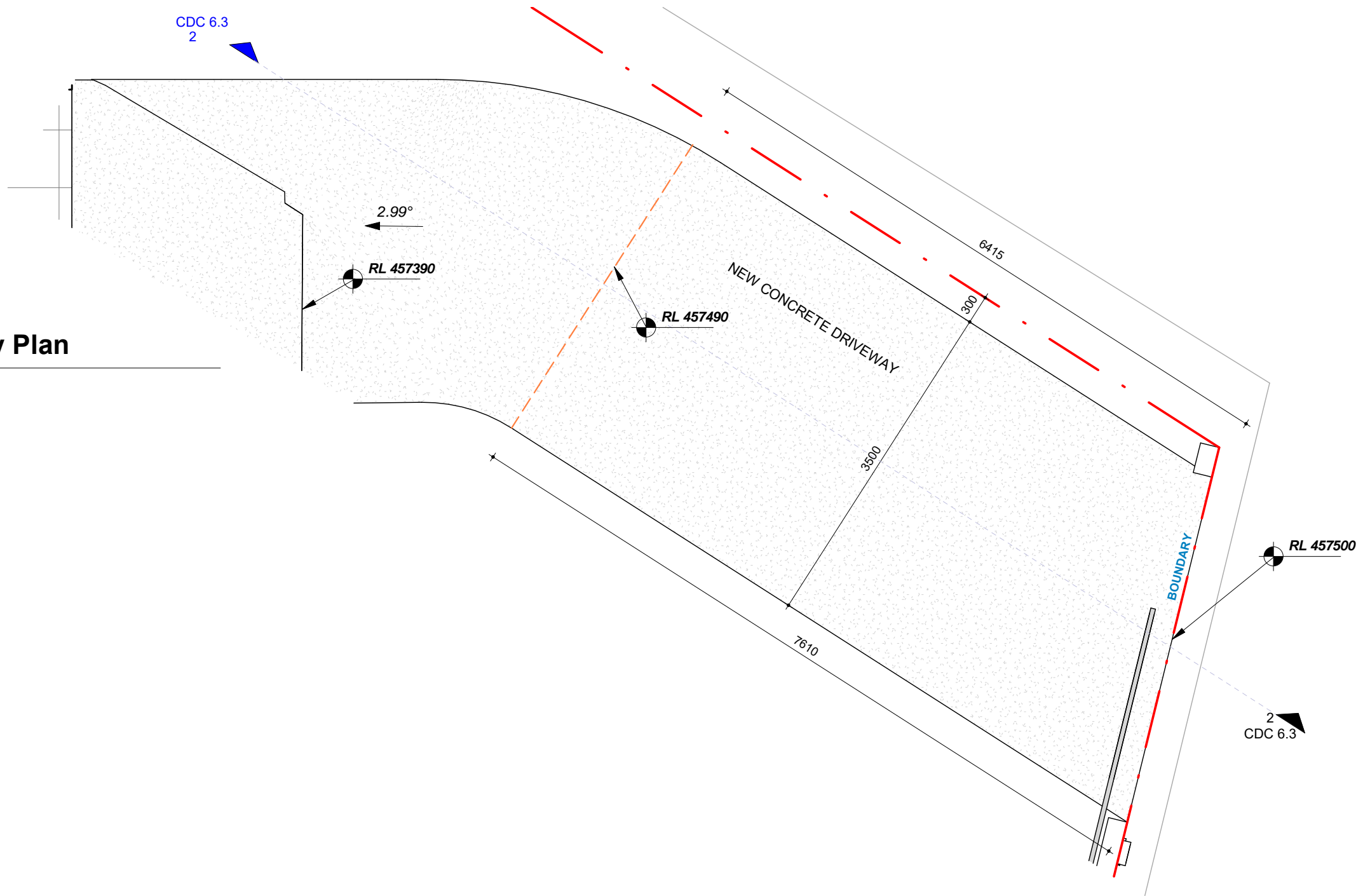
Drawing:
Pool Sections

newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 Gympie NSW
Phone: 0403 993 876
Email: info@planland.com.au

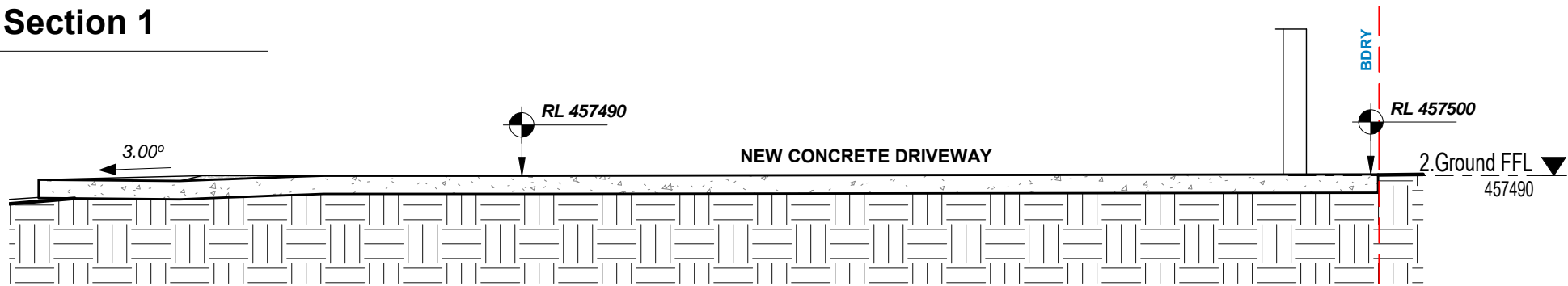
ABN:
62 128 716 334

Drawn: **LT** Date: **OCT/2022**
Approved: **LT**
Scale: 1 : 50@A3 Drawing No.: 22113 CDC 6.2 Sheet No.: Rev.:

1 Driveway Plan
1 : 50



2 Driveway Section 1
1 : 50



PHASING LEGEND:
(Note: legend applies to building elements, not finishes)

- NEW WORK
- EXISTING ELEMENTS
- DEMOLISHED ELEMENTS

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Project:
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Mudgee NSW 2850**
Client:

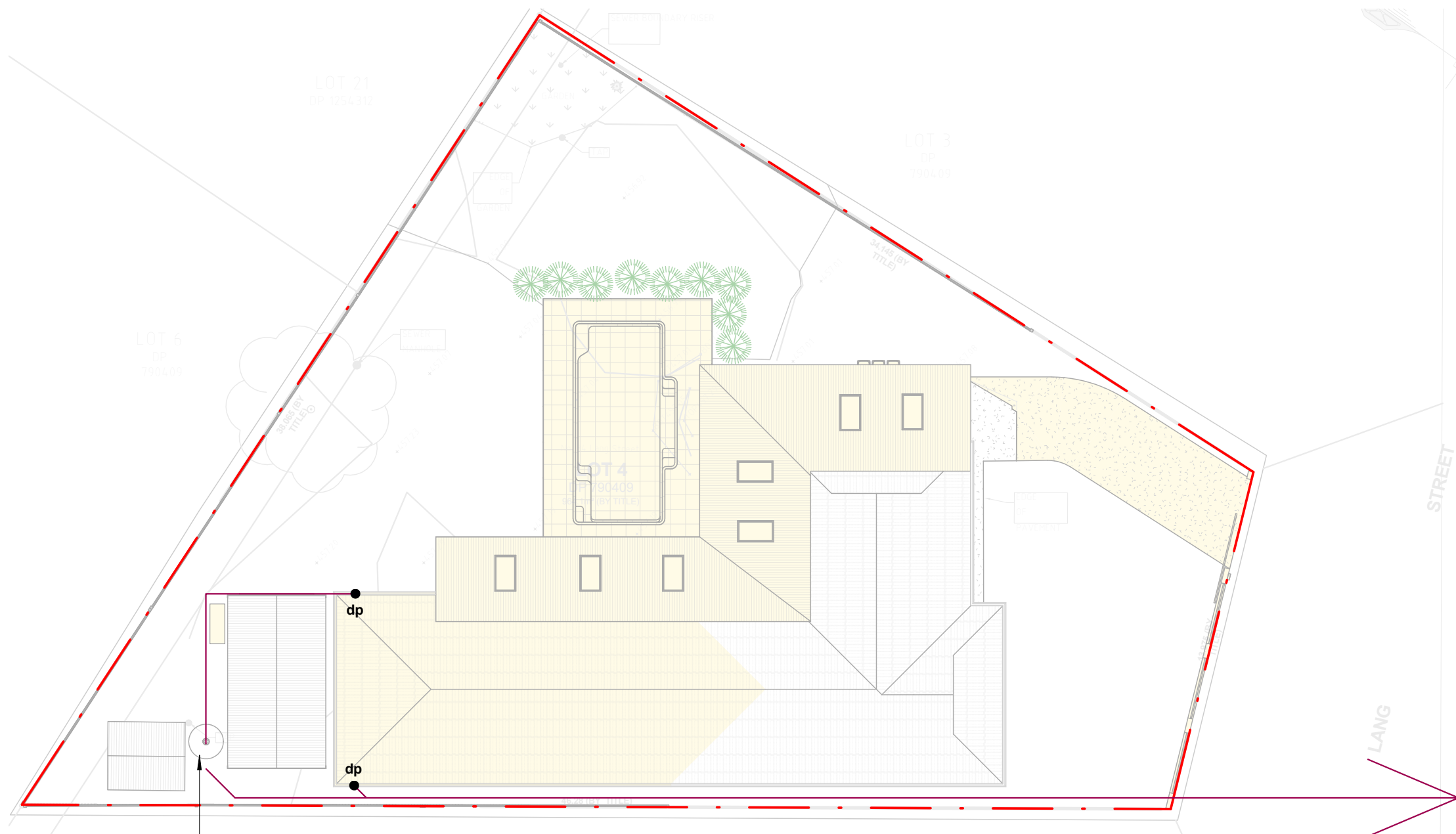
Drawing:
**Driveway Plan &
Section**

newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 Gynea NSW
Phone: 0403 993 876
Email: info@planland.com.au

ABN:
62 128 716 334

Drawn: **LT** Date: **OCT/2022**
Approved: **LT**
Scale: 1 : 50@A3 Drawing No.: 22113 CDC 6.3 Sheet No.: Rev.:



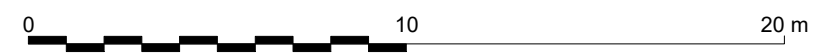


PHASING LEGEND:
 (Note: legend applies to building elements, not finishes)

- NEW WORK
- EXISTING ELEMENTS
- DEMOLISHED ELEMENTS



**PROPOSED STORMWATER PIPES
 TO BE CONNECTED TO EXISTING
 DRAINAGE SYSTEM**



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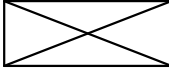

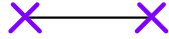
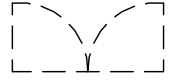
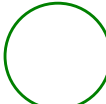

Project:
**34 Lang Street,
 Mudgee NSW 2850**
 Client:

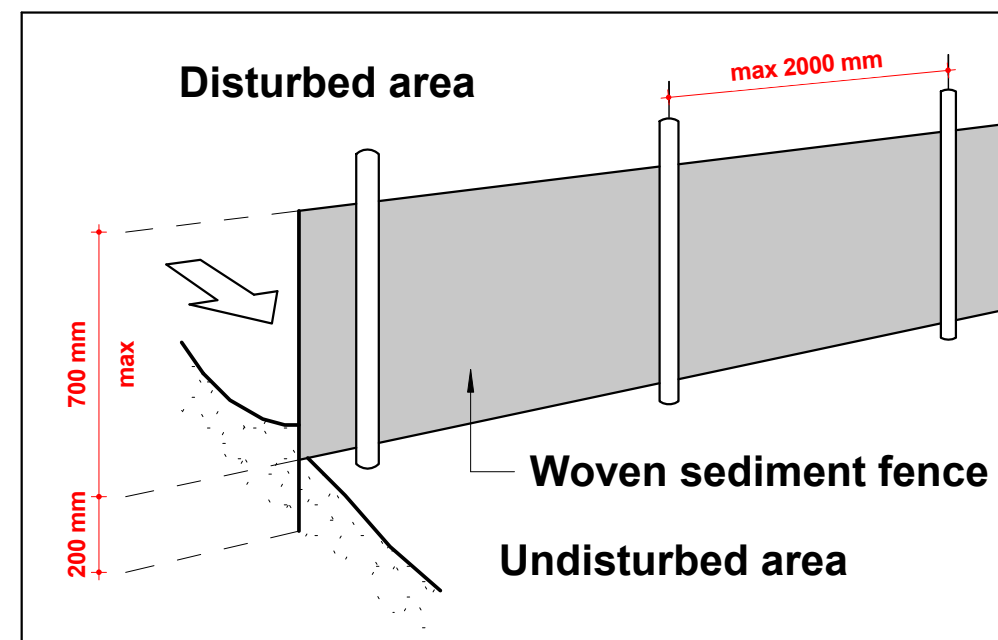
Drawing:
Concept Drainage Plan

newton teale consulting pty ltd
 trading as **plan land**
 PO BOX 495 Gynea NSW
 Phone: 0403 993 876
 Email: info@planland.com.au
 ABN: 62 128 716 334

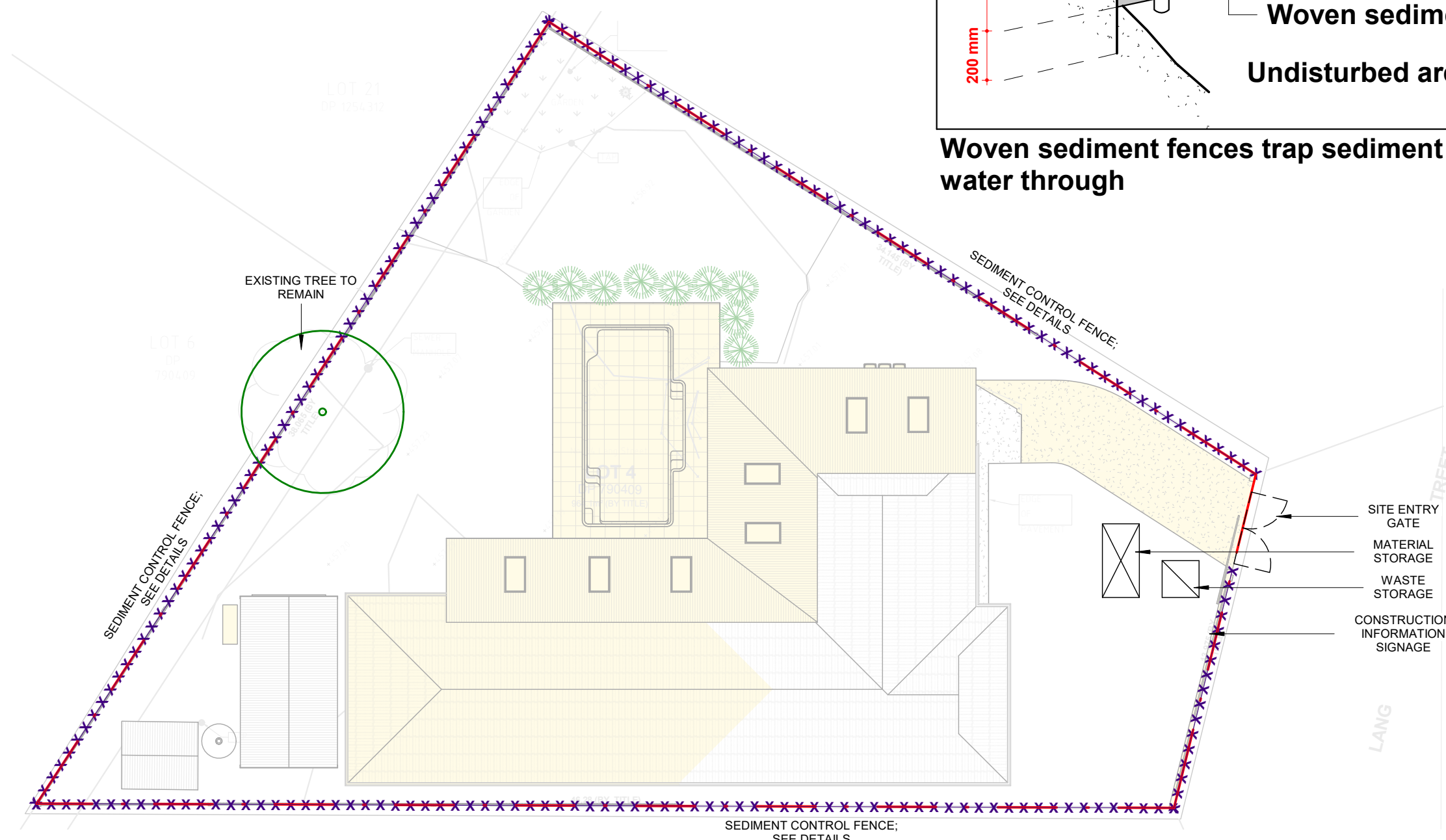
Drawn: **LT** Date: **OCT/2022**
 Approved: **LT**
 Scale: 1:200@A3 Drawing No.: **22113** Sheet No.: **CDC 7.0** Rev.:

LEGEND:

-  MATERIAL STORAGE
-  WASTE STORAGE
-  SEDIMENT CONTROL FENCE
-  SITE ENTRY GATE
-  EX. TREE TO BE RETAINED AND PROTECTED DURING CONSTRUCTION
-  EX. TREE TO BE REMOVED



Woven sediment fences trap sediment but allow water through



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

Project:
**34 Lang Street,
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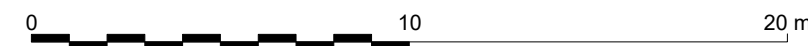
Drawing:
**Construction Mgmt.
 Plan**

newton teale consulting pty ltd
 trading as **plan land**
 PO BOX 495 Gynea NSW
 Phone: 0403 993 876
 Email: info@planland.com.au
 ABN: 62 128 716 334

Drawn: **LT** Date: **OCT/2022**
 Approved: **LT**
 Scale: Drawing No.: Sheet No.: Rev.:
 As indicated@A22113 CDC 7.1

PHASING LEGEND:
 (Note: legend applies to building elements, not finishes)

-  NEW WORK
-  EXISTING ELEMENTS
-  DEMOLISHED ELEMENTS



WATER & TAMP
PLANT TO SETTLE
SOIL

APPLY MULCH MIN
75MM DEEP THICK
KEEPING CLEAR OF
STEMS/ROOTS

EXCAVATE TO AT
TWICE THE VOLUME
OF THE CONTAINER
TO ALLOW ROOT &
WATER PENETRATION

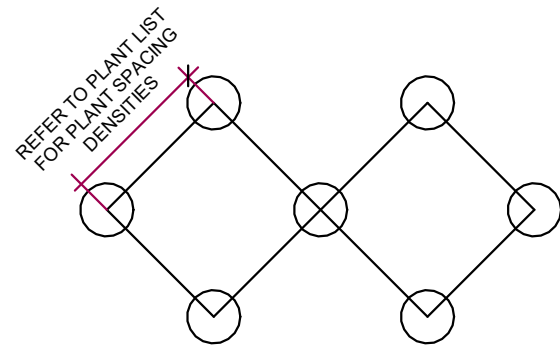
COMPLY FERTILISER
REQUIREMENTS &
ONLY USE LOW
PHOSPHORUS SLOW
RELEASE FERTILISER
AS SPECIFIED

WATER POTTED
PLANTS & HOLES
BEFORE PLANTING

BACKFILL WITH
SOIL ENSURING
ROOT REMAINS AT
ORIGINAL SOIL
LEVEL

GENERAL PLANTING SPECIFICATION

REFER TO PLANT LIST
FOR PLANT SPACING
DENSITIES



STAGGERED PATTERN AS
PER PLANT LIST

PLANTS AS PER
PLANTING SCHEDULE

TYPICAL PLANT STAGGERING DETAIL



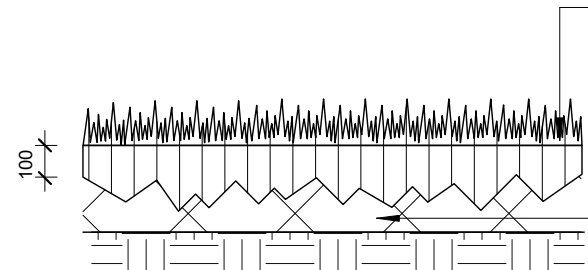
75MM DEPTH MULCH
AS SPECIFIED

BACKFILL WITH
150MM MIN. DEPTH
SITE SOIL AS
SPECIFIED

CULTIVATE
SUBGRADE TO MIN.
15MM DEPTH

TYPICAL SHRUB PLANTING

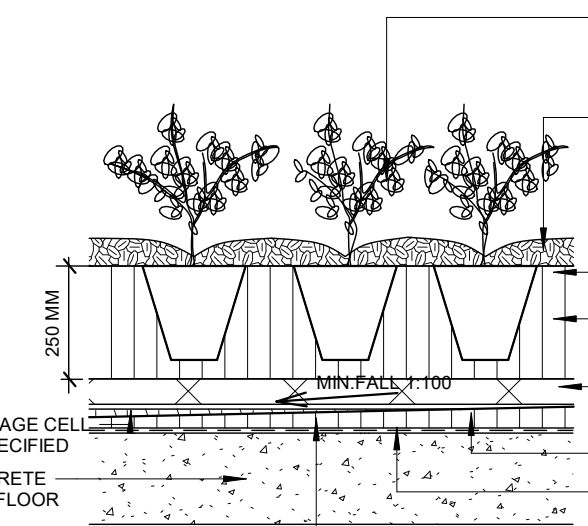
TURF ROLLS AS SPECIFIED. LAY ROLLS
SO THAT TURF FINISHES 300MM PROUD
ADJACENT SURFACES. COMPACT EDGES
TO PREVENT SUBSIDENCE



MIN. 100MM LAYER OF
TURF UNDERLAY SOIL
(80X20 SAND/SOIL
MIX) GRADE TO
FINISHED LEVELS &
CONSOLIDATE AS
REQUIRED

CULTIVATE SUBGRADE

TURF DETAIL



PLANTING AT
SPECIFIED DENSITIES
IN PLANT LIST

75MM MULCH
DEPTH

MEDIA TO A DEPTH
OF 200MM
IRRIGATION AS
REQUIRED

SPECIFIED WATER
RESERVOIR 45MM

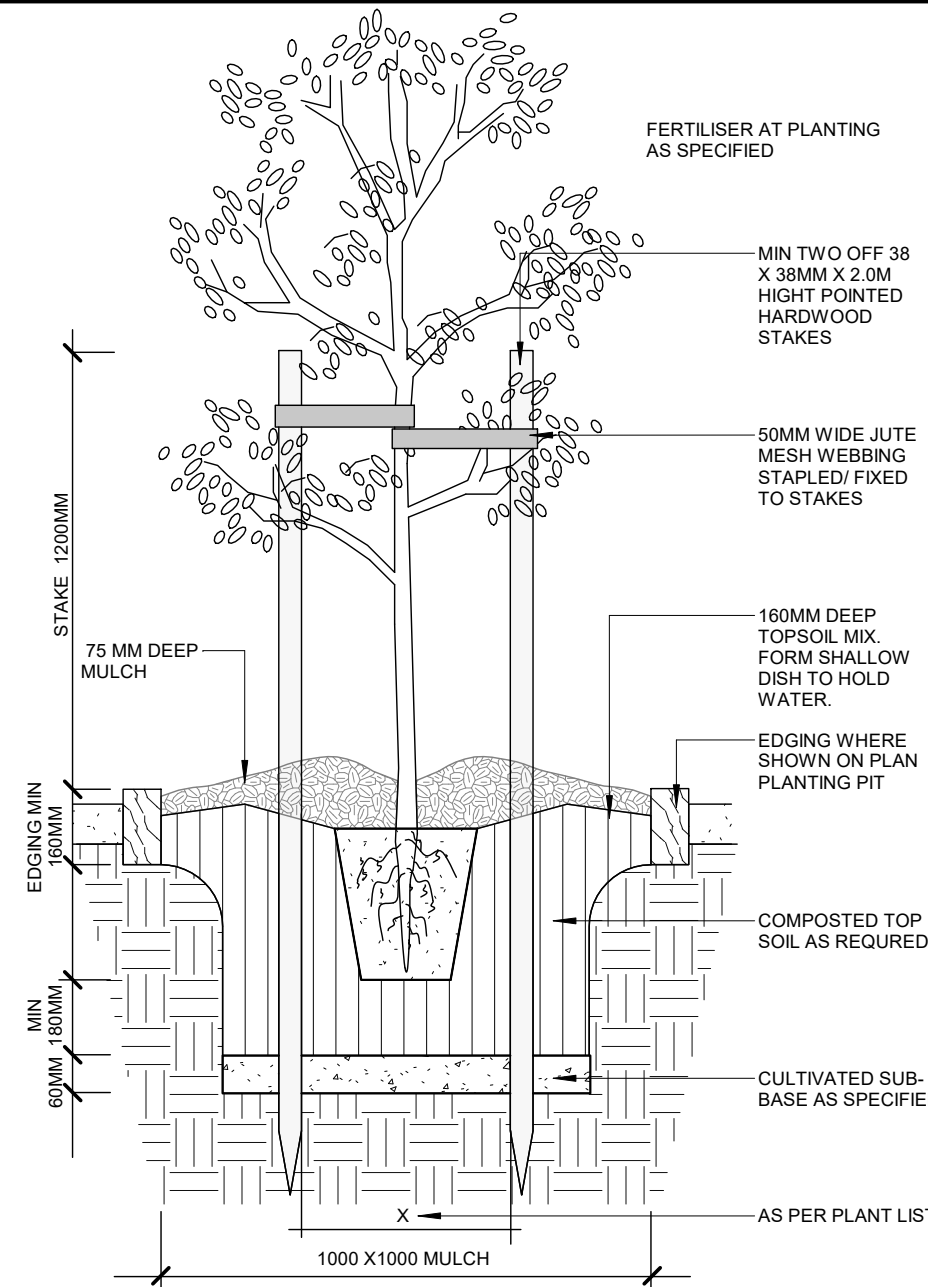
PROTECTION BOARD

GEOFABRIC

PROVIDE MIN. 1:100
FALL FOR DRAINAGE

TYPICAL PLANTING/PODIUM DETAIL

FERTILISER AT PLANTING
AS SPECIFIED



MIN TWO OFF 38
X 38MM X 2.0M
HEIGHT POINTED
HARDWOOD
STAKES

50MM WIDE JUTE
MESH WEBBING
STAPLED/ FIXED
TO STAKES

160MM DEEP
TOPSOIL MIX.
FORM SHALLOW
DISH TO HOLD
WATER.

EDGING WHERE
SHOWN ON PLAN
PLANTING PIT

COMPOSTED TOP
SOIL AS REQUIRED

CULTIVATED SUB-
BASE AS SPECIFIED

AS PER PLANT LIST

TYPICAL PLANTING DETAIL (SECTION)

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Project:
**34 Lang Street,
Mudgee NSW 2850**
Client:

Drawing:
Landscape Details

newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 Gynea NSW
Phone: 0403 993 876
Email: info@planland.com.au
ABN: 62 128 716 334
Drawn: **LT** Approved: **LT** Date: **OCT/2022**
Scale: 1:1@A3 Drawing No.: 22113 CDC 7.5 Sheet No.: Rev.:

BASIX NOTES:**Rainwater tank**

The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 200 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 51 kilolitres. The swimming pool must have a pool cover. The applicant must install a pool pump liner for the swimming pool. The applicant must not incorporate any heating system for the swimming pool that is part of this development.

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Windows and glazed doors
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

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Project:

34 Lang Street,

Mudgee NSW 2850

Client:

Drawing:

Window & Door

Schedules

newton teale consulting pty ltd ABN: 62 128 716 334

trading as **plan land**

PO BOX 495 Gynea NSW

Phone: 0403 993 876

Email: info@planland.com.au

Drawn: **LT** Approved: **LT** Date: **OCT/2022**

Scale: Drawing No.: Sheet No.: Rev.: **22113 CDC 8.0**

@A3

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	LEVEL	FROM ROOM: NAME	TO ROOM: NAME	DESCRIPTION
D01	900	2100	2.Ground FFL	New Kitchen/Living		ENTRY DOOR
D02	820	2125	2.Ground FFL	New Kitchen/Living	New Bedroom	INTERIOR SINGLE HINGED DOOR
D03	720	2125	2.Ground FFL	New Kitchen/Living	New Bath/L'dry	INTERIOR SINGLE HINGED DOOR
D04	720	2125	2.Ground FFL	New Kitchen/Living	New Pantry	INTERIOR SINGLE HINGED DOOR
D05	1780	2180	2.Ground FFL	New Bath/L'dry	New Bath/L'dry	INTERIOR ACCORDION DOOR
5						

GLAZING BASIX

MARK	ASPECT	SILL	WIDTH	HEIGHT	AREA	EXTERIOR GLAZING DESCRIPTION
W01	NE	0	7900	2200	17.38 m ²	SLIDING DOOR
W02	NE	0	2600	2200	5.72 m ²	SLIDING DOOR
W03	NE	0	400	2200	0.88 m ²	FIXED WINDOW
W04	NE	0	900	2200	1.98 m ²	HUNG DOWN WINDOW
W05	NE	0	900	2200	1.98 m ²	HUNG DOWN WINDOW
W06	SW	1600	1600	600	0.96 m ²	AWNING/GLASS LOUVRE FROSTED WINDOW
W07	SW	1600	2245	600	1.35 m ²	SLIDING WINDOW
W08	SW	1600	3000	600	1.80 m ²	FIXED WINDOW
W09	SW	0	1600	2200	3.52 m ²	SLIDING DOOR
Grand total: 9						

SKYLIGHT SCHEDULE

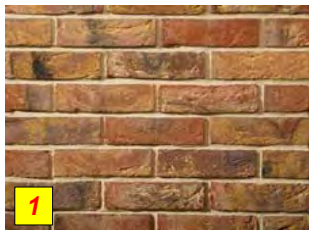
MARK	HEIGHT	WIDTH	AREA
S01	1400	800	1.12 m ²
S02	1400	800	1.12 m ²
S03	1400	800	1.12 m ²
S04	1400	800	1.12 m ²
S05	1400	800	1.12 m ²
S06	1400	800	1.12 m ²
S07	1400	800	1.12 m ²
Grand total: 7			



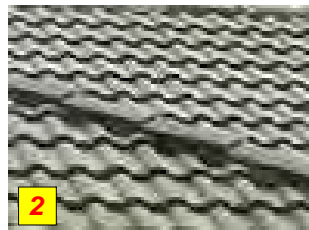
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RECYCLED BRICK WALL:
TO MATCH EXISTING



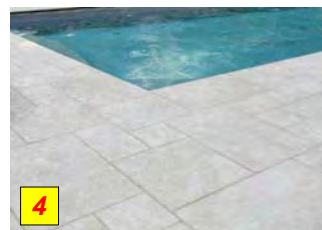
ROOF TILES:
TO MATCH EXISTING



COLORBOND STEEL MATT
ROOF



DECK TILES



GLASS POOL FENCE



POWDER COATED WHITE
ALUMINIUM DOORS/WINDOWS



SINGLE PANEL SLIDING
DRIVEWAY GATES



Project:
**34 Lang Street,
 Mudgee NSW 2850**
 Client:

Drawing:
**External Materials &
 Finishes**

newton teale consulting pty ltd ABN: 62 128 716 334
 trading as **plan land**
 PO BOX 495 Gynea NSW
 Phone: 0403 993 876
 Email: info@planland.com.au
 Drawn: **LT** Approved: **LT** Date: **OCT/2022**
 Scale: 1:20@A3 Drawing No.: **22113** Sheet No.: **CDC 9.1** Rev.:



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Drawing:
Perspective

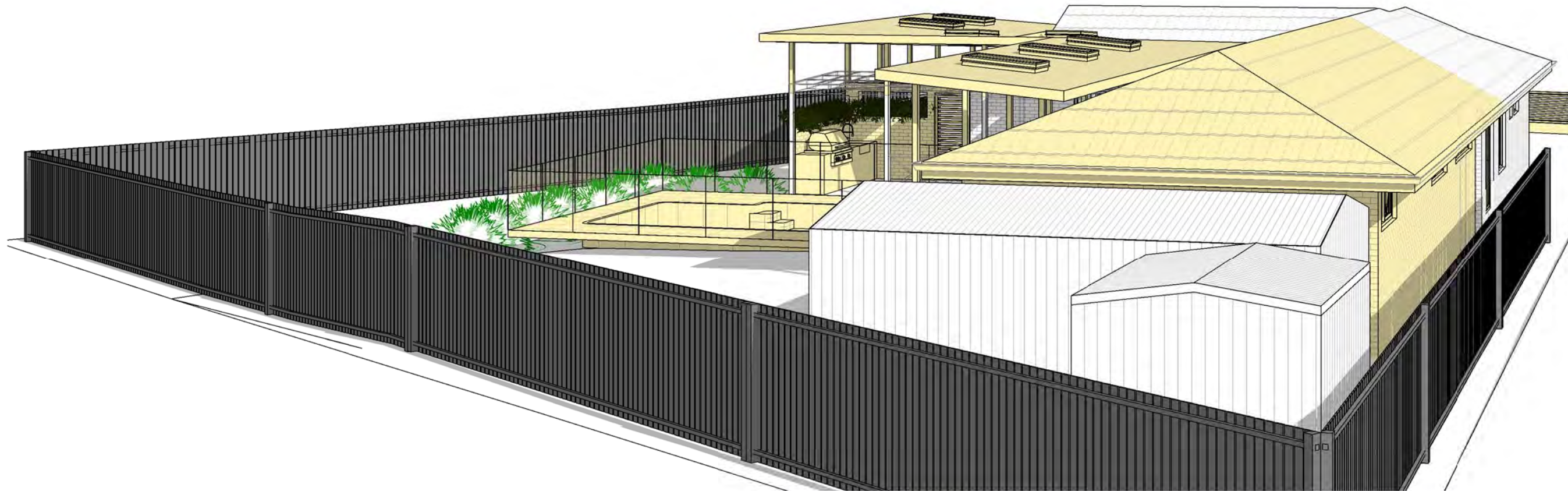
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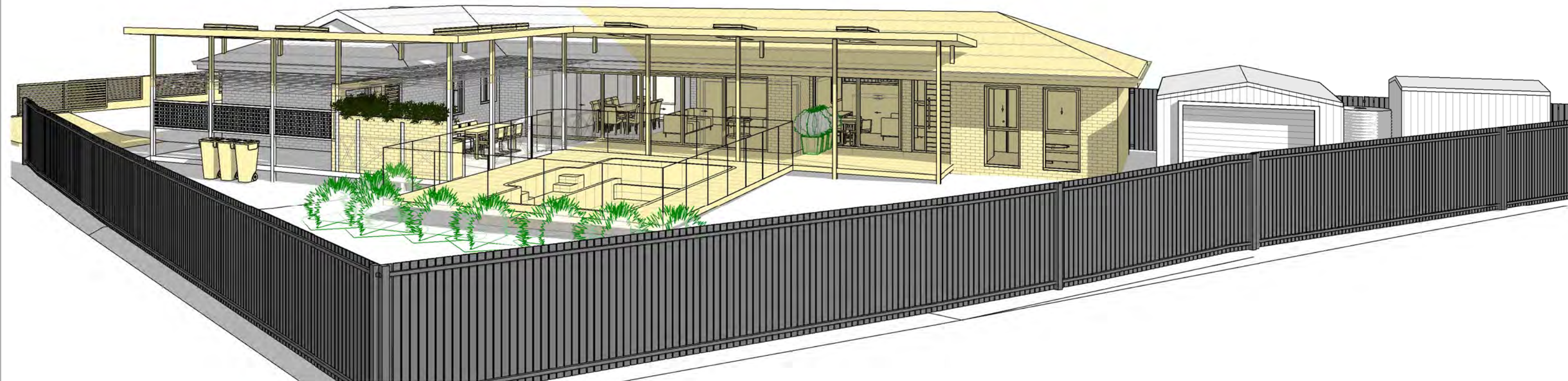
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	NEW WORK
	EXISTING ELEMENTS
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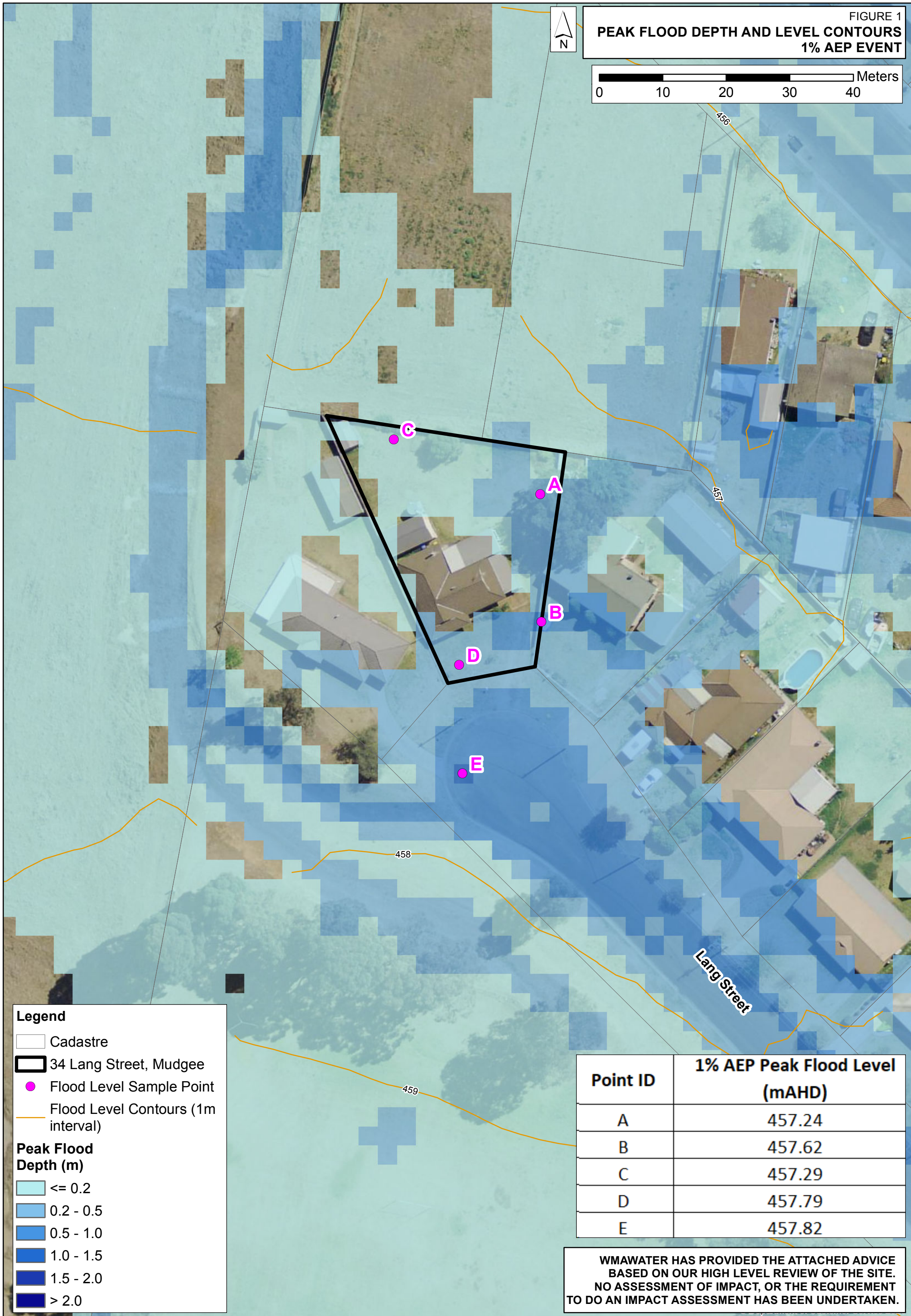
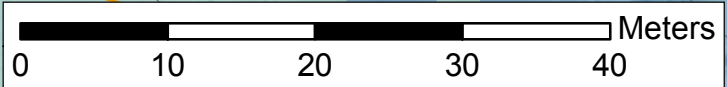
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Appendix B
Flood level study (WMA Water)

FIGURE 1
**PEAK FLOOD DEPTH AND LEVEL CONTOURS
 1% AEP EVENT**



Legend

- Cadastre
- 34 Lang Street, Mudgee
- Flood Level Sample Point
- Flood Level Contours (1m interval)

Peak Flood Depth (m)

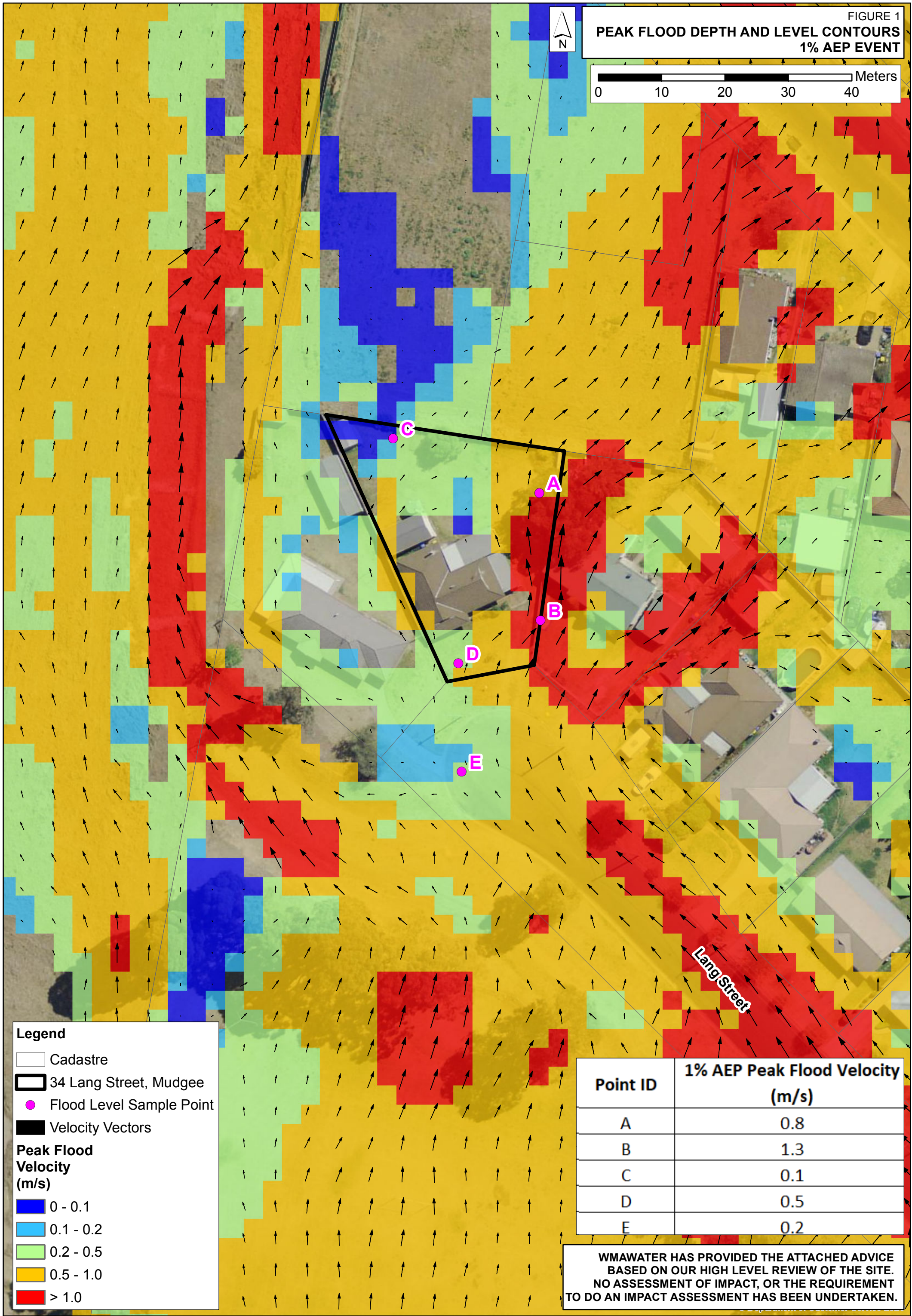
- ≤ 0.2
- 0.2 - 0.5
- 0.5 - 1.0
- 1.0 - 1.5
- 1.5 - 2.0
- > 2.0

Point ID	1% AEP Peak Flood Level (mAHD)
A	457.24
B	457.62
C	457.29
D	457.79
E	457.82

WMAWATER HAS PROVIDED THE ATTACHED ADVICE BASED ON OUR HIGH LEVEL REVIEW OF THE SITE. NO ASSESSMENT OF IMPACT, OR THE REQUIREMENT TO DO AN IMPACT ASSESSMENT HAS BEEN UNDERTAKEN.

FIGURE 1

**PEAK FLOOD DEPTH AND LEVEL CONTOURS
1% AEP EVENT**



Legend

- Cadastre
 - 34 Lang Street, Mudgee
 - Flood Level Sample Point
 - Velocity Vectors
- Peak Flood Velocity (m/s)**
- 0 - 0.1
 - 0.1 - 0.2
 - 0.2 - 0.5
 - 0.5 - 1.0
 - > 1.0

Point ID	1% AEP Peak Flood Velocity (m/s)
A	0.8
B	1.3
C	0.1
D	0.5
E	0.2

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