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DESIGN . PLAN . MANAGE

Statement of Environmental Effects

Client: Watershed Landcare
Site Address: 25 Mount Vincent Road
Running Stream, NSW 2850

20 March 2023

Our Reference : 40789-PR01_A

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List of Contents

1.0 Introduction	5
1.1 Background.....	5
1.2 Proponent.....	5
1.3 Consultant	5
2.0 Existing Environment	6
2.1 Location and Title	6
2.2 Land Use.....	8
2.3 Topography	8
2.4 Flora and Fauna	8
2.5 Natural Hazards	8
2.6 Visual Amenity	8
2.7 Services.....	9
2.8 Access and Traffic	9
2.9 Heritage.....	9
3.0 Proposed Development	10
4.0 Land Zoning	12
5.0 Planning Consideration	12
5.1 Biodiversity Conservation Act 2016	12
5.1.1 Is the development likely to significantly affect threatened species?	12
5.1.1.1 Section 7.3 Test.....	13
5.1.1.2 Section 7.4 Test.....	13
5.1.1.3 Declared Area of Outstanding Biodiversity Value	14
5.1.2 Biodiversity Development Assessment Report.....	14
5.2 Fisheries Management Act 1994.....	14
5.2.1 Applicability	14
5.2.2 Is the development likely to significantly affect threatened species, population or ecological community?	15
5.3 Environmental Planning & Assessment Act 1979	16
5.3.1 Evaluation	16
5.3.2 Division 4.6 Crown Development.....	16
5.4 Environmental Planning Instruments	17
5.4.1 State Environmental Planning Policies (SEPP)	17
5.2 Mid-Western Regional Local Environmental Plan 2012	17
5.2.1 Land Use Table	17
5.2.2 Earthworks	18
5.2.3 Terrestrial Biodiversity	18
5.2.4 Essential Services.....	18

5.4	Draft Environmental Planning Instruments	19
5.5	Development Control Plans	19
5.6	Any Planning Agreement entered into.....	19
5.7	Any Matters Prescribed by the Regulations.....	19
5.8	Any Likely Impacts of the Development.....	19
5.8.1	Context & Setting	19
5.8.2	Access, Transport & Traffic	20
5.8.3	Noise	20
5.8.4	Social & Economic Impacts in the Locality.....	20
5.8.5	Bushfire.....	20
5.8.6	Other.....	20
5.9	Suitability of the Site for the Proposed Development	21
5.10	The Public Interest	21
6	Conclusion.....	22
7	References.....	23

List of Figures

Figure 1 – Site Location	6
Figure 2 – Site Aerial.....	7

Appendices

APPENDIX A	DP	24
APPENDIX B	AHIMS	25
APPENDIX C	Development Plans.....	26
APPENDIX D	Site Plan.....	27

DISCLAIMER

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Barnson Pty Ltd accepts no liability or responsibility for or in respect of any use or reliance upon this report and its supporting material by anyone other than the client.

Report Title:	Statement of Environmental Effects
Project Name:	Proposed Playground and Shadesails
Project Location:	Lot 7001 DP1056573, 25 Mount Vincent , Dubbo NSW 2830
Client:	Watershed Landcare (Rep. Claudia Wythes)
Project Number:	40789
Report Reference:	40789-PR01_A
Date:	16/03/2023

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1.0 INTRODUCTION

1.1 Background

Barnson Pty Ltd has been engaged by Watershed Landcare (rep. Claudia Wythes) to prepare information in support of a Development Application (DA) for the construction of a playground and associated shade sail at Lot 7001 DP1056573, commonly known as 25 Mount Vincent Road, Running Stream NSW 2850.

The subject site is located on the western side of Mount Vincent Road, and the eastern side of the Castlereagh Highway with an approximate area of 3.07 hectares. The site currently consists of the Running Stream Community Hall and ancillary structures.

The project consists of the development of playground equipment and supporting shade sails.

Based on the subject site of the application being owned by the State of New South Wales, who are considered to be a Crown authority, the application should be dealt with as a Crown development in accordance with Division 4.6 of the Environmental Planning and Assessment Act 1979, and relevant clauses of the Environmental Planning and Assessment Regulation 2021.

The site is zoned RU1: Primary Production under the *Mid-Western Regional Local Environmental Plan 2012*. The proposed development is defined as a 'Recreation facility (outdoor)', which is permitted with consent in the RU1 Zone.

This application consists of:

- One (1) PDF of this written statement, including plans.

1.2 Proponent

The proponent for the DA is Watershed Landcare (rep. Claudia Wythes).

1.3 Consultant

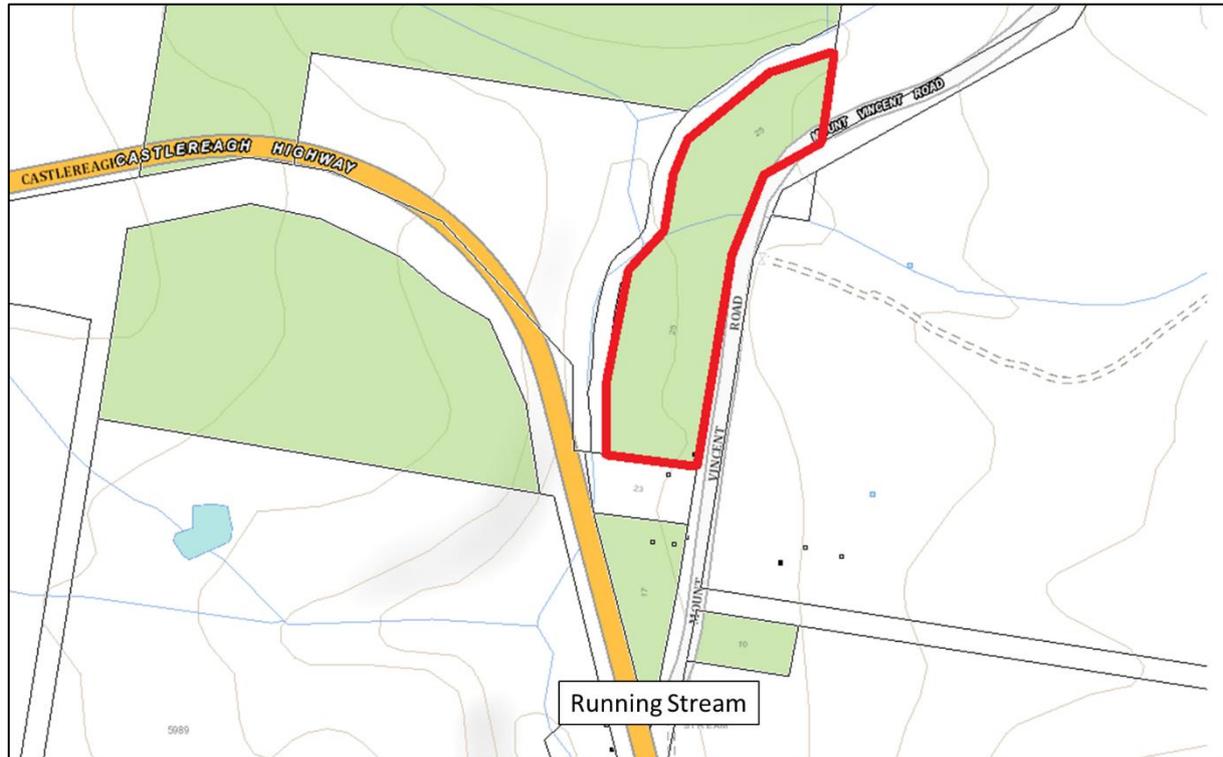
Barnson Pty Ltd
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Unit 1, 36 Darling Street
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2.0 EXISTING ENVIROMENT

2.1 Location and Title

The subject site of this application is Lot 7001 DP 1056573, known as 25 Mount Vincent Road, Running Stream. The site is located on the western side of Mount Vincent Road and is approximately 240m north of the Mount Vincent Road/ Castlereagh Highway intersection.

Please refer to Figure 1 below.



Source: (NSW Government Spatial Services, 2021)

Figure 1 – Site Location

The site has an overall area of 3.07ha (Please refer to DP in Appendix A). The site consists of an existing community hall, ancillary structures and vegetation.

Please refer to Figure 2 and Plates 1 & 2 for photos of the site and the locality.



Source: (NSW Government Spatial Services, 2021)

Figure 2 – Site Aerial



Plate 1 – Proposed Development Site.



Plate 2 – View of Access and existing Structures.

2.2 Land Use

The subject site currently contains an existing community hall and associated infrastructure with the surrounding area scattered with a mix of agricultural land uses and vegetation. It is situated near the small Running Stream locality.

2.3 Topography

The subject site is relatively flat throughout, falling slightly towards the north-west towards the Running Stream waterway.

2.4 Flora and Fauna

Given the nature of the site, the subject site has large quantities of vegetation to the north and managed grasslands throughout. The proposed development does not require the removal of any vegetation.

2.5 Natural Hazards

The subject site is not on land that has been identified as impacted by the Flood Planning Area. The subject site is considered bushfire prone land pursuant to the *Mid-Western Regional Local Environmental Plan 2012* (the LEP) and the ePlanning Spatial Viewer.

2.6 Visual Amenity

The character of the site and surrounding area is defined by rural lands with scattered buildings and infrastructure.

2.7 Services

All required services are available to the site.

2.8 Access and Traffic

Access is gained via Mount Vincent Road, which bitumen sealed improved with table drains.

2.9 Heritage

The subject site has not been listed as containing a heritage item under Schedule 5 of the *Mid-Western Regional Local Environmental Plan 2012* (the LEP).

Following an online search on the *Aboriginal Heritage Information Management System* (AHIMS), it was concluded that there are no Aboriginal items nor places known within a 200m radius of the subject site.

Please refer to Appendix B for the AHIMS Report.

3.0 PROPOSED DEVELOPMENT

The proposed development is for the erection of a playground and associated shade sail on Lot 7001 DP 1056573, commonly known as 25 Mount Vincent Road, Running Stream, 2850.

The site is associated with the Running Stream Community Hall, the Running Stream Rural Fire Service, and associated infrastructure.

Access is gained via the western side of Mount Vincent Road.

Further details of the proposed development include:

Playground:

- 19.0m x 11.0m boundary (total play area: 209m²);
- Under surfacing (by others);
- Spectrum + modified Riversdale multi-age Play Unit with the following components;
 - Platform decks;
 - Main uprights;
 - Steel guardrail panels;
 - 'Sun' plastic guardrail panel;
 - Shop counter;
 - Line up 4 panel;
 - Steering wheel;
 - Telescope;
 - Staircase;
 - Twist net;
 - Vertical hoop climber;
 - Rock scaling wall;
 - Crazy climber;
 - Disc crossing;
 - Jungle square;
 - Overhead challenge;
 - Access steps;
 - 1500mm plastic double slide; and
 - 1200mm fibreglass slide;
- Spectrum + Community swing frame – 2.5m double with:
 - Sling swing; and
 - Toddler swing
- The approximate FFL of the play equipment is to be 3.50m.

Shade Sails:

- Construction of two (2) premium sails on six (6) posts designed to provide full shade cover to the area during high UV hours (approx. 18.0m x 10.0m);
- 4.0m clearance under low points of sail;
- High tension design to reduce movement in the wind and minimise maintenance costs over the life of the sail;

- Suitable for high wind areas;
- Powder coated steelwork and Monotec FR shademesh

Refer to Development Plans in Appendix C, and the site plan in Appendix D of this report.

4.0 LAND ZONING

The subject site is zoned RU1: Primary Production pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012* (the LEP). The proposed development is for a play ground and shade sail and is considered to be most appropriately classified as 'Recreation Facility (Outdoor)' which is defined under the LEP as follows:

"...a building or place (other than a recreation area) used predominantly for outdoor recreation, whether or not operated for the purposes of gain, including a golf course, gold driving range, mini-golf centre, tennis court, paint-ball centre, lawn bowling green, outdoor swimming pool, equestrian centre, skate board ramp, go-kart track, rifle range, water-ski centre or any other building or place of a like character used for outdoor recreation (including any ancillary buildings), but does not include an entertainment facility or a recreation facility (major)."

We note that a recreation area (outdoor) is permissible with consent in the RU1 Zone.

The permissibility of the proposed development is assessed in terms of the heads of consideration in Section 4.15 of the Environmental Planning and Assessment Act 1979, which incorporates consideration of the LEP, and the objectives and permissible uses outlined in the B3 Zone, as outlined in Section 5 of this report.

5.0 PLANNING CONSIDERATION

5.1 Biodiversity Conservation Act 2016

5.1.1 Is the development likely to significantly affect threatened species?

Clause 7.2 of the Biodiversity Conservation Act 2016 (BC Act) identifies the following circumstances where a development is likely to significantly affect threatened species:

- (a) *It is likely to significantly affect threatened species or ecological communities, or their habitats, according to the test in Section 7.3, or*
- (b) *The development exceeds the biodiversity offsets scheme threshold if the biodiversity offsets scheme applies to the impacts of the development on biodiversity values, or*
- (c) *It is carried out in a declared area of outstanding biodiversity value.*

Each of these is addressed below.

5.1.1.1 Section 7.3 Test

To determine whether a development is likely to significantly affect threatened species or ecological communities, or their habitats, the following is to be taken into account in accordance with Section 7.3 of the BC Act:

- (a) *in the case of a threatened species, whether the proposed development or activity is likely to have an adverse effect on the life cycle of the species such that a viable local population of the species is likely to be placed at risk of extinction,*
- (b) *in the case of an endangered ecological community or critically endangered ecological community, whether the proposed development or activity:*
 - (i) *is likely to have an adverse effect on the extent of the ecological community such that its local occurrence is likely to be placed at risk of extinction, or*
 - (ii) *is likely to substantially and adversely modify the composition of the ecological community such that its local occurrence is likely to be placed at risk of extinction,*
- (c) *in relation to the habitat of a threatened species or ecological community:*
 - (i) *the extent to which habitat is likely to be removed or modified as a result of the proposed development or activity, and*
 - (ii) *whether an area of habitat is likely to become fragmented or isolated from other areas of habitat as a result of the proposed development or activity, and*
 - (iii) *the importance of the habitat to be removed, modified, fragmented or isolated to the long-term survival of the species or ecological community in the locality*
- (d) *whether the proposed development or activity is likely to have an adverse effect on any declared area of outstanding biodiversity value (either directly or indirectly),*
- (e) *whether the proposed development or activity is or is part of a key threatening process or is likely to increase the impact of a key threatening process.*

Comment: The subject site is largely cleared and does not include any vegetation considered significant within the general area of the development. Further, the proposed development requires no vegetation removal; it is considered unlikely that the proposed development shall have any adverse effects on threatened species or ecological communities, or their habitats.

5.1.1.2 Section 7.4 Test

Section 7.4 of the BC Act states:

- (1) *Proposed development exceeds the biodiversity offsets scheme threshold for the purposes of this Part if it is development of an extent or kind that the regulations declare to be development that exceeds the threshold.*
- (2) *In determining whether proposed development exceeds the biodiversity offsets threshold for the purposes of this Part, any part of the proposed development that involves the clearing of native vegetation on category 1-exempt land (within the meaning of Part 5A of the Local Land Services Act 2013) is to be disregarded.*

Comment: The proposed development does not involve the clearing of native vegetation. All required development and construction works are outside the mapped area of biodiversity value, as per Figure 3 below.

The proposed development does not exceed the biodiversity offsets threshold for the purposes of this part.

5.1.1.3 Declared Area of Outstanding Biodiversity Value

The site does not appear to be mapped on the Biodiversity Value Map as being land with a high biodiversity value as defined by the BC Act.

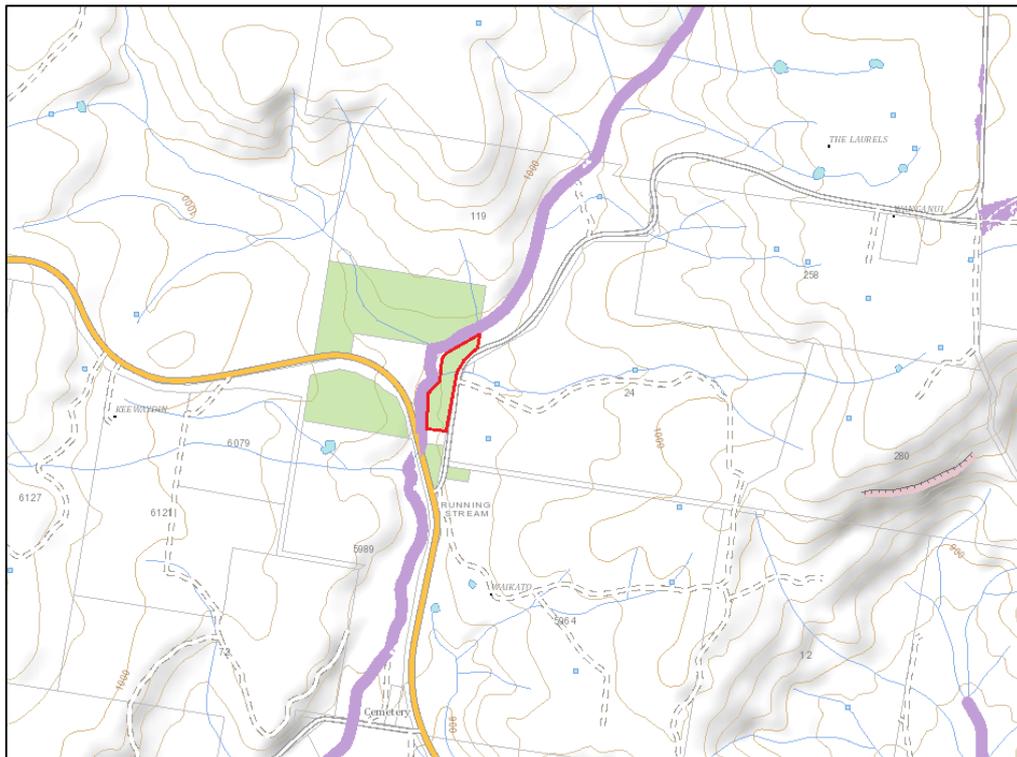


Figure 3: Biodiversity Values Map

5.1.2 Biodiversity Development Assessment Report

As outlined in Section 5.1.1, the proposed development is not likely to significantly affect threatened species as defined by Section 7.2 of the BC Act. Therefore, a Biodiversity Development Assessment Report is not required to accompany the application for development consent.

5.2 Fisheries Management Act 1994

5.2.1 Applicability

The Fisheries Management Act 1994 (FM Act) applies to:

- (a) in relation to all waters that are within the limits of the State, and
- (b) except for purposes relating to a fishery, or a part of a fishery, that is to be managed in accordance with the law of the Commonwealth pursuant to an arrangement under Division 3 of Part 5 and except for purposes prescribed by paragraph (d)—in relation to any waters of the sea not within the limits of the State that are on the landward side of waters adjacent to the State that are within the Australian fishing zone, and

- (c) *for purposes relating to a fishery, or a part of a fishery, that is managed in accordance with the law of the State pursuant to an arrangement under Division 3 of Part 5—in relation to any waters to which the legislative powers of the State extend with respect to that fishery, whether pursuant to section 5 of the Coastal Waters (State Powers) Act 1980 of the Commonwealth or otherwise, and*
- (d) *for purposes relating to recreational fishing activities engaged in otherwise than by use of a foreign boat (other than recreational activities prohibited or regulated under a plan of management determined under section 17 of the Commonwealth Act)—in relation to any waters to which the legislative powers of the State extend with respect to such activities.*

Comment: The Fisheries management Act does not apply to the subject proposal.

5.2.2 Is the development likely to significantly affect threatened species, population or ecological community?

Section 221ZV of the FM Act requires the following matters to be taken into consideration to determine whether a proposed development or activity is likely to significantly affect threatened species, populations, or ecological communities (unless it is carried out in critical habitat):

- (a) *in the case of a threatened species, whether the proposed development or activity is likely to have an adverse effect on the life cycle of the species such that a viable local population of the species is likely to be placed at risk of extinction,*
- (b) *in the case of an endangered population, whether the proposed development or activity is likely to have an adverse effect on the life cycle of the species that constitutes the endangered population such that a viable local population of the species is likely to be placed at risk of extinction,*
- (c) *in the case of an endangered ecological community or critically endangered ecological community, whether the proposed development or activity:*
 - (i) *is likely to have an adverse effect on the extent of the ecological community such that its local occurrence is likely to be placed at risk of extinction, or*
 - (ii) *is likely to substantially and adversely modify the composition of the ecological community such that its local occurrence is likely to be placed at risk of extinction,*
- (d) *in relation to the habitat of a threatened species, population or ecological community:*
 - (i) *the extent to which habitat is likely to be removed or modified as a result of the proposed development or activity, and*
 - (ii) *whether an area of habitat is likely to become fragmented or isolated from other areas of habitat as a result of the proposed development or activity, and*
 - (iii) *the importance of the habitat to be removed, modified, fragmented or isolated to the long-term survival of the threatened species, population or ecological community in the locality,*
- (e) *whether the proposed development or activity is likely to have an adverse effect on any critical habitat (either directly or indirectly),*
- (f) *whether the proposed development or activity is consistent with a Priorities Action Statement,*
- (g) *whether the proposed development constitutes or is part of a key threatening process or is likely to result in the operation of, or increase the impact of, a key threatening process.*

The assessment guidelines under section 220ZZA apply to the determination of whether any such proposed development or activity is likely to significantly affect threatened species.

Comment: The proposed development is to occur over previously disturbed area that shall not impact on threatened species or ecological communities.

5.3 Environmental Planning & Assessment Act 1979

5.3.1 Evaluation

Section 4.15 of the EP&A Act (as amended) requires the Council to consider various matters in regard to the determination of the Development Application.

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- a) The provisions of:
 - i. any environmental planning instrument, and
 - ii. any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and
 - iii. any development control plan, and
 - iv. any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and
 - v. the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and
 - vi. any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates,
- b) The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality;
- c) The suitability of the site for the development,
- d) Any submissions made in accordance with this act or the regulations,
- e) The public interest.

The proposed development has been designed with consideration to the following matters, as outlined below.

5.3.2 Division 4.6 Crown Development

Section 4.33 of the EP&A Act (as amended) requires consideration for the determination of Crown Development Applications.

- (1) A consent authority (other than the Minister) must not –
 - (a) Refuse its consent to a Crown development application, except with approval of the Minister, or
 - (b) Impose a condition on its consent to a Crown development application, except with the approval of the applicant or the Minister.
- (2) If the consent authority fails to determine a Crown development application within the period prescribed by the regulations, the applicant or the consent authority may refer the application –
 - (a) To the Minister, if the consent authority is not a council, or
 - (b) To the applicable Sydney district or regional planning panel, if the consent authority is a council.

(2A) A Crown development application for which the consent authority is a council must not be referred to the Minister unless it is first referred to the applicable Sydney district or regional planning panel.

- (3) An applicable Sydney district or regional planning panel to which a Crown development application is referred may exercise the functions of the council as a consent authority (Subject to subsection (1)) with respect to the application.
- (4) A decision by a regional panel in determining a Crown development application is taken for all purposes to be the decision of the council.
- (5) If an applicable Sydney district or regional planning panel fails to determine a Crown development application within the period prescribed by the regulations, the applicant or the panel may refer the application to the Minister.
- (6) The party that refers an application under this section must notify the other party in writing that the application has been referred.
- (7) When an application is referred under this section to an applicable Sydney district or regional planning panel or the Minister, the consent authority must, as soon as practicable, submit to the panel or the Minister-
 - (a) A copy of the development application, and
 - (b) Details of its proposed determination of the development application, and
 - (c) The reasons for the proposed determination, and
 - (d) Any relevant reports of another public authority.
- (8) An application may be referred by a consent authority or applicable Sydney district or regional planning panel before the end of a relevant period referred to in Subsection (2) or (5).

5.4 Environmental Planning Instruments

5.4.1 State Environmental Planning Policies (SEPP)

While a number of SEPPs apply to the subject land and development thereon, there is unlikely to be any significant implications in terms of the requirements of the SEPPs on the proposed development. There are no SEPPs that are required to be considered as part of this proposal.

5.2 Mid-Western Regional Local Environmental Plan 2012

5.2.1 Land Use Table

The subject site is zoned RU1 Primary Production pursuant to the *Mid-Western Regional Local Environmental Plan 2012* (the LEP). The objectives of the RU1 Zone are as follows:

- To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.
- To encourage diversity in primary industry enterprises and systems appropriate for the area.
- To minimise the fragmentation and alienation of resource lands.
- To minimise conflict between land uses within this zone and land uses within adjoining zones.
- To maintain the visual amenity and landscape quality of Mid-Western Regional by preserving the area's open rural landscapes and environmental and cultural heritage values.
- To promote the unique rural character of Mid-Western Regional and facilitate a variety of tourist land uses.

Comment: The proposed development constitutes a recreational facility (outdoor) which is a permissible use with consent and consistent with the existing character of the immediate locality. The proposed use shall not fragment or alienate the potential resourcefulness of the rural land in

proximity to the site. The proposed development provides a unique location for a community and tourist land use in the Mid-Western Regional area. In this regard, it is considered that the subject proposal is consistent with the objectives of the RU1 zone, as listed above.

5.2.2 Earthworks

Clause 6.3 'Earthworks' applies to the subject application as earthworks are included as part of the development works. The site is relatively flat throughout. There shall be no significant disruption on existing drainage patterns or soil stability in the area. Appropriate erosion and sediment controls will be undertaken on the site during development works to prevent and reduce any soil erosion that would occur on the site.

5.2.3 Terrestrial Biodiversity

Clause 6.5(3) of the LEP States:

Before determining a development application for development on land to which this clause applies, the consent authority must consider –

- (a) Whether the development is likely to have –*
 - (i) Any adverse impact on the condition, ecological value and significance of the fauna and flora on the land, and*
 - (ii) Any adverse impact on the importance of the vegetation on the land to the habitat and survival of native fauna, and*
 - (iii) Any potential to fragment, disturb or diminish the biodiversity structure, function and composition of the land, and*
 - (iv) any adverse impact on the habitat elements providing connectivity on the land, and*
- (b) Any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.*

Comment: The proposed subject site is identified on the Mid-Western LEP Terrestrial Biodiversity Map required Clause 6.5 to be considered. The proposed development is occurring well within the site's boundaries and doesn't require the removal of any significant vegetation. The site has been generally disturbed for an extended period of time and the development will not create any fragmentation of the surrounding land and/or vegetation.

5.2.4 Essential Services

Clause 6.9 of the LEP states:

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the proposed development are available or that adequate arrangements have been made to make them available when required

–

- (a) The supply of water,*
- (b) The supply of electricity,*
- (c) The disposal and management of sewerage,*
- (d) Stormwater drainage or on-site conservation, and*
- (e) Suitable road access.*

Comment: All the above-mentioned services are available to the site. Although the proposed development will not require new connections, the site has suitable access via Mount Vincent Road.

5.4 Draft Environmental Planning Instruments

No draft Environmental Planning Instruments are applicable to the subject site or development.

5.5 Development Control Plans

The *Mid-Western Regional Council Development Control Plan 2013* (DCP) applies to the subject application. The relevant provision of the DCP has been addressed in Table 1 below.

Table 1 - DCP Requirements

Provision	Comment
Relevant Development Standards	
Car Parking	<p>Part 5.1 of the Mid-Western DCP does not offer specific requirements regarding a recreation facility (outdoor) in the form of a playground. Thus, the development is required to be considered on a merit basis by Mid-Western Regional Council.</p> <p>Parking is available onsite as currently used sporadically for the community hall.</p> <p>Please refer to Appendix D for car parking area.</p>

5.6 Any Planning Agreement entered into

No Planning Agreements entered into are known to exist in relation to the development or site.

5.7 Any Matters Prescribed by the Regulations

For the purposes of Section 4.15(1)(a)(iv) of the EP&A Act, Clause 61 of the *Environmental Planning and Assessment Regulations 2021* (EP&A Regulations) specifies the additional matters a consent authority must take into consideration when determining a DA. No matter is relevant to the site and the development.

5.8 Any Likely Impacts of the Development

5.8.1 Context & Setting

The subject site is in an established environment which is characterised by rural land and a classified road. The proposed development shall occur within the properties boundaries and existing boundary treatments should ensure minimal impacts on neighbouring properties, including vegetation in close vicinity.

Therefore, the proposed development is considered to be consistent with existing developments and uses in the area shall not impact on the context or setting in the locality.

5.8.2 Access, Transport & Traffic

The development shall utilise an informal parking area made available from Mount Vincent Road which is in context with the Running Stream locality given the minimal traffic movements. The site is not accessible via the Castlereagh Highway.

The type of traffic accessing the site shall continue to be cars. An informal off-street parking area is available as utilized for existing uses.

In this sense, the proposal should not impede the road network or result in any significant increase in current traffic movements.

5.8.3 Noise

The proposed erection of a playground & shade sail will generate some noise impacts in the locality. The likelihood of noise becoming offensive can be minimised by adopting good work practice and adhering to construction hours as required by Council.

5.8.4 Social & Economic Impacts in the Locality

The proposal is considered an appropriate use for the site and shall provide a playground to support a recreational area, and the wider Running Stream area.

5.8.5 Bushfire

The Planning for Bushfire Protection Guide 2019 does not specifically capture developments, of this nature, however, it does state that consideration should be given to other development (not residential) as raised in *Section 8.3 Other non-residential development* for the purposes of appropriate access, water supply, and services, and emergency and evacuation planning in bush fire prone areas:

- *To provide safe access to/from the public road system for firefighters providing property protection during a bushfire and for occupant egress and evacuation;*

Comment: The proposed development is accessible by a sealed road suitable for egress in the event that evacuation is required.

- *To provide suitable emergency and evacuation (and relocation) arrangements for occupants of the development;*

Comment: The site is unlikely to be occupied during bushfire events.

- *To provide adequate services of water for the protection of buildings during and after the passage of bushfire, and*

Comment: The proposed development does not involve a building.

- *To locate gas and electricity so as not to contribute to the risk of fire to a building; and provide for the storage of hazardous materials away from the hazard wherever possible.*

Comment: Gas and electricity are not major considerations. No hazardous materials are known to be part of this development.

5.8.6 Other

There are no other issues such as flooding, flora/fauna, or heritage that would significantly impact upon the development.

5.9 Suitability of the Site for the Proposed Development

The suitability of the site for the proposed development has been addressed in the above sections of this report. There are no prohibitive constraints posed by adjacent developments. There does not appear to be any zoning, planning, or environmental matters that should hinder the proposed development of the site. In this regard, it can be concluded that the proposal fits into the locality and the site attributes are conducive for the development.

5.10 The Public Interest

The proposal is unlikely to create any negative impacts on the amenity of the area and is therefore deemed to be positive in terms of the public interest.

6 CONCLUSION

It is recommended that the proposed construction of a playground and supporting shade sail, on Lot 7001 DP 1056573, commonly known as 25 Mount Vincent Road, Running Stream be supported on the following grounds:

- The proposal is considered acceptable in terms of the provisions of Section 4.15 of the *Environmental Planning and Assessment Act 1979*;
- The proposal is permissible with consent and consistent with the relevant development standards and provisions of the *Mid-Western Regional Local Environmental Plan 2012*;
- The proposal complies with the relevant provisions of the *Mid-Western Regional Development Control Plan 2013*;
- The proposed development is considered appropriate and not anticipated to generate any adverse impacts in the locality;
- The proposed development is expected to create job opportunities and a positive social impact for the Running Stream; and
- The proposed development is considered suitable for the surrounds.

7 REFERENCES

The following key references were utilised as part of this assessment:

- *AHIMS*
- *Mid-Western Regional Development Control Plan 2013*
- *Mid-Western Regional Local Environmental Plan 2012;*
- *NSW Government Spatial Services 2021*

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APPENDIX A

DP

PLAN OF CROWN LAND SHOWING FORMER ARTIFICIAL ID

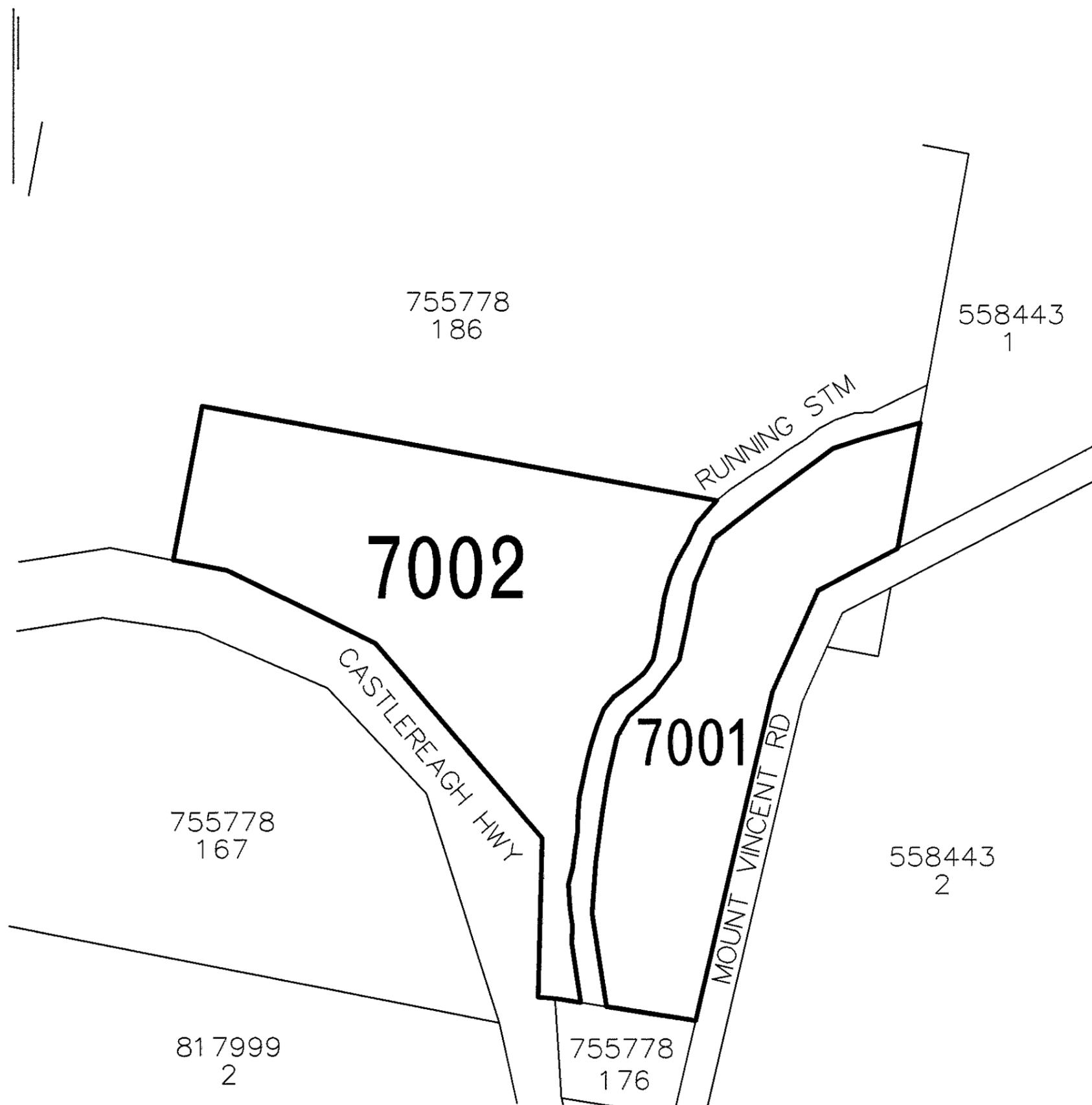
410/7001//755778/37372 432/7002//755778/37374
Shire/City RYLSTONE
Town/Locality RUNNING STREAM
Parish HEARNE
County ROXBURGH (21)
Not to Scale

DP 1056573

Registered  14.7.2003
Title System CROWN LAND
Purpose DEPARTMENTAL
Reference Map PARISH
DCDB Partition UTUR1N
Last Plan 656-3090

DIAGRAM FOR IDENTIFICATION PURPOSES ONLY ... NOT TO BE USED FOR FOLIO CREATION
THIS IS NOT A SUBDIVISION OF THE CROWN ESTATE. STATUS MAY NEED TO BE VERIFIED.
NOT INVESTIGATED IN LAND TITLES OFFICE AS TO LOCATION OF BOUNDARIES

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APPENDIX B
AHIMS

Barnson

Date: 02 March 2023

Unit 1/36 Darling Street
Dubbo New South Wales 2830

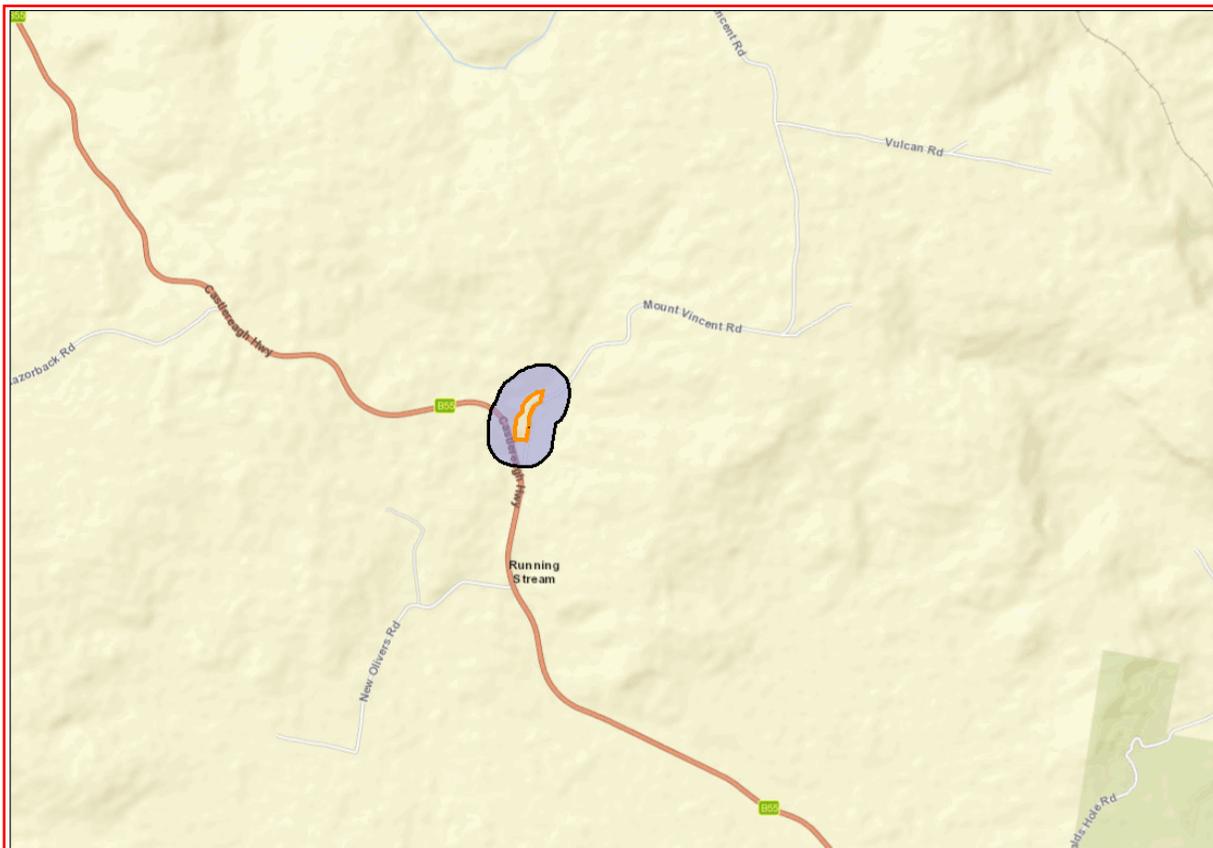
Attention: Sebastian Minehan

Email: sminehan@barnson.com.au

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 7001, DP:DP1056573, Section : - with a Buffer of 200 meters, conducted by Sebastian Minehan on 02 March 2023.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not to be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.

barnson.

APPENDIX C

Development Plans



adventure +

Playground Proposal

Running Stream Community Hub - Revised

Proposal No: 58867
Date: 23 August 2022





Colours

Powder Coat
 Woodland Grey
 Pale Eucalypt
 Shale Grey
 Doeskin

Corrugated Sheet
 N/A

Timber
 N/A

HDPE Plastic
 Green/Beige/Green
 Beige/Green/Beige

Wire Rope
 Olive GGreen

Fibreglass Slide
 Mist Green

Rotomoulded Plastic
 Light Grey

 **Made in Australia**

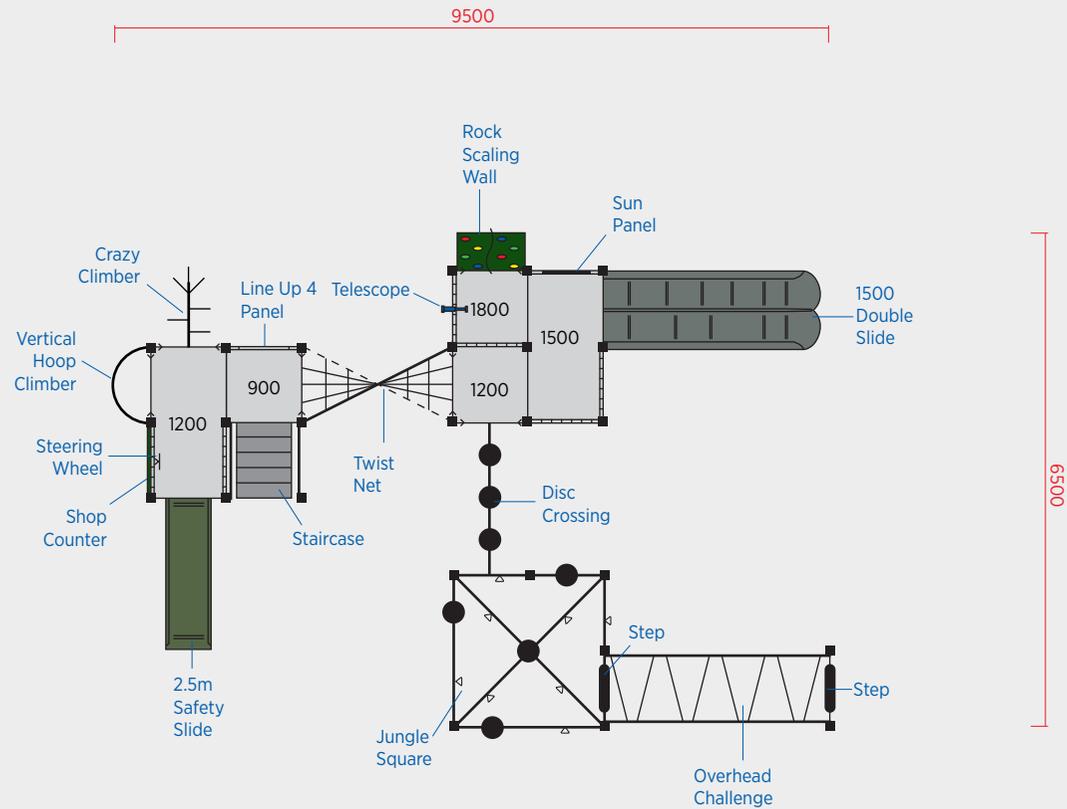
Plan and Concept © Adventure Plus Australia Pty. Ltd. 2022. Illustration and schematic only. Actual results may vary.



Plan and Concept © Adventure Playgrounds Pty. Ltd. 2021. Illustrations are schematic only, actual details may vary. 20235538

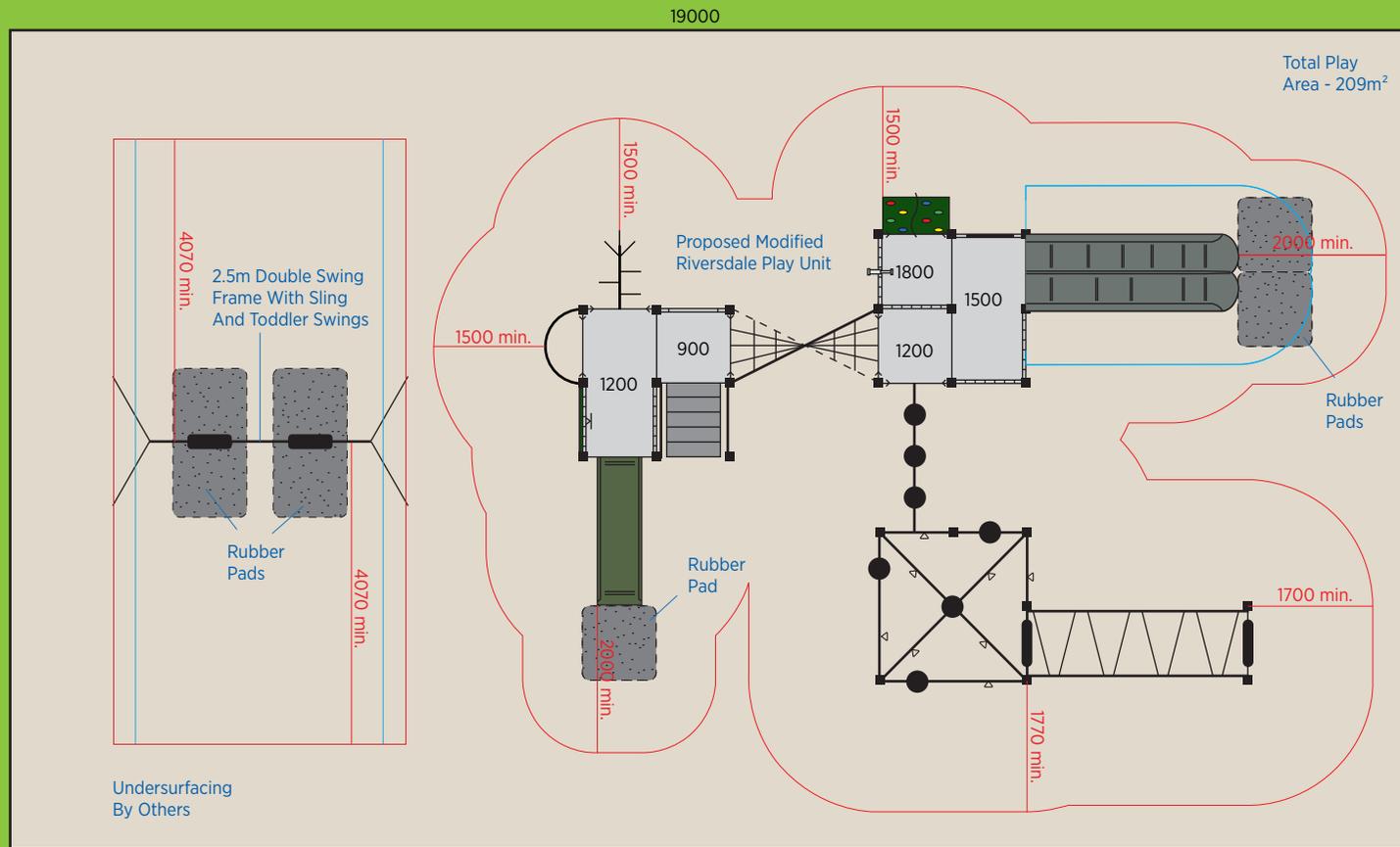


Plan and Concept © Adventure Playgrounds Pty. Ltd. 2021. Illustrations are schematic only, actual details may vary. 21/25/22



SCALE 1:100

• Plans and illustrations are schematic only, actual detail may vary.
Do not scale for dimensions. Allow 5% minimum additional clearance for site variations.



SCALE 1:100

- Provide undersurfacing in accordance with AS 4422:2016. Mulch undersurfacing should be 200mm minimum compacted depth.
- Plans and illustrations are schematic only, actual details may vary. Do not scale for dimensions. Allow 5% minimum additional clearance for site variations.
- Falling Space:

Minimum impact area as per AS 4685:2021	Required free space as per AS 4685:2021
Recommended clearance area	

Location On site To Be confirmed

All Site Works By Others

Proposed Playground Concept

The proposed playground concept includes a selection of play elements designed to appeal to the expected user group. However, there are many variations possible and other options available. The various play activities proposed, while fun in themselves, also provide important opportunities for the normal growth and development of physical and social skills. Playground layouts can be altered to suit different areas, but our play unit designs generally include access and exit points in various directions, and are designed to allow easy progression from one activity to another.

Aesthetics are not forgotten and the concept should greatly enhance the visual appeal of the play environment. Along with endless colour options, different construction styles of equipment are also available and the choice comes down to aesthetic considerations and personal taste. In many cases, the same play unit design can be supplied in a different construction style utilising a different material as the main structural element. Specifications and details of our warranty for the equipment proposed are included in the Product Information section of this proposal.

Concept illustrations are schematic and are provided to give a general overall impression only as the actual details may vary. The location of the play elements proposed are shown on the plans, along with the minimum impact areas required by Australian Standard AS 4685-2014. Impact areas are required between any part of the equipment and solid objects such as borders, trees, fences, buildings etc., and will vary according to the fall height. Undersurfacing complying with Australian Standard 4422:2016 is required in all playground areas, however, along with border construction or repositioning, or other site works, this is only included where specifically listed.

Play Elements

1. spectrum+ modified Riversdale multi-age Play Unit with the following components:

- 1. Platform Decks (5)
- 2. Main Uprights (26)
- 3. Steel Guardrail Panels (6)
- 4. 'Sun' Plastic Guardrail Panel
- 5. Shop Counter
- 6. Line Up 4 Panel
- 7. Steering Wheel
- 8. Telescope
- 9. Staircase
- 10. Twist Net
- 11. Vertical Hoop Climber
- 12. Rock Scaling Wall
- 13. Crazy Climber
- 14. Disc Crossing
- 15. Jungle Square
- 16. Overhead Challenge with
- 17. Access Steps (2)
- 18. 1500 Plastic Double Slide
- 19. 1200 Fibreglass Slide

Price including installation \$58,670.00

2. spectrum+ Community Swing Frame – 2.5m Double with:

- 1. Sling swing
- 2. Toddler swing

Price including installation \$3,430.00

Total Play Elements – Revised 23.08.2022 \$62,100.00

GST – 10% \$6,210.00

Total including GST \$68,310.00

Site Works

1. Site Establishment

Site will be barricaded during works, site setout and OHS are included.

2. Temporary Fencing.....not included

Temporary fencing available at extra cost if required.

3. Underground Services

An underground services trace will be carried out, however installation charges are based upon mechanical digging of post holes, and any digging by hand to identify or protect services may involve additional charges.

4. Demolition and Site Preparation.....not included

5. Installation

Installation charges assume natural soil conditions free of all rocks, concrete, debris, or obstructions. If obstructions of any kind or quantity are encountered, surcharges may apply.

6. Drainage.....not included

7. Playground Border.....not included

8. Mulch Undersurfacing.....not included

9. Rubber Landing Pads

Prefabricated rubber pad on timber frame, pinned at corners:

Swing pads – 2.0m x 1.0m x 2 – \$860.00 each.....	\$1,720.00
Slide pads – 1.0m x 1.0m x 3 – \$480.00 each.....	\$1,440.00

10. Site Rectification.....not included

Total Site Works.....\$3,160.00

GST – 10%.....\$316.00

Total including GST.....\$3,476.00

Total Price – Revised 23.08.2022	\$65,260.00
GST – 10%	\$6,526.00
Total including GST	\$71,786.00

Subject to our Standard Terms and Conditions of Trading

Product Information

General Specifications



spectrum+ is an exceptionally robust, powder coated steel style of equipment with a range of accessories in other materials. With an extensive choice of play activities and colour options, it combines versatility and high visual impact.

MAIN UPRIGHTS

75 x 75 x 2.5mm galvanised RHS with powder coat finish.

Upgraded to 75 x 75 x 3.0mm in high load locations.

PLATFORM DECKS

3.0mm galvanised steel sheet, punched dimple pattern and slip resistant powder coat.

ROOFS

Powder coated galvanised sheet steel, corrugated steel sheeting or rotomoulded plastic as specified.

SAFETY RAILING

900mm high guardrail panels on platforms over 500mm.

Powder coated galvanised steel tube or HDPE plastic panels as specified.

HANDGRIPS

27mm O/D galvanised steel tube with powder coat finish.

Supplied at climbing access points as appropriate.

Access ladders include 27mm O/D handgrip integrated in ladder side.

HANDRAILS

34mm O/D galvanised steel tube with powder coat finish.

PLAY COMPONENTS

Fabricated from galvanised steel, welds treated with zinc rich primer – powder coat finish.

SLIDES

Heavy duty reinforced fibreglass, rotomoulded plastic or stainless steel as specified.

TUNNELS

Powder coated galvanised steel tube with end panels.

ACTIVITY PANELS

Rotomoulded plastic beads or HDPE plastic sheet panels as appropriate.

CLIMBING ROPES

Synthetic strands braided over a galvanised steel wire core.

HARDWARE

Trilobial taptite bolts, cup head bolts, recessed safety nuts, screws – vandal resistant with galvanised/class 3 finish.

FOOTINGS

Concrete to a minimum depth of 500mm with earth hard packed to mouth of hole.

Product Information

Colour Range



The selection of colours for play equipment is an important part of the design process, and should take into account the proposed user group and the surrounding environment. Starting with the powder coat colours of the main elements as a basis, coordinating colours for other accessories can be selected as shown below. Please note that all **spectrum+** platforms are supplied in APO Grey Scylla (light grey) and all staircases in Notre Dame Scylla (dark grey). Powder coat colours have been grouped into themes to aid selection, however the combinations possible are extensive. Specific complete colour schemes are also available for review on request.

POWDER COAT COLOURS

The colours below have been selected because they are popular in outdoor playground equipment applications. However, a large range of powder coat colours is available, although in some cases additional lead times and costs may be involved. It is most important to recognise that all colours fade over time, but that bright, bold or strong colours will show most noticeably (especially reds). When selecting colours (including our standard colours) please consider the effect of fading on the long term appearance of your playground as colour variations are not covered under powder coating warranties.

HIGHLIGHT THEME



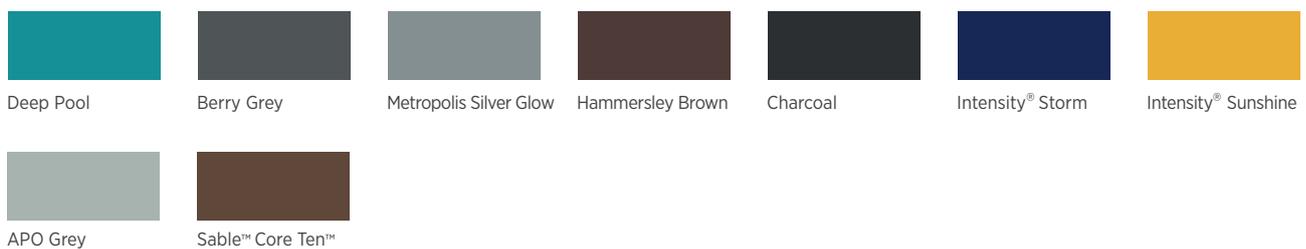
EARTH TONES THEME



HERITAGE THEME

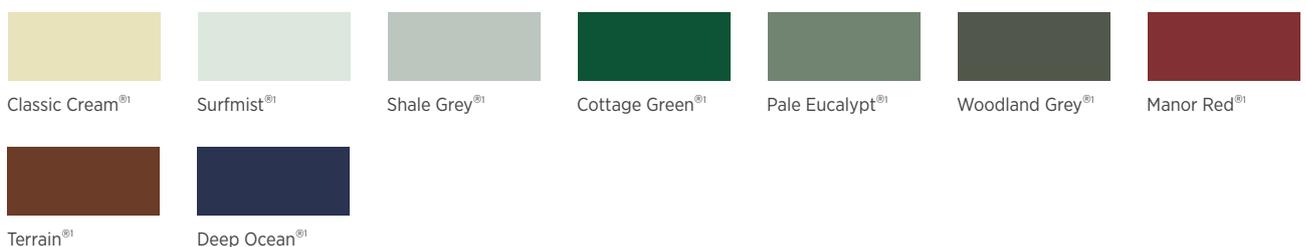


OTHER POPULAR COLOURS



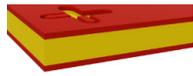
CORRUGATED SHEET COLOURS

Where a roof is constructed from corrugated sheet, Colorbond®BSL steel colours are available and a selection of the most popular colours is shown below.



HDPE PLASTIC COLOURS

The most commonly available HDPE colours are shown below, however variations may apply from time to time.



Red/Yellow/Red



Yellow/Red/Yellow



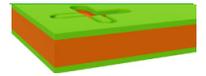
Orange/Purple/Orange



Purple/Orange/Purple



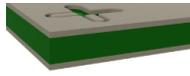
Blue/Yellow/Blue



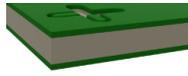
Bright Green/Orange/
Bright Green



Blue/Bright Green/Blue



Beige/Green/Beige



Green/Beige/Green



Black/White/Black



Grey/White/Grey

WIRE ROPE COLOURS

Additional costs and extended lead times may apply to some colours, depending on current stock availability.



Red



Blue



Bright Green



Olive Green



Black



Yellow



Violet



Acid Green



Burnt Orange



Natural Beige

FIBREGLASS SLIDE COLOURS

Additional costs and extended lead times may apply to some colours, depending on current stock availability.



Hermitage



Signal Red



International Orange



Golden Yellow



Canary Yellow



Sand



Hawthorn Green



Apple Green



Kelly Green



Mist Green



Purple Blue



Central Blue



Purple



Grey

ROTOMOULDED PLASTIC COLOURS

Additional costs and extended lead times may apply to some colours, depending on current stock availability.



Yellow



Orange



Flame Red



Purple



French Blue



Plasmo Green



Teal



Caulfield Green



Beige



Mist Green



Light Grey



Black

Design Standards

Equipment supplied and installed by Adventure Playgrounds Pty. Ltd. is designed as playground equipment compliant to the following Standards:

Australian Standard 4422:2016

Australian Standard 4685.0:2017

Australian Standard 4685.1:2021 to 4685.6:2021

Australian Standard 4685.11:2014

Compliance is limited to those matters in the above Standards which directly govern the design and installation of fixed play equipment. Issues relating to: siting of the equipment, provision and maintenance of suitable undersurfacing, establishment and continuation of a maintenance program etc. are the responsibility of the purchaser and responsibility for compliance with these parts of the Standards is only accepted by Adventure Playgrounds Pty. Ltd. where they form part of the contracted works.

Equipment is not designed as fitness or parkour equipment and compliance with Standards AS 16630:2021 and AS EN 16899:2020 is not certified.

Warranty

1. Warranty Periods

Equipment supplied by Adventure Playgrounds Pty. Ltd. ('**adventure+**') is guaranteed against structural failure due to corrosion, deterioration or faulty workmanship from the date of invoice for the periods as follows:

1. Steel/aluminium uprights, platform decks, fabricated climbers and components - 15 years.
2. Timber components - 5 years.
3. Spring rockers (including springs) and spinners - 5 years.
4. Wire cored ropes, swing seats, trampoline mats, fibreglass, and plastic components - 2 years.
5. Moving and wearing parts within items covered under Clauses 1 - 4 above - 2 years (Excludes wear and tear).
6. Non-structural coatings and paintwork - As per coating manufacturer's warranty.

2. Conditions of Warranty

This warranty extends only to:

1. Defects arising solely from corrosion, breakage, deterioration or faulty design, materials or workmanship under proper use of the Equipment subject to the exclusions at Section 3 below;
2. Equipment adequately maintained as detailed in the Owner's Manual;
3. Equipment installed or operated by a suitably qualified and experienced person in accordance with Installation Manual;
4. Equipment sold by **adventure+** or its authorised distributors and only where the Equipment is used and serviced within Australia; and,
5. where the defects appear in the Equipment within the applicable warranty period.
6. The cost of returning the Equipment including freight, packaging and insurance is the responsibility of the Purchaser, and such costs are not included in this warranty **adventure+** accepts no liability for loss or damage to the Equipment during transit.
7. Charges will apply for any non-warranty services performed by **adventure+** in response to a warranty claim.

3. Exclusions to Warranty

This Warranty does not cover:

1. unauthorised repairs, alteration, modification or substitution of any parts of the Equipment, installation or use of the Equipment not in accordance with the Owner's Manual supplied;
2. malfunction of Equipment due to faulty operation or installation (other than installation by **adventure+**);
3. Other goods that are not manufactured or supplied by **adventure+**;
4. Equipment not purchased from **adventure+** or its authorised distributors.

In addition to the above, this Warranty DOES NOT cover the following:

5. Damage or defects to the Equipment that ought reasonably to have been revealed to you by an examination of the Equipment, where you conducted such an examination before acquiring the product;
6. normal wear and tear due to the course of normal use;
7. variations in timber appearance and longevity, or cracking, twisting or splitting of timber exposed to the weather where the structural integrity of the play unit is not unduly affected;
8. deterioration due to corrosion where maintenance has not been carried out, or has not been properly documented, in accordance with the manufacturer's recommendations (Refer to Owner's Manual);
9. accidental damage, vandalism or damage caused by an event or circumstance even when beyond your or anyone else's control including damage caused by:
 - a. environmental factors, including but not limited to corrosion attributable to coastal or seaside atmospheric conditions,
 - b. discolouration of surfaces due to environmental factors such as, but not limited to, ultraviolet light,
 - c. abrasion of fibreglass surfaces, especially but not limited to, where installed in or near sand,
 - d. crushing, abrasion, impact with hard surface or damage caused in the transit of the product,
 - e. foreign material, or exposure of the product to excessive heat or cold or to solvents.

4. Limitation of Liability

The following statement applies if the supply of the Equipment to the purchaser is a consumer sale as defined in the Australian Consumer Law. In this statement, 'Our' means '**adventure+**', 'You' means the 'Purchaser' and 'goods' means the 'Equipment':

1. Our goods come with guarantees that cannot be excluded under the Australian Consumer Law. You are entitled to a replacement or refund for a major failure and for compensation for any other reasonably foreseeable loss or damage. You are also entitled to have the goods repaired or replaced if the goods fail to be of acceptable quality and the failure does not amount to a major failure.
2. Notwithstanding the preceding clause and to the extent permissible by law, the liability of **adventure+** is limited, in relation to the Equipment and at the discretion of **adventure+** to:
 - a. replacing the Equipment or the supply of equivalent goods;
 - b. the repair of the Equipment;
 - c. the payment of the cost of replacing the Equipment or of acquiring equivalent Equipment; or
 - d. the payment of the cost of having the Equipment repaired.
3. To the extent permitted by law, all other warranties whether implied or otherwise, not set out in this Warranty are excluded and **adventure+** is not liable in contract, tort (including, without limitation, negligence or breach of statutory duty) or otherwise to compensate the Purchaser for:
 - a. any increased costs or expenses;
 - b. any loss of profit, revenue, business, contracts or anticipated savings;
 - c. any loss or expense resulting from a claim by a third party; or
 - d. any special, indirect or consequential loss or damage of any nature whatsoever caused by **adventure+** failure in complying with its obligations or the Purchaser's failure due to accident damage, impact, misuse or negligence.
4. The benefits given to the Purchaser in this Warranty are in addition to other rights and remedies under a law in relation to the Equipment or services to which this Warranty applies.
5. This warranty is not applicable outside Australia.

5. Investigation of Claims

All Equipment which is the subject of a warranty claim is subject to evaluation by **adventure+** before any warranty claim is approved.

To make a warranty claim pursuant to this Warranty, the Purchaser must:

1. notify **adventure+** in writing within 30 days of the alleged defect first coming to the Purchaser's notice and within the warranty period;
2. provide **adventure+** all information required, including serial numbers, photos of the alleged defect, and with reasonable evidence of the proof of purchase. The Playground Registration, invoice number or payment receipt are the Purchaser's best proof of purchase;
3. provide evidence that the Equipment has been installed correctly and is used in accordance with the instructions of **adventure+** supplied with the Equipment; and
4. make the Equipment available for inspection by **adventure+**, so that **adventure+** may carry out all necessary work with the Equipment.

6. Contact Details

To make a claim under this Warranty or to discuss the warranty service, please contact **adventure+** technical support at:

Address: 72 Latitude Boulevard, Thomastown VIC 3074

Phone number: 1300 237 587

Email: adventure@adventureplus.net.au

barnson.

APPENDIX D
Site Plan



01 PROPOSED SITE LAYOUT
 Scale 1: 750 @ A1



EXISTING SITE LEGEND.

- existing boundary
- existing driveways



BARNSON PTY LTD

address. Unit 1, 36 Darling Street
 Dubbo NSW 2830
 phone. 1300 BARNSON (1300 227 676)
 email. generalenquiry@barnson.com.au
 web. barnson.com.au

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH GENERAL BUILDING DRAWINGS, SPECIFICATIONS & OTHER CONSULTANTS DRAWINGS APPLICABLE TO THIS PROJECT. ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE. DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK. REPORT DISCREPANCIES TO BARNSON PTY LTD. NO PART OF THIS DRAWING MAY BE REPRODUCED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF BARNSON PTY LTD.

Rev.	Date.	Amendment.
A	09.03.2023	ISSUED FOR REVIEW
B	15.03.2023	ISSUED FOR DEVELOPMENT APPLICATION

Project.
PROPOSED PLAYGROUND & PARKING
 Site Address.
 25 MOUNT VINCENT ROAD, RUNNING STREAM
 NSW 2850
 Client.
 WATERSHED LANDCARE

Drawing Title.
SITE PLAN

Scale.	As indicated @ A1	Drawn.	AJ
Sheet.	01 of 01	Checked.	KG
Project No.	40789	Revision.	B

Drawing No.

**40789-
 A01**

ISSUED FOR DA