

**PROPOSED RESIDENCE**  
FOR  
**DAVID CHALLINOR & STEPHEN MARCHANT**  
**12 LITTLE BAYLY STREET**  
**GULGONG NSW 2852**



**GENERAL NOTES:**

Builder to confirm all dimensions before commencing any works.

If discrepancies occur on plans, designer is to be contacted.

All dimensions are in millimeters unless otherwise stated.

Use figured dimensions only. Do not scale from plans.

Site information is based on information supplied by the owner and must be verified by the supplier on acceptance of this plan.

All works shall comply with the National Construction Code (NCC) current Australian Standards, building regulations and statutory approvals. Notify this office of any discrepancies.

These plans should be read in conjunction with project specification and all consultant drawings including but not limited to Structural Engineer and Surveyor.

Soil Classification - refer to Engineers report and soil tests.

**SPECIFICATIONS:**

**WIND CLASSIFICATION - BY ENGINEER**

**PLUMBING**

All plumbing to AS 3500 and must be carried out by a licensed plumber in accordance with the Plumbing Code of Australia (PCA) to comply with the requirements of the Local Authority.

Gutters and Downpipes to be designed and installed in accordance with NCC/BCA Part 3.5.3.

**ELECTRICAL**

All electrical work shall be undertaken by a licensed electrician and in accordance with AS/NZS 3000

**DRAUGHT SEALING**

Provide a seal/draught excluder to the bottom edge of all external doors

**SPECIFICATIONS:**

**TERMITE PROTECTION**

All buildings shall be protected against termite attack in accordance with AS3660.1 and NCC/BCA 3.1.4. Provide a durable notice in the meter box indicating type of barrier and required inspections.

**SMOKE DETECTORS**

Smoke detectors shall be installed as noted on the plans and in accordance with AS 3786 and NCC/BCA Vol. 2 Part 3.7.5. They must be hard wired to the electrical supply.

**GLAZING**

Provide glazing to AS 1288 and NCC/BCA Part 3.6

**LIFT OFF HINGES (LOH)**

Provide lift of hinges to the doors on sanitary compartments as labeled on the plans in accordance with NCC/BCA Vol 2 3.8.3.3

**BASIX NOTES:**

**STORMWATER**

Min of 287m<sup>2</sup> of roof water must be collected in a 5,000L rainwater tank and plumbed to;

- a) at least one outdoor tap in the development
- b) all hot water systems in the development

And be installed in accordance with AS3500.

**HEATING**

1-phase airconditioning (minimum 7.5 star) to be installed in at least one living area and at least one bedroom and must provide for day/night zoning between living areas and bedrooms.

**COOLING**

Ceiling fans and 1-phase airconditioning (minimum 7.5 star) to be installed in at least one living area and at least one bedroom and must provide for day/night zoning between living areas and bedrooms.

**VENTILATION**

Bathroom - Install an exhaust fan in the ceiling, not ducted and operate manually

Kitchen - Install a rangehood over cooktop, duct through roof and operate manually

Laundry - natural ventilation

**HOT WATER**

Electric heat pump with a performance of 41 to 45 STCs or better.

**LIGHTING**

The primary type of artificial lighting is dedicated fluorescent or LED in all 3 bedrooms, living room, dining room, kitchen, all bathrooms, all toilets, laundry and all hallways.

All fittings must only be capable of accepting fluorescent or LED lamps.

**AAA RATING**

All showerheads minimum rating of 4 star (>6 but <= 7.5L/min)

Toilets to have a minimum rating of 4 Star

Kitchen taps to have a minimum rating of 4 star

and Basin taps to have a minimum rating of 4 stars

**OTHER**

Electric cooktop and electric oven to be installed in Kitchen.

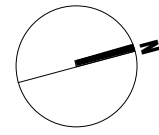
An outdoor clothes drying line must be installed.

**LOW WATER VEGETATION**

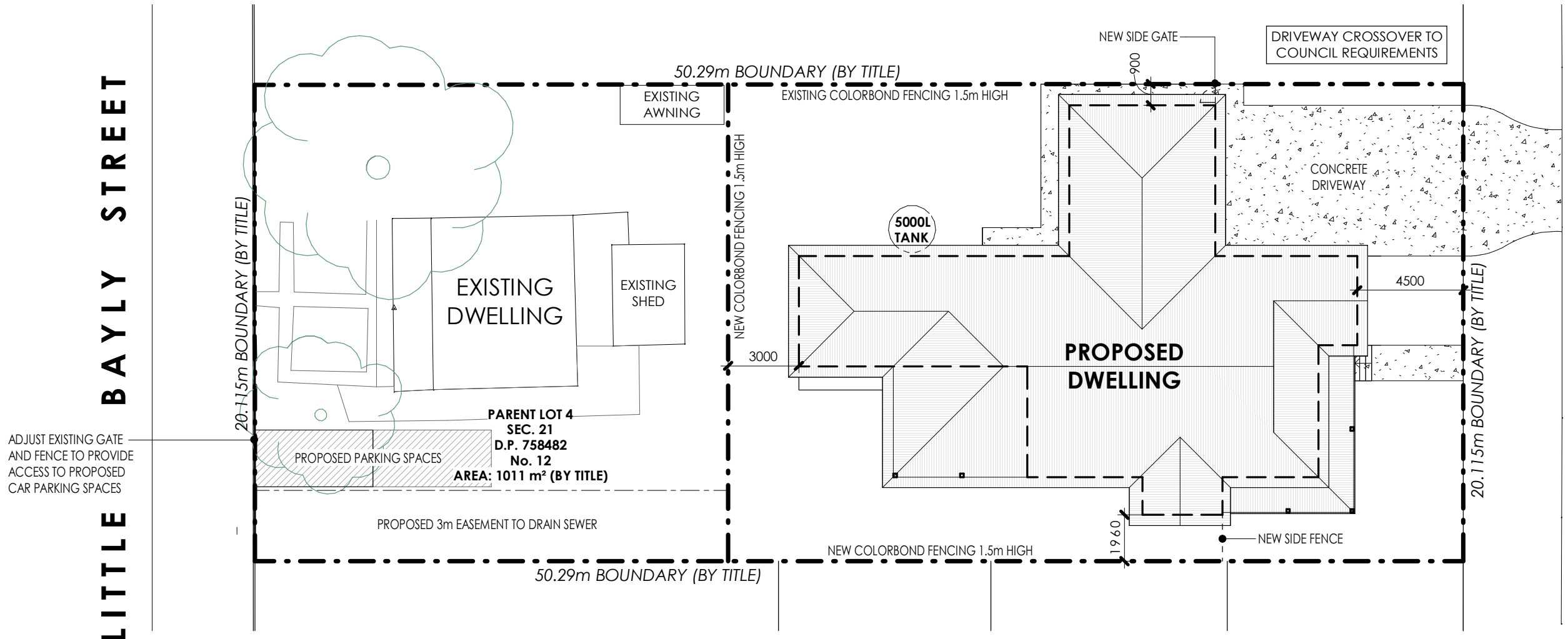
A minimum of 50 sqm of indigenous or low water species of vegetation must be planted on the site.

**GENERALLY**

The information found in these notes are by no means the extent of information relating to compliance with BASIX commitments. These notes must be read in conjunction with the full set of plans and elevations outlined on sheet no's 611CHA-00 to 611CHA-08, Issue B (9 sheets) and with the BASIX Certificate pertaining to this property - Certificate No. 1288790S.



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ADJUST EXISTING GATE AND FENCE TO PROVIDE ACCESS TO PROPOSED CAR PARKING SPACES

LITTLE BAYLY STREET

BELMORE STREET

**1 SITE PLAN**  
SCALE 1 : 200

Issue	Description	Date
D	RAISE FFL	26.04.23
C	DA ISSUE 1	19.05.22
B	DA ISSUE	14.03.22
A	PRELIMINARY	15.02.22

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**Client** David Challinor & Stephen Marchant

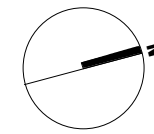
**Project** 12 Little Bayly Street  
Gulgong NSW 2852

**Title** SITE PLAN

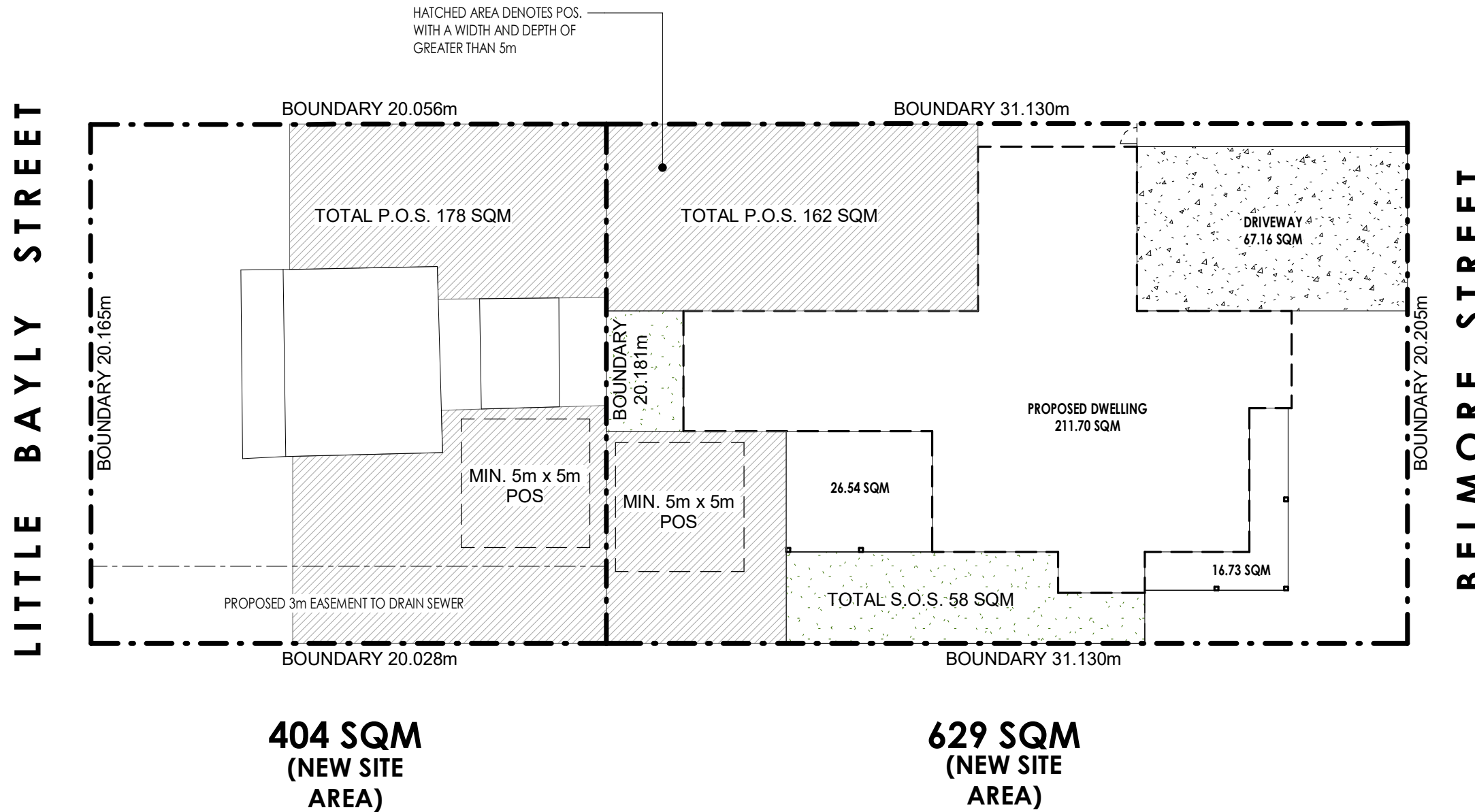
**Scale at A3** 1 : 200

**Date** OCTOBER 2021 **Drawn** RG/DW

**Drawing No.** 611CHA-01 **Issue** D



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**1 AREA CALCULATIONS**  
SCALE 1 : 200

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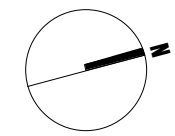
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**Title** SUBDIVISION AND AREA CALCULATIONS

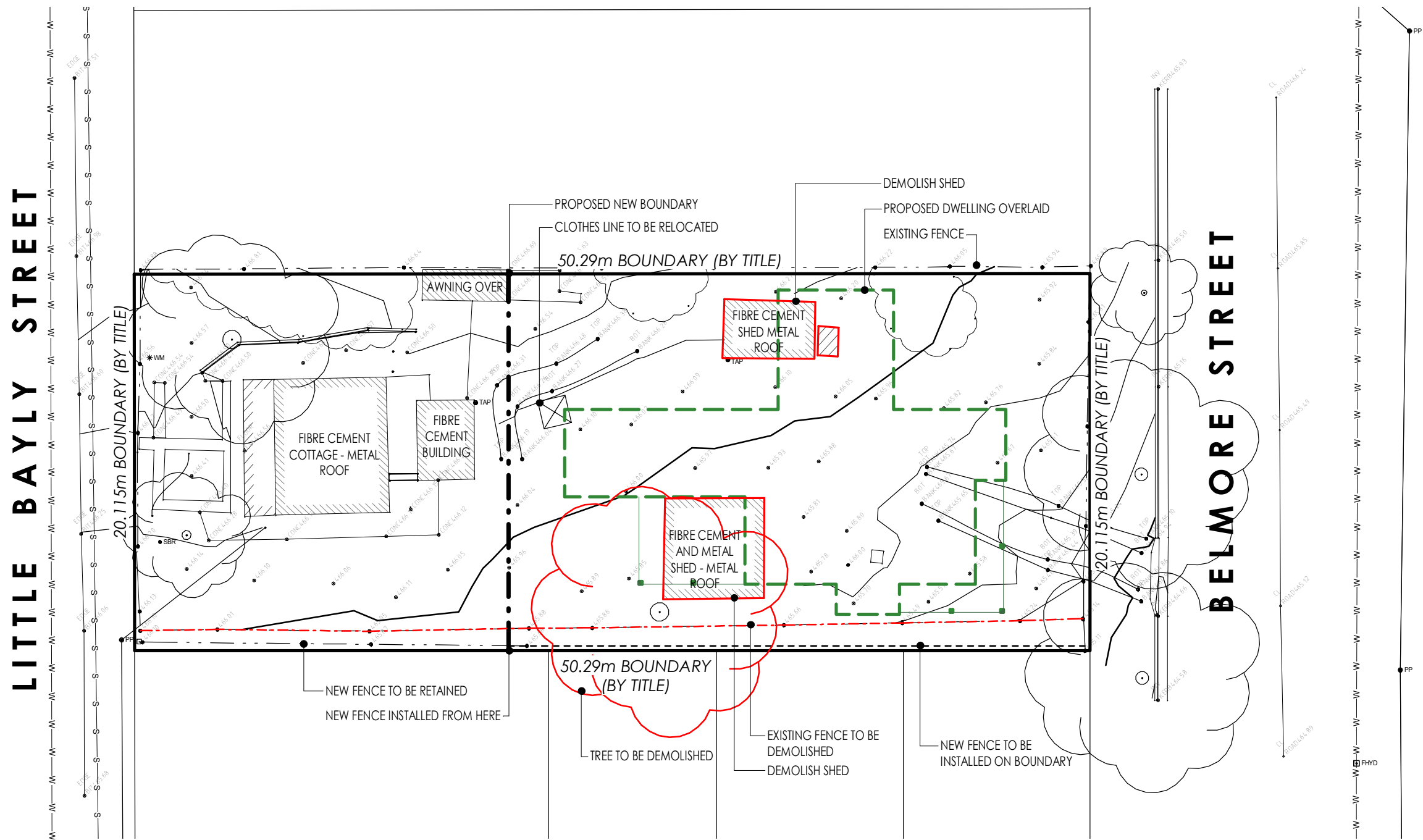
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**Drawing No.** 611CHA-02 **Issue** D



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**1 SURVEY PLAN**  
SCALE 1 : 250

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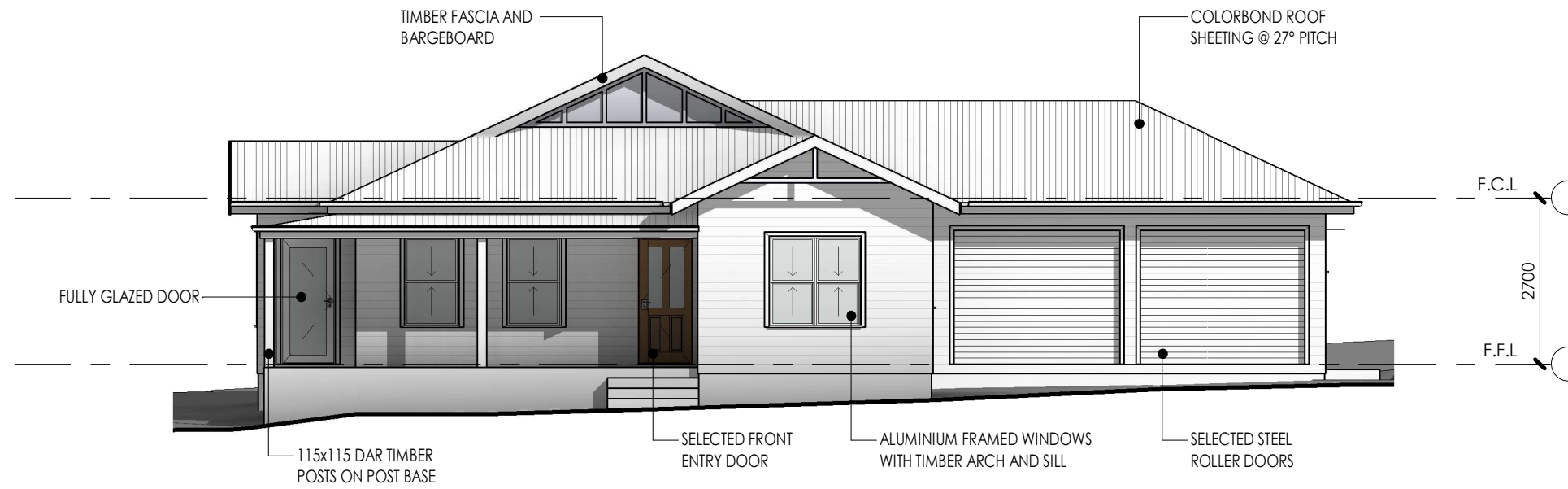
**Project** 12 Little Bayly Street  
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**Title** SURVEY PLAN

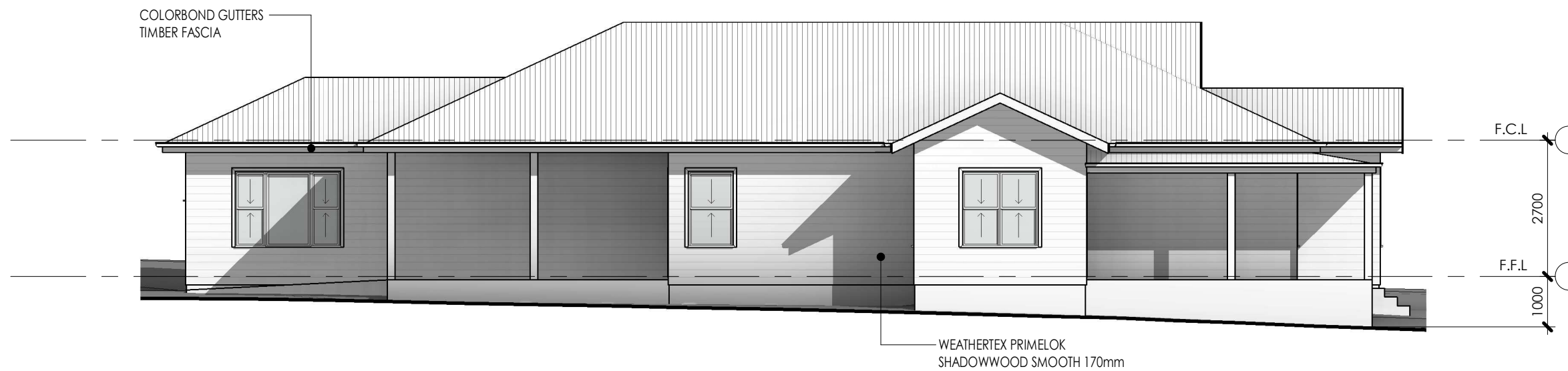
**Scale at A3** 1 : 250

**Date** OCTOBER 2021 **Drawn** RG/DW

**Drawing No.** 611CHA-03 **Issue** D



1 **NORTH ELEVATION**  
SCALE 1 : 100



2 **EAST ELEVATION**  
SCALE 1 : 100

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**Project**  
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**Title**  
ELEVATIONS

Scale at A3

**Date** OCTOBER 2021 **Drawn** RG/DW

**Drawing No.** 611CHA-05 **Issue** D



1 **SOUTH ELEVATION**  
SCALE 1 : 100

ALUMINIUM FRAMED MULTI-STACK SLIDING DOOR WITH TIMBER ARCH



2 **WEST ELEVATION**  
SCALE 1 : 100

COLORBOND ROOF SHEETING @ 27° PITCH

HALF GLAZED SOLID CORE DOOR

WEATHERTEX PRIMELOK SHADOWWOOD SMOOTH 170mm

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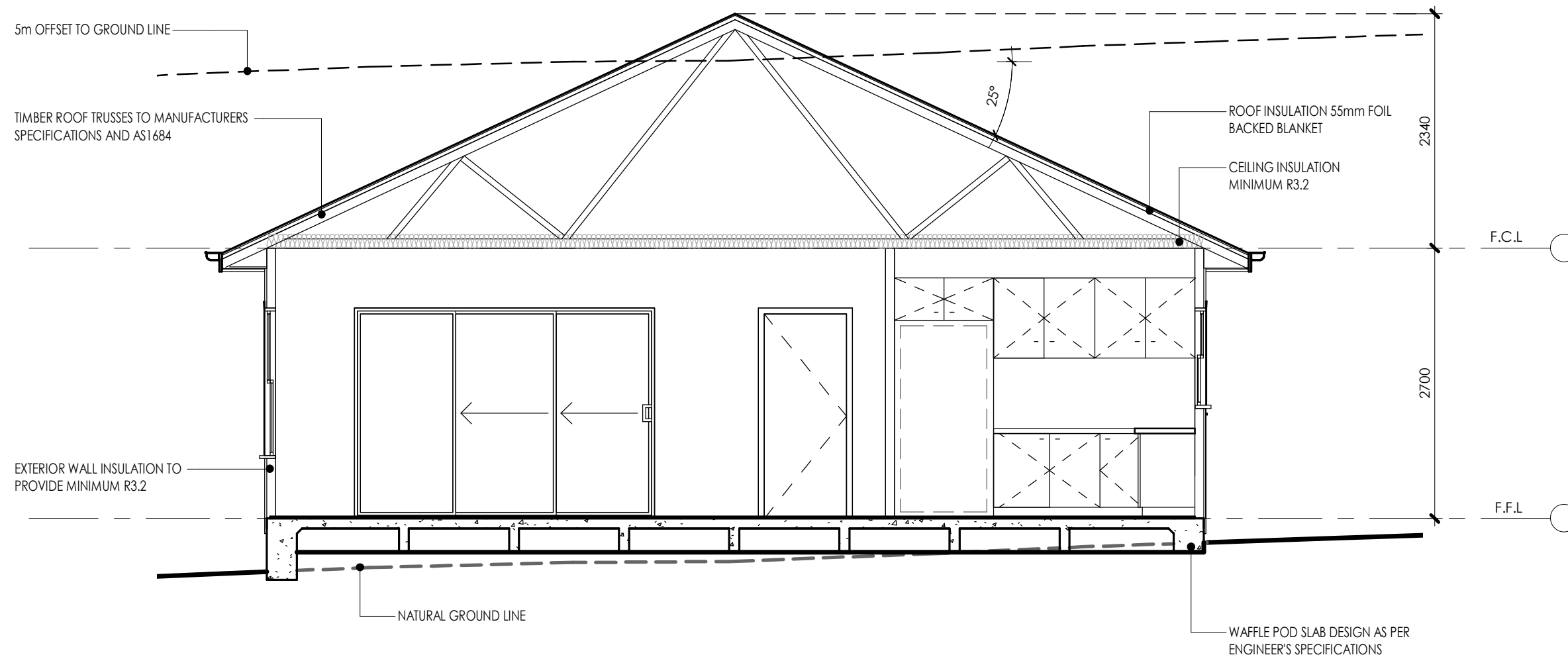
Project 12 Little Bayly Street  
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Title ELEVATIONS

Scale at A3 1 : 100

Date OCTOBER 2021 Drawn RG/DW

Drawing No. 611CHA-06 Issue D



**A SECTION**  
SCALE 1 : 50

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**Project**  
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**Title**  
SECTION

**Scale at A3**  
1 : 50

**Date** OCTOBER 2021 **Drawn** RG/DW

**Drawing No.** 611CHA-07 **Issue** D

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**Title**  
 PERSPECTIVES

**Scale at A3**  
 NA

**Date** OCTOBER 2021 **Drawn** RG/DW

**Drawing No.** 611CHA-08 **Issue** D

