

NET AREAS

No.	NAME	AREA
1	Ex.Entry	1.65 m ²
2	Ex.Family	16.03 m ²
3	Ex. Corridor	4.54 m ²
4	Ex.Kitchen	6.36 m ²
5	New Dining	26.27 m ²
6	New Living	30.11 m ²
7	Ex.Bedroom 1	8.90 m ²
8	Ex.Bedroom 2	13.44 m ²
9	Ex.Bath	5.31 m ²
10	Ex.WC	1.44 m ²
11	Ex.Bedroom 3	15.57 m ²
12	Ex.L'dry	3.89 m ²
13	Ex.Shed	25.42 m ²
2.Ground FFL: 13		158.93 m ²
Granny		
14	New Kitchen/Living	19.56 m ²
15	New Bedroom	11.65 m ²
16	New Bath/L'dry	6.39 m ²
17	New Pantry	2.56 m ²
2.Ground FFL: 4		40.15 m ²
Grand total: 17		199.08 m ²

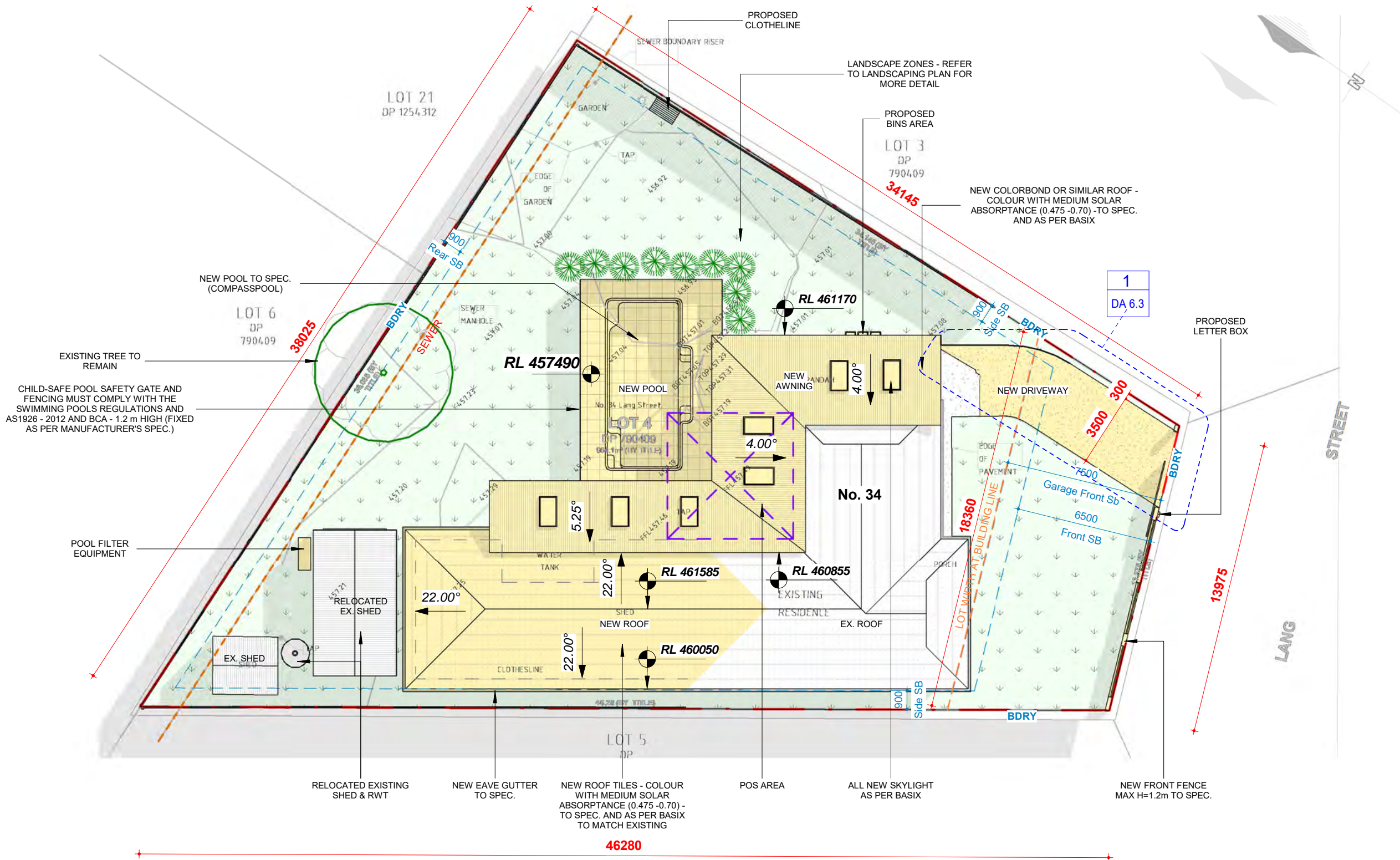
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NOTE:
SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY.
NOTE:
LOCATION OF SMOKE ALARMS IN ACCORDANCE WITH CLAUSE 3.7.5.2 OF THE NCC.
NOTE:
STAIRWAY TO HAVE A NON-SLIP FINISH OR NOSING STRIP IN ACCORDANCE WITH CLAUSE 3.9.1.4 AND TABLE 3.9.1.3 OF THE NCC.
NOTE:
METHOD OF VENTILATING THE LAUNDRY AND WC AND CONTROLLING CONDENSATION IN ACCORDANCE WITH CLAUSES 3.8.5.2 & 3.8.7.3 OF THE NCC.

Project:
**34 Lang Street,
Mudgee NSW 2850**
Client:

Drawing:
Site Plan

newton teale consulting pty ltd
trading as **plan land**
PO BOX 495 Gynea NSW
Phone: 0403 993 876
Email: info@planland.com.au
ABN: 62 128 716 334
Drawn: **LT** Approved: **LT** Date: **OCT/2022**
Scale: 1:200@A3 Drawing No.: 22113 DA 1.2 Sheet No.: Rev.:

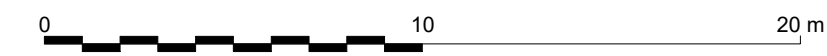


PHASING LEGEND:
(Note: legend applies to building elements, not finishes)
 NEW WORK
 EXISTING ELEMENTS
 DEMOLISHED ELEMENTS



LOT AREA	GFA	FSR
964.10 m ²	189.84 m ²	0.20

LOT AREA	LSA	LSA COVERAGE
964.10 m ²	516.22 m ²	53.54%



BASIX NOTES:
The applicant must install a rainwater tank of at least 2734 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 51 kilolitres.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

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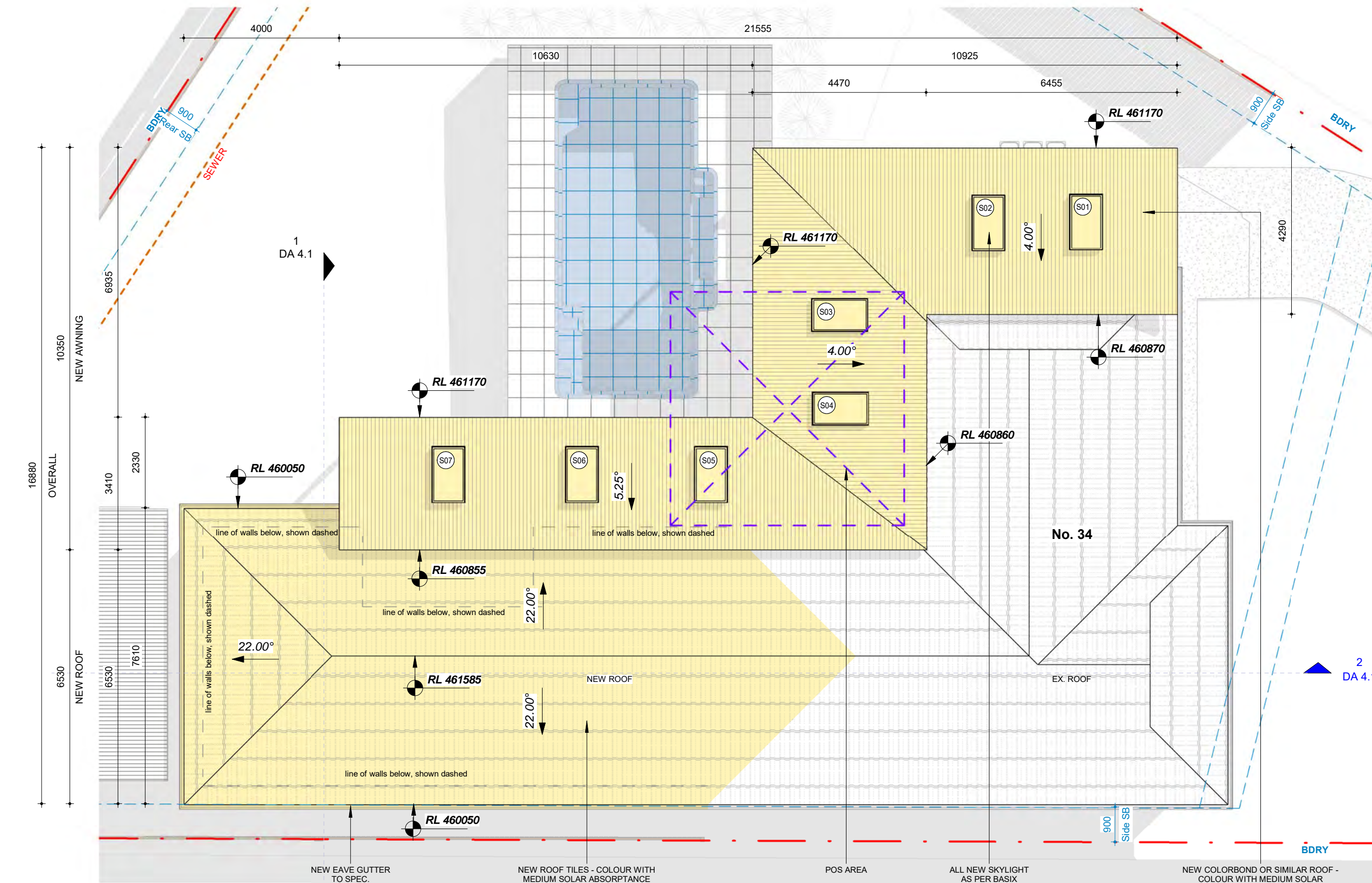
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Project:
34 Lang Street, Mudgee NSW 2850
 Client:

Drawing:
Roof Plan

newton teale consulting pty ltd
 trading as **plan land**
 PO BOX 495 Gymea NSW
 Phone: 0403 993 876
 Email: info@planland.com.au
 Drawn: **LT** Approved: **LT** Date: **OCT/2022**
 Scale: 1:100@A3 Drawing No.: 22113 DA 2.2 Sheet No.: Rev.:

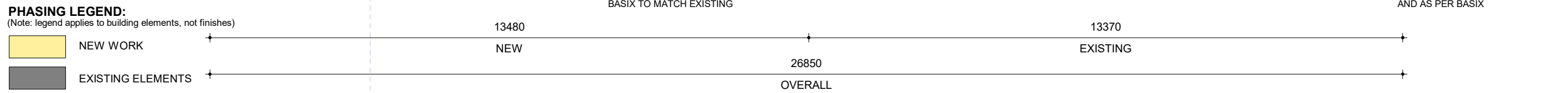
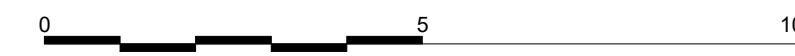


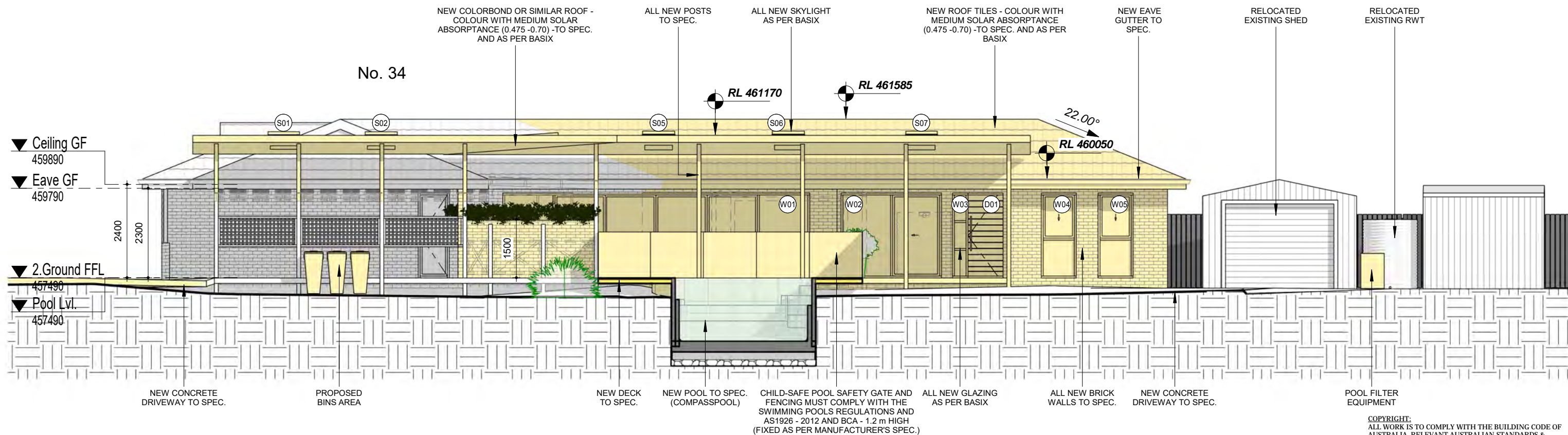
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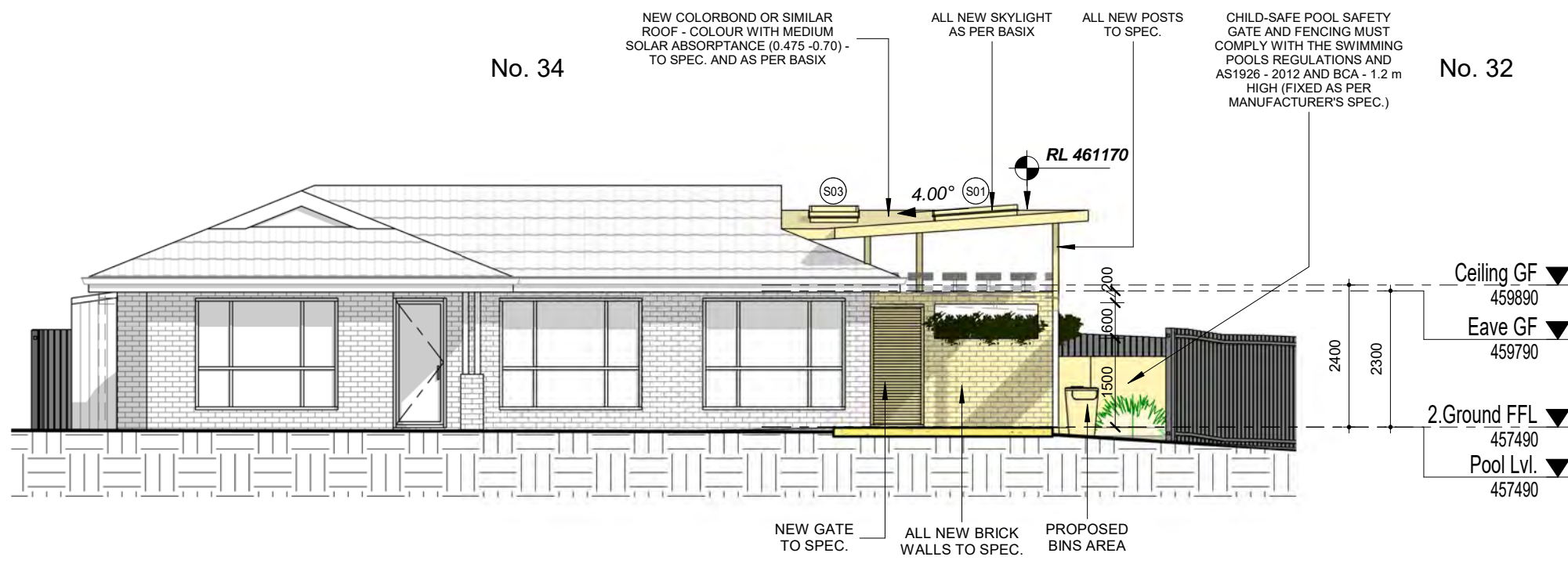
2 Side (NE) Elevation
1 : 100

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No. 36

No. 34

No. 32



1 Front (SE) Elevation
1 : 100

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 ■ EXISTING ELEMENTS
 □ DEMOLISHED ELEMENTS

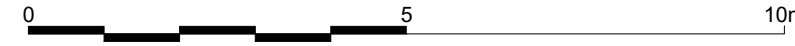
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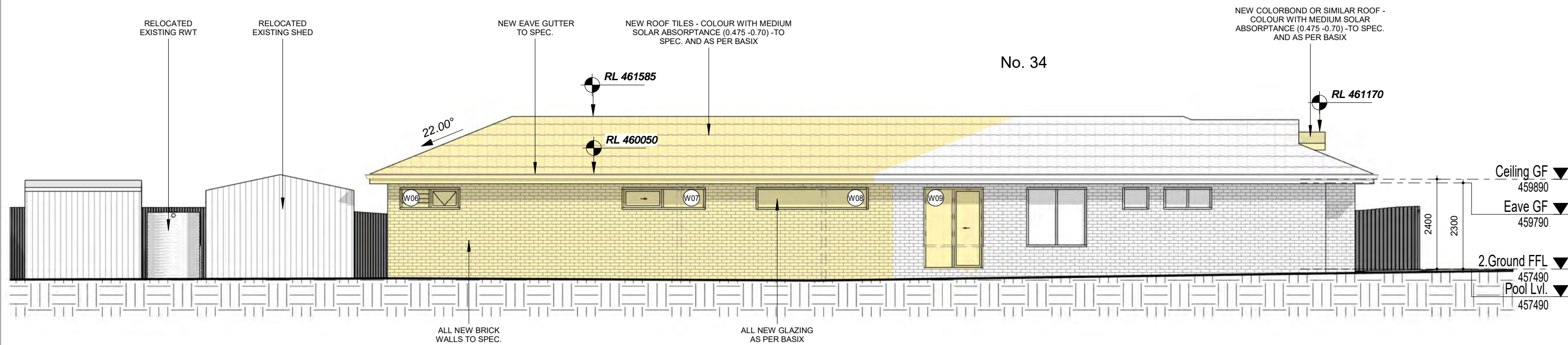
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Drawing:
Elevations

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 Drawn: **LT** Approved: **LT** Date: **OCT/2022**
 Scale: 1 : 100@A3 Drawing No.: 22113 DA 3.1 Sheet No.: Rev.:





2 Side (SW) Elevation
1 : 100

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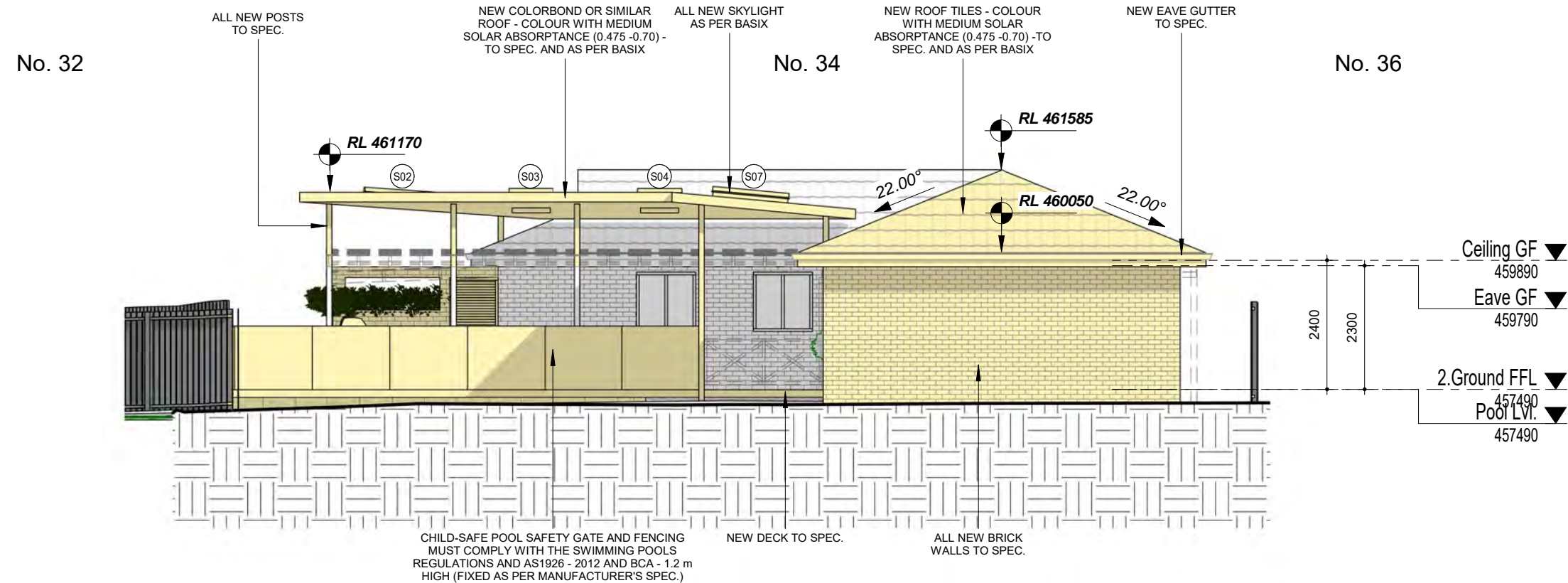
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1 Rear (WN) Elevation
1 : 100

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NEW WORK

EXISTING ELEMENTS

DEMOLISHED ELEMENTS

Project:
**34 Lang Street,
Mudgee NSW 2850**
Client:

Drawing:
Elevations

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Drawn: **LT** Approved: **LT** Date: **OCT/2022**

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