

5 May 2023

OUR REF: 13119

The General Manager
Mid-Western Regional Council
PO Box 156
Mudgee NSW 2850

ATTN: SARAH HOPKINS (Via email: Sarah.Hopkins@midwestern.nsw.gov.au)

RE: DA0075/2023 – RFI RESPONSE
6 FLIRTATION HILL LANE, GULGONG NSW 2852

Dear Sarah,

The applicant submits updated subdivision plans and supporting documentation in accordance with your correspondence on 22 February 2023. A summary of the submission is outlined below.

- The lot configuration for the proposed plan of subdivision has been amended such that the shed structure is located on the same lot as the existing dwelling house. This will ensure the shed structure is a permitted use that is ancillary to an existing dwelling. The amended subdivision plan is provided in *Attachment 1*.
- On-site effluent management studies have been prepared for proposed Lots 5 and 6. A summary of the recommendations are below.
 - For proposed Lot 5, the recommended system is a surface or sub-surface irrigation with an irrigation area of 444m². Gypsum should be applied to the application area during construction. There should also be a secondary wastewater treatment system accredited by NSW Health.
 - For proposed Lot 6, the recommended system is a surface or sub-surface irrigation with an area of 360m². Gypsum should be applied to the application area during construction. There should also be a secondary wastewater treatment system accredited by NSW Health with the ability to reduce nitrogen levels to 25mg/L and phosphorous levels to 3mg/L.

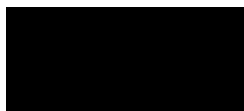
The onsite effluent management studies are provided in *Attachment 2 and 3*.

Council's Development Engineers comments on the removal of the reference to street lighting from Condition 12 have been acknowledged.



We trust that this information is appropriate for the assessment to be finalised. If you have any queries, please do not hesitate to contact the undersigned on (02) 4942 5441.

Yours sincerely,
de Witt Consulting



Harrison Drewer
Town Planner