



# Flood Impact Analysis 34 Lang Street, Mudgee

(Our Reference: 34462-FR01\_A.docx)
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date 14.06.2023

reference 41129-FR01\_a

receiver Attn: Mr Link Teale PLAN BUILD Dear Link,

# Flood Impact Analysis 34 Lang Street, Mudgee

The following information has been prepared by Barnson Pty Ltd in support of a proposed development at 34 Lang Street, Mudgee. The background information pertaining to this report includes:

- A. It is proposed that the site be developed in accordance with the architectural plans as prepared by Plan Build. These plans are shown in Appendix A;
- B. A site survey of the area was conducted and levels are shown on the plans as presented ion Appendix A;
- C. A local flood study was prepared for the site by WMA Water and is presented in Appendix B.

In addition, Mid-Western Regional Council's Development Control Plan (DCP 2013) has a section (5.2) for flooding. The procedure to determining what controls apply is as follows:

- 1. Identify the which risk matrix applies Urban;
- 2. Identify what part of the floodplain the land is located.

From Appendix A, the existing surface levels at the rear of the site are around 457.000m (AHD). From Appendix B, the 1% AEP Peak Flood Level is a round 457.290m.

By definition from Table 32 of WMA Waters "Mudgee Flood Study 2021", a Medium Flood Risk is 'land below the 100yr flood line that is not subject to high hydraulic hazard and where there are no significant evacuation difficulties".

Therefore, the subject site has been classified as ' $\underline{\text{Medium Flood}}$  Risk".

It has been determined that the site is therefore subject to the following controls, based on Matrix 1 (Appendix A) of the Mid-Western-Regional Council Development Control Plan (DCP) as shown below:



#### MATRIX 1 URBAN FLOODPLAINS

**Urban Floodplains** 

**Planning & Development Controls** 

										Floo	d Ris	k Pre	ecinc	ts (FF	RP's)									
			Lo	w Flo	od F	Risk				ı	Vledi	ium l	Flood	l Ris	k				Hig	h Flo	od F	Risk		
Planning Consideration	Essential Community Facilities	Critical Facilities	Subdivision	Residential	Commercial & Industrial	Tourist Related Development	Recreation& Agriculture	Minor Development	Essential Community Facilities	Critical Facilities	Subdivision	Residential	Commercial & Industrial	Tourist Related Development	Recreation& Agriculture	Minor Development	Essential Community Facilities	Critical Facilities	Subdivision	Residential	Commercial & Industrial	Tourist Related Development	Recreation& Agriculture	Minor Development
Floor Level		3		2	2	2						2	2	2	1	2,4							1	2,4
Building Components		2		1	1	1						1	1	1	1	1							1	1
Structural Soundness		2										2	2	2	2	2							1	1
FloodAffectation		2	2		2	2					1	2	2	2	2	2							1	1
Evacuation		2									1	1	1	1	1	1							1	1
Management & Design		4,5									1		2,3,5	2,3,5	2.3.5	2,3,5							2,3,5	2,3,5

Note: reference to freeboard refers to an increased height of 0.5 metres

Figure 1 – Matrix 1 (Appendix A) of the Mid-Western-Regional Council DCP

## Floor level

- DCP Requirements Habitable floor levels to be equal to or greater than the 100-year ARI flood (plus freeboard).
- Barnson Response the proposed development features an extension to an existing dwelling. The existing dwelling and extension have a Finished Floor Level (FFL) of 457.490m (approx.). From Appendix B, the corresponding 1% AEP Peak Flood Level is 457.290m. Therefore, the proposed extension is 0.2m above the 1% AEP Peak Flood Level. If freeboard is assumes as 0.5m however, the 1% AEP Peak Flood Level plus freeboard level is 457.790m (457.290m + 0.5m) and the existing and proposed FFL is 0.3m below the 1% AEP Peak Flood Level plus freeboard level

## **Building Components**

- DCP Requirements All structures to have flood compatible building components below or at the 100-year ARI flood level (plus freeboard).
- Barnson Response Appendix A of councils DCP lists which building materials are
  classified as flood compatible material. The proposed floor structure is a concrete slab
  on-ground. All additional building materials for the levels from 457.490m to 457.790m
  (0.3m above slab) must be in accordance with Appendix A of councils DCP.

## **Structural Soundness**

 DCP Requirements – Engineers report to certify that any structure can withstand the forces of floodwater, debris and buoyancy up to and including the 100 ARI (plus freeboard).



 Barnson Response – From Appendix B, the velocity at the subject site is (point C) is 0.1m/s and a depth of 0.3m. Upon analysis, we advise the proposed slab on ground and conventional framing can withstand the expected flood forces during a 1:100yr ARI plus freeboard due to the extremely low velocity and level of inundation expected.

## Flood Affection

- DCP Requirements The impact of the development on flooding elsewhere to be considered;
- Barnson Response the existing ground level at the subject site is typically 200mm below the 1:100yr ARI. From Appendix B, the floodplain width is in excess of 200m. From Appendix A, the building footprint width perpendicular to the floodplain is around 15m. The area of the building perpendicular to the floodplain inundated during a 1:100yr ARI (plus freeboard) is 15m x 0.2m = 3m². Over a 200m wide floodplain, the expected incremental impact on flooding is 3m²/200m = 15mm. This is considered negligible.

## Evacuation

- DCP Requirements Reliable access for pedestrian or vehicles required during a 1:100yr ARI flood;
- Barnson Response the typical waring time for a 1:100yr ARI flood is around 8hrs.
   There is excellent street access and from Figure 29 of WMA Waters "Mudgee Flood Study 2021", the distance to areas above the 1:100yr ARI flood is less than 500m. It is expected evacuation can be achieved over this distance with the expect flood warning time.

Please do not hesitate to contact the undersigned if you have any further enquires.

Yours faithfully BARNSON PTY LTD



Luke Morris
BE MIEAust CPEng (NPER)
Director



# Appendix A Proposed Site Plans (by Client)

# **PROPOSED ALTERATIONS & ADDITIONS**

# 34 Lang Street, Mudgee NSW 2850



	SITE & BUILDIN	G CALCULATIONS	
DI ANING INCEDIMENTS	Mid-Weste	ern Regional Local Environmental Plan 2012	
PLANING INSTRUMENTS	State Environmental Planni	ng Policy (Exempt and Complying Development C	odes) 2008
SITE IDENTIFICATION	LOT 4	DP 790409	
ZONE		R1 - General Residential	
SITE AREA		964.1 m <sup>2</sup>	
EXISTING FLOOR AREA		149.07 m <sup>2</sup>	
SITE CONTROLS		REQUIRED	PROPOSED
GROSS FLOOR AREA		Lot area >920 m² $-1,000$ m²: max. 25% of lot area + 150 m² = 391.025 m²	188.09 m <sup>2</sup>
	FRONT	established street setback	EXISTING
SETBACKS	SIDE	Lot width >18m–24m, GF: min. 1.5m FF: min. (building height–4.5m) ÷ 4 + 1.5m	COMPLIES
	REAR	Lot area >900 m² –1,500 m², GF: min. 5 m FF: min. 12 m	COMPLIES
BUILDING HEIGHT		max. 8.5 m	COMPLIES
LANDSCAPED AREAS	OVERALL	Lot area >900 m² -1,500 m²: min. 40 % (385.64 m²)	50.59% (487.7 m²)
	DSL INSIDE FRONT SETBACK	min. $0.5 \times 121.71 = 60.855 \text{ m}^2$	COMPLIES
PRIVATE OPEN SPACE		min. 24 m²	COMPLIES

<b>Sheet Number</b>	Sheet Name
CDC 0.1	Cover Sheet
CDC 0.2	Basix Certificate
CDC 0.3	Spec. & Notes
CDC 0.4	Spec. & Notes
CDC 0.5	Survey
CDC 1.1	Site Plan
CDC 1.2	GFA Calculations
CDC 1.3	LSA Calculation
CDC 2.1	Ground Floor Plan
CDC 2.2	Roof Plan
CDC 3.1	Elevations
CDC 3.2	Elevations
CDC 4.1	Sections
CDC 4.2	Detail - Party Wall
CDC 6.1	Pool Plan
CDC 6.2	Pool Sections
CDC 6.3	Driveway Plan & Section
CDC 7.0	Concept Drainage Plan
CDC 7.1	Construction Mgmt. Plan
CDC 7.2	Proposed Landscape Plan
CDC 7.3	Landscape Specifications
CDC 7.4	Landscape Specifications
CDC 7.5	Landscape Details
CDC 8.0	Window & Door Schedules
CDC 9.1	External Materials & Finisher
CDC 10.1	Perspective
CDC 10.2	Perspective
CDC 10.3	Perspective
CDC 10.4	Perspective

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BUILDING CONTRACTOR & ALL RELEVANT SUB TRADES TO CHECK & VERIFY ALL DIMENSIONS & ASSOCIATED DRAWING PARTS PRIOR TO MANUFACTURE, CONSTRUCTION & INSTALLATION ON SITE. DO NOT SCALE OFF DRAWINGS - WRITTEN DIMENSIONS TAKE PRECEDENCE.
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NOTE:
SELECTED TERMITE PROTECTION TO BE USED ON SITE
IN ACCORDANCE WITH LOCAL COUNCIL'S
REQUIREMENTS, B.C.A. AND ALL RELEVANT
AUSTRALIAN STANDARDS

AUSTRALIAN STANDARDS
NOTE:
SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS
OF SPECIFICATION EL7 (NSW) FIRE AND SMOKE ALARMS
SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO
THE MAIN POWER SUPPLY.
NOTE:
LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH
CLAUSE 3.7.5.2 OF THE NCC.
NOTE:

NOTE: STAIRWAY TO HAVE A NON-SLIP FINISH OR NOSING STRIP IN ACCORDANCE WITH CLAUSE 3.9.1.4 AND TABLE 3.9.1.3 OF THE NCC.

NOTE: METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

# 34 Lang Street, Mudgee NSW 2850

Drawing:
Cover Sheet

newton teale o	onsulting pty ltd	ABN:
trading as <b>p</b>	an land	62 128 716 334
PO BOX 495	Gymea NSW	
Phone: 0403	3 993 876	
Email: info	@planland.com.au	
Drawn:	Approved:	Date:
LT	LT	OCT/2022
Scale:	Drawing No.:	Sheet No.: Rev.:
@A3	22113	CDC 0.1





Alterations and Additions

Project name	34 Lang Street, Mudgee
Street address	34 Lang Street Mudgee 2850
Local Government Area	Mid-Western Regional Council
Plan type and number	Deposited Plan 790409
Lot number	4
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more and includes a pool (and/or spa).

Certificate Pre	pared by (please complete before submitting to Council or PCA
Name / Company N	Name: Newton Teale Consulting
ADM (if applicable)	00 400 740 004

Rainwater tank The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater nunoff from at least 200 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.  Dutdoor swimming pool The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 51 kilolitres. The swimming pool must not have a pool cover. The applicant must install a pool pump timer for the swimming pool. The applicant must not incorporate any heating system for the swimming pool that is part of this development.	* *	Y	V V V V V V V V V V V V V V V V V V V
with, the requirements of all applicable regulatory authorities.  The applicant must configure the rainwater tank to collect rainwater runoff from at least 200 square metres of roof area.  The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.  Dutdoor swimming pool must be outdoors.  The swimming pool must be outdoors.  The swimming pool must not have a capacity greater than 51 kilolitres.  The swimming pool must have a pool cover.  The applicant must install a pool pump timer for the swimming pool.	✓ ·	Y	V V V V V V V V V V V V V V V V V V V
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.  Dutdoor swimming pool The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 51 kilolitres. The swimming pool must have a pool cover. The applicant must install a pool pump timer for the swimming pool.	(7)	V V V V V	V V V V
Outdoor swimming pool The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 51 kilolitres. The swimming pool must have a pool cover. The applicant must install a pool pump timer for the swimming pool.	(7)	4 4 4 4 4 4 4	V V V V
The swimming pool must be outdoors.  The swimming pool must not have a capacity greater than 51 kilolitres.  The swimming pool must have a pool cover.  The applicant must install a pool pump timer for the swimming pool.	(7)	V V V	V V V
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The applicant must install a pool pump timer for the swimming pool.		<b>* * *</b>	1
		1	1
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		~	1

Fixtures and systems	Show or DA Plan		Certifier Check
lghting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		1	1
ixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water ratin	ng.	1	1
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star w	vater rating.	~	1
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating	1.	/	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
sulation requirements					
he table below, except that a) addition	or altered construction (floor(s), walls, and ceilings/roofs; nal insulation is not required where the area of new const struction where insulation already exists.	) in accordance with the specifications listed in truction is less than 2m2, b) insulation specified	~	1	1
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R1.95 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)			

Glazing requ	irements						Show on DA Plans	Show on CC/CDC Plans & specs	Certif Check
Windows and	l glazed do	ors							
					hading devices, in accordance with r each window and glazed door.	the specifications listed in the table below.	<b>V</b>	~	¥
The following n	equirements i	must also	be satisfi	ed in relation	to each window and glazed door:			1	~
have a U-value must be calcula	and a Solar	Heat Gai lance wit	n Coefficie h National	ent (SHGC) i Fenestratio	no greater than that listed in the tab	ar glazing, or toned/air gap/clear glazing must le below. Total system U-values and SHGCs s. The description is provided for information		~	1
For projections	described in	millimetr	es, the lea	iding edge o	f each eave, pergola, verandah, bal	cony or awning must be no more than 500 mm	1	~	~
above the head	of the windo	w or glaz	ed door a	nd no more	than 2400 mm above the sill.		100		
					than 2400 mm above the sill. erial must have a shading coefficien	it of less than 0.35.		1	
Pergolas with p Pergolas with f shades a perpe	iolycarbonate ixed battens i endicular wind	roof or s nust have low. The	imilar tran e battens spacing b	slucent mate parallel to the etween batte	erial must have a shading coefficier e window or glazed door above whi ens must not be more than 50 mm.	nt of less than 0.35. ch they are situated, unless the pergola also		<b>*</b>	~
Pergolas with p Pergolas with f shades a perpe Windows ar	iolycarbonate ixed battens i endicular wind and glazed o	roof or s must have dow. The	imilar tran e battens spacing b	slucent mate parallel to the etween batte equireme	erial must have a shading coefficier e window or glazed door above whi ens must not be more than 50 mm. nts	ch they are situated, unless the pergola also		✓ ✓	~
Pergolas with p	iolycarbonate ixed battens i endicular wind and glazed o	roof or s must have dow. The doors g Area of glass inc. frame	imilar tran e battens spacing b	slucent mate parallel to the etween batte equireme	erial must have a shading coefficier e window or glazed door above whi ens must not be more than 50 mm.			<b>*</b>	*
Pergolas with p Pergolas with f shades a perpo Windows ar Window / door	iolycarbonate ixed battens i endicular wind and glazed o	nust have dow. The doors g Area of glass inc.	imilar tran e battens spacing b lazing r Oversha Height	parallel to the parallel to the etween batte equirement adowing Distance	erial must have a shading coefficier e window or glazed door above whi ens must not be more than 50 mm. nts	ch they are situated, unless the pergola also		*	*
Pergolas with f Pergolas with f shades a perpe Windows ar Window / door no.	iolycarbonate ixed battens i endicular wind and glazed of Orientation	roof or s must have dow. The doors g Area of glass inc. frame (m2)	battens spacing b lazing r Oversha Height (m)	parallel to the tween batte equirement adowing Distance (m)	erial must have a shading coefficient window or glazed door above whitens must not be more than 50 mm.   Shading device   eave/verandah/pergola/balcony	ch they are situated, unless the pergola also Frame and glass type Improved aluminium, single toned,		*	*
Pergolas with p Pergolas with f shades a perpe Windows ar Window / door no. W1	olycarbonate ixed battens i endicular wind od glazed of Orientation	roof or s must have dow. The doors g Area of glass inc. frame (m2)	imilar trans battens spacing b lazing r Oversha Height (m)	parallel to the tween batte equiremendowing Distance (m)	erial must have a shading coefficier e window or glazed door above while sins must not be more than 50 mm.  The Shading device  eave/verandah/pergola/balcony >=500 mm eave/verandah/pergola/balcony	ch they are situated, unless the pergola also Frame and glass type improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56) improved aluminium, single toned,		*	*
Pergolas with p Pergolas with f shades a perpe Windows ar Window / door no.  W1	olycarbonate ixed battens i endicular winc nd glazed o Orientation NE	roof or s must have dow. The doors g Area of glass inc. frame (m2) 17.38	imilar trans battens spacing b lazing r  Oversh: Height (m)  0	parallel to the the tween batte equirement dowing Distance (m)	erial must have a shading coefficier window or glazed door above while see must not be more than 50 mm.  Its  Shading device  cavelverandahjpergola/balcony  -=900 mm  cavelverandahjpergola/balcony  -=900 mm	ch they are situated, unless the pergola also  Frame and glass type  improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56) improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56) improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56) improved aluminium, single toned.		*	*

Giazing requi	irements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Oversha Height (m)	dowing Distance (m)	Shading device	Frame and glass type			
W6	SW	0.96	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6:39, SHGC: 0.56)			
	sw	1.35	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
	SW	1.8	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W9	SW	3.52	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			

Legend	
In these commitments, "applicant"	neans the person carrying out the development.
Commitments identified with a "  development application is to be lo	n the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a ged for the proposed development).
Commitments identified with a "  certificate / complying developmen	n the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate for the proposed development.
Commitments identified with a "  development may be issued.	n the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the





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AUSTRALIAN STANDARDS
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MOTE: METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

34 Lang Street, Mudgee NSW 2850

Basix Certificate

@A3	22113	CDC 0.2
Scale:	Drawing No.	
LT	LT	OCT/202
Drawn:	Approved:	Date:
Email: inf	o@planland.com.au	
Phone: 04	03 993 876	
PO BOX 49	6 Gymea NSW	
trading as	lan land	62 128 716 33
	consulting pty ltd	ABN:

#### I. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

#### **DURING CONSTRUCTION**

WHEREVER POSSIBLE, COMPONENTS FOR THIS BUILDING SHOULD BE PREFABRICATED OFF-SITE OR AT GROUND LEVEL TO MINIMISE THE RISK OF WORKERS FALLING MORE THAN TWO METRES. HOWEVER, CONSTRUCTION OF

BUILDING WILL REQUIRE WORKERS TO BE WORKING AT HEIGHTS WHERE A

EXCESS OF TWO METRES IS POSSIBLE AND INJURY IS LIKELY TO RESULT FROM SUCH A FALL. THE BUILDER SHOULD PROVIDE A SUITABLE BARRIER WHEREVER A

PERSON IS REQUIRED TO WORK IN A SITUATION WHERE FALLING MORE THAN TWO METRES IS A POSSIBILITY.

#### **DURING OPERATION OR MAINTENANCE**

FOR HOUSES OR OTHER LOW-RISE BUILDINGS WHERE SCAFFOLDING IS APPROPRIATE:

CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE.

THIS TYPE OF ACTIVITY IS REQUIRED. SCAFFOLDING, LADDERS OR TRESTLES

BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION

FOR BUILDINGS WHERE SCAFFOLD, LADDERS, TRESTLES ARE NOT APPROPRIATE:

CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE.

THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, FALL BARRIERS OR

PROTECTIVE EQUIPMENT (PPE) SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION.

#### ANCHORAGE POINTS

ANCHORAGE POINTS FOR PORTABLE SCAFFOLD OR FALL ARREST DEVICES

BEEN INCLUDED IN THE DESIGN FOR USE BY MAINTENANCE WORKERS. ANY PERSONS ENGAGED TO WORK ON THE BUILDING AFTER COMPLETION OF CONSTRUCTION WORK SHOULD BE INFORMED ABOUT THE ANCHORAGE

b) SLIPPERY OR UNEVEN SURFACES

#### FLOOR FINISHES SPECIFIED

IF FINISHES HAVE BEEN SPECIFIED BY DESIGNER. THESE HAVE BEEN SELECTED TO MINIMISE THE RISK OF FLOORS AND PAVED AREAS BECOMING SLIPPERY WHEN WET OR WHEN WALKED ON WITH WET SHOES/FEET. ANY CHANGES TO THE SPECIFIED FINISH SHOULD BE MADE IN CONSULTATION WITH THE DESIGNER OR, IF THIS IS NOT PRACTICAL, SURFACES WITH AN **FOUIVALENT OR** 

BETTER SLIP RESISTANCE SHOULD BE CHOSEN.

## FLOOR FINISHES BY OWNER

IF DESIGNER HAS NOT NOT BEEN INVOLVED IN THE SELECTION OF SURFACE FINISHES, THE OWNER IS RESPONSIBLE FOR THE SELECTION OF SURFACE **FINISHES** 

IN THE PEDESTRIAN TRAFFICABLE AREAS OF THIS BUILDING. SURFACES SHOULD

BE SELECTED IN ACCORDANCE WITH AS HB 197:1999 AND AS/NZ

## STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

DUE TO DESIGN RESTRICTIONS FOR THIS BUILDING, STEPS AND/OR RAMPS

INCLUDED IN THE BUILDING WHICH MAY BE A HAZARD TO WORKERS CARRYING OBJECTS OR OTHERWISE OCCUPIED. STEPS SHOULD BE CLEARLY MARKED WITH

BOTH VISUAL AND TACTILE WARNING DURING CONSTRUCTION, MAINTENANCE DEMOLITION AND AT ALL TIMES WHEN THE BUILDING OPERATES AS A WORKPI ACE

BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS AND IN PARTICULAR ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT TO ENSURE THAT SURFACES HAVE NOT MOVED

CRACKED SO THAT THEY BECOME LINEVEN AND PRESENT A TRIP HAZARD. SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM

CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING

CONSTRUCTION, MAINTENANCE OR DEMOLITION TO REDUCE THE RISK OF

AND FALLS IN THE WORKPLACE. MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS

#### 2. FALLING OBJECTS

#### LOOSE MATERIALS OR SMALL OBJECTS

CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK ON OR AROUND THIS BUILDING IS LIKELY TO INVOLVE PERSONS WORKING ABOVE GROUND LEVEL

ABOVE FLOOR LEVELS. WHERE THIS OCCURS ONE OR MORE OF THE

MEASURES SHOULD BE TAKEN TO AVOID OBJECTS FALLING FROM THE AREA WHERE THE WORK IS BEING CARRIED OUT ONTO PERSONS BELOW.

1. PREVENT OR RESTRICT ACCESS TO AREAS BELOW WHERE THE WORK IS BEING CARRIED OUT

2. PROVIDE TOEBOARDS TO SCAFFOLDING OR WORK PLATFORMS. 3. PROVIDE PROTECTIVE STRUCTURE BELOW THE WORK AREA

4. ENSURE THAT ALL PERSONS BELOW THE WORK AREA HAVE PERSONAL PROTECTIVE EQUIPMENT (PPE).

#### BUILDING COMPONENTS

DURING CONSTRUCTION. RENOVATION OR DEMOLITION OF THIS BUILDING PARTS OF

THE STRUCTURE INCLUDING FABRICATED STEELWORK, HEAVY PANELS AND

OTHER COMPONENTS WILL REMAIN STANDING PRIOR TO OR AFTER

PARTS ARE IN PLACE. CONTRACTORS SHOULD ENSURE THAT TEMPORARY

OR OTHER REQUIRED SUPPORT IS IN PLACE AT ALL TIMES WHEN COLLAPSE WHICH

MAY INJURE PERSONS IN THE AREA IS A POSSIBILITY MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING

MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS. CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE

THAT LOADS ARE PROPERLY SECURED AND THAT ACCESS TO AREAS BELOW

LOAD IS PREVENTED OR RESTRICTED.

#### 3. TRAFFIC MANAGEMENT

FOR BUILDING ON A MAJOR ROAD, NARROW ROAD OR STEEPLY SLOPING

PARKING OF VEHICLES OR LOADING/UNLOADING OF VEHICLES ON THIS ROADWAY

MAY CAUSE A TRAFFIC HAZARD, DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THIS BUILDING DESIGNATED PARKING FOR WORKERS AND LOADING

AREAS SHOULD BE PROVIDED. TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE RESPONSIBLE FOR THE SUPERVISION OF THESE AREAS. FOR BUILDING WHERE ON-SITE LOADING/UNLOADING IS RESTRICTED CONSTRUCTION OF THIS BUILDING WILL REQUIRE LOADING AND UNLOADING

MATERIALS ON THE ROADWAY. DELIVERIES SHOULD BE WELL PLANNED TO

CONGESTION OF LOADING AREAS AND TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE USED TO SUPERVISE LOADING/UNLOADING AREAS. FOR ALL BUILDINGS: BUSY CONSTRUCTION AND DEMOLITION SITES PRESENT A RISK OF COLLISION

WHERE

DELIVERIES AND OTHER TRAFFIC ARE MOVING WITHIN THE SITE. A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE ADOPTED FOR THE WORK SITE

## 4. SERVICES

RUPTURE OF SERVICES DURING EXCAVATION OR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL. EXISTING SERVICES ARE LOCATED ON OR AROUND THIS SITE. WHERE KNOWN, THESE

IDENTIFIED ON THE PLANS BUT THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE (SUCH AS DIAL BEFORE YOU DIG NECESSARY, SPECIALIST CONTRACTORS SHOULD BE USED.

LOCATIONS WITH UNDERGROUND POWER:
UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THIS SITE. ALL UNDERGROUND POWER LINES MUST BE DISCONNECTED OR CAREFULLY LOCATED AND ADEQUATE WARNING SIGNS USED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION COMMENCING

LOCATIONS WITH OVERHEAD POWER LINES:

OVERHEAD POWER LINES MAY BE NEAR OR ON THIS SITE. THESE POSE A RISK OF ELECTROCUTION IF STRUCK OR APPROACHED BY LIFTING DEVICES OR

PLANT AND PERSONS WORKING ABOVE GROUND LEVEL. WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHOULD BE, WHERE PRACTICAL DISCONNECTED OR RELOCATED. WHERE THIS IS NOT PRACTICAL ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAPE OR SIGNAGE SHOULD BE USED OR A PROTECTIVE BARRIER PROVIDED.

## 5. MANUAL TASKS

COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25KG SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY MECHANICAL LIFTING DEVICE. WHERE THIS IS NOT PRACTICAL. SUPPLIERS OR FABRICATORS

BE REQUIRED TO LIMIT THE COMPONENT MASS ALL MATERIAL PACKAGING BUILDING AND MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL MASS OF PACKAGES AND WHERE PRACTICAL ALL ITEMS SHOULD BE STORED ON SITE IN A WAY WHICH MINIMISES BENDING BEFORE LIFTING. ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY OCCUR. CONSTRUCTION MAINTENANCE AND DEMOLITION OF THIS BUILDING WILL REQUIRE THE USE OF PORTABLE TOOLS AND EQUIPMENT. THESE SHOULD BE FULLY MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND NOT USED WHERE FAULTY OR (IN THE CASE OF ELECTRICAL EQUIPMENT) NOT CARRYING A CURRENT ELECTRICAL SAFETY

ALL SAFETY GUARDS OR DEVICES SHOULD BE REGULARLY CHECKED AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.

#### 6. HAZARDOUS SUBSTANCES

#### ASBESTOS

FOR ALTERATIONS TO A BUILDING CONSTRUCTED PRIOR TO 1990: IF THIS EXISTING BUILDING WAS CONSTRUCTED PRIOR TO 1990 - IT THEREFORE MAY CONTAIN ASBESTOS 1986 - IT THEREFORE IS LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL

EITHER CASE, THE BUILDER SHOULD CHECK AND, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING

OTHERWISE DISTURBING THE EXISTING STRUCTURE

#### **POWDERED MATERIALS**

MANY MATERIALS USED IN THE CONSTRUCTION OF THIS BUILDING CAN CAUSE HARM IF INHALED IN POWDERED FORM. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR

SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION WHILE USING POWDERED MATERIAL OR WHEN SANDING, DRILLING, CUTTING OR OTHERWISE

DISTURBING OR CREATING POWDERED MATERIAL

#### TREATED TIMBER

THE DESIGN OF THIS BUILDING MAY INCLUDE PROVISION FOR THE INCLUSION

TREATED TIMBER WITHIN THE STRUCTURE. DUST OR FUMES FROM THIS

CAN BE HARMFUL. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD

GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL WHEN SANDING

DRILLING, CUTTING OR USING TREATED TIMBER IN ANY WAY THAT MAY CAUSE HARMFUL MATERIAL TO BE RELEASED. DO NOT BURN TREATED TIMBER.

## **VOLATILE ORGANIC COMPOUNDS**

MANY TYPES OF GLUE, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHES AND SOME CLEANING MATERIALS AND DISINFECTANTS HAVE DANGEROUS EMISSIONS AREAS WHERE THESE ARE USED SHOULD BE KEPT WELL VENTILATED WHILE THE MATERIAL IS BEING USED AND FOR A PERIOD AFTER INSTALLATION, PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED THE MANUFACTURER'S RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES.

## SYNTHETIC MINERAL FIBRE

FIBREGLASS, ROCKWOOL, CERAMIC AND OTHER MATERIAL USED FOR THERMAL OR

SOUND INSULATION MAY CONTAIN SYNTHETIC MINERAL FIBRE WHICH MAY BE HARMFUL IF INHALED OR IF IT COMES IN CONTACT WITH THE SKIN, EYES OR OTHER

SENSITIVE PARTS OR THE BODY, PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL SHOULD BE USED

INSTALLING, REMOVING OR WORKING NEAR BULK INSULATION MATERIAL

## TIMBER FLOORS

THIS BUILDING MAY CONTAIN TIMBER FLOORS WHICH HAVE AN APPLIED

AREAS WHERE FINISHES ARE APPLIED SHOULD BE KEPT WELL VENTILATED DURING

SANDING AND APPLICATION AND FOR A PERIOD AFTER INSTALLATION. PERSONAL

PROTECTIVE FOUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURER'S RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL

## 7. CONFINED SPACES

#### FXCAVATION

CONSTRUCTION OF THIS BUILDING AND SOME MAINTENANCE ON THE BUILDING WILL REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN EXCAVATIONS. WHERE PRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING METHODS WHICH DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION. WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHOULD BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS

ALL EXCAVATIONS SHOULD BE PROVIDED.

#### ENCLOSED SPACES

FOR BUILDINGS WITH ENCLOSED SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED:

ENCLOSED SPACES WITHIN THIS BUILDING MAY PRESENT A RISK TO PERSONS ENTERING FOR CONSTRUCTION, MAINTENANCE OR ANY OTHER PURPOSE, THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER

SPACES, AIR TESTING EQUIPMENT AND PERSONAL PROTECTIVE EQUIPMENT

#### SMALL SPACES

FOR BUILDINGS WITH SMALL SPACES WHERE MAINTENANCE OR OTHER

MAY BE REQUIRED SOME SMALL SPACES WITHIN THIS BUILDING WILL REQUIRE ACCESS BY CONSTRUCTION OR MAINTENANCE WORKERS. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS

SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING, WHERE WORKERS ARE REQUIRED TO ENTER SMALL SPACES THEY SHOULD BE SCHEDULED SO THAT ACCESS IS FOR SHORT PERIODS. MANUAL LIFTING AND OTHER MANUAL ACTIVITY SHOULD BE RESTRICTED IN SMALL SPACES

#### 8. PUBLIC ACCESS

PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION SITES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND PUBLIC. WARNING SIGNS AND SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED. WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PLANT OR

MATERIALS ARE PRESENT THEY SHOULD BE SECURED WHEN NOT FULLY

#### 9. OPERATIONAL USE OF BUILDING

#### RESIDENTIAL BUILDINGS

THIS BUILDING HAS BEEN DESIGNED AS A RESIDENTIAL BUILDING. IF IT. AT A LATER DATE, IT IS USED OR INTENDED TO BE USED AS A WORKPLACE, THE PROVISIONS OF THE WORK HEALTH AND SAFETY ACT 2011 OR SUBSEQUENT REPLACEMENT ACT SHOULD BE APPLIED TO THE NEW USE

## 10.OTHER HIGH RISK ACTIVITY

ALL ELECTRICAL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH

OF PRACTICE: MANAGING ELECTRICAL RISKS AT THE WORKPLACE, AS/NZ 3012 AND ALL LICENSING REQUIREMENTS

ALL WORK USING PLANT SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING RISKS OF PLANT AT THE WORKPLACE. ALL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK DUE TO THE HISTORY OF SERIOUS INCIDENTS IT IS RECOMMENDED THAT PARTICULAR CARE BE EXERCISED WHEN UNDERTAKING WORK INVOLVING STEEL

CONSTRUCTION AND CONCRETE PLACEMENT, ALL THE ABOVE APPLIES

ALL WORK IS TO COMPLY WITH THE BUILDING CODE OF

AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY REQUIREMENTS. BUILDING CONTRACTOR & ALL RELEVANT SUB TRADES TO CHECK & VERIFY ALL DIMENSIONS & ASSOCIATED DRAWING PARTS PRIOR TO MANUFACTURE,

DRAWING PARTS PRIOR TO MANUFACTURE.
CONSTRUCTION & INSTALLATION ON SITE. DO NOT
SCALE OFF DRAWINGS - WRITTEN DIMENSIONS TAKE
PRECEDENCE.
PLAN LAND ACCEPTS NO LIABILITY OR RESPONSIBILITY
RESULTING FROM BUILDERS NEGLECT OR PREFERRED
METHOD OF CONSTRUCTION EOR AND BUILDING. METHOD OF CONSTRUCTION FOR ANY BUILDING

DEFECT.
THESE DRAWINGS ARE THE PROPERTY OF PLAN LAND. DRAWINGS ARE NOT TO BE REPRODUCED IN PART OR IN WHOLE ON ANY MEDIUM WITHOUT THE WRITTEN PERMISSION OF PLAN LAND.

NOTE:
ALL EXISTING & OVERALL DIMENSIONS ARE NOMINAL & SUBJECT TO VERIFICATION ON SITE. WHERE ANY DISCREPANCY OCCURS BETWEEN NEW WORK & EXISTING EXISTING BETWEEN NEW WORK & EXISTING THAMPISIONS - EXISTING DIMENSIONS/WORK SHOULD DIMENSIONS - EXISTING DIMENSIONS/WORK SHOULD TAKE PREFERENCE WHERE NECESSARY - OTHERWISE NOTIFY PLAN LAND

NOTE: SELECTED TERMITE PROTECTION TO BE USED ON SITE IN ACCORDANCE WITH LOCAL COUNCIL'S REQUIREMENTS, B.C.A. AND ALL RELEVANT AUSTRALIAN STANDARDS

NOTE: SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS
SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO

 $\underline{\text{NOTE:}}$  LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC. NOTE: STAIRWAY TO HAVE A NON-SLIP FINISH OR NOSING

STRIP IN ACCORDANCE WITH CLAUSE 3.9.1.4 AND TABLE 3.9.1.3 OF THE NCC. NOTE:
METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

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Spec. & Notes

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ABN:

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (BUT IS NOT EXCLUDED TO): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.



#### STANDARD SPECIFICATION & GENERAL CONSTRUCTION NOTES

ALL CONTRACTORS & SUPPLIERS ARE TO READ ALL NOTES CONTAINED WITHIN THIS DOCUMENTATION. THE FOLLOWING NOTES BELOW ARE A BRIEF EXTRACT FROM THE BCA FOR CONVENIENCE & CONTRACTUAL PURPOSES. EVERY EFFORT IS MADE TO PROVIDE ACCURATE, COMPLETE AND UP TO DATE INFORMATION, HOWEVER ALL CONTRACTORS & SUPPLIERS ARE TO ENSURE THEY WORK WITHIN AND COMPLY IN STRICT ACCORDANCE WITH THE FULL CURRENT BCA, ALL RELEVANT NATIONAL, STATE & LOCAL LAWS, REGULATIONS, LEGISLATION & STANDARD. THESE PLANS ARE TO BE READ IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DRAWINGS & COMPUTATIONS, BUILDING

PERMIT CONDITIONS AS WELL AS ANY MANUFACTURES SPECIFICATIONS
ALL CONTRACTORS & SUPPLIERS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS & ARE TO USE FIGURED DIMENSIONS ONLY. THESE ARE NOT TO BE SCALED OFF. IF IN DOUBT, ASK.

#### TO BE READ IN ACCORDANCE WITH BCA. PART 3.1.1

CONTRACTORS ASSOCIATED WITH EARTHWORKS SHALL CHECK AND CONFIRM STRUCTURAL ENGINEERS DRAWINGS/ COMPUTATIONS AND/
OR GEOLOGICAL SURVEY FOR ALL SOIL CLASSIFICATION, SITE CONDITIONS 7 MINIMUM FOOTING DEPTH PRIOR TO COMMENCEMENT OF ANY

WHERE REQUIRED. APPROPRIATE EMBANKMENT PROTECTION TO BE PROVIDED & MAINTAINED BY ASSOCIATED CONTRACTORS FOR DURATION OF WORKS

TO BE READ IN ACCORDANCE WITH BCA, PART 3.1.2, AS/NZS3500.3-2003-STORMWATER DRAINAGE, & AS/NZS3500.5-2000- DOMESTIC

INSTALLATIONS, SECTION 5-STORMWATER DRAINAGE.
NEW DRAINAGE SYSTEMS MUST NOT ENCROACH AREAS DEFINED AS LOAD ABSORPTION FROM FOOTINGS. (BCA FIGURE 3.1.2.1) SURFACE WATER DRAINAGE TO BE DIVERTED FROM CLASS 1 & 10 BUILDINGS AT ALL TIMES. (BCA FIGURE 3.1.2.2 & 3.1.2.3)

STORM WATER DRAINAGE SYSTEMS, POSITIONS & POINT OF DISCHARGE MUST BE TO THE SATISFACTION OF THE APPROPRIATE AUTHORITY. FOOTINGS & SLABS

TO BE READ IN ACCORDANCE WITH BCA, PART 3.2, AS2870-1996-RESIDENTIAL SLABS & FOOTINGS & AS2159-1995-PILLING- DESIGN & INSTALLATION.

EXCAVATION FOR FOOTINGS INCLUDING THICKENING FOR SLAB & PADS MUST BE CLEAN CUT EITHER VERTICAL SIDES & FLAT BASE WHERE

FILLING UNDER CONCRETE SLABS MUST BE EITHER CONTROLLED FILL OR ROLLED FILL. MINIMUM 20MM CLEAN QUARRY SAND TO BE PLACED

VAPOR / MOISTURE BARRIER MUST BE INSTALLED UNDER SLAB-ON-GROUND CONSTRUCTION. MINIMUM 0.2MM THICKNESS POLYETHYLENE FILM, MEDIUM IMPACT RESISTANCE. JOINTS TO LAP MINIMUM 200MM WITH ALL SERVICES AND PENETRATIONS TO BE SEALED/ TAPED ADEQUATELY. (BCA FIGURE 3.2.2.3).

CONCRETE MUST BE MANUFACTURED TO COMPLY WITH AS3600-2001-CONCRETE STRUCTURES, & HAVE A STRENGTH AT 28 DAYS NOT LESS

THEN 20MPa (N20 GRADE), HAVE 20MM NOMINAL AGGREGATE SIZE & HAVE NOMINAL 80MM SLUMP.
REINFORCEMENT STEEL MUST HAVE LESS THAN 40MM COVER TO EXTERNAL FACES & 20MM TO AN INTERNAL PROTECTED SURFACE & BAR CHAIRS SPACED AT NOT MORE THAN 800MM CENTRES.

#### TO BE READ IN ACCORDANCE WITH BCA. PART 3..3 & AS3700-2001-MASONRY STRUCTURES.

MORTAR JOINTS MUST NOTE EXCEED NOMINAL 10MM & RACKED JOINTS NO DEEPER THAN 10MM.

ARTICULATION JOINTS MUST HAVE A WIDTH NOT LESS THAN 10MM & NOT EXCEEDING 20MM & BE CLEAN OF MORTAR & ARE TO BE STRAIGHT. WALLS WITHOUT OPENINGS AT MAXIMUM 6000MM CENTERS & NOT CLOSER THAN HEIGHT OF THE WALL AWAY FROM CORNERS. WHERE OPENINGS MORE THAN 900x900MM OCCUR, AT MAXIMUM 5000MM CENTERS & POSITIONED AT ONE EDGE OF OPENING. ALL JOINTS ARE TO BE

SEALED WITH A COMPRESSIBLE, FLEXIBLE MATERIAL. (REFER TO BCA FIGURE 3.3.1.7)
WALL TIES IN MASONRY VENEER CONSTRUCTION WITH 450C/C STUD WALLS TO BE SPACED 600x450MM, 600C/C STUD WALLS TO BE SPACED 600x600MM\_CAVITY MASONRY 600x600MM\_NUMBER OR TIES TO BE DOUBLED WITHIN 300MM OF OPENINGS & CONTROL JOINTS. TIES TO BE HOT DIPPED GALVANISED WITH A GRADE OF Z600. FACE FIXING TIES TO BE USED IN MASONRY VENEER TO AVOID HOLES IN FOIL. (BCA FIGURE

HOOP IRON STRAPS TO BE 32x0.8M GALVANISED AT MAXIMUM 1200MM CENTRES & BE FIXED MINIMUM 900MM TO BRICK WORK. (REFER TO

LINTELS SUPPORTING MASONRY WALLS ABOVE OPENINGS LESS THAN 1000MM TO HAVE MINIMUM BEARING LENGTH OF 100MM AT EACH END. OPENING GREATER THAN 1000MM TO HAVE MINIMUM BEARING OF 150MM AT EACH END WITH MINIMUM 3 COURSE MASONRY ABOVE ALL OPENINGS. (BCA FIGURE 3.3.3.4 TO 3.3.3.5)

WEEPHOLES ARE TO BE AT MAX. 1200MM CENTRES & IMMEDIATLY ABOVE ANY DPC/ FLASHING. CONTRACTOR TO ENSURE THAT WEEPHOLES ABOVE OPENINGS ARE CENTRED & ALL WEEPHOLES ARE TO BE CLEAN & STRAIGHT.

DPC/ FLASHING FOR SUB FLOOR & ABOVE OPENINGS TO BE EMBOSSED BLACK POLYETHYLENE FILM OF HIGH IMPACT RESISTANCE, LOW SLIP

WITH NOMINAL THICKNESS OF 0.5MM & MINIMUM 300MM IN WIDTH. DPC/ FLASHING MUST BE TURNED UP MINIMUM 150MM FIXED TO FRAME & JOINTS MUST LAP NOT LESS THAN 150MM. (REFER TO BCA FIGURES 3.3.4.1 TO 3.3.4.5 INCLUSIVE & BCA FIGURES 3.3.4.6 & 3.3.4.7 FOR ROOF/

## SUB-FLOOR VENTILATION

TO BE IN ACCORDANCE WITH BCA PART 3.4.1

SUB-FLOOR VENTILATION TO BE PROVIDED AT A RATE OF 6000mm2/m OF WALL. SUB-FLOOR CLEARANCE BETWEEN GROUND LEVEL & UNDERSIDE OF BEARERS TO BE A MINIMUM OF 150MM WITHIN 2000MM FROM PERIMETER & AN AVERAGE OF 400MM FOR REMAINDER. SUBFLOOR VENTS TO BE PROVIDED AT 1200MM CENTRES & MAX 600MM FROM CORNERS. (REFER TO BCA FIGURES 3.4.1 & 3.4.2)

## STEEL FRAMING & STRUCTURAL MEMBERS

TO BE IN ACCORDANCE WITH BCA, PART 3.4.2 & 3.4.4, AS4100-1998-STEEL STRUCTURES, AS/NZS4600-2005-COLD FORMED STEEL STRUCTURES & NASH-RESIDENTIAL & LOW RISE STEEL FRAMING. TIMBER FRAMING

# TO BE IN ACCORDANCE WITH BCA, PART 3.4.3 AND AS1684-2006-RESIDENTIAL TIMBER FRAMED CONSTRUCTION. ALL TIMBER STORED ON SITE TO BE STACKED CLEAR FROM GROUND, IN A DRY LOCATION & IN A MANOR TO PREVENT TWISTING & WARPING.

TO BE IN ACCORDANCE WITH BCA, PART 3.5, AS2049-2002-ROOF TILES, AS2050-2002-INSTALLATION OF ROOF TILES, AS1562.1-1992-DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING, AS/NZS1562.2-1999-DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING, AS/NZS1562.3-1996-PLASTIC SHEET ROOFING, AS/NZS4256-Pts 1,2,3 & 5-1994-PLASTIC ROOF & WALL CLADDING MATERIAL, AS/NZS4200-1994-INSTALLATION OF PLIABLE MEMBRANE & LINDERLAY & ASTM D3018-90-1994-ASPHALT SHINGLES

LEAD FLASHING MUST NOT BE USED ON ANY ROOF THAT IS PART OF PORTABLE WATER CATCHMENT AREA.

ALL METAL SHEET ROOFING, FLASHING, CAPPING, FASTENERS & GUTTERING TO BE PROTECTED FROM CORROSION & WHERE DIFFERENT MATERIALS ARE USED IN ANY PART OF THE ROOFING SYSTEM AS NOTED ABOVE, THEY MUST BE COMPATIBLE WITH EACH OTHER TO PREVENT CORROSION DUE TO AN ADVERSE CHEMICAL REACTION.

#### **GUTTERS & DOWNPIPES**

TO BE IN ACCORDANCE WITH BCA, PART 3.5.2, AS/NZS3500.3-2003-STORMWATER DRAINAGE, AS/NZS3500.5-2000- DOMESTIC INSTALLATIONS, AS1273-1991-UPVC DOWNPIPES & FITTINGS FOR RAINWATER & AS/NZS2179.1-1994-METAL SHAPE OR SHEET RAINWATER GOODS AND METAL ACCESSORIES AND FASTENERS.

GUTTERS TO BE INSTALLED WITH A FALL NOT LESS THAN 1:500 FOR EAVE GUTTERS UNLESS FIXED TO METAL FASCIA & MUST BE SUPPORTED BY BRACKETS AT MAXIMUM 1200MM CENTRES.

BOX GUTTERS TO HAVE A MINIMUM FALL WIDTH OF 1:100 VALLEY GUTTERS TO HAVE A MINIMUM WIDTH OF 400MM DOWNPIPES MUST BE SECURELY FIXED TO WALLS, BE LOCATED AT MAX 1200MM CENTRES & WHERE POSSIBLE BE PROVIDED AS CLOSE TO VALLEY GUTTERS AS POSSIBLE

ROOF DRAINAGE TO DESIGNED SO THAT OVERFLOW DURING HEAVY RAIN PERIODS IS PREVENTED FROM FLOWING BACK INTO THE BUILDING

DOWNPIPE TYPES & SIZES TO COMPLY WITH BCA TABLES 3.5.2.1 & 3.5.2.2.

#### GLAZING

TO BE IN ACCORDANCE WITH BCA, PART 3.6, AS2047-1999-WINDOWS IN BUILDING-SELECTION & INSTALLATION & AS1288-2006-GLASS IN

FULLY FRAMED GLAZING GREATER THAN 0.5m2 (OTHER THAN 1200MM FROM FINISHED FLOOR LEVEL TO BE GRADE A TOUGHENED SAFETY GLASS, UNFRAMED DOORS TO BE GRADE A TOUGHENED SAFETY GLASS WITH STANDARD MINIMUM NOMINAL THICKNESS OF 10MM.
FULL HEIGHT FRAMED GLAZED PANELS LESS THAN 500MM FROM THE HIGHEST ABUTTING FINISHED FLOOR LEVEL GREATER THAN 0.9m2 TO

BE GRADE A SAFETY GLASS IN ACCORDANCE WITH BCA TABLE 3.6.5
FRAMED GLAZING FOR SHOWER DOORS, SHOWER SCREEN AND BATH ENCLOSURE AS WELL AS WINDOWS WITHIN 1500MM VERTICAL AND OR 500MM HORIZONTAL TO THE BASE OF SHOWERS OR BATHS TO BE FITHER GRADE A SAFETY GLASS IN ACCORDANCE WITH BCA TABLE 3.6.6 OR GRADE B SAFETY GLASS IN ACCORDANCE WITH BCA TABLE 3.6.5 GLAZING WITH EXPOSED EDGE MUST BE TOUGHENED SAFETY GLASS IN ACCORDANCE WITH BCA TABLE 3.6.4 WITH A MINIMUM NOMINAL THICKNESS OF 5MM.

ALL EXTERNAL PERIMETER WINDOWS TO BE FLASHED RIGHT ROUND
ALL WINDOW SIZES WITHIN THESE PLANS ARE NOMINAL AND MAY VARY ACCORDING TO MANUFACTURE.

TO BE IN ACCORDANCE WITH BCA, PART 3.7, AS3786-1993-SMOKE ALARMS, AS1691-1985-DOMESTIC OIL-FIRED APPLIANCES-INSTALLATION, AS/ NZS2918-2001-DOMESTIC SOLID FUEL BURNING APPLIANCES-INSTALLATION & AS3959-1999-CONSTRUCTION OF BUILDING IN BUSHFIRE-PRONE

ALL FLOORS BETWEEN OTHERS OCCUPANCIES, PARTY WALLS, WALLS WITHIN 900MM DISTANCE AND EAVES WITHIN 500MM DISTANCE FROM TITLE BOUNDARY OR OTHER ADJOINING BUILDINGS MUST BE CONSTRUCTED WITH A NON- COMBUSTABLE MATERIAL HAVING A FRL OF NOT

ROOF LIGHTS MUST NOT BE 900MM DISTANCE FROM TITLE BOUNDARY OR ADJOINING BUILDINGS OR WITHIN 1800MM FROM ADJOINING

BUILDING ROOF LIGHTS. (REFER TO BCA FIGURE 3.7.1.12)
SMOKE ALARMS TO BE HARD WIRED TO CONSUMER MAINS & INSTALLED ON OR NEAR THE CEILING (WITH SPECIAL CARE TAKEN TO AVOID DEAD AIR SPACES) OF ANY STOREY CONTAINING BEDROOMS AS SHOWN IN BCA FIGURE 3.7.2.1 AND IN ANY OTHER STOREY NOT CONTAINING BEDROOMS AS IN BCA FIGURE 3.7.2.2.

ALL HEATING APPLIANCES TO BE INSTALLED IN STRICT ACCORDANCE TO MANUFACTURES SPECS AND BCA, PART 3.7.3

TO BE IN ACCORDANCE WITH BCA, PART 3.8.1 & AS3740-2004-WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.

ALL WET AREAS MUST BE WATERPROOFED OR WATER RESISTANT IN ACCORDANCE WITH BCA TABLE 3.8.1.1 & BCA FIGURES 3.8.1.1.1 TO 3.8.1.16 ALL INCLUSIVE

ALL PLASTERBOARD USED IN WET AREAS MUST BE WR GRADE (WATER RESISTANT) WITH ALL CORNERS AND EDGES INCLUDING BOTTOM EDGES OVER SHOWER BASE/ HOB, BATH TUBS & BENCHES WITH BASINS, ADEQUATELY WATERPROOFING TO PREVENT MOISTURE PENETRATION.

STRICTLY MOULD RESISTANT GROUT AND SILICON TO BE USED IN ALL WET AREAS.

TO BE IN ACCORDANCE WITH BCA, PART 3.8.5 & AS1668.2-1991-MECHANICAL VENTILATION FOR ACCEPTABLE INDOOR-AIR QUALITY. MECHANICAL VENTILATION TO SANITARY ROOMS & RANGE-HOODS ARE TO BE DISCHARGE DIRECTLY TO THE OUTSIDE AIR AT A MINIMUM RATE OF 25L/s MINIMUM

TO BE IN ACCORDANCE WITH BCA, PART 3.9.2, AS1170.1-1989-DEAD AND LIVE LOADS AND LOAD COMBINATIONS, & AS/ NZS1170.1-PERANENT,

IMPOSED AND OTHER ACTIONS.
BALUSTRADES ARE REQUIRED WHERE ANY LEVEL IS MORE THAN 1000MM ABOVE THE SURFACE BENEATH (REFER TO BCA FIGURE 3.9.2.3) & BE MINIMUM 865MM ABOVE THE FINISHED SURFACE OF THE NOSING ON TREADS & MINIMUM 1000MM ABOVE THE FINISHED SURFACE OF LANDINGS WITH NO PART OF THE BALUSTRADE TO ALLOW A 125MM SPHERE TO PASS THROUGH. (REFER TO BCA FIGURE 3.9.2.1) BALUSTRADES 4000MM AND GREATER ABOVE ADJOINING SURFACE MUST NOT HAVE ANY PART THAT IS CLIMBABLE

TO BE IN ACCORDANCE WITH BCA, PART 3.9.3 & AS1926.1-1993-FENCING FOR SWIMMING POOLS.

CAPABLE OF BEING SEALED WHEN IN A CLOSED POSITION SO AS TO RESTRICT AIR INFILTRATION

SAFETY FENCING LOCATIONS MUST BE IN ACCORDANCE WITH BCA FIGURE 3.9.3.1 & IN A MANOR THAT THE MINIMUM HEIGHT OF FENCING IS 1200MM RIGHT ROUND AND MUST NOT BE AFFECTED BY NEARBY OBJECTS. (REFER TO BCA FIGURE 3.9.3.4) WHERE PERFORATED MESH MATERIAL WITH APERTURE MORE THAN 13MM IS USED BUT LESS THAN 100MM, HEIGHT OF FENCE MUST BE IN ACCORDANCE WITH BCA

NO PART OF POOL FENCING IS TO BE CLIMBABLE IN ANY WAY WITH MAXIMUM VERTICAL SPACING OF 10MM. GATES ARE TO SWING OUTWARDS FROM POOL AREA, BE FITTED WITH CLOSING DEVICE & LATCH, WITH LATCH LOCATED AND SHIELDED IN ACCORDANCE WITH BCA FIGURE

## STAIR CONSTRUCTION

TO BE IN ACCORDANCE WITH BCA, PART 3.9.1 AND AS1657-1992-FIXED PLATFORMS, WALKWAYS, STAIRWAYS & LADDERS-DESIGN, CONSTRUCTION AND INSTALLATION.

EACH FLIGHT OF STAIRS TO HAVE MAXIMUM 18 RISES, 3 WINDERS IN LIEU OF QUARTER LANDING OR 6 WINDERS IN LIEU OF EACH HALF LANDING. LANDINGS MUST NOT BE LESS THAN 750MM LONG MEASURED 500MM FROM INSIDE EDGE OF LANDING, (REFER TO BCA FIGURE 3.9.1.5) AND HAVE A GRADIENT NOT STEEPER THAN 1:50.

RISES (OTHER THAN SPIRAL) TO BE MINIMUM 115MM & MAXIMUM 190MM. GOING (OTHER THAN SPIRAL) TO BE MINIMUM 240MM & MAXIMUM 355MM. A 125MM SPHERE MUST NOT PASS THROUGH TREADS. (REFER TO BCA FIGURES 3.9.1.2 TO 3.9.1.4 INCLUSIVE)

## **ENERGY EFFICIENCY**

TO BE IN ACCORDANCE WITH BCA, PART 3.12, BCA APPENDIX A & AS4859.1-2002-GENERAL CRITERIA AND TECHNICAL PROVISIONS. REFER TO ENERGY EFFICIENCY REPORT BASIX FOR ALL, INSTALLATION LEVELS, WINDOW FRAME & GLAZING TYPES, AND OTHER SPECIFICATIONS REQUIRED TO ACHIEVE STAR RATING.

REFLECTIVE FOIL MUST BE INSTALLED ADEQUATLY TO FRAMING MEMBERS WITH JOINS OVERLAPPING MINIMUM 150MM OR ADEQUATELY WHERE REQUIRED, BULK INSULATION SHOULD MAINTAIN ITS POSITION & THICKNESS (OTHER THAN AREAS SUCH AS NOGGINS, BATTENS,

SERVICES ETC) & PLACED HARD UP AGAINST ALL STUDS, OPENINGS & THE LIKE TO MINIMISE AIR MOVEMENT & MAINTAIN ITS EFFECTIVE PERFORMANCE INTEGRITY. ALL GAPS AROUND & WITHIN EXTERNAL DOORS, WINDOWS, ROOF LIGHTS & SERVICES PENETRATING EXTERNAL WALLS TO BE SEALED OR

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AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY REQUIREMENTS. BUILDING CONTRACTOR & ALL RELEVANT SUB TRADES TO CHECK & VERIFY ALL DIMENSIONS & ASSOCIATED DRAWING PARTS PRIOR TO MANUFACTURE,

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REQUIREMENTS, B.C.A. AND ALL RELEVANT AUSTRALIAN STANDARDS NOTE: SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS

OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS
SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO  $\underline{\text{NOTE:}}$  LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC.

NOTE: STAIRWAY TO HAVE A NON-SLIP FINISH OR NOSING

STRIP IN ACCORDANCE WITH CLAUSE 3.9.1.4 AND TABLE 3.9.1.3 OF THE NCC. NOTE:
METHOD OF VENTILATING THE LAUNDRY AND WC AND

CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

# 34 Lang Street, Mudgee NSW 2850

Spec. & Notes

newton teale consulting pty l ABN: trading as plan land PO BOX 495 Gymea NS Phone: 0403 993 876 Email: info@planland.com. LT OCT/2022 Scale Drawing No.: Sheet No.: 22113 CDC 0.4









- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9(1) OF THE AND SERVICE AND SECTION 9(1) OF THE AND SERVICE AND SECTION 9(1) OF THE SURVEYING AND SPATIAL INFORMATION ACT 2002. IF SURVEY WORK TO DETERMINE THE BOUNDARY OF THE STREET OR BOUNDARY OF THE STREET OR BOUNDARY OF THE SURVEY WORK TO DETERMINE THE BOUNDARY OF THE STREET OR BOUNDARY OF THE SURVEY WORK TO DETERMINE THE BOUNDARY OF THE STREET OR BOUNDARY OR STREET OR BOUNDARY OF THE STREET OR BOUNDARY OF THE STREET OR BOUNDARY OR STREET OR BOUNDARY

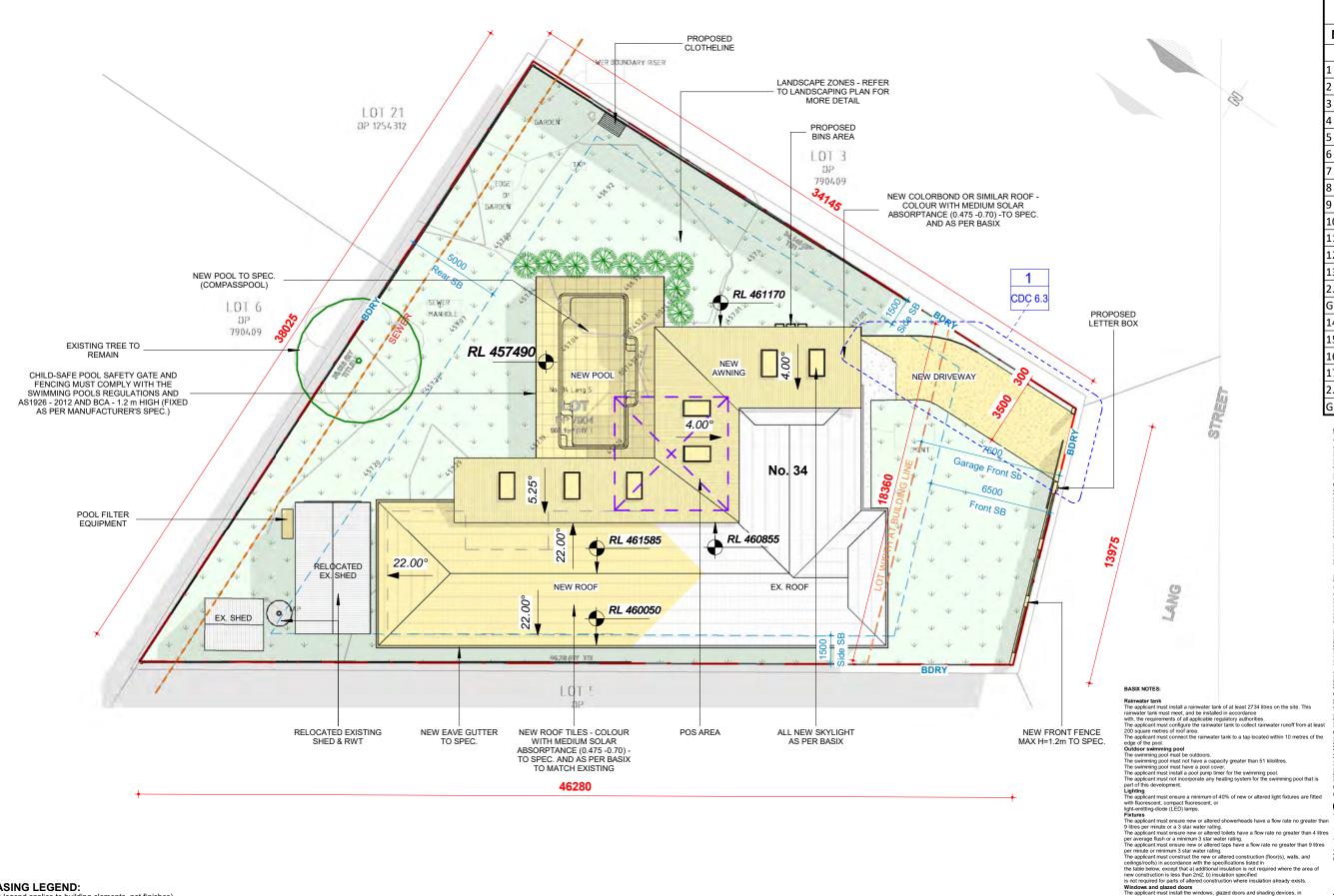
## LEVELAND DETAIL SURVEY PLAN REDUCTION RATIO 1:100@A1



# Survey







## **PHASING LEGEND:**

(Note: legend applies to building elements, not finishes)



NEW WORK



**EXISTING ELEMENTS** 



DEMOLISHED ELEMENTS



LOT AREA	GFA	FSR
964.10 m²	188.09 m²	0.20

46280

LOT AREA	LSA	LSA COVERAGE
964.10 m <sup>2</sup>	487.70 m <sup>2</sup>	50.59%

The opening between batterio materiot ac more than or min.	Drawi	ı: App
above which they are situated, unless the pergola also shades a perpendicular window.  The spacing between battens must not be more than 50 mm.	Email:	info@planland
Pergolas with fixed battens must have battens parallel to the window or glazed door	Phone:	0403 993 876
they are situated when fully drawn or closed.	PO BOX	495 Gymea NS
coefficient of less than 0.35.  External louvres and blinds must fully shade the window or glazed door beside which	trading	<sub>as</sub> plan la
Pergolas with polycarbonate roof or similar translucent material must have a shading		
window or glazed door and no more than 2400 mm above the sill.	newton	teale consulting
verandah, balcony or awning must be no more than 500 mm above the head of the		
Council (NFRC) conditions.  For projections described in millimetres, the leading edge of each eave, pergola.		
values and SHGCs must be calculated in accordance with National Fenestration Rating		
or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-		
Each window or glazed door with standard aluminium or timber frames and single clear		
door:		
The following requirements must also be satisfied in relation to each window and glazed	211	e ria
door door	Cit	e Pla
accordance with the specifications listed in the table below.  Relevant overshadowing specifications must be satisfied for each window and glazed	Drawi	ng:
The applicant must install the windows, glazed doors and shading devices, in		
Windows and glazed doors		
is not required for parts of altered construction where insulation already exists.		
new construction is less than 2m2, b) insulation specified		
ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of		
The applicant must construct the new or altered construction (floor(s), walls, and	Client	:
per minute or minimum 3 star water rating.		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres	M	udge
per average flush or a minimum 3 star water rating.		
9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres	<b>J</b> 4	Lali
The applicant must ensure new or altered showerheads have a flow rate no greater than	21	Lang
Fixtures	Projec	
light-emitting-diode (LED) lamps.	D :	
with fluorescent, compact fluorescent, or		
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted	CLAUS	ES 3.8.5.2 & 3
part of this development.	CONTR	ROLLING CON
The applicant must not incorporate any heating system for the swimming pool that is	METH	OD OF VENT
The applicant must install a pool pump timer for the swimming pool.	NOTE:	
The swimming pool must have a pool cover.		OF THE NCC.
The swimming pool must be outdoors.  The swimming pool must not have a capacity greater than 51 kilolitres.		IN ACCORDA
Outdoor swimming pool		WAY TO HAV
edge of the pool.	NOTE:	

<b>NET AREAS</b>				
No.	NAME	AREA		
1	Ex.Entry	1.65 m <sup>2</sup>		
2	Ex.Family	16.03 m <sup>2</sup>		
2 3 4	Ex. Corridor	4.54 m <sup>2</sup>		
4	Ex.Kitchen	6.36 m <sup>2</sup>		
5	New Dining	26.26 m <sup>2</sup>		
5 6	New Living	29.48 m <sup>2</sup>		
7	Ex.Bedroom 1	8.90 m <sup>2</sup>		
8	Ex.Bedroom 2	13.44 m <sup>2</sup>		
9	Ex.Bath	5.31 m <sup>2</sup>		
10	Ex.WC	1.44 m <sup>2</sup>		
11	Ex.Bedroom 3	15.57 m <sup>2</sup>		
12	Ex.L'dry	3.89 m <sup>2</sup>		
13	Ex.Shed	25.42 m <sup>2</sup>		
2.Grou	nd FFL: 13	158.29 m <sup>2</sup>		
Grann	1			
14	New Kitchen/Living	19.13 m <sup>2</sup>		
15	New Bedroom	11.28 m <sup>2</sup>		
16	New Bath/L'dry	6.32 m <sup>2</sup>		
17	New Pantry	2.39 m <sup>2</sup>		
2.Grou	nd FFL: 4	39.12 m <sup>2</sup>		
Grand	total: 17	197.40 m <sup>2</sup>		

ALL WORK IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS &

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NOTE: LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC. NOTE:

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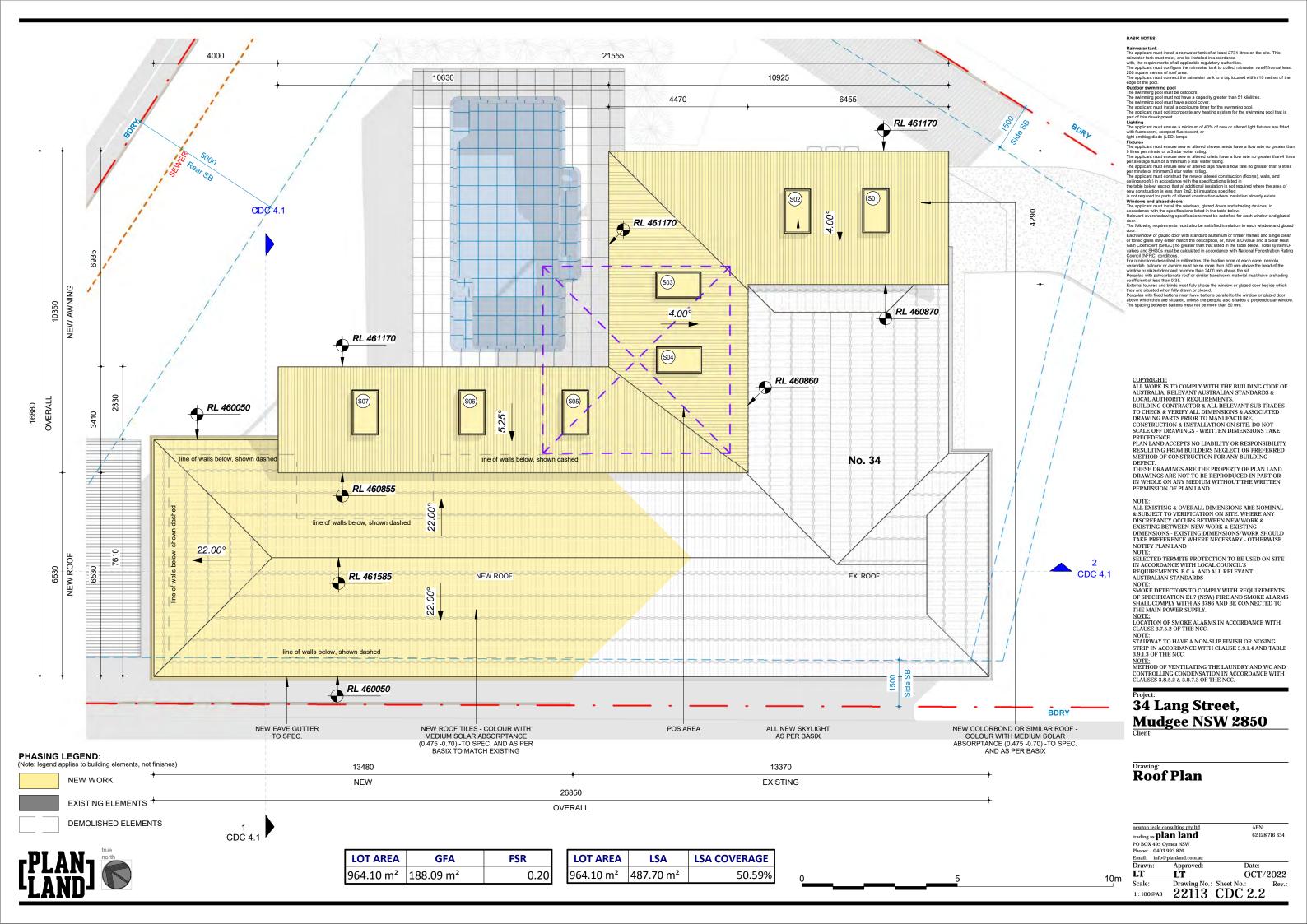
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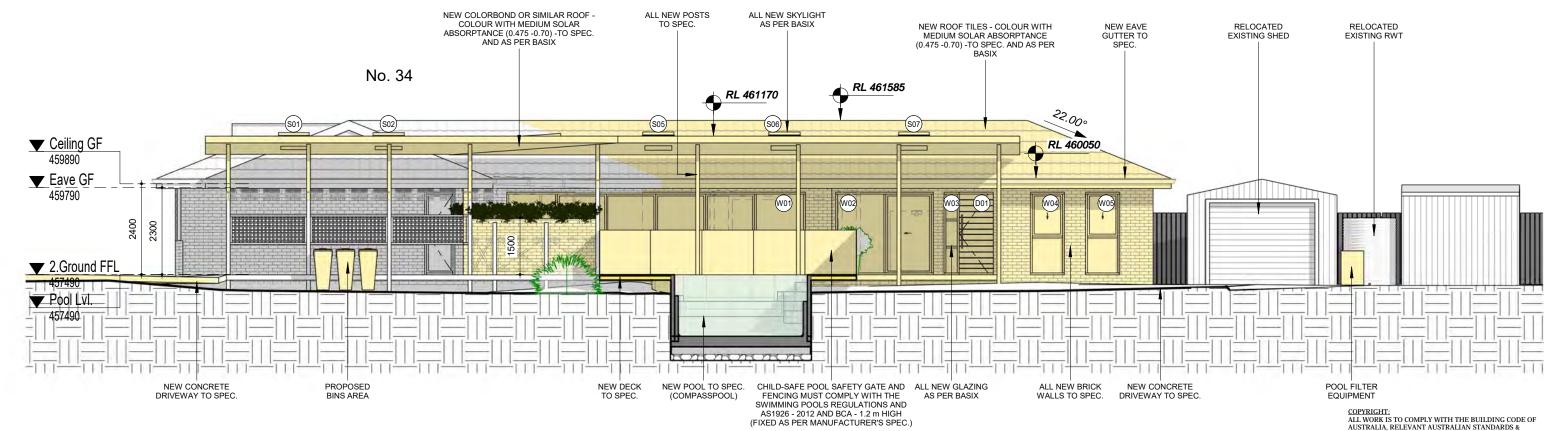
# g Street, e NSW 2850

an

	Drawn	<u> </u>	Date:
۲.		info@planland.com.au	
		0403 993 876	
	PO BOX	195 Gymea NSW	
	trading as	plan land	62 128 716 334
	newton to	ale consulting pty ltd	ABN:

1:200@A3 **22113** CDC 1.1





NEW COLORBOND OR SIMILAR

ROOF - COLOUR WITH MEDIUM SOLAR ABSORPTANCE (0.475 -0.70) -

TO SPEC. AND AS PER BASIX

(S03)

NEW GATE

TO SPEC.

No. 34

Rainwater tank
The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 200 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

edge of the pool.

Outdoor swimming pool
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 51 kilolitres.
The swimming pool must have a pool cover.
The swimming pool must have a pool cover.
The applicant must instalf a pool pump timer for the swimming pool.
The applicant must not incorporate any heating system for the swimming pool that is part office and the property of the swimming pool that is part office and the property of the swimming pool that is part of the swim

The applicant must not incorporate any heating system for the swimming pool that is part of this development.

Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fixorescent, compact fluorescent, or flower of the special state of the state o

Is not required up pairs or americal or an americal will have a second and a second a secon

coor:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHCC) on greater than that listed in the table bebur. Total system U-values and SHCGs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Values and or NCS inside the declaration in accordance with values in execution reasons and consider of Council (NFRC); conditions.

For projections described in millimetres, the leading edge of each eave, pergola, retrandsh, backery or awring must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the still.

Pergolas with polycarborate roof or similar translucent material must have a shading coefficient of less than 0.35.

Esternal courses and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or clear the still propose with the propose with fine better than the values of the pergola with fine better than the values of the propose with they are situated, unless the pergola also shades a perpendicular window The spacing between batters must not be more than 50 mm.

## **PHASING LEGEND:**

building elements, not finishes)

**NEW WORK** 

**EXISTING ELEMENTS** 

DEMOLISHED ELEMENTS

Front (SE) Elevation

Side (NE) Elevation

2

No. 36

1:100

1 1:100

ALL NEW BRICK

WALLS TO SPEC.

ALL NEW SKYLIGHT

AS PER BASIX

4.00° (SO1)

ALL NEW POSTS

TO SPEC.

RL 461170

PROPOSED

BINS AREA

CHILD-SAFE POOL SAFETY

GATE AND FENCING MUST COMPLY WITH THE SWIMMING

POOLS REGULATIONS AND

AS1926 - 2012 AND BCA - 1.2 m HIGH (FIXED AS PER

> 2400 2300

MANUFACTURER'S SPEC.

No. 32

Ceiling GF 

T

459890

Eave GF  $\blacktriangledown$ 

459790

Pool Lvl.

457490

2.Ground FFL 457490

LOCAL AUTHORITY REQUIREMENTS.

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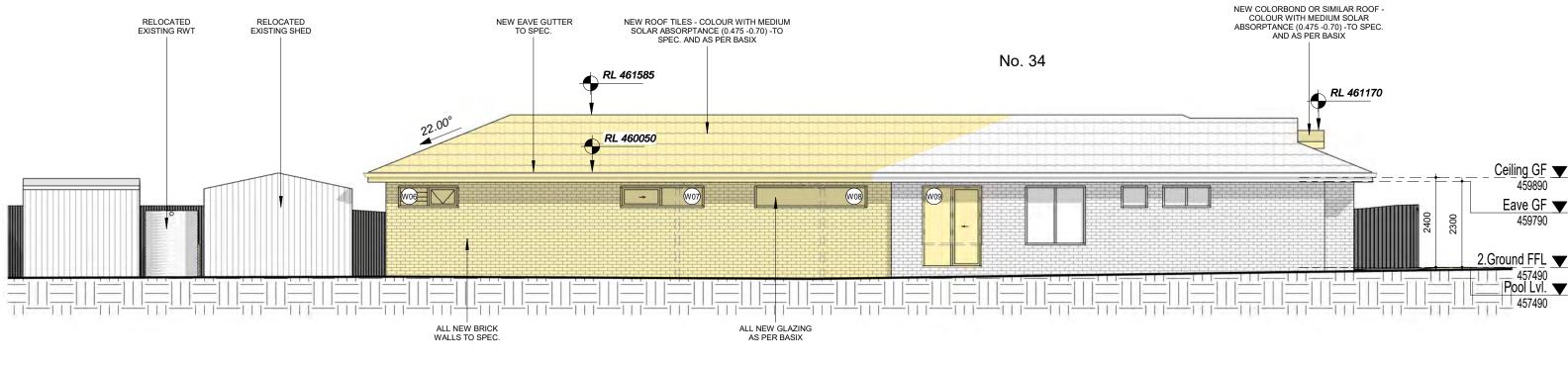
# 34 Lang Street, Mudgee NSW 2850

# **Elevations**

newton teale consulting pty ltd

	trading as p	lan land	62 128 716 334
	PO BOX 495	Gymea NSW	
	Phone: 040	3 993 876	
	Email: info	@planland.com.au	
	Drawn:	Approved:	Date:
m	LT	LT	OCT/2022
	Scale:	Drawing No.:	Sheet No.: Rev.
	1:100@A3	22113	CDC 3.1





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## **PHASING LEGEND:**

building elements, not finishes) **NEW WORK** 

**EXISTING ELEMENTS** 

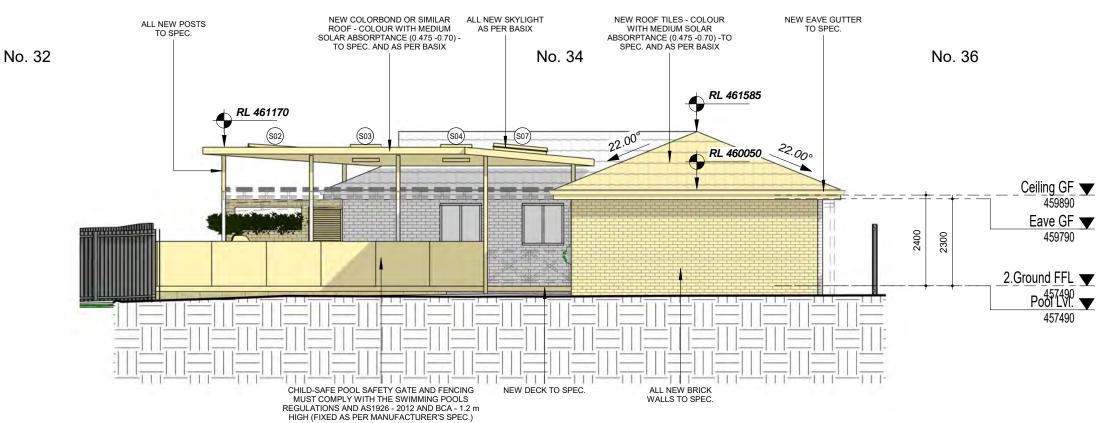
DEMOLISHED ELEMENTS



# Side (SW) Elevation 1:100

Rear (WN) Elevation

1:100



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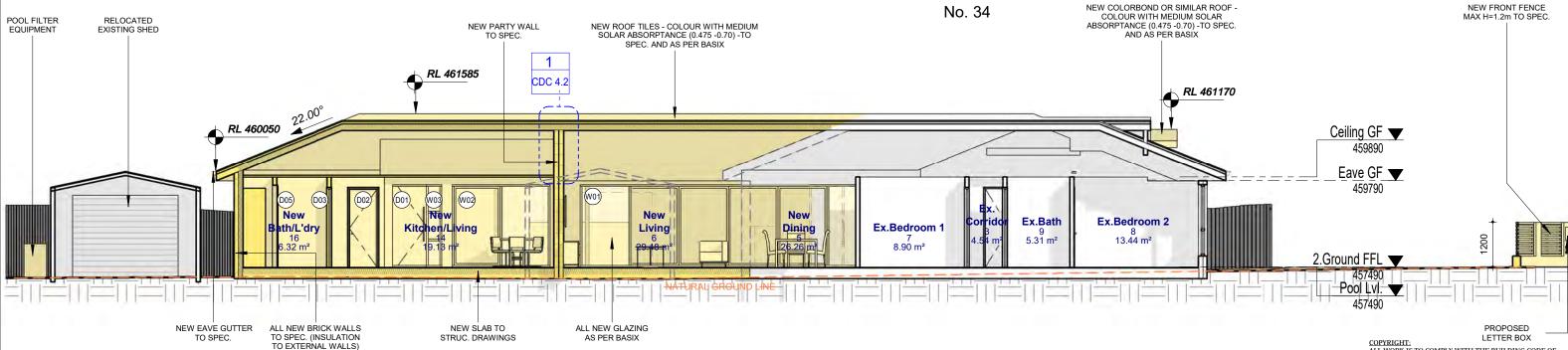
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# 34 Lang Street, **Mudgee NSW 2850**

## **Elevations**

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	trading as <b>p</b>	lan land	62 128 7	16 334
	PO BOX 495	Gymea NSW		
	Phone: 040	3 993 876		
	Email: info	@planland.com.au		
	Drawn:	Approved:	Date:	
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	Scale:	Drawing No.:	: Sheet No.:	Rev.:
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Section 2

1:100

2

Rainwater tank
The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 200 square metres of roof area.
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

edge of the pool.

Outdoor swimming pool
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 51 kilolitres.
The swimming pool must have a pool court.
The swimming pool must have a pool court for the swimming pool.
The applicant must install a pool purp timer for the swimming pool.
The applicant must not incorporate any heating system for the swimming pool that is part of this development. The applicant must not incorporate any heating system for the swimming pool that is part of this development.

Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fixorescent, compact fluorescent, or flower of the special state of the state o

Is not required us parts or amendo. Windows and allazed doors.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed.

coor:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHCC) on greater than that listed in the table bebur. Total system U-values and SHCGs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Values and or NOSC missions be declaration in accordance was reacon accordance was reacon accordance when reacon accordance was reacon accordance. For projections described in milimetres, the leading edgs of each eave, pergola, everandsh, backory or awaring must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the still.

Pergolas with polycarborater for of similar transluterin material must have a shading coefficient of less than 0.55.

External courses and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.

Pergolas with fine de batterin must have batterin parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between batterin surs tax to be more than 50 mm.

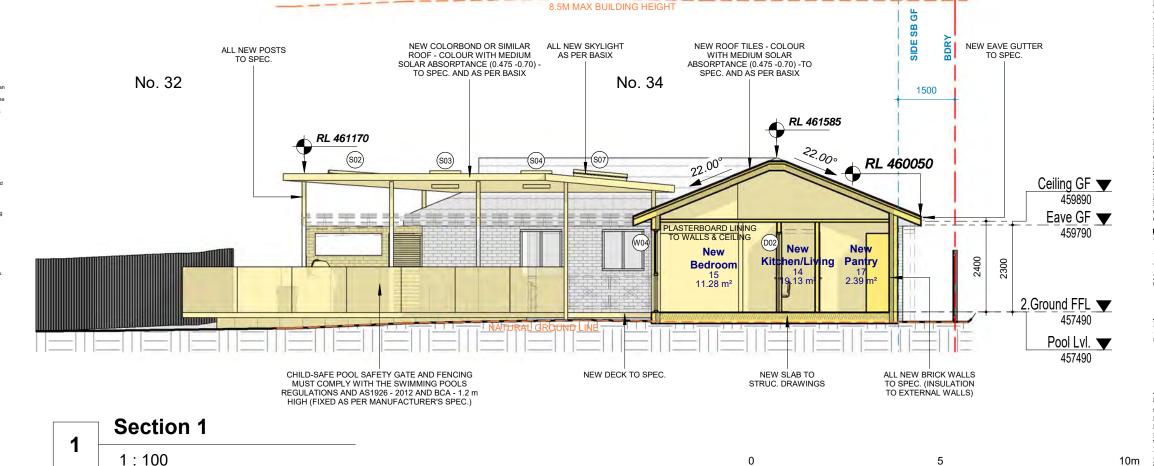
**PHASING LEGEND:** building elements, not finishes)

**NEW WORK** 

**EXISTING ELEMENTS** 

DEMOLISHED ELEMENTS





LETTER BOX

ALL WORK IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY REQUIREMENTS.

LOCAL AUTHORITY REQUIREMENTS.
BUILDING CONTRACTOR & ALL RELEVANT SUB TRADES
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AUSTRALIAN STANDARDS NOTE:
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SMORE DETECTORS TO COMPLY WITH REQUIREMENTS
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SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO
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NOTE: STAIRWAY TO HAVE A NON-SLIP FINISH OR NOSING

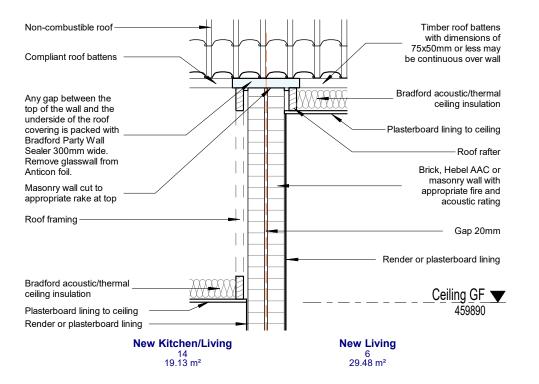
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CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

# 34 Lang Street, Mudgee NSW 2850

Sections

newton teale co	isulung pty ita	ADIN:	
trading as <b>pla</b>	ın land	62 128	716 334
PO BOX 495 Gy	mea NSW		
Phone: 0403 9	993 876		
Email: info@p	planland.com.au		
Drawn:	Approved:	Date:	
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Scale:	Drawing No.:	Sheet No.:	Rev
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The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or fluorescent, compact fluorescent, or fluorescent, compact fluorescent, or fluorescen

Windows and glazed doors
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Relevant overshadowing specifications must be satisfied for each window and glazed door.

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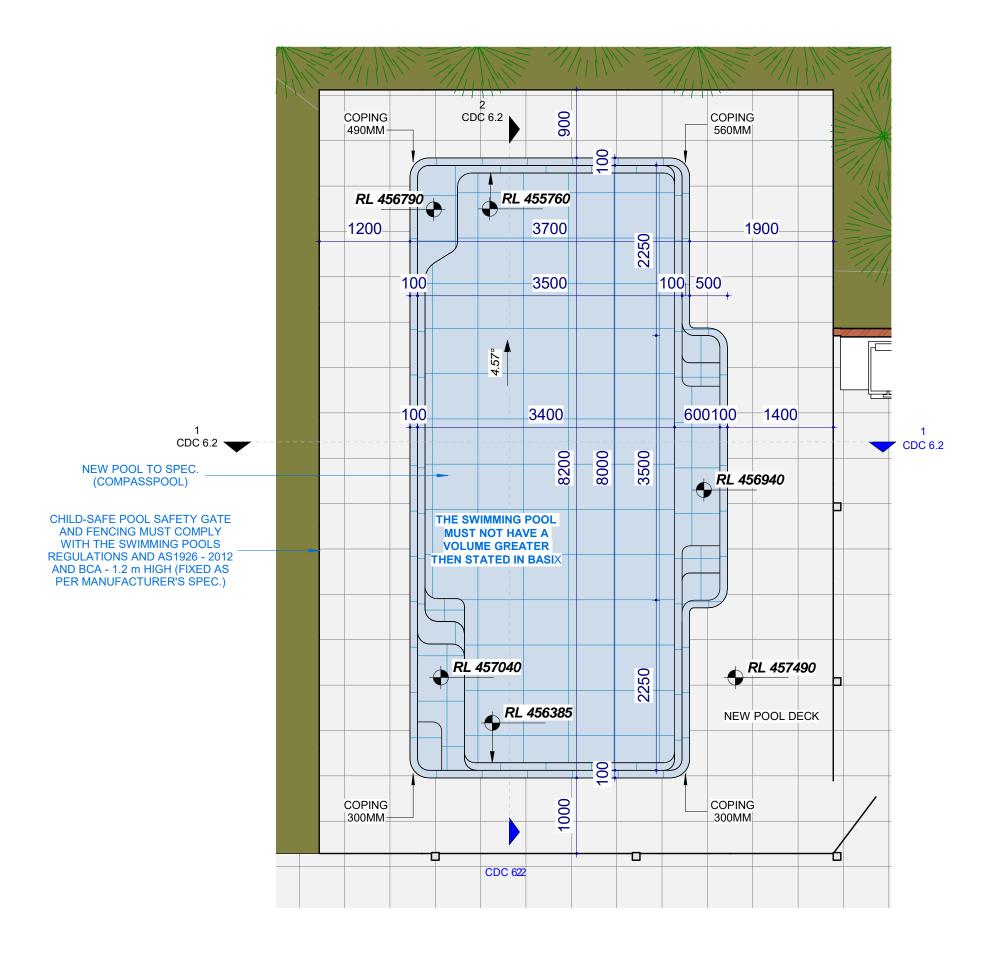
# 34 Lang Street, Mudgee NSW 2850

Detail - Party Wall

newton teale consulting pty lt trading as **plan land** PO BOX 495 Gymea NSW Phone: 0403 993 876 Email: info@planland.com.a OCT/2022 LT LT 2.5 m Drawing No.: Sheet No.: **22113** CDC **4.2** 1:25@A3

ABN:







1:50@A3 **22113** CDC 6.1

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# 34 Lang Street, Mudgee NSW 2850

Pool Plan

	newton teale o	onsulting pty ltd	ABN:
	trading as <b>pl</b>	an land	62 128 716 3
	PO BOX 495 (	Gymea NSW	
	Phone: 0403	993 876	
	Email: info@	®planland.com.au	
	Drawn:	Approved:	Date:
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1:50

200 2.Ground FFL RL 457490 457490 Pool Lvl. RL 456940 457490 NATURAL GROUND LI THE SWIMMING POOL MUST **NOT HAVE A VOLUME GREATER** THEN STATED IN BASI 4.57 RL 456385 RL 455760 8200 900 1000 **DECK POOL DECK** CHILD-SAFE POOL SAFETY GATE AND NEW POOL TO SPEC. (COMPASSPOOL) FENCING MUST COMPLY WITH THE SWIMMING POOLS REGULATIONS AND AS1926 - 2012 AND BCA - 1.2 m HIGH (FIXED AS PER MANUFACTURER'S SPEC.)

# **Pool Section 1**

1:50

(FIXED AS PER MANUFACTURER'S SPEC.) 1200 RL 457490

Pool Lvl.

457490

457490

2.Ground FFL

CHILD-SAFE POOL SAFETY GATE AND

FENCING MUST COMPLY WITH THE

SWIMMING POOLS REGULATIONS AND

AS1926 - 2012 AND BCA - 1.2 m HIGH

THE SWIMMING POOL MUST NOT HAVE A **VOLUME GREATER THEN STATED IN BASI**X

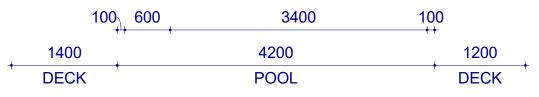
RL 456790

RL 456385

NEW POOL TO SPEC.

(COMPASSPOOL)

105





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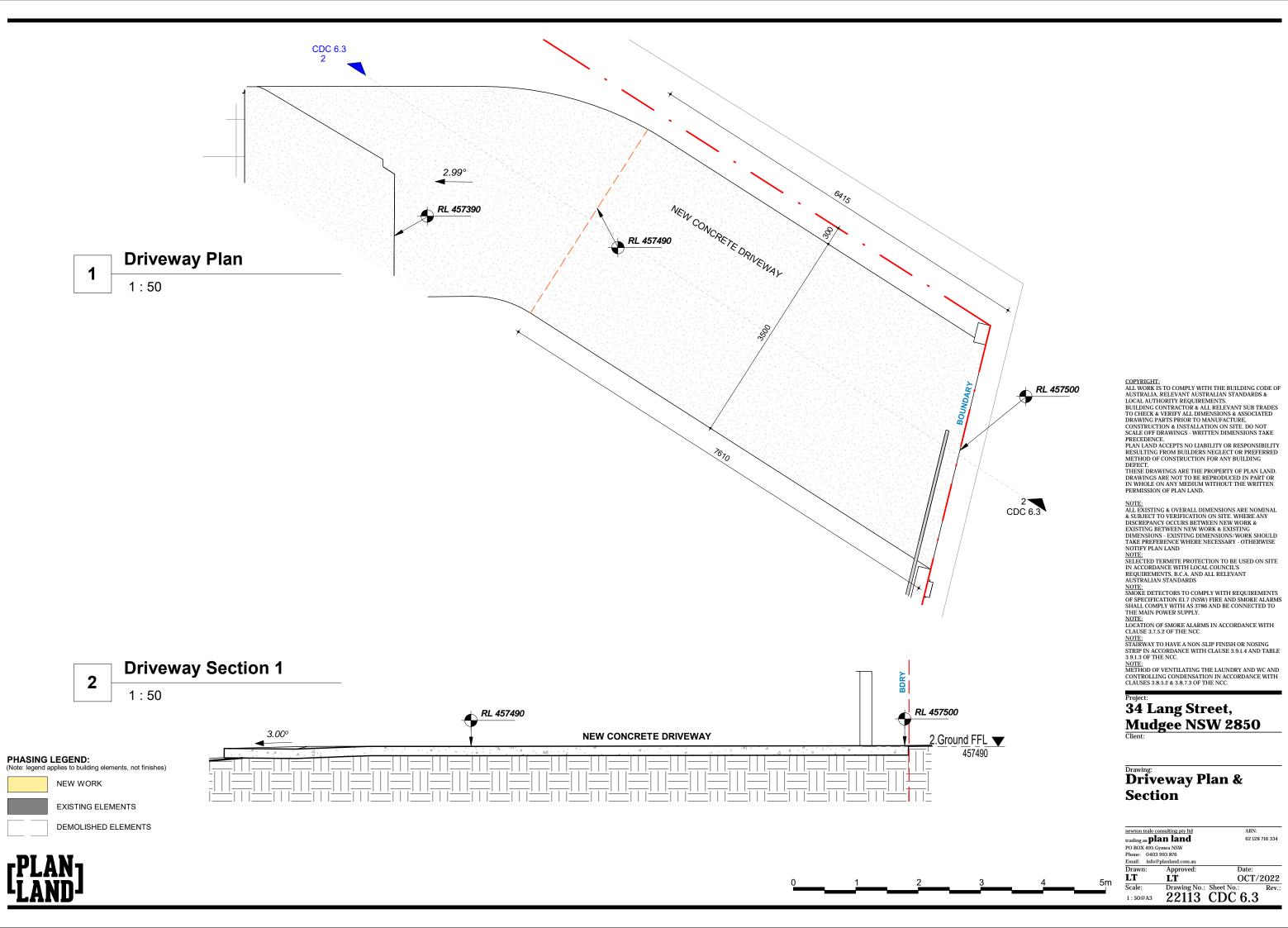
# 34 Lang Street, Mudgee NSW 2850

1:50@A3

**Pool Sections** 

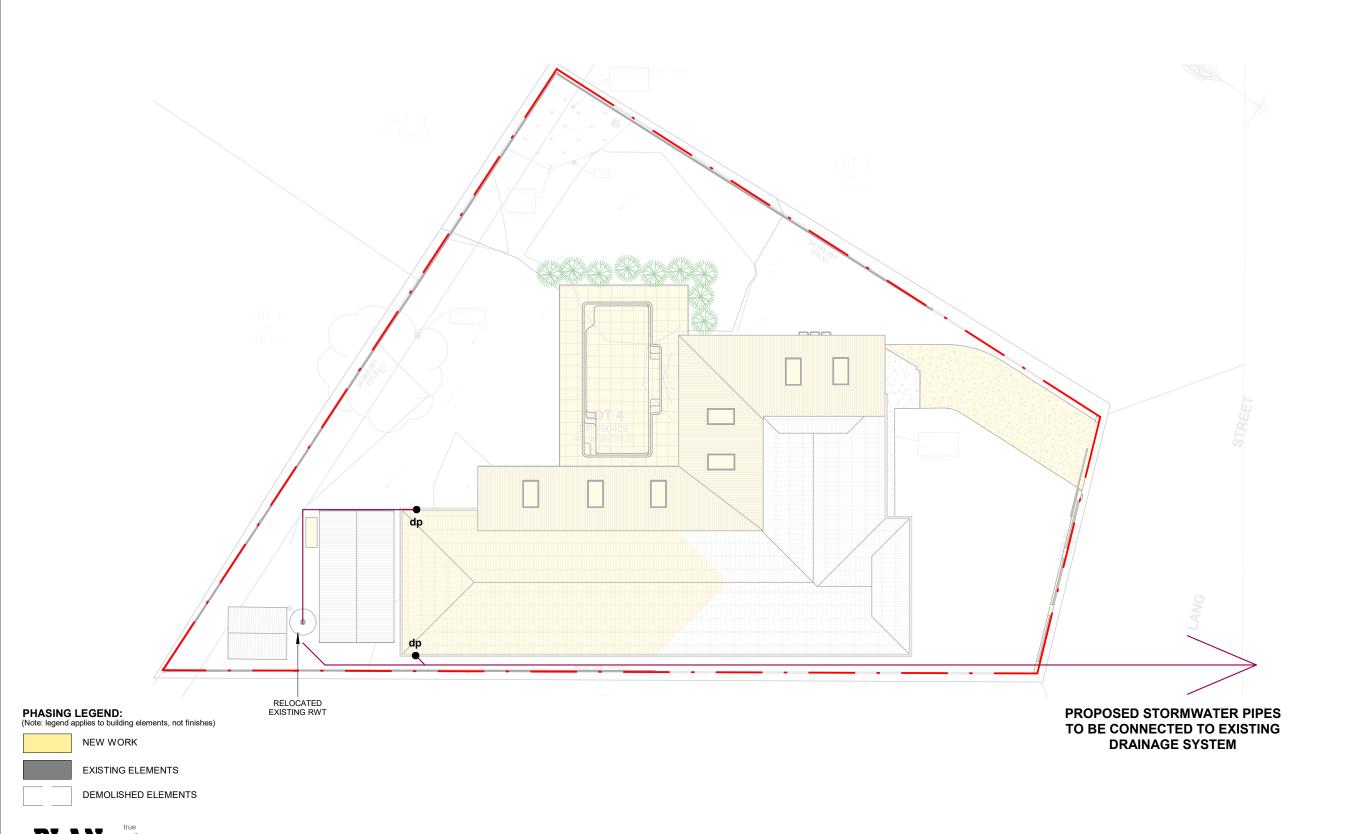
LT	LT	OCT/2022
Drawn	: Approved:	Date:
Email:	info@planland.com.au	
Phone:	0403 993 876	
PO BOX	495 Gymea NSW	
trading a	splan land	62 128 716 334
	eale consulting pty ltd	ABN:

Drawing No.: Sheet No.: **22113 CDC 6.2** 



ABN:

OCT/2022



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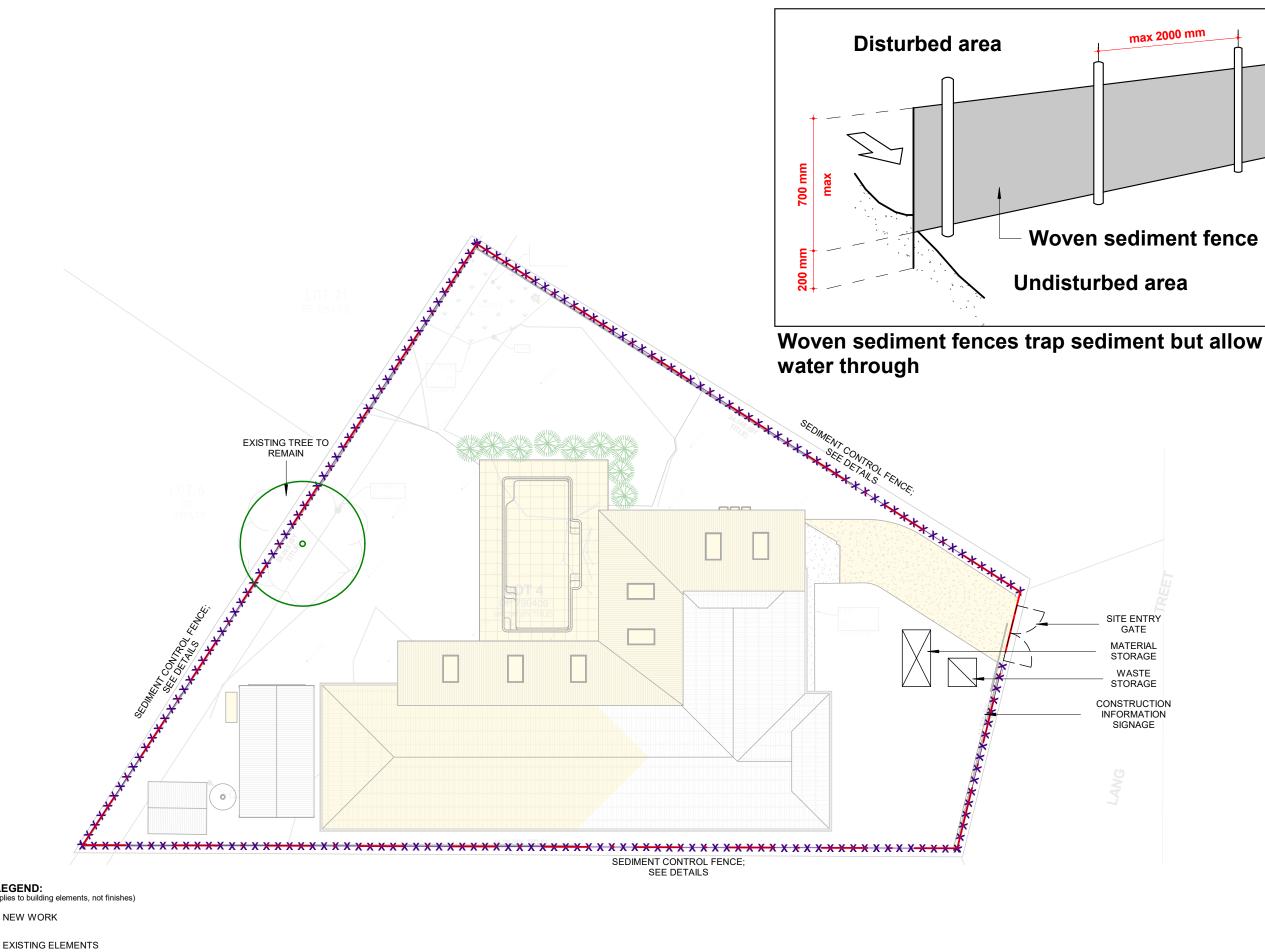
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# Project: 34 Lang Street, Mudgee NSW 2850

# Concept Drainage Plan

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	Scale:	Drawing No.:	Sheet No.:	Rev.:
) m	LT	LT		7/2022
	Drawn:	Approved:	Date:	
	Email: info@	planland.com.au		
	Phone: 0403	993 876		
	PO BOX 495 G	mea NSW		
	trading as pla	ın land	62	128 716 334
	newton teale co		ABI	N:

20 ו



# PHASING LEGEND:



NEW WORK



DEMOLISHED ELEMENTS





# **LEGEND:**



MATERIAL



WASTE STORAGE



SEDIMENT CONTROL FENCE



SITE ENTRY GATE



EX. TREE TO BE RETAINED AND PROTECTED DURING CONSTRUCTION



EX. TREE TO

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# 34 Lang Street, Mudgee NSW 2850

# Construction Mgmt. Plan

nowton tools o	onsulting pty ltd	ABN:	-
	an land	62 128 716	3
PO BOX 495 C			
Phone: 0403	993 876		
Email: info@	planland.com.au		
Drawn:	Approved:	Date:	_
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As indicated	@A22113	CDC 7.1	

## 1 LANDSCAPE PRELIMINARIES

## GENERAL

#### GENERAL

This preliminary Specification is not for Tender or construction.

The Specification Generally

This Landscape Specification is to be read with the Architectural Specification. Any Specification detail not in this Landscape Specification is to be taken from the Architectural Specification, then taken from other documents as appropriate This Landscape Specification <u>must</u> be read with the Architectural Specification <u>including</u> common <u>SECTIONS 1 Preliminaries</u>, 2 Fixing & Sealing, & 3 Metalwork

Maintenance & Establishment Refer to the Soft Landscaping SECTION of this Landscape Specification for detail of soft landscaping maintenance & establishment.

Maintain & establish all Work after Practical Completion for 12 months at 1 Month intervals. Immediately make good to any Work of which quality has become less than that documented

SUBMIT inspection log immediately after each inspection

## **2 GROUND WORKS**

#### **GENERAL**

#### **GENERAL**

Provide Work as per this SECTION & as doc elsewhere

#### REFERENCED DOCUMENTS

#### Cross References

Read with Architectural Specification SECTIONS 1 Preliminaries, 2 Fixing & Sealing, 3 Metalwork & all related SECTIONS & other documents.

For detail in this specification of the following, refer

-Fertilizer - Soft Landscaping SECTION. - Mulch - Soft Landscaping SECTION.

Provide to documented A/O Standards including associated Parts, if those Parts are Work related. Refer also the Architectural Specification Preliminaries SECTION. Sub-SECTION 1. Clause 'Referenced Documents (RD)'.

#### INTERPRETATION

Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 1, for definition of other italicized text.

-Bad ground: Includes ground contaminated, soft, liable to subside, containin cavities/faults/fissures.

-Base: One or more layers of material on which surface payement may be placed composed of either, fine crushed rock, natural gravel, broken stone, stabilised material, asphalt or concrete

-Formation: Surface of the finished earthworks, excluding batters &

-Line of influence: A line extending down & out approx 45 deg from footing/slab bottom outside edge, defining the extent of foundation material supporting the ooting or slab. To be confirmed by a Geotechnical Engineer.

-Rock: Monolithic material, pre-excavation (in-ground) volume more than .5m<sup>3</sup>, which can't be removed until broken up by percussion tools. -Subbase: The material laid on the subgrade below the Base to make up additional thickness, to prevent subgrade intrusion into the Base & to transfer

oad to the subgrade. -Subgrade: The prepared portion of the formation on which the subbase then Base, is constructed.

## **INSPECTION & TESTING**

Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 4 'Inspection & Testing'. Refer also Specification text. SUBMIT results of tests & nspections. NOTIFY for inspection of:

-Initial set-out of paving, garden beds, features, structures.

-Services laid in trenches, ready for backfilling.

-Completed excavation, ready for laying of subsequent materials.

-Completed proof roll of subgrade before filling

-Fill completion

-Cultivated ground ready for topsoil.

## SUBMISSIONS

Refer items written SUBMIT, in text. Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 5.

SUBMIT also -Erosion & Sediment Control Plan.

## MATERIALS

## MATERIAL COMMON DETAIL

Read with Architectural Specification SECTIONS 1 Preliminaries, 2 Fixing & Sealing, 3 Metalwork.

Pedestrian/vehicle surfaces & their edges (nosing) to be slip-resistant Provide anti-tamper fixings as per Architectural Specification Fixing & Sealing SECTION.

Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 3 'Materials' for more materials detail

# **RELATED SPECIFICATION DETAIL**

\*\* Refer to this page header note\*\*

## MISCELLANEOUS MATERIALS

Refer to the applicable Specification SECTIONS for description of external products & materials

#### TOPSOIL

#### General

opsoil to comply with AS 4419 'Soils for Landscaping' & ASTM D5268-07 Standard Spec for Topsoil'. Potting Mix to comply with AS 3743. Soil conditioner to AS 4454 'Composts, Soil Conditioners & Mulches'.

Podium/Building Planter Soils: **NOTIFY** if type & composition not doc. Allow to rovide high performance lightweight soil mix.

Test both imported & Site obtained topsoil & potting mixes to AS 1289 (Methods of Testing Soil) & *AS* 3743. *Provide* 1 test per 10 m³. *Provide* Soil Supplier Test ompliance Certificate.

Topsoil to contain organic matter 6-8% by mass & have sandy loam texture to AS

Soil organic matter to be 6-8% by mass

Imported topsoil mix to comply with the following

-Contain organic matter which supports plant life.

-Components to be evenly distributed throughout the mix. -Mixes to be mechanically screened prior to despatch using screen size:

-The mix is to be moist but still free flowing & of such moisture content that water cannot be squeezed from it by hand.

-Material to be void of ingredients which display high shrinkage tendencies. -Free of acrid odours (including those caused by excessive ammonia or

organic acids), chemicals & toxins detrimental to plants & human touch contact. -Free of stones, clay lumps, weeds and weed propagules including Cyperus Rotundus (nut-grass tubers), tree roots, sticks, rubbish, sharp items & other

oreign matter. -Free of pests and diseases such as pathogenic organisms e.g. Phytophthora spp and the larval stage of insect pests.

**SUBMIT** 1 kg sample of imported of test-passed topsoil & 1 kg of test-passed potting mix with the Soil Supplier Test Compliance Certificate. SUBMIT detail of soil additives

#### Topsoil Spreading

Topsoil to grassed and turfed areas: 100mm (min) thick.

Topsoil to planting areas: 300mm (*min*) thick (add 75mm to this *min* thickness fo planting area crown)

. Crown topsoil in planting areas.

ightly consolidate topsoil to a smooth surface, free from lumps of soil and roots, ready for planting.

rogressively layer (max 100mm compacted thickness) & tamp topsoil to prevent voids & subsidence. Prevent excess compaction.

Add topsoil (including during the Defects Liability Period) to bring subsided topsoil back up to doc levels.

## CULTIVATION

Cultivate to loosen the existing ground to receive topsoil. Cultivation depth for grassed areas: 150mm deep. Cultivation depth for plants & planting areas: 300mm deep. Break-up cultivated earth so that pieces are less than 50mm. Remove stones exceeding 50mm, and any other deleterious material from cultivated earth

# including roots, sticks, weeds,

Bulk fill may be imported or obtained from Site.

Material Records: SUBMIT Supplier name, material detail & source. SUBMIT NATA Registered Laboratory Certificate, including test results, certifying material compliance with intended use as determined by the NATA Certifier. Min 1 test pe 50m3. min 2 tests.

Remove materials that will prevent satisfactory filling. Do not provide fill with sulphur content exceeding 0.5%. Max rock & lump size: 2/3 compacted layer

Do not fill with: a) organic soils, top soil, silt or silt-like materials, b)

soluble/leachable substances, or materials which change volume or weaken who worked or wet, c) fill containing contaminants, wood, metal, plastic or other deleterious, organic or perishable material.

Spray water to obtain moisture content, uniformly in controlled quantities over uniform lane widths.

Do not place material or equipment on surfaces weakened by moisture. Commence compacting close to structures & compact away from structures. Batter Faces: Compact separately or overfill & cut back. Form roughened surfaces.

Test completed fill: 1 test per layer per 200m2. Refer 'Geotechnical Testing

Lay in 200mm finished layers. Mix fill uniformly. Place fill in near-horizontal layers of uniform thickness, systematically deposited. Do not feather edges at junctions of fill & existing surfaces.

## **PAVEMENT BASE & SUBBASE**

Extent: Provide under pavements.

Material Records: SUBMIT Supplier name, material detail & source. SUBMIT NATA Registered Laboratory Certificate, including test results, certifying material compliance with intended use as determined by the NATA Certifier. Min 1 test pe 50m<sup>3</sup> min 2 tests

Base & Subbase: Crushed rock or natural gravel. SUBMIT NATA Registered

aboratory Certificate, including test results, certifying material compliance with ntended use as determined by the NATA Certifier

Test completed base & subbase: Min 1 test per layer per 200m<sup>2</sup>. Refer Geotechnical Testing' below.

Lay in 75-150mm finished layers, with equal layers in multilayer courses.

#### SITE STORMWATER

Comply with the following Standards

Joining: Up-stream pipes socket into down-stream pipes. Cap in-complete, oper

Anchor Blocks: In-situ concrete, to pipe junctions & changes of grade or direction Before backfilling or concealing, conduct air or water pressure tests to AS 3500. Test each run or line, UDO. Clean & flush the stormwater system.

ubsoil Slotted Pipe/Cell Drainage: Provide if required for drainage. Min area = 100mm dia pipe to AS 2439, geotextile fabric (to AS 3706) wrapped (no soil to ter the system), laid to fall, run in free draining granular fill (eg 5-10mm gravel) which is also geotextile fabric wrapped, connected to the stormwater system. rovide drains behind all retaining walls at wall base. Min depth 250mm below inished surface

Prevent erosion, contamination & sedimentation of Site/adjacent areas/stockpiles/drainage systems.

Keep Works free of ponding water. Maintain surfaces/excavations/drains to allow drainage. Do not place materials, including fill, on water logged ground. Prevent water flow over new Work. Obtain relevant Statutory Authority approvals.

#### **EXECUTION**

## **EXECUTION COMMON DETAIL**

Genera Read with Architectural Specification SECTIONS 1 Preliminaries, 2 Fixing 8 Sealing, 3 Metalwork. Refer Sub-SECTION 2 'Materials' (above), for specific

material execution detail Control weeds by non-chemical means. Mow grassed areas to height *min* 75mm max 200mm

**NOTIFY** upon un-doc or un-expected ground work discoveries including cavities water, rock, contaminated or hazardous materials, land-fill, archaeologica

External surfaces to fall away from buildings & structures. NOTIFY to confirm fall if thev are not doc.

NOTIFY on finding a hazardous material which include

Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 4 'Building Work' for more execution detail.

#### GEOTECHNICAL TESTING

Test (as doc. min 2 tests) excavations, fill, subbases & Bases to AS 3798 by a NATA registered Geotechnical Test Authority. Test against requirements for tended use as determined by the NATA Certifier.

SUBMIT Geotechnical Engineer certification of completed formation & ground bearing capacity (both natural & fill) is as doc or adequate to support building

Proof roll all excavations (except trenching), fill, subbases & Bases, to determine extent of bad ground as advised by NATA registered Geotechnical Test Authority. emove & reinstate bad around.

## SITE CLEARING & EXCAVATION

Site clear as doc, as min for Work. Dispose of off-Site, excess excavations, rubbish, grass, vegetable/

organic debris, stumps, rocks/rubble & disused built elements, including slabs, ootings, paving, UDO.

n areas to be cleared & where doc to remove trees/plants, remove stumps & emove roots over 15mm dia within 200mm below ground surface. Backfill rubbing holes with sandy loam, compacted to the relative density of the adjacent

emporarily stockpile on-Site topsoil excavated from the Work area, UDO. Remove excess excavations from Site.

Do not use explosives. Excavation Tolerance: +0 -20mm. Finish self-draining, no ponding, scraper blade inish to even plane

Record excavation & fill quantities, including rock quantities by Licensed Surveyor Pre-excavation (in-ground) volume applies for excavation measurement. Rock Excavation: No Contract variation given for rock excavation.

Compact excavations/formations. Test finished excavations: Min 1 test per 200m Refer 'Geotechnical Testing' above. f excavation exceeds required depth, deteriorates or has bad ground removed,

einstate to doc depth & bearing capacity. Prevent void formation. Fill & compact oids to match surrounding material. Provide temporary excavation support & remove when not required. Provide temporary then permanent excavation support below line of influence as

doc. If not doc, allow this support as advised by the Geotechnical Engineer & NOTIFY.

## TRENCHING

## General

Excavate trenches: a) to uniform grades, b) in straight lines between oits/inspection points/junctions, c) sides stable & supported, d) widths min & consistent, e) clean, no projections, no obstructions, no water, f) with a firm base Cut tree roots within 600mm of services. No access over open trenches. Over-excavation: Reinstate to correct depth & bearing value using compacted edding material or sand stabilised with 1 part of cement to 20 parts of sand by

Trenches open for *min* time. Backfill as soon as possible after service laid & pedded, if possible, same day. Place backfill in layers max 150mm compacted If boring under pavements is required, provide a tight fit of service pipes. Pressure grout fill voids.

## Trench Backfill

Services Marking: Min 350mm above services, lay underground marking tape (to AS/NZS 2648.1).

Bedding Material: For bed & haunch zones to be granular material, grading as per AS 1141.

Fill (General): Well graded, inorganic, non-perishable material, max size 75mm plasticity index to be under 55%. No stones more than 25mm size within 150mm of services

Fill under roads & paved areas & within 4000mm of structures to be coarse sand, controlled low strength material or 'B' grade fine crushed rock. Compact to achieve 95% solidified compaction test as per AS 1289 at optimum moisture content.

Fill In Topsoil Areas: Compact to min equal to that of adjacent

## **3 SOFT LANDSCAPING**

## **GENERAL**

## **GENERAL**

Provide Work as per this SECTION & as doc elsewhere.

## REFERENCED DOCUMENTS

#### Cross References

Read with Architectural Specification SECTIONS 1 Preliminaries, 2 Fixing & Sealing 3 Metalwork & all related SECTIONS & other documents

For detail in this specification of the following, refer:

-Excavation - Ground Works SECTION.

-Topsoil - Ground Works SECTION.

Provide to documented A/O Standards including associated Parts, if those Parts are Work related. Refer also the Architectural Specification Preliminaries SECTION, Sub-SECTION 1, Clause 'Referenced Documents (RD)'.

## INTERPRETATION

Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 1, for definition of italicized text.

#### **INSPECTION & TESTING**

Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 4 'Inspection & Testing', Refer also Specification text, SUBMIT results of tests & inspections. NOTIFY for inspection of:

-Plants at Nursery ready for delivery to Site. -Grassing bed prepared prior to turfing or seeding

-Garden bed/grassed area edge set-out. -Planting set out before planting.

-Planting start. -Staking and tying completed

Preliminaries SECTION, Sub-SECTION 5.

-End of establishment period.

SUBMISSIONS Refer items written SUBMIT, in text. Refer Architectural Specification

## MATERIALS

## **MATERIAL COMMON DETAIL**

Read with Architectural Specification SECTIONS 1 Preliminaries, 2 Fixing & Sealing, 3 Metalwork,

Provide plant life in healthy condition, without scarring or deformations. Establish plant life for optimum growth for the environmental conditions. Continuously Work to keep plant life free of disease, and free of plant (weeds) & animal pests. Immediately replace failed planting

Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 3

## 'Materials' for more materials detail **RELATED SPECIFICATION DETAIL**

\*\*\* Refer to this page header note\*\*\*

Provide mulch to AS 4454 'Composts, Soil Conditioners & Mulches'. Mulch to be free of deleterious and extraneous matter including soil, weeds, sticks, roots Mulch to be sieved to size to prevent accumulation of mulch fines. SUBMIT 1 kg samples of each mulch type.

Spread mulches evenly to a *min* depth of 100mm, *UDO*. Grade the finished surface evenly. Do not place mulch in contact with stems of plants.

## CHEMICALS.

FERTILIZER

**SUBMIT** a Schedule of proposed chemicals to be used in landscape construction & maintenance including additives, pesticides, herbicides, un-doc fertilizer, disease treatments

## Manufacturer name.

Turf to be comprised of consistently thick grass & root (fully soiled) parts. Grass

Deliver fertilizer to Site in sealed bags, branded with the fertilizer type &

part to be 20mm thick, root part to be 25mm thick. Evenly mix fertilizer into the topsoil before placing the turf. Lay turf within 24 hours of cutting. Prevent turf from drying out between cutting

PO BOX 495 Gymea NS Phone: 0403 993 876 Email: info@planland.com.

ading as plan land

22113 CDC 7.3

ALL WORK IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY REQUIREMENTS.

BUILDING CONTRACTOR & ALL RELEVANT SUB TRADES TO CHECK & VERIFY ALL DIMEN DRAWING PARTS PRIOR TO MANUFACTURE DRAWING PARTS PRIOR TO MANUFACTURE,
CONSTRUCTION & INSTALLATION ON SITE. DO NOT
SCALE OFF DRAWINGS - WRITTEN DIMENSIONS TAKE
PRECEDENCE.
PLAN LAND ACCEPTS NO LIABILITY OR RESPONSIBILITY
RESULTING FROM BUILDERS NEGLECT OR PREFERRED
METHOD OF CONSTRUCTION FOR ANY BUILDING
DEEECT.

DEFECT. THESE DRAWINGS ARE THE PROPERTY OF PLAN LAND. DRAWINGS ARE NOT TO BE REPRODUCED IN PART OR IN WHOLE ON ANY MEDIUM WITHOUT THE WRITTEN

PERMISSION OF PLAN LAND.

NOTE:
ALL EXISTING & OVERALL DIMENSIONS ARE NOMINAL & SUBJECT TO VERIFICATION ON SITE. WHERE ANY DISCREPANCY OCCURS BETWEEN NEW WORK & EXISTING BETWEEN NEW WORK & EXISTING DIMENSIONS - EXISTING DIMENSIONS/WORK SHOULD TAKE PREFERENCE WHERE NECESSARY - OTHERWISE NOTIFE JULIA JULIAND.

OTIFY PLAN LAND NOTE: SELECTED TERMITE PROTECTION TO BE USED ON SITE IN ACCORDANCE WITH LOCAL COUNCIL'S REQUIREMENTS, B.C.A. AND ALL RELEVANT

AUSTRALIAN STANDARDS

NOTE:
SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO

NOTE: LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC. NOTE: STAIRWAY TO HAVE A NON-SLIP FINISH OR NOSING STRIP IN ACCORDANCE WITH CLAUSE 3.9.1.4 AND TABLE

3.9.1.3 OF THE NCC. NOTE:
METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

# 34 Lang Street, Mudgee NSW 2850

Landscape **Specifications** 

ABN:

LT LT OCT/2022 and laying.

Lay turf along land contours with staggered, butt joints. Immediately after laying, roll turf with a 90 kg/m roller. Fill joints & depressions with topsoil. On slopes too steep for rolling, evenly tamp the turf.

Immediately after rolling, irrigate with a fine spray so that the soil is moist to a depth of 100mm

Lay turf flush with adjacent surfaces. Grade falls evenly. Turf surface to be smooth & consistent.

When turf is established, mow at 25mm above soil level, remove cuttings & top dress max 10mm deep with topsoil to fill joints and correct surface unever 21 days after turfing, broadcast evenly a minimum of 10 g/m2 of sulphate of ammonia fertiliser over the whole of the area of turfing.

When the turf is established, mow at regular intervals to maintain an average

Manually extract weeds that emerge in the turfed areas. Where necessary spray with a selective broad leaf weed herbicide.

Tolerance: Max 15mm under a 3000mm straight edge any direction.

## **GRASS SEEDING**

Site deliver seeds in sealed bags labelled with product & Supplier name. Seeds to be max 2 years old, of min 98% purity, of min 85% germination viability. SUBMIT Supplier Compliance Certificate of these seed characteristics Sow seeds for even spread by mechanical means. Lightly rake seeds into soil to

Less than 90% seed dermination at 3 weeks after sowing will be deemed seeding failure. Less than 90% seeded grass coverage at 12 weeks after sowing will be deemed seeding failure. Replace failed seeded grass with Site

Regularly mow seeded grass to be nominally 50mm high, max 30% off grass height in a 2 week period.

Tolerance: Max 15mm under a 3000mm straight edge any direction.

## PLANTING

## Plant Quality

Plants to have well-balanced branching foliage typical of their species for the

Plants to be free from pests, diseases, physiological disorder & nutritional deficiency, and be substantially free from evidence of any previous disorder Plants shall have been grown in their final containers in environmental condition similar to that expected for where they will be planted, for min 42 days before Site delivery

Plants to be planted in the sun are to be previously 'sun grown' or 'sun hardened' for min 42 days before Site delivery

Site deliver plants in pathogen free, weed free medium.

Plant roots to be undamaged, unrestricted, well-proportioned in relation to the size of the plant & suitable for transplantation

Label (durable weather-proof tag) each plant by botanical name, common nam & characteristics

Tree Stock: To be single trunk. To have crown foliage symmetry. SUBMIT certification by independent Horticulturalist (at Contractors expense) that plant stock provided is compliant with that documented

Provide plants in new or sterilised recycled polypropylene containers or polythene bags of potting media volumes, sized as follows, UDO:

Height (mm)	Pot Diameter (mm)	Potting Media Volume (litres dry)
150	140	2
200	200	4
300	300	13
400	400	45
450	400	76
500	500	104

Excavate planting holes to a size that allows the following min amount of topsoil backfill beneath & around the plant root system, UDO:

Plant Height at time of planting (excluding the root ball – mm)	Thickness/depth of topsoil around the root ball
0-300	100
300-500	150
500-1000	200
1000-2000	250
2000-2500	350
2500-3000	450
Over 3000	550

Thoroughly water plants immediately before planting. Thoroughly water the planting hole immediately before planting.

Remove plants from containers with *min* soil loss & root disturbance. Lightly brush the root ball surface to loosen root ends.

Position plants in the centre of planting holes. Set plants plumb & at a level for natural relationship of the plant with the ground surface Backfill with topsoil to be firm around the plant without air pockets. Dish the soil around plants for water capture (dish diameter to match pot diameter or root ball)

Place slow release prolonged release type fertilizer around plants at the time of

For plants to be over 2000mm tall at maturity, vertically embed in the backfill, a 75mm dia. 300mm length of black colour, slotted agricultural drain pipe behind the plant (protruding above the mulch 20mm) as a deep watering mechanism. Place mulch to 50mm deep in the base of the pipe.

Commence planting immediately after Site delivery.

If unforeseen planting delay occurs, transplant plants into larger pots.

Do not plant in unsuitable weather conditions including extreme heat, cold, wind

Arrange sufficient off-Site plant quantities to allow for on-Site plant failures to avoid delay.

Replace dead or dying plants up to the end of the Defects Liability Period. Replace damaged plants up to Practical Completion

## Transplanting

SUBMIT a Transplanting Plan including operational detail, timings, ball diamete & depth, extraction methods, lifting methods, watering program, plant health monitoring. **NOTIFY** of intention to transplant.

Use only nylon endless slings or canvas slings for lifting. Fransplanting is to be done as quickly as possible with holes and other materials & equipment required to carry out the planting procedure, ready & prepared at

#### time of extraction Stakes & Ties

Plants with stems or trunks to be staked to give plant support. Stakes to be straight, undamaged, have flat top ends & pointed driving ends.

Stakes & components (ties, caps) to be of a neutral & natural colour (ie grey, black, brown) which can be achieved by painting

Cap all stakes after their placement, with a neutral & natural coloured wired-on plastic safety caps.

Single stakes to positioned behind the plant (ie opposite the likely pedestrian traffic side), double stakes to be positioned evenly apart & parallel to the likely pedestrian traffic side, triple stakes to be positioned evenly apart with 2 stakes positioned behind the plant (ie opposite the likely pedestrian traffic side) Position stakes outside of the topsoil zone part of the planting hole.

Tie plant to each stake at the top 10% of the exposed to view stake. Tie also required to straighten the stem or trunk.

Remove stakes & ties no longer required to support the plant, at the end of the Defects Liability Period

Stakes to comply with the following table, UDO:

Plant Height (at time of planting - mm)	Stake Number	Stake Size (mm) & Type	Stake In-ground Depth/ Exposed Height (mm)	Ties
0-300	1	25x25 HWD	150/200	Plastic
300-600	1	25x25 HWD	200/400	Plastic
600-900	2	25x25 HWD	250/700	Plastic
900-1500	2	38x38 HWD	300/1000	Plastic
1500-1800	3	50x50 HWD	400/1200	Plastic
1800-2400	3	Steel star picket	600/1800	Steel rope
2400-3600	3	Steel 65x 65 RHS in concrete footing	600/1800	Steel rope
Over 3600	3	To Engineer advice	To Engineer advice	To Engineer advice

Steel rope ties: 3mm dia galv steel wire rope, cut ends steel clamped, turnbuckle tension adjustment, plastic guards against trunk, the loop dia around trunk to be 3 times the dia of the trunk at that tie point

## MAINTENANCE & ESTABLISHMENT

ITBC Spec Writer – If an Owner Maintenance Document is to be part of the Contract, this can be referred to here & the following text edited or deleted as applicable. Note: Maintenance or establishment is different from the Defects Liability Period1

Refer also to the Sub-Clause 'Maintenance & Establishment' in the Preliminaries SECTION of this Landscape Specification.

Provide maintenance and establishment to all soft landscaping which includes:

Watering, fertilizing, pest & disease control.

- Mowing, weeding, aerating, removal of cuttings
- Pruning (to AS 4373), the intention of pruning being to maintain healthy foliage or remove damaged growth.
- Maintaining stakes & ties.
- Replacing damaged or failed planting.
- Top dressing & soil replacement/ re-topping, mulch maintenance. SUBMIT detail of proposed
  - Pruning & plant replacement.
- Tree surgery Work. Chemicals to be used

## **EXECUTION**

## **EXECUTION COMMON DETAIL**

Read with Architectural Specification SECTIONS 1 Preliminaries, 2 Fixing & Sealing, 3 Metalwork. Refer Sub-SECTION 2 'Materials' (above), for specific material execution detail

Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 4 'Building Work' for more execution detail.

## **4 IRRIGATION**

#### **GENERAL**

#### GENERAL

## REFERENCED DOCUMENTS

#### Cross References

#### Read with Architectural Specification

#### Standards

Provide to documented A/O Standards including associated Parts, if those Parts are Work related. Refer also the Architectural Specification Preliminaries SECTION, Sub-SECTION 1, Clause 'Referenced Documents (RD)'.

#### INTERPRETATION

Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 1, for definition of italicized text

## **INSPECTION & TESTING**

Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 4 'Inspection & Testing'. Refer also Specification text. SUBMIT results of tests & aspections NOTIFY for inspection of

- Irrigation system set-out. Trenching.
- Fully test the completed system over a 7 day period including a pressure testing
- Completed system to be inspected by an Hydraulic Engineer & an Electrical Engineer

#### SUBMISSIONS

Refer items written SUBMIT, in text. Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 5. SUBMIT also:

- Shop drawings as described in 'Materials' below.
- Work as Executed drawings.
- Operation & Maintenance Manual.

#### MATERIALS

#### MATERIAL COMMON DETAIL

Read with Architectural Specification SECTIONS 1 Preliminaries, 2 Fixing & Sealing, 3 Metalwork

The irrigation system is to be a fully automatic system, either a proprietary system, or an Electrical & Hydraulic Engineer Certified system made up of proprietary components. It is to supply water to all plant life which is part of the Work, at a rate & consistency to promote that plant life health.

The irrigation system is to be designed & installed by a specialist Irrigation Subcontractor. SUBMIT proposed Irrigation Subcontractor details of experience

Refer Architectural Specification Preliminaries SECTION 'Hardware & Operational Components' and 'Motorized Components' Provide anti-tamper fixings as per Architectural Specification Fixing & Sealing

Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 3 'Materials' for more materials detail.

## **RELATED SPECIFICATION DETAIL**

\*\* Refer to this page header note\*

ALL WORK IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS 8 LOCAL AUTHORITY REQUIREMENTS.

BUILDING CONTRACTOR & ALL RELEVANT SUB TRADES TO CHECK & VERIFY ALL DIMEN DRAWING PARTS PRIOR TO MANUFACTURE.

DRAWING PARTS PRIOR TO MANUFACTURE.
CONSTRUCTION & INSTALLATION ON SITE. DO NOT
SCALE OFF DRAWINGS - WRITTEN DIMENSIONS TAKE
PRECEDENCE.
PLAN LAND ACCEPTS NO LIABILITY OR RESPONSIBILITY
RESULTING FROM BUILDERS NEGLECT OR PREFERRED
METHOD OF CONSTRUCTION FOR ANY BUILDING
DEFECT.

DEFECT. THESE DRAWINGS ARE THE PROPERTY OF PLAN LAND. DRAWINGS ARE NOT TO BE REPRODUCED IN PART OR IN WHOLE ON ANY MEDIUM WITHOUT THE WRITTEN PERMISSION OF PLAN LAND.

Read with Architectural Specification SECTIONS 1 Preliminaries, 2 Fixing

of the system in conjunction with referring to the Operation & Maintenance Manual. SUBMIT proposed instructional program details.

Water delivered by the irrigation system is not to create run-off or erosion, and is not to fall on non-soft landscaping areas & not to fall on non-soft landscaping elements outside of the area of planting.

Refer Architectural Specification Preliminaries SECTION, Sub-SECTION 4 'Building Work' for more execution detail

THE IRRIGATION SYSTEM

2845) prevention) & valve boxes

rainfall obstructions)

tagged keys per lock.

anticipated traffic loads

1 to 4 start times per day.

Pump/master valve circuit.

minute timinas.

**EXECUTION** 

specific material execution detail.

irrigation zones

Controllers

instructed), pressure rating of min 1033 Kpa.

Water piping & connection to a primary or central supply (as doc or

Electrical cabling (in conduits) & connection to the electrical mains

Valves (including RPZ, isolating, control & back-flow (to AS/NZS

Separate programmable stations & programmable to the different

Cabinets, access/valve/housing boxes & panels to be lockable, 3

Access/valve/housing boxes to be min heavy duty suitable for the

Concealed except for valve box lids, controllers, water delivery outlet

Weather resistant & components are to be highly corrosion

devices, access panels to components requiring maintenance

Underground piping location to be identified using underground

access. Concealment is under-ground or within structures.

Exposed to view components to be in garden beds where possible & be flush

SUBMIT Irrigation Works shop drawings close to the start of the Head Contract

resolve coordination issues as early as possible. Shop drawings to include:

List of local spare parts Suppliers & availability of spare parts.

Cabinet & box details (and ratings for traffic loads if applicable).

Diagrams of water coverage of each water delivery outlet device.

Local Authority Regulations, Codes & Guidelines complied with.

Timer settings to cover a 24 hour day, 7 days a week, settings to

Program to cater for changes in setting for the 4 yearly seasons.

controllers positioned at nominally 1600mm above FFL. Controllers to include:

Component Manufacturer advice & specifications

Electrical & Hydraulic Engineer Design Certification

Australian & New Zealand Standards compiled with

Ability to separately program each irrigation zone

& Sealing, 3 Metalwork. Refer Sub-SECTION 2 'Materials' (above), for

the irrigation system by an experienced Irrigation Installation Technician.

Provide comprehensive personal instruction to the Owner on the operation of

Manual or semi-manual over-ride provision

**EXECUTION COMMON DETAIL** 

Instruction to include physical on-Site demonstration

Battery back-up support for power failure (solid state)

Proposed watering flow rates for the 4 seasons

with the surrounding land profiles (except for garden bed raised water delivery

marker tape installed min 150mm above pipes.

Water delivery outlet devices (sprinklers, drippers, sprayers).

Automatic rain switching (sensors positioned free of overhead

General

Controllers

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METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

# 34 Lang Street, Mudgee NSW 2850

LT

# Landscape **Specifications**

ading as plan land

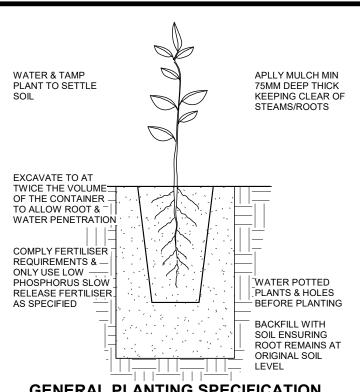
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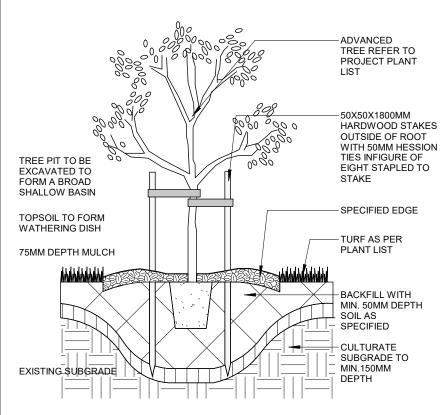
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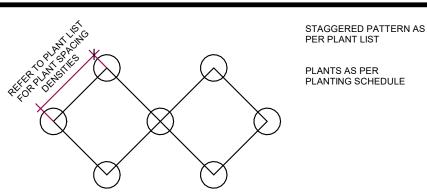




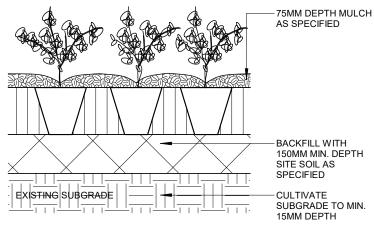
# **GENERAL PLANTING SPECIFICATION**



**TYPICAL EDGING, TURF & PLANTING BED DETAIL** 



## TYPICAL PLANT STAGGERING DETAIL

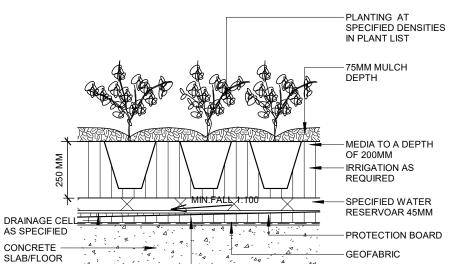


## **TYPICAL SHRUB PLANTING**

**TURF DETAIL** 

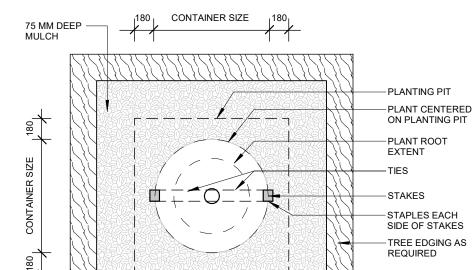
TURF ROLLS AS SPECIFIED. LAY ROLLS SO THAT TURF FINISHES 300MM PROUD

ADJACENT SURFACES. COMPACT EDGES TO PREVENT SUBSIDENCE MIN. 100MM LAYER OF TURF UNDERLAY SOIL (80X20 SAND/SOIL MIX) GRADE TO FINISHED LEVELS & CONSOLIDATE AS REQUIRED -CULTIVATE SUBGRADE



PROVIDE MIN 1:100 FALL FOR DRAINAGE

TYPICAL PLANTING/PODIUM **DETAIL** 



**TYPICAL PLANTING DETAIL (PLAN)** 

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LOCAL AUTHORITY REQUIREMENTS.
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BASE AS SPECIFIED

AS PER PLANT LIST

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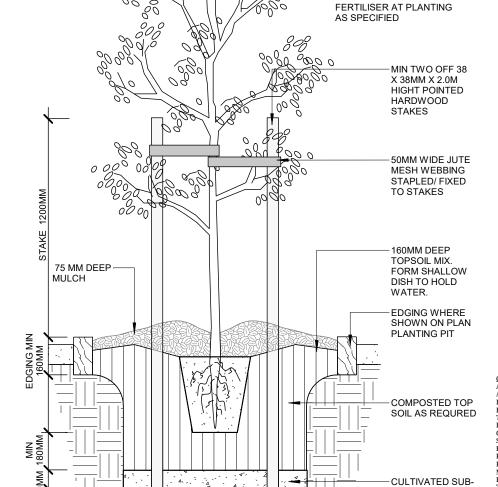
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# 34 Lang Street, Mudgee NSW 2850

# **Landscape Details**

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# **TYPICAL PLANTING DETAIL (SECTION)**

1000 X1000 MULCH

DOOR SCHEDULE						
MARK	WIDTH	HEIGHT	LEVEL	FROM ROOM: NAME	TO ROOM: NAME	DESCRIPTION
D01	900	2100	2.Ground FFL	New Kitchen/Living		ENTRY DOOR
D02	820	2125	2.Ground FFL	New Kitchen/Living	New Bedroom	INTERIOR SINGLE HINGED DOOR
D03	720	2125	2.Ground FFL	New Kitchen/Living	New Bath/L'dry	INTERIOR SINGLE HINGED DOOR
D04	720	2125	2.Ground FFL	New Kitchen/Living	New Pantry	INTERIOR SINGLE HINGED DOOR
D05	1780	2180	2.Ground FFL	New Bath/L'dry	New Bath/L'dry	INTERIOR ACCORDION DOOR
5	•			•		•

GLAZING BASIX							
MARK	ASPECT	SILL	WIDTH	HEIGHT	AREA	EXTERIOR GLAZING DESCRIPTION	
W01	NE	0	7900	2200	17.38 m²	SLIDING DOOR	
W02	NE	0	2600	2200	5.72 m²	SLIDING DOOR	
W03	NE	0	400	2200	0.88 m²	FIXED WINDOW	
W04	NE	0	900	2200	1.98 m²	HUNG DOWN WINDOW	
W05	NE	0	900	2200	1.98 m²	HUNG DOWN WINDOW	
W06	SW	1600	1600	600	0.96 m²	AWNING/GLASS LOUVRE FROSTED WINDOW	
W07	SW	1600	2245	600	1.35 m²	SLIDING WINDOW	
W08	SW	1600	3000	600	1.80 m²	FIXED WINDOW	
W09	SW	0	1600	2200	3.52 m²	SLIDING DOOR	
Grand total:	Grand total: 9						

SKYLIGHT SCHEDULE					
MARK	HEIGHT	WIDTH	AREA		
S01	1400	800	1.12 m²		
S02	1400	800	1.12 m <sup>2</sup>		
S03	1400	800	1.12 m <sup>2</sup>		
S04	1400	800	1.12 m²		
S05	1400	800	1.12 m <sup>2</sup>		
S06	1400	800	1.12 m <sup>2</sup>		
S07 1400 800 1.12 m <sup>2</sup>					
Grand total: 7					



#### BASIX NOTES:

Rainwater tank
The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must entered or for alea.
The applicant must connect the rainwater tank to a tap located within 10 metres of the dege of the pool.
Outdoor swimming pool must be outdoors.
The swimming pool must have a capacity greater than 51 kilolitres.
The swimming pool must have a pool cover.
The applicant must install a pool pump timer for the swimming pool.
The applicant must install a pool pump timer for the swimming pool.
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or greater than 51 kilolitres.
Fixtures
Fixtures
Fixtures
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or greater than 51 kilolitres.
Fixtures
Fixtures
The applicant must ensure new or altered showenheads have a flow rate no greater than 9 litres per average fluore or a 3 star water rating.
The applicant must ensure new or altered tollets have a flow rate no greater than 9 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered tollets have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.
The applicant must ensure new or altered tollets have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.
The applicant must ensure new or altered construction (floor(s), walls, and collings/ricofs) in accordance with the specifications is led in the table below.
Windows and glazed doors
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overstandowing specifications must be astifi

The following requirements must also be satisfied in relation to each window and glazed Garch window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHCC) no greater than that listed in the table below. Total system U-values and SHCGs must be calculated in accordance with National Freatration Rating Council (NFRC) conditions. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. Pergolas with fixed battens must have batters parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

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# 34 Lang Street, Mudgee NSW 2850

# Window & Door **Schedules**

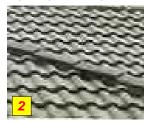
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	info@planland.com.au	
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PO BOX	495 Gymea NSW	
trading a	plan land	62 128 716 33
	eale consulting pty ltd	ABN:



RECYCLED BRICK WALL: TO MATCH EXISTING



**ROOF TILES:** TO MATCH EXISTING



COLORBOND STEEL MATT



**DECK TILES** 



GLASS POOL FENCE



POWDER COATED WHITE



SINGLE PANEL SLIDING **DRIVEWAY GATES** 



MPLY WITH THE BUILDING CODE OF NT AUSTRALIAN STANDARDS & REQUIREMENTS.

RITY REQUIREMENTS.
TITACTOR & ALL RELEVANT SUB TRADES
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# 34 Lang Street, Mudgee NSW 2850

# External Materials & **Finishes**

newton teale consulting pty ltd ABN: newton teale consulting pty ltd trading as **plan land** PO BOX 495 Gymea NSW Phone: 0403 993 876 Email: info@planland.com.au 62 128 716 334 Drawn: ĹŤ OCT/2022 Scale: Drawing No.: Sheet No.: 1: 20@A3 **22113 CDC 9.1** 





# PHASING LEGEND:

(Note: legend applies to building elements, not finishes)

**NEW WORK** 



EXISTING ELEMENTS



DEMOLISHED ELEMENTS



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# 34 Lang Street, Mudgee NSW 2850

# Perspective

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# Appendix B Flood level study (WMA Water)

