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# Statement of Environmental Effects

**Project:** Torrens Title Subdivision (1 Lot into 8 Lots)

**Client:** Penney Constructions

**Site Address:** 139 Robertson Street, Mudgee

24 March 2023

**Our Reference :** 38895-PR01\_A

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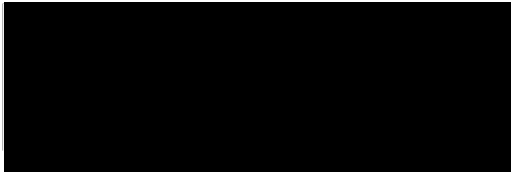
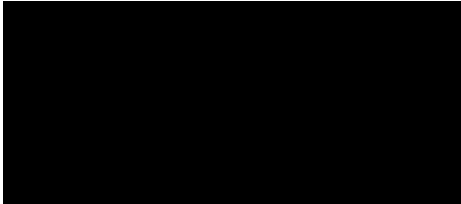


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<b>Project Name:</b>	Torrens Title Subdivision (1 Lot into 8 Lots) at 139 Robertson Street, Mudgee
<b>Client:</b>	<b>Penney Constructions</b>
<b>Project Number:</b>	38895
<b>Report Reference:</b>	38895-PR01_A
<b>Date:</b>	24 March 2023

<b>Prepared by:</b>	<b>Reviewed by:</b>
	
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## 1. INTRODUCTION

### 1.1. Background

Barnson Pty Ltd has been engaged by Penney Constructions to prepare information in support of a Development Application (DA) for a Torrens Title Subdivision (1 Lot into 8 Lots) of Lot 2101 DP 126106, known as 139 Robertson Street, Mudgee.

The subject site is located on the eastern side of Robertson Street and has an area of 1.251ha. The site contains an existing dwelling at the front of the site with scattered trees and grasslands throughout the remainder of the site.

The project will consist of subdividing the site into eight (8) residential Lots and establishing a new access road and associated infrastructure.

The site is zoned R1 General Residential pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012*. The proposed development is defined as a subdivision, which is permissible with consent in the R1 zone pursuant to Clause 2.6 of the LEP.

This application consists of:

- NSW Planning Portal application form; and
- This Statement including supporting documents.

### 1.2. Proponent

The proponent for the DA is Penney Constructions.

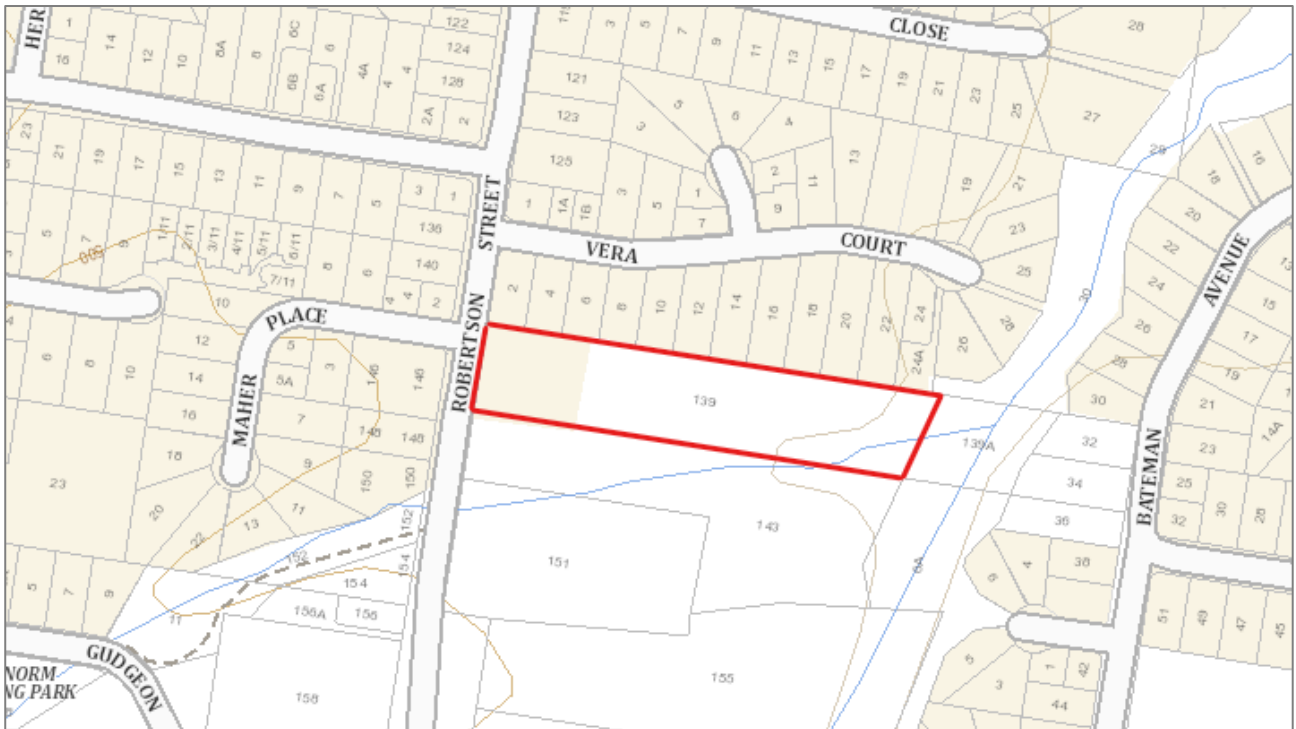
### 1.3. Consultant

Barnson Pty Ltd  
Jack Massey  
Unit 4 / 108-110 Market Street  
Mudgee NSW 2850

## 2. EXISTING ENVIRONMENT

### 2.1. Location and Title

The subject site of this application is Lot 2101 DP 1261061, known as 139 Robertson Street, Mudgee. The site is located on the eastern side of Robertson Street, approximately 1.5km southeast of the Mudgee Showground as shown in Figure 1 below.



Source: (NSW Government Spatial Services, 2022)

Figure 1 – Site Location

The site has an overall area of 1.251 hectares (refer to Deposited Plan in Appendix A). The site has direct frontage to Robertson Street.

The site contains an existing dwelling at the front of the site with scattered trees and grasslands throughout the remainder of the site, as shown in Figure 2 and Plates 1-3 below.





Source: (NSW Government Spatial Services, 2022)

Figure 2 – Site Aerial



Plate 1 – View of the front of the site along Robertson Street





**Plate 2 – View of the site from Robertson Street**



**Plate 3 – View of Robertson Street and access to the existing dwelling**



## 2.2. Land Use

The subject site is located in an established residential area in the township of Mudgee. There are existing residential developments surrounding the subject site with the emergence of infill housing developments within proximity. The subject site is surrounded by R1 residential zoned land, with established residential lots to the north and large R1 zoned lots to the south.

## 2.3. Topography and Soils

A Detail survey has been conducted for the site and has been incorporated in the Civil Design Drawings in Appendix B of this report. The detail survey found that the site generally falls from east to west, as shown in Figure 3 below and Appendix B.

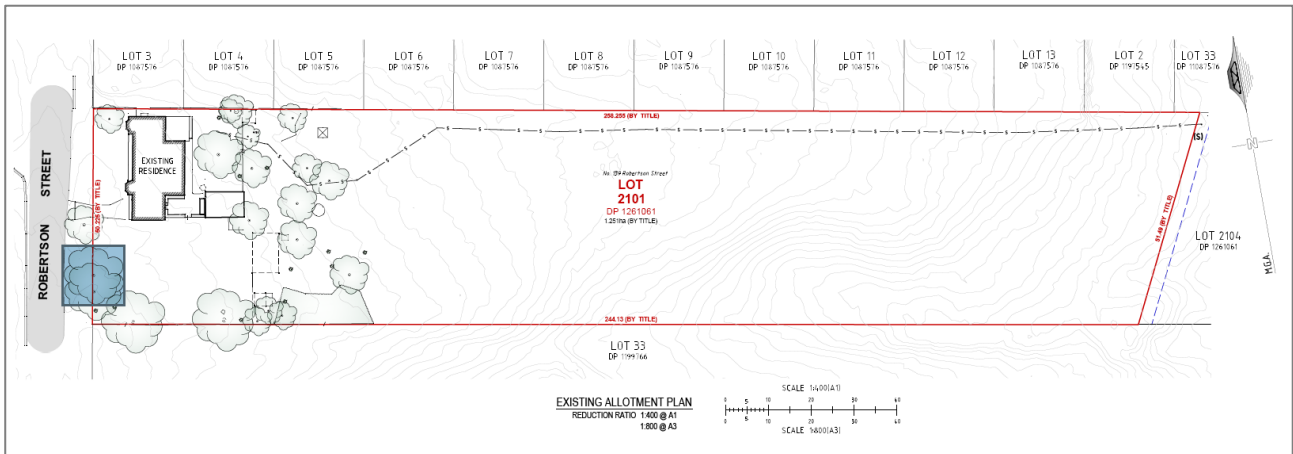


Figure 3 – Detail Survey Extract

## 2.4. Flora and Fauna

The site contains managed grasslands and scattered trees throughout the site with clusters of trees along the northern border of the site. The trees consist of a number of species consistent with the residential use of the land and locality.

## 2.5. Natural Hazards

### 2.5.1. Flooding

The subject site is not mapped within the Flood Planning Area pursuant to the NSW ePlanning Spatial Viewer or *Mid-Western Regional Local Environmental Plan 2012*.

In 2021, WMA Water were engaged by Mid-Western Regional Council to undertake a flood study for Mudgee. The Mudgee Flood Study was released in February 2021. Barnson contacted WMA Water to determine if the site sits within the 1% Annual Exceedance Probability (AEP) area (Figure 29) of the flood study. An extract of the mapped area in relation to the subject site is provided in Figure 4 below.



Figure 4 – 1% AEP Mapped Area

*Note. The 1% AEP is also known as the 1:100 year flood event.*

The 1% AEP mapped area has been incorporated in the design of the subdivision and shown on the Civil Design Drawings in Appendix B of this report.

### 2.5.2. Bush Fire

The subject site is not mapped within a bushfire prone area pursuant to the ePlanning Spatial Viewer or RFS' Online Bushfire Mapping Tool.

## 2.6. Watercourse

An identified water course (name unknown) is located on the south east corner of the site, as shown in Figure 5 below.

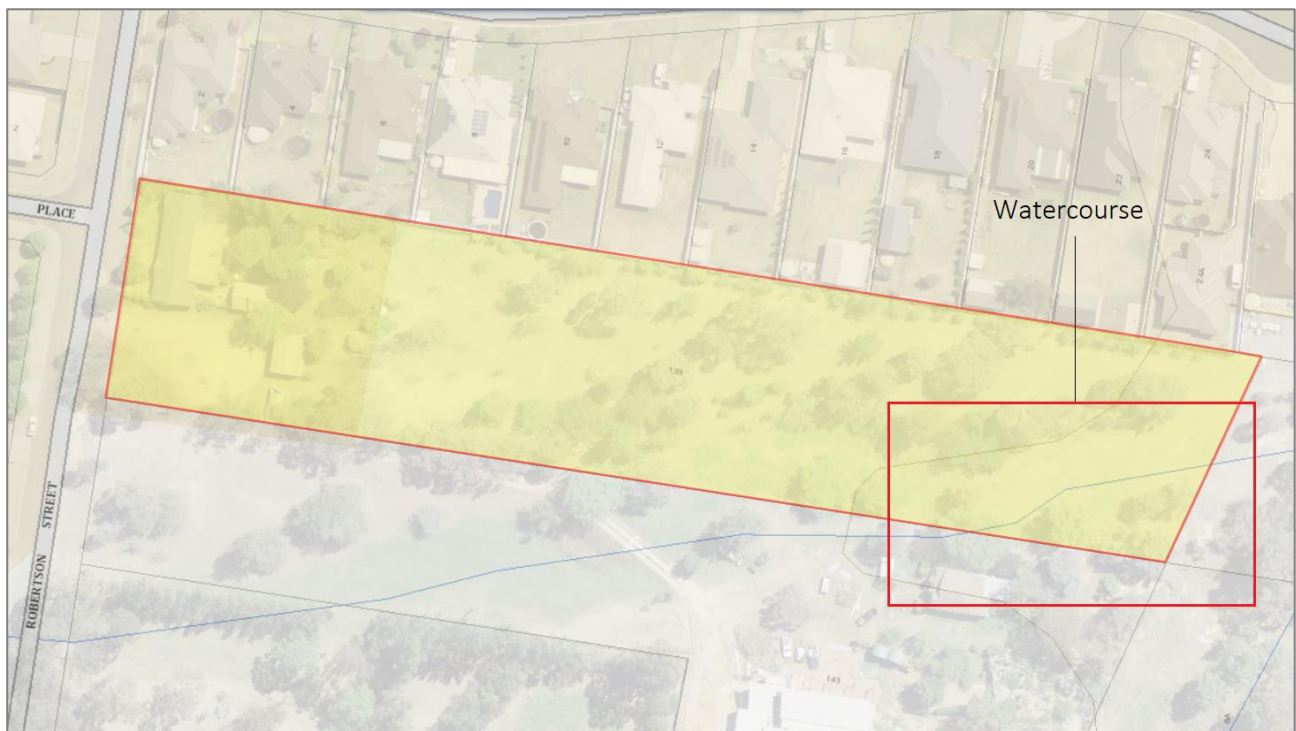


Figure 5 – Mapped Watercourse

The watercourse does not appear to be a formal river or stream, but rather a low lying area that may be subject to stormwater and/or flooding impacts.

## 2.7. Services

By virtue of the existing dwelling located on the property, the site has existing connections to water supply, sewer, stormwater management, telecommunications, NBN, and suitable road access.

## 2.8. Access and Traffic

The site has direct frontage to and access via Robertson Street (two way, two laned sealed road). An existing crossover and layback currently provide suitable vehicular access to and from the site, associated with the residential use of the land.

## 2.9. Heritage

The site is not identified as containing a heritage listed item pursuant to Schedule 5 of the *Mid-Western Regional Local Environmental Plan 2012* or State Heritage Register. An Aboriginal

Heritage Information System (AHIMS) search was undertaken for the site and immediate surrounds. The AHIMS search revealed that there are no Aboriginal sites recorded within the boundary of the subject site.



### 3. PROPOSED DEVELOPMENT

The proposed development is for the Torrens Title Subdivision (1 Lot into 8 Lots) of Lot 2101 DP 1261061, known as 139 Robertson Street, Mudgee. Proposed Lot 1 shall be improved with the existing dwelling and associated outbuildings. Proposed Lots 2-8 will be vacant for future residential development. A Subdivision Sketch has been provided and attached in Appendix B of this report.

The proposed Lots, their sizes and road frontage are shown in Table 1 below.

Proposed Lot	Road Frontage	Area
Lot 1	Robertson Street and proposed Cul-De-Sac	1,395m <sup>2</sup>
Lot 2	Proposed Cul-De-Sac	817.7m <sup>2</sup>
Lot 3	Proposed Cul-De-Sac	816.0m <sup>2</sup>
Lot 4	Proposed Cul-De-Sac	814.3m <sup>2</sup>
Lot 5	Proposed Cul-De-Sac	824.0m <sup>2</sup>
Lot 6	Proposed Cul-De-Sac	728.8m <sup>2</sup>
Lot 7	Proposed Cul-De-Sac	1,411m <sup>2</sup>
Lot 8	Proposed Cul-De-Sac	3,150m <sup>2</sup>

The subdivision has been strategically designed to position the existing dwelling on its own lot, whilst creating an additional seven (7) vacant lots for future residential development, with direct frontage to the new proposed access road (a sealed, two way cul-de-sac).

The following essential services are to be provided;

- Reticulated water for each proposed each Lot;
- Stormwater management infrastructure;
- Reticulated sewerage management infrastructure afforded to each Lot;
- Electricity to each proposed Lot;
- Telecommunications to each proposed Lot; and
- Hydrants for fire protection.

The proposed development includes the construction of a new sealed two-way two laned cul-de-sac to provide direct frontage and access to the resultant lots as well as connect the resultant lots to the local road network.

There will be the removal of some trees located on the site to allow for the construction of the proposed road, access points and servicing. Trees located on the proposed Lots shall be retained.

New boundary fencing for the proposed Lots shall be established as part of future applications for residential accommodation. Pegging of boundaries shall be done at the subdivision stage.

The Subdivision Sketch and Civil Design drawings provided in Appendix B of this report outlines the proposed subdivision and access road.

## 4. LAND USE ZONING

The subject site is zoned R1 General Residential pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012* (LEP). The proposed development is for a subdivision, which is permissible with consent in the R1 Zone.

The subdivision is permissible pursuant to *Clause 2.6* of the MWRLEP 2012 which states:

- (1) *Land to which this Plan applies may be subdivided, but only with development consent.*

The permissibility of the proposed development is assessed in terms of the heads of consideration in Section 4.15 of the *Environmental Planning & Assessment Act 1979*, which incorporates consideration of the LEP and the objectives and permissible uses outlined in the R1 General Residential zone, as outlined in Section 5 of this report.

## 5. PLANNING CONSIDERATIONS

### 5.1. Water Management Act 2000

A controlled activity approval is generally required for development works on waterfront land. Under the *Water Management Act 2000* (WM Act), waterfront land means the following:

*waterfront land means:*

- (a) the bed of any river, together with any land lying between the bed of the river and a line drawn parallel to, and the prescribed distance inland of, the highest bank of the river, or*
- (a1) the bed of any lake, together with any land lying between the bed of the lake and a line drawn parallel to, and the prescribed distance inland of, the shore of the lake, or*
- (a2) the bed of any estuary, together with any land lying between the bed of the estuary and a line drawn parallel to, and the prescribed distance inland of, the mean high water mark of the estuary, or*
- (b) if the regulations so provide, the bed of the coastal waters of the State, and any land lying between the shoreline of the coastal waters and a line drawn parallel to, and the prescribed distance inland of, the mean high water mark of the coastal waters,*

*where the prescribed distance is 40 metres or (if the regulations prescribe a lesser distance, either generally or in relation to a particular location or class of locations) that lesser distance. Land that falls into 2 or more of the categories referred to in paragraphs (a), (a1) and (a2) may be waterfront land by virtue of any of the paragraphs relevant to that land.*

Comment: As indicated above, waterfront land is land within 40m of the highest bank of a river, in this case there is an identified watercourse running along the southern boundary of the site. Given that the proposed subdivision is located within 40m of the identified watercourse, referral to Water NSW is required in this instance. It is important to note that there are no subdivision works proposed within the watercourse.

### 5.2. Biodiversity Conservation Act 2016

#### 5.2.1. Is the development likely to significantly affect threatened species?

Clause 7.2 of the *Biodiversity Conservation Act 2016* (BC Act) identifies the following circumstances where a development is likely to significantly affect threatened species:

- (a) it is likely to significantly affect threatened species or ecological communities, or their habitats, according to the test in section 7.3, or*
- (b) the development exceeds the biodiversity offsets scheme threshold if the biodiversity offsets scheme applies to the impacts of the development on biodiversity values, or*
- (c) it is carried out in a declared area of outstanding biodiversity value.*

Each of these is addressed below.



## Section 7.3 Test

To determine whether a development is likely to significantly affect threatened species or ecological communities, or their habitats, the following is to be taken into account in accordance with Section 7.3 of the BC Act:

- (a) *in the case of a threatened species, whether the proposed development or activity is likely to have an adverse effect on the life cycle of the species such that a viable local population of the species is likely to be placed at risk of extinction,*
- (b) *in the case of an endangered ecological community or critically endangered ecological community, whether the proposed development or activity:*
  - (i) *is likely to have an adverse effect on the extent of the ecological community such that its local occurrence is likely to be placed at risk of extinction, or*
  - (ii) *is likely to substantially and adversely modify the composition of the ecological community such that its local occurrence is likely to be placed at risk of extinction,*
- (c) *in relation to the habitat of a threatened species or ecological community:*
  - (i) *the extent to which habitat is likely to be removed or modified as a result of the proposed development or activity, and*
  - (ii) *whether an area of habitat is likely to become fragmented or isolated from other areas of habitat as a result of the proposed development or activity, and*
  - (iii) *the importance of the habitat to be removed, modified, fragmented or isolated to the long-term survival of the species or ecological community in the locality,*
- (d) *whether the proposed development or activity is likely to have an adverse effect on any declared area of outstanding biodiversity value (either directly or indirectly),*
- (e) *whether the proposed development or activity is or is part of a key threatening process or is likely to increase the impact of a key threatening process.*

Comment: The proposed development includes clearing of some scattered vegetation to provide for the proposed access road, driveway crossovers and servicing. However the vegetation within the proposed Lots shall not be removed. There are no known endangered ecological communities or native vegetation located on the site and the site is not mapped on the Biodiversity Value Map as containing land with high biodiversity value. The vegetation to be removed is consistent with residential allied vegetation.

Therefore, the proposed development is not likely to significantly affect threatened species or ecological communities, or their habitats.

## Section 7.4 Test

Section 7.4 of the BC Act states:

- (1) *Proposed development exceeds the biodiversity offsets scheme threshold for the purposes of this Part if it is development of an extent or kind that the regulations declare to be development that exceeds the threshold.*

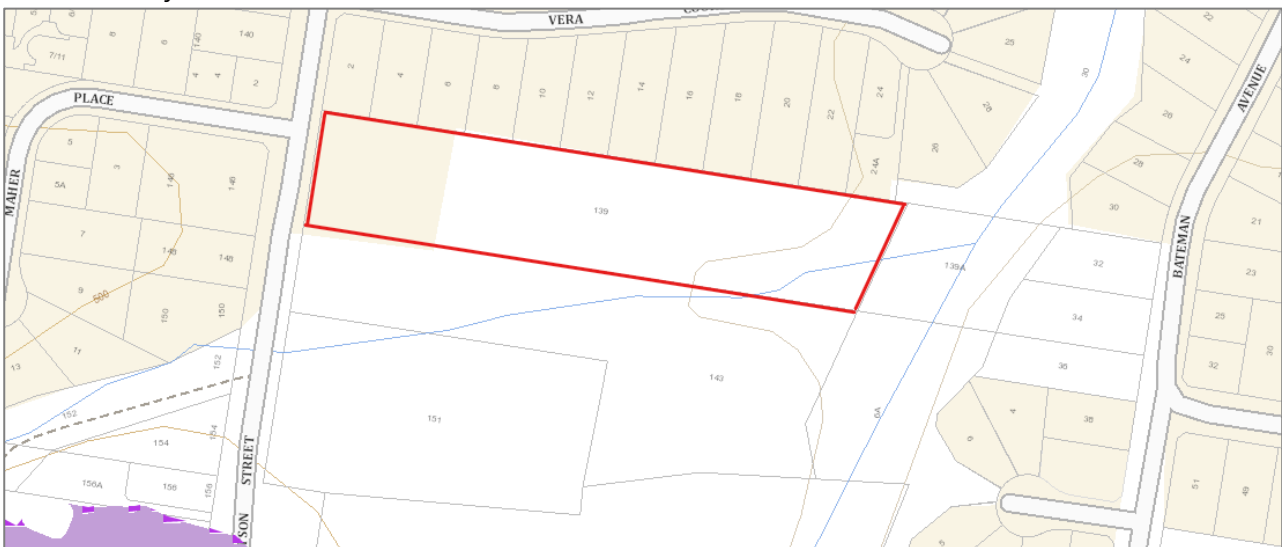
- (2) *In determining whether proposed development exceeds the biodiversity offsets threshold for the purposes of this Part, any part of the proposed development that involves the clearing of native vegetation on category 1-exempt land (within the meaning of Part 5A of the Local Land Services Act 2013) is to be disregarded.*

Comment: No native vegetation shall be removed as part of the proposed subdivision. The site is not mapped as containing and Biodiversity Value.

A BMAT Report is included in Appendix C of this report. The proposed development does not exceed the biodiversity offsets threshold for the purposes of this part.

### Declared Area of Outstanding Biodiversity Value

The site is not mapped on the Biodiversity Value Map as being land with a high biodiversity value as defined by the BC Act.



Source: (NSW Government, 2022)

Figure 6 – Biodiversity Value Map

## 5.2.2. Biodiversity Development Assessment Report

As outlined in Section 5.2.1, the proposed development is not likely to significantly affect threatened species as defined by Section 7.2 of the BC Act. Therefore, a Biodiversity Development Assessment Report is not required to accompany the application for development consent.

## 5.3. Fisheries Management Act 1994

### 5.3.1. Applicability

The Fisheries Management Act 1994 (FM Act) applies to:

- (a) *in relation to all waters that are within the limits of the State, and*

- (b) *except for purposes relating to a fishery, or a part of a fishery, that is to be managed in accordance with the law of the Commonwealth pursuant to an arrangement under Division 3 of Part 5 and except for purposes prescribed by paragraph (d)—in relation to any waters of the sea not within the limits of the State that are on the landward side of waters adjacent to the State that are within the Australian fishing zone, and*
- (c) *for purposes relating to a fishery, or a part of a fishery, that is managed in accordance with the law of the State pursuant to an arrangement under Division 3 of Part 5—in relation to any waters to which the legislative powers of the State extend with respect to that fishery, whether pursuant to section 5 of the Coastal Waters (State Powers) Act 1980 of the Commonwealth or otherwise, and*
- (d) *for purposes relating to recreational fishing activities engaged in otherwise than by use of a foreign boat (other than recreational activities prohibited or regulated under a plan of management determined under section 17 of the Commonwealth Act)—in relation to any waters to which the legislative powers of the State extend with respect to such activities.*

Comment: Not applicable.

## **5.4. Environmental Planning & Assessment Act 1979**

### **5.4.1. Application of Biodiversity Conservation Act 2016 & Fisheries Management Act 1994**

Section 1.7 of the *Environmental Planning & Assessment Act 1979* (EP&A Act) identifies that Part 7 of the BC Act and Part 7A of the FM Act relate to the operation of the EP&A Act in relation to the terrestrial and aquatic environment. These Acts are addressed in Sections 5.2 and 5.3 of this report respectively.

### **5.4.2. Evaluation**

Section 4.15 of the EP&A Act (as amended) requires the Council to consider various matters in regard to the determination of the Development Application.

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) *The provisions of:*
  - (i) *any environmental planning instrument, and*
  - (ii) *any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and*
  - (iii) *any development control plan, and*
  - (iv) *any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and*

- (v) *the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and*
- (vi) *any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates,*
- (b) *The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality;*
- (c) *The suitability of the site for the development,*
- (d) *Any submissions made in accordance with this act or the regulations,*
- (e) *The public interest.*

The proposed development has been designed with consideration to the following matters, as outlined below.

### **5.4.3. Integrated Development**

Development that requires both development consent and another approval listed under Section 4.46 of the EP&A Act is 'Integrated Development'. The proposed development is Integrated Development by virtue of requiring:

- A controlled Activity Approval under the *Water Management Act* for works within 40m of an identified watercourse.

## **5.5. Environmental Planning Instruments**

### **5.5.1. State Environmental Planning Policy (Biodiversity and Conservation) 2021**

Whilst the subject site is located within the Mudgee LGA, it is not considered to comprise potential koala habitat as defined by *State Environmental Planning Policy (Biodiversity and Conservation) 2021*.

An AHIMS search was conducted and found no aboriginal significant sites or items on the subject site and the site is not listed as containing a heritage listed item per Schedule 5 of the LEP or the State Heritage Register.

Therefore SEPP (Biodiversity and Conservation) 2021 does not require any further consideration.

### **5.5.2. State Environmental Planning Policy (Resilience and Hazards) 2021**

Clause 4.6 of *State Environmental Planning Policy (resilience and Hazards) 2021* requires Council to consider the following before granting consent to a DA:

- (a) *it has considered whether the land is contaminated, and*
- (b) *if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*



- (c) *if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

Comment: The site has been used for residential purposes for an extended period of time, and no contaminating land uses have been carried out on the site. Given this it is reasonable to assume that the land is not contaminated and suitable for future additional residential use.

### **5.5.3. Mid-Western Regional Local Environmental Plan 2012**

#### **Land Use Table**

The subject site is zoned R1 General Residential pursuant to *Mid-Western Regional Local Environmental Plan 2012* (LEP). The objectives of the R1 zone are:

- *To provide for the housing needs of the community*
- *To provide for a variety of housing types and densities*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

Comment: The proposed development is defined as a 'subdivision', which is considered to be consistent with the zone objectives as it provides for additional opportunities for a variety of housing types and densities that meet the needs of the community. It is permissible with consent in the R1 zone.

#### **Subdivision**

Clause 2.6 of the *Mid-Western Regional Local Environmental Plan 2012* (LEP) enables subdivision to be carried out with development consent.

#### **Minimum Lot Size**

Clause 4.1 (3) states:

- (3) The size of any lot resulting from a subdivision of land to which this clause applies is not to be less than the minimum size shown on the Lot Size Map in relation to that land.*

Comment: All proposed Lots meet the specified Minimum Lot Size (MLS) of 600m<sup>2</sup> applicable to the land. The Plans in Appendix B confirm that each lot is in excess of 600m<sup>2</sup> in size.

#### **Groundwater Vulnerability**

Clause 6.4 'Groundwater Vulnerability' applies to the subject application as the subject site is mapped as groundwater vulnerable pursuant to the ePlanning Spatial Viewer and LEP mapping.

Clause 6.4 states:

- (3) Before determining a development application for development on land to which this clause applies, the consent authority must consider the following—*

- (a) the likelihood of groundwater contamination from the development (including from any on-site storage or disposal of solid or liquid waste and chemicals),*

- (b) any adverse impacts the development may have on groundwater dependent ecosystems,
- (c) the cumulative impact the development may have on groundwater (including impacts on nearby groundwater extraction for a potable water supply or stock water supply),
- (d) any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.

Comment: The proposed development includes a subdivision with no new proposed dwellings, and as such, does not include significant adverse impacts on groundwater. There are no proposed groundwater contamination activities, or any development that would have adverse impacts on groundwater dependant ecosystems. It is not proposed to extract any groundwater as part of the subdivision. There are no identified cumulative impacts on groundwater or nearby groundwater extraction of the proposed development and as such, is considered to be compliant for the purposes of this part.

### **Essential Services**

Clause 6.9 'Essential Services' applies to the subject site, as each lot is required to have essential services available or adequate arrangements in place to make them available when required.

Clause 6.9 states;

*Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the proposed development are available or that adequate arrangements have been made to make them available when required—*

- (a) the supply of water,
- (b) the supply of electricity,
- (c) the disposal and management of sewage,
- (d) stormwater drainage or on-site conservation,
- (e) suitable road access.

Comment: The proposed development includes the provision of reticulated water, electricity, sewer, stormwater and telecommunication infrastructure as well as suitable road access to the new proposed access road. Servicing Plans and Subdivision Sketch provided in Appendix B of this report.

## **5.6. Draft Environmental Planning Instruments**

No draft Environmental Planning Instruments are applicable to the subject site or development.

## 5.7. Development Control Plans

Section 7 of the *Mid-Western Regional Council Development Control Plan 2013* (DCP) applies to the proposed subdivision. Table 2 below considers the provisions of Part 7.1 (Urban Subdivision) as they apply to the proposed development.

Table 1 – DCP Compliance Table	
Provision	Comment
<i>Part 7.1 Urban Subdivision: Land zoned R1, R2 and R3</i>	
Lot Size	All proposed lot sizes meet the minimum lot size requirement of 600m <sup>2</sup> . The slope of the land does not exceed 10 degrees. All lots have potential for a minimum of 16m afforded to building lines.
Lot Design	The subdivision results in eight (8) proposed lots. The subdivision has been designed to optimise solar access, considering solar patters and solar orientation for the existing dwellings.  The proposed lots are generally rectangular in shape with some slight variances and allow an orientation to include 3-hours of sunlight access between 9:00am and 3:00pm on 21 June (Winter Solstice).
Street Design and Layout	A new road is proposed to service the proposed Lots. The subject site is located in an existing residential area. The increase in traffic is anticipated to be minimal.  The proposed subdivision complies with the design criteria under this part. Refer to subdivision sketch provided in Appendix B of this report.
Cycleways and Footpaths	Not applicable to proposed development as there are no proposed footpaths or cycle ways proposed.
Open Space	Not applicable to proposed development as there are no on-site detention basins proposed to double and the subject site is not a 'Greenfield' site resulting in over 20 lots.
Landscaping	Not applicable to proposed development as there are no proposed public reserve nor any proposed changes to the public domain including any nature strip, street furniture or paving materials.
Utility Services	The proposed subdivision will result in eight (8) new allotments. Proposed Lot 1 has existing established connections to utility services and shall retain all utility connections afforded to the existing dwellings located on the site. All new proposed lots shall be afforded available connections, or arrangements made to make available when required, for all essential services.

	Preliminary Civil Design drawings have been provided in Appendix B of this report.
Drainage	Addressed in in the following section of this table.
<i>Part 5.3 Stormwater &amp; Drainage Controls</i>	
Stormwater Management	<p>The proposed development is a subdivision only with an associated access road and does not include the construction of any new dwellings or structures.</p> <p>A servicing plan has been provided for the proposed development which includes the stormwater management infrastructure in Appendix B of this report.</p>
<i>Part 5.4 Environmental Controls</i>	
Protection of Aboriginal Archaeological Items	An AHIMS Search was undertaken and shows that there are no known Aboriginal items or relics known to be on the subject site. If any items of significance are identified the proponent will notify relevant authorities.
Bushfire Management	The subject site is not mapped as bushfire prone land.
Riparian and Drainage Line Environments	An identified watercourse partly traverses through the south eastern corner of the site and borders the southern boundary. The subject application is classified as integrated development and requires a Controlled Activity Permit. Referral to Water NSW is required as part of the submission.
Pollution and Water Management	There is no proposed pollution or waste producing activity as part of this proposed development.
Threatened Species and Vegetation Management	<p>The proposed development is for the subdivision of a single lot into eight (8) new lots.</p> <p>There will be some clearing as part of subdivision works and vegetation within the proposed Lots shall be retained where possible.</p> <p>The proposed development includes an associated access road to the proposed lots. This will include some minor clearing along the southern boundary of the site for the access road.</p> <p>The proposed clearing is under the threshold according to the biodiversity values map and threshold tool and is not considered to have a significant adverse impact on flora or fauna on the site.</p>
Building in Saline Environments	It is understood that salinity may occur on the subject site, resulting in any future proposed residential buildings being susceptible to salt damage.
House Slabs and Footings	Not applicable as there are no proposed slabs or footings.
Brickwork	Not applicable as there is no proposed brickwork.

All Buildings	Not applicable as there are no proposed buildings.
Alterations and Additions	Not applicable as there are no proposed alterations or additions.

## 5.8. Any Planning Agreement entered into

No Planning Agreements entered into are known to exist in relation to the development or site.

## 5.9. Any Matters Prescribed by the Regulations

For the purposes of Section 4.15(1)(a)(iv) of the EP&A Act, Clause 61 of the *Environmental Planning and Assessment Regulations 2000* (EP&A Regulations) specifies the additional matters a consent authority must take into consideration when determining a DA. None of which apply to the proposed development

## 5.10. Any Likely Impacts of the Development

### 5.10.1. Context & Setting

The subject site is located within an existing established residential area in Mudgee. Surrounding the site are residential activities consisting of dwellings, units and multi-dwelling housing developments. There are infill residential development emerging within proximity to the site. The development, being an eight Lot residential subdivision, is therefore considered suitable for its context and setting.

### 5.10.2. Access, Transport & Traffic

The site has direct frontage and access off Robertson Street (a two way, two laned sealed road). Access to the proposed new lots will be gained via the new access road to be constructed as part of this proposal. All proposed lots will have direct frontage and access to the local road network. The proposed development is considered consistent with the surrounding character and desired character of the adjoining lands (R1 general residential zoned land) and associated expected traffic generation. It is not anticipated that the proposed subdivision would impact on traffic generation in the locality.

### 5.10.3. Utilities

The site enjoys existing connections to essential services. Essential services including reticulated water, sewer, stormwater, electricity and telecommunications infrastructure shall be afforded to



each of the resultant lots and be available, or adequate arrangements in place to make them available, when required (including direct frontage/access to the local road network). Separate applications for services shall be lodged to Council following the release of the consent.

#### **5.10.4. Flora & Fauna**

The proposed development is considered to have no significant adverse impact on the flora and fauna on the site, and only includes minimal clearing of vegetation for the construction of the new access road, crossovers and services. A BMAT report is provided in Appendix C of this report that shows the proposed development does not exceed the clearing threshold.

#### **5.10.5. Social and Economic Impacts in the Locality**

The proposed development creates the potential for seven (7) new housing developments, contributing to providing for the housing needs of the community, contributing to housing diversity, opportunity and affordability as well as contributing to economic activity in the building and construction industries to establish the subdivision and construct the future residential developments. The proposed development has no significant adverse economic or social impacts as a result of the subdivision.

#### **5.10.6. Site Design & Internal Design**

There are no prohibitive constraints posed by adjacent developments. There does not appear to be any zoning, planning or environmental matters that should hinder the proposed development of the site. In this regard, it can be concluded that the proposed subdivision is suitable for the locality.

#### **5.10.7. Other Impacts**

There are no other impacts such as natural or technological hazards that would result from the proposed subdivision.

### **5.11. Suitability of the Site for the Proposed Development**

The suitability of the site for the proposed development has been addressed in the above sections of this report. There are no prohibitive constraints posed by adjacent developments. There does not appear to be any zoning, planning or environmental matters that should hinder the proposed development of the site. In this regard, it can be concluded that the proposal fits into the locality and the site attributes are conducive for the development.

## 5.12. The Public Interest

The proposed development is considered to be in the public interest as it provides for a subdivision, to produce seven new vacant lots for further development to meet the housing needs of the community. As outlined throughout this report the development is consistent with the minimum lot size for the area and is not expected to have any adverse off-site impacts.

## 6. CONCLUSION

It is recommended that the proposed subdivision on Lot 2101 DP 1261061 known as 139 Robertson Street, Mudgee be supported on the following grounds:

- The proposal is considered acceptable in terms of the provisions of Section 4.15 of the *Environmental Planning and Assessment Act 1979*;
- The proposal is permissible with consent and consistent with the relevant development standards and provisions of the *Mid-Western Regional Local Environmental Plan 2012*;
- The proposal complies with the relevant provisions of the *Mid-Western Regional Council Development Control Plan 2013*;
- The proposed development is not anticipated to generate any adverse impacts in the locality; and
- The proposed development is considered suitable for the site and its surrounds.

## 7. REFERENCES

NSW Government. (2022, December 19). *Biodiversity Value Map*. Retrieved from <https://www.lmbc.nsw.gov.au/Maps/index.html?viewer=BVMap>

NSW Government Spatial Services. (2022, December 19). *Six Maps*. Retrieved from <http://maps.six.nsw.gov.au/>

NSW Rural Fire Service. (2006). *Planning for Bush Fire Protection: A Guide for Council's, Planners, Fire Authorities and Developers*. Sydney: NSW RFS.

**APPENDIX A**

**Title and Deposited Plan**





LAND  
REGISTRY  
SERVICES

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 2101/1261061

-----

SEARCH DATE	TIME	EDITION NO	DATE
24/3/2023	8:26 PM	2	28/6/2022

LAND

-----

LOT 2101 IN DEPOSITED PLAN 1261061  
AT MUDGEES  
LOCAL GOVERNMENT AREA MID-WESTERN REGIONAL  
PARISH OF MUDGEES COUNTY OF WELLINGTON  
TITLE DIAGRAM DP1261061

FIRST SCHEDULE

-----

PENNEY CONSTRUCTIONS PTY LTD (T AS258257)  
SECOND SCHEDULE (1 NOTIFICATION)

-----

1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)  
NOTATIONS

-----

UNREGISTERED DEALINGS: NIL  
\*\*\* END OF SEARCH \*\*\*

Barnson Pty Ltd (Mudgee)

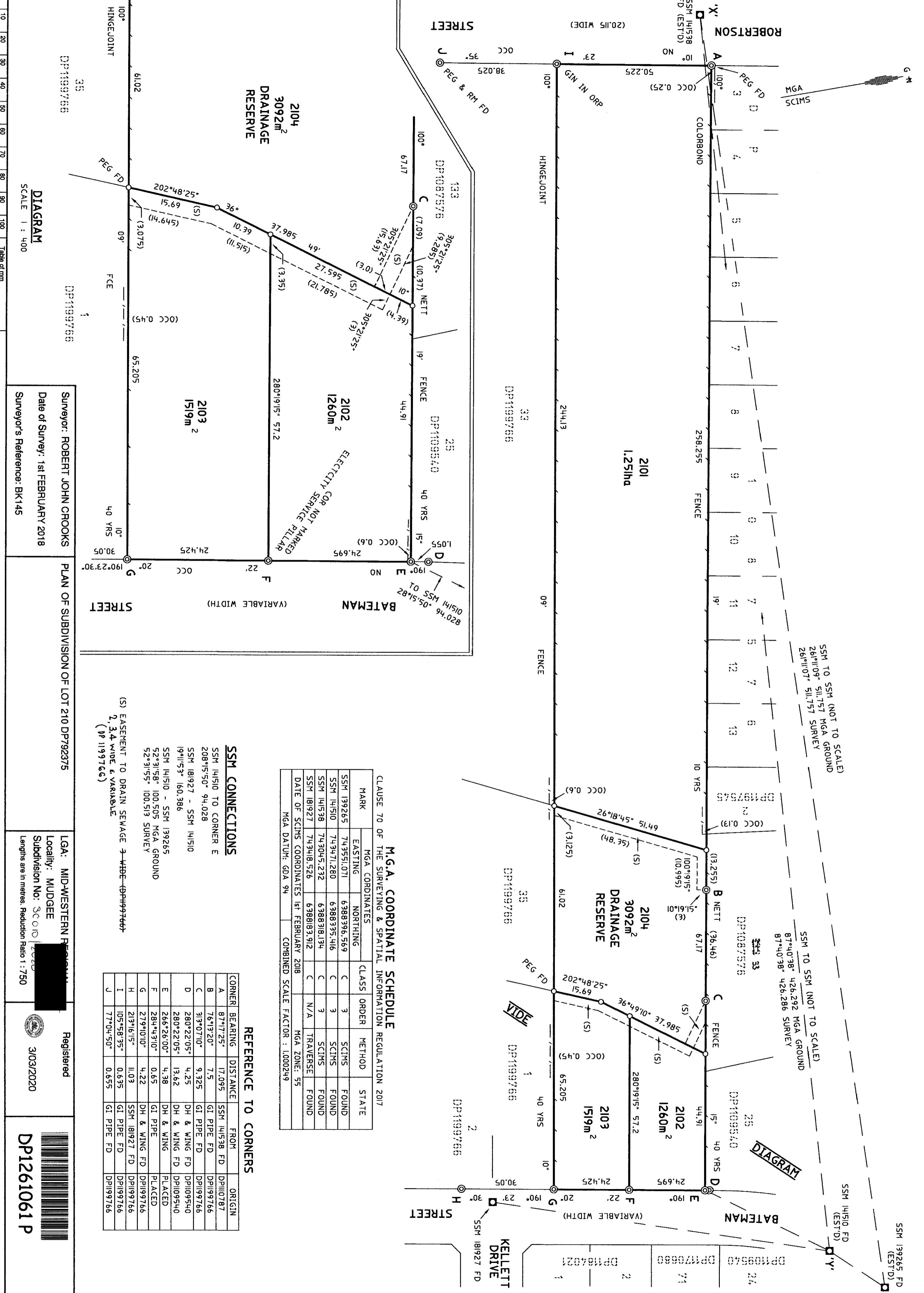
PRINTED ON 24/3/2023

\* Any entries preceded by an asterisk do not appear on the current edition of the Certificate of Title.  
Warning: the information appearing under notations has not been formally recorded in the Register.

DYE & DURHAM TERRAIN PTY LTD - hereby certifies that the information contained in this document has been provided electronically by the Registrar General in accordance with section 96B(2) of the Real Property Act 1900.

Note: Information contained in this document is provided by DYE & DURHAM TERRAIN PTY LTD (ABN 35 164 894 517), <https://dyedurhamterrain.com/> an approved NSW Information Broker

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**M.G.A. COORDINATE SCHEDULE**  
 CLAUSE 70 OF THE SURVEYING & SPATIAL INFORMATION REGULATION 2017

MARK	EASTING	NORTHING	CLASS	ORDER	METHOD	STATE
SSM 199265	743551.071	6388396.569	C	3	SCIMS	FOUND
SSM 141510	743471.280	6388335.416	C	3	SCIMS	FOUND
SSM 141538	743045.232	6388318.134	C	3	SCIMS	FOUND
SSM 181927	743418.526	6388183.912	C	N/A	TRAVERSE	FOUND

DATE OF SCIMS COORDINATES 1st FEBRUARY 2018  
 MGA DATUM: GDA 94  
 COMBINED SCALE FACTOR: 1.000249

**SSM CONNECTIONS**

SSM 141510 TO CORNER E  
 208°15'50" 94.028

SSM 181927 - SSM 141510  
 191°11'53" 160.386

SSM 141510 - SSM 199265  
 52°31'58" 100.505 MGA GROUND

52°31'55" 100.513 SURVEY

(S) EASEMENT TO DRAIN SEWAGE 3 METER (DP199766)  
 2, 3, 4 METER & VARIABLE  
 (DP 1199766C)

**REFERENCE TO CORNERS**

CORNER	BEARING	DISTANCE	FROM	ORIGIN
A	87°17'25"	17.095	SSM 141538 FD	DP110787
B	76°13'20"	7.5	GI PIPE FD	DP1199766
C	31°07'10"	9.325	GI PIPE FD	DP1199766
D	280°22'05"	4.25	DH & WING FD	DP1109540
E	280°22'05"	13.62	DH & WING FD	DP1109540
F	266°26'00"	4.38	DH & WING	PLACED
G	284°43'10"	0.65	GI PIPE	PLACED
H	219°10'10"	4.22	DH & WING FD	DP1199766
I	105°58'35"	0.635	SSM 181927 FD	DP1199766
J	77°04'50"	0.655	GI PIPE FD	DP1199766

Surveyor: ROBERT JOHN CROOKS  
 Date of Survey: 1st FEBRUARY 2018  
 Surveyor's Reference: BK145

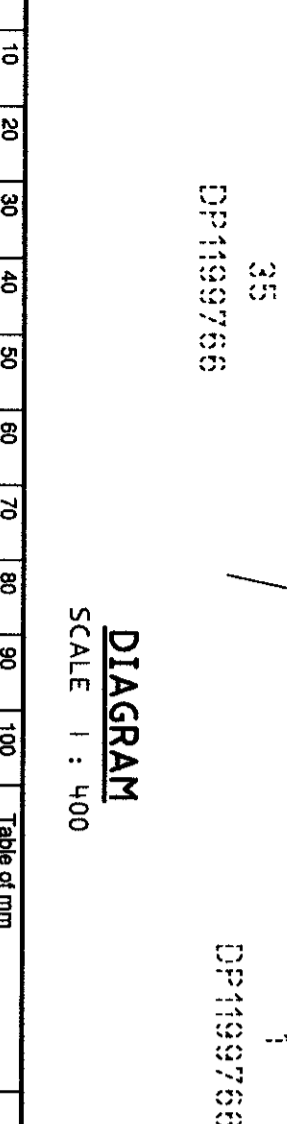
PLAN OF SUBDIVISION OF LOT 210 DP792875

LGA: MID-WESTERN REGIONAL COUNCIL  
 Locality: MUDGEE  
 Subdivision No: SC010

Registered  
 3/03/2020



DP1261061 P



DP1199766


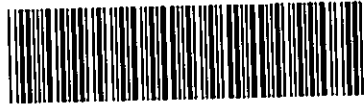
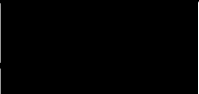
DP1199766

DP1199766


DP1199766

DP1199766

DP1199766

PLAN FORM 6 (2017)	DEPOSITED PLAN ADMINISTRATION SHEET	Sheet 1 of 2 sheet(s)
Office Use Only Registered:  3/03/2020 Title System: TORRENS	e Use Only  DP1261061 S	
PLAN OF SUBDIVISION OF LOT 210 DP792375	LGA: MID-WESTERN REGIONAL Locality: MUDGEE Parish: MUDGEE County: WELLINGTON	
Survey Certificate I, ROBERT JOHN CROOKS of JABEK Pty Ltd 107-125 BELLEVUE ROAD MUDGEE NSW 2850 a surveyor registered under the <i>Surveying and Spatial Information Act 2002</i> , certify that: *(a) The land shown in the plan was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2017</i> , is accurate and the survey was completed on 1 <sup>st</sup> FEBRUARY 2018 ....., or *(b) <del>The part of the land shown in the plan (*being/*excluding ** .....</del> <del>.....)</del> <del>was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2017</i>, the part surveyed is accurate and the survey was completed on,..... the part not surveyed was compiled in accordance with that Regulation, or</del> *(c) The land shown in this plan was compiled in accordance with the <i>Surveying and Spatial Information Regulation 2017</i> . Datum Line 'X' - 'Y' Type: *Urban/*Rural The terrain is *Level/Undulating / *Steep-Mountainous. Signature:  Dated: 24.2.2018 Surveyor Identification No: 884 Surveyor registered under the <i>Surveying and Spatial Information Act 2002</i> *Strike out inappropriate words. **Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.	Crown Lands NSW/Western Lands Office Approval I, ..... (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given. Signature: ..... Date: ..... File Number: ..... Office: .....	
Plans used in the preparation of survey/compilation: DP792375, DP1087576, DP1109540, DP1199766	Statements of intention to dedicate public roads, create public reserves and drainage reserves, acquire/resume land. IT IS INTENDED TO DEDICATE LOT 2104 TO THE PUBLIC AS DRAINAGE RESERVE	
Surveyor's Reference: BK145	Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A	

**PLAN FORM 6A (2017) DEPOSITED PLAN ADMINISTRATION SHEET** Sheet 2 of 2 sheet(s)

Office Use Only  
**Registered:**  3/03/2020

Office Use Only  
**DP1261061**

**PLAN OF SUBDIVISION OF LOT 210  
DP792375**

Subdivision Certificate number: SCO10/2020  
Date of Endorsement: 27.11.19

*This sheet is for the provision of the following information as required:*

- A schedule of lots and addresses - See 60(c) SSI Regulation 2017
- Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
- Signatures and seals- see 195D Conveyancing Act 1919
- Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

**SCHEDULE OF STREET ADDRESSES**

LOT	STREET No.	STREET NAME	STREET TYPE	LOCALITY
2101	139	ROBERTSON	STREET	MUDGEE
2102	32	BATEMAN	AVENUE	MUDGEE
2103	34	BATEMAN	AVENUE	MUDGEE
2104	139A	ROBERTSON	STREET	MUDGEE



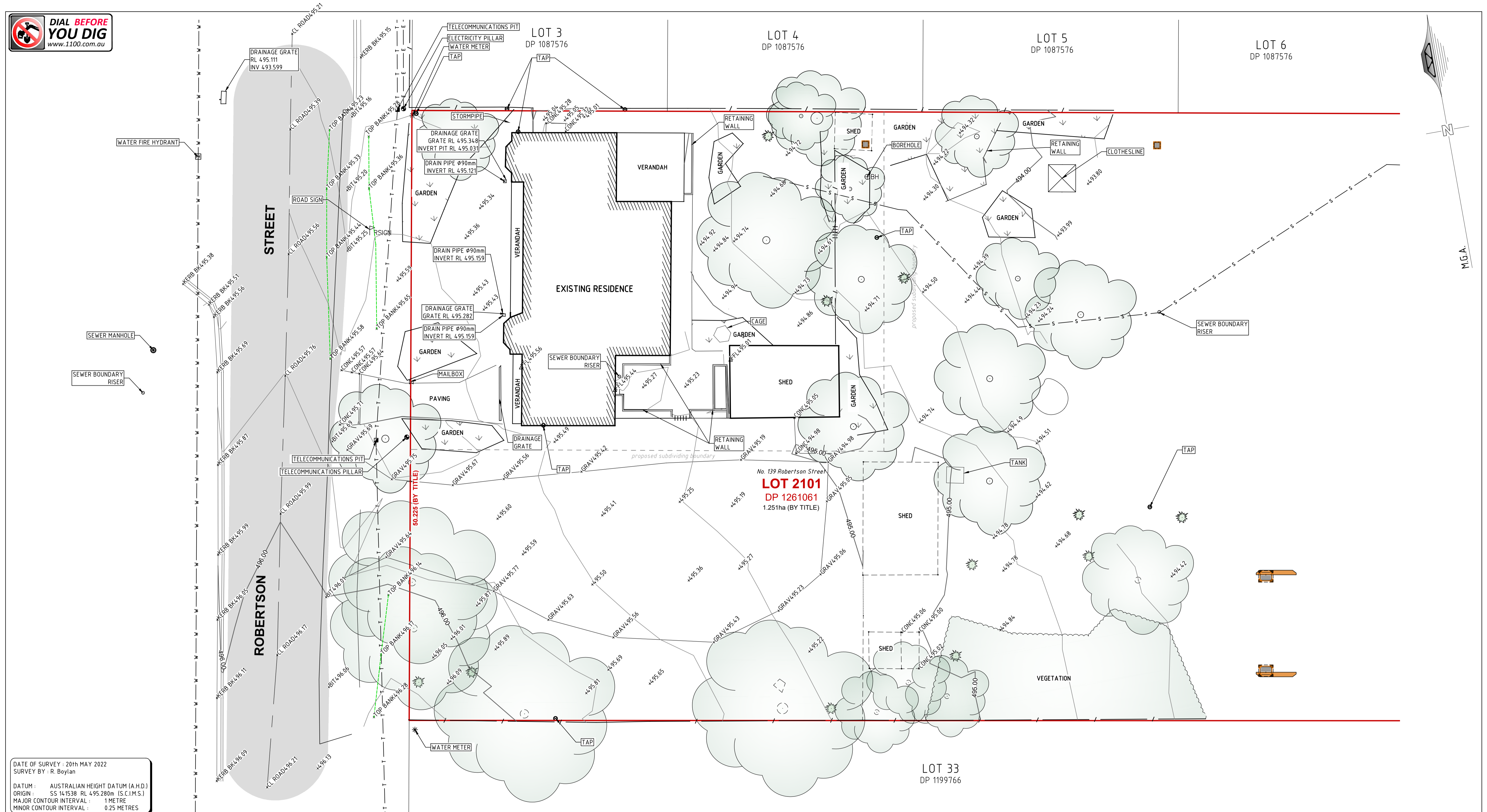
*If space is insufficient use additional annexure sheet*

Surveyor's Reference: **BK145**



**APPENDIX B**  
**Development Plans**





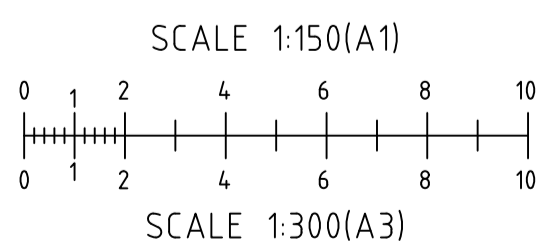
DATE OF SURVEY : 20th MAY 2022  
 SURVEY BY : R. Boylan

DATUM : AUSTRALIAN HEIGHT DATUM (A.H.D.)  
 ORIGIN : SS 141538 RL 495.280m (S.C.I.M.S.)  
 MAJOR CONTOUR INTERVAL : 1 METRE  
 MINOR CONTOUR INTERVAL : 0.25 METRES

- NOTES:
- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9.1(1) OF THE "SURVEYING AND SPATIAL INFORMATION REGULATION 2017". IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.
  - A DETAIL & LEVEL SURVEY IS NOT A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT 2002. IF ANY CONSTRUCTION OR DESIGN WORK WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.
  - THE LOCATIONS AND DEPTHS OF UNDERGROUND SERVICES ARE NOT ASSURED BY BARNSON. SERVICE AUTHORITIES SHOULD BE CONSULTED BEFORE ANY EXCAVATION, DEMOLITION OR CONSTRUCTION COMMENCES.
  - THERE MAY BE UNDERGROUND SERVICES THAT HAVE NOT BEEN SHOWN HEREON.
  - BARNSON TAKES NO RESPONSIBILITY FOR LOSSES, DAMAGES OR INJURIES TO ANY PERSON OR ORGANISATION THAT MAY OCCUR DUE TO THE RELIANCE ON THIS PLAN FOR THE LOCATION OF UNDERGROUND SERVICES.

KEY	
	EXISTING SUBJECT CADASTRAL BOUNDARIES
	EXISTING FENCE LINE
	EXISTING FENCE GATE
	EXISTING UNDERGROUND ELECTRICITY CABLES
	EXISTING UNDERGROUND WATER MAIN - APPROX.
	EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX.
	EXISTING UNDERGROUND SEWER PIPE - APPROX.
	TOP OF BANK

**LEVEL AND DETAIL SURVEY PLAN**  
 REDUCTION RATIO 1:150 @ A1  
 1:300 @ A3



ISSUED TO CLIENT



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Client: Penney Constructions  
 Project: PROPOSED SUBDIVISION OF LOT 2101 IN DP 1261061  
 139 ROBERTSON STREET, MUDGEE, NSW 2850  
 Drawing Title: LEVEL AND DETAIL SURVEY PLAN

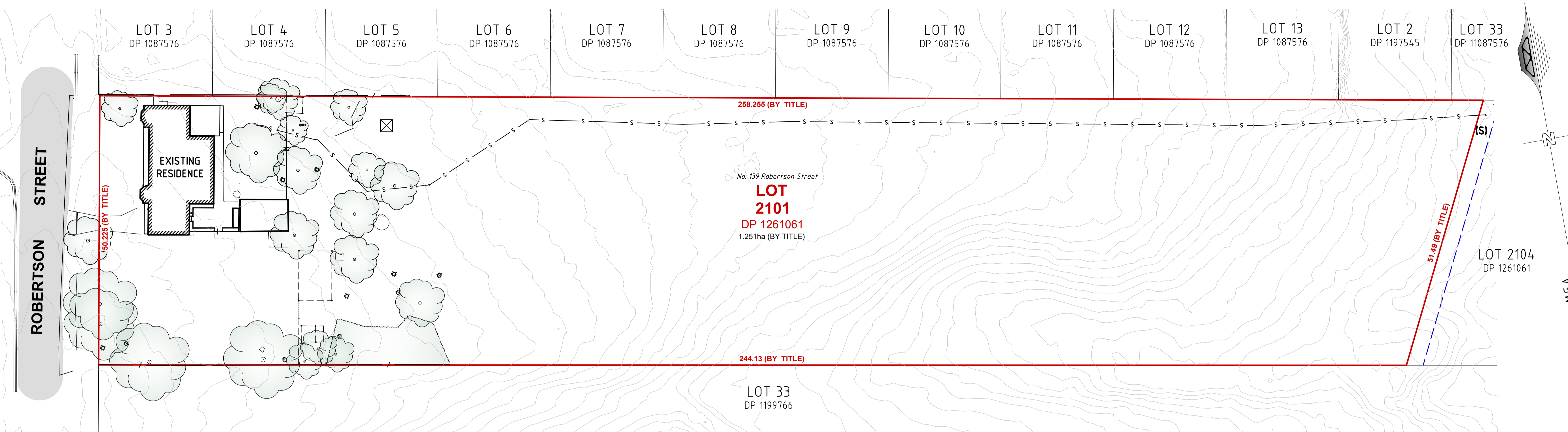
Rev Date Amendment  
 A 27-05-2022 ISSUED TO CLIENT

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Drawn	JS		
Check	RB	Drawing Number	
Original Sheet Size = A1		38895_L01	Revision A

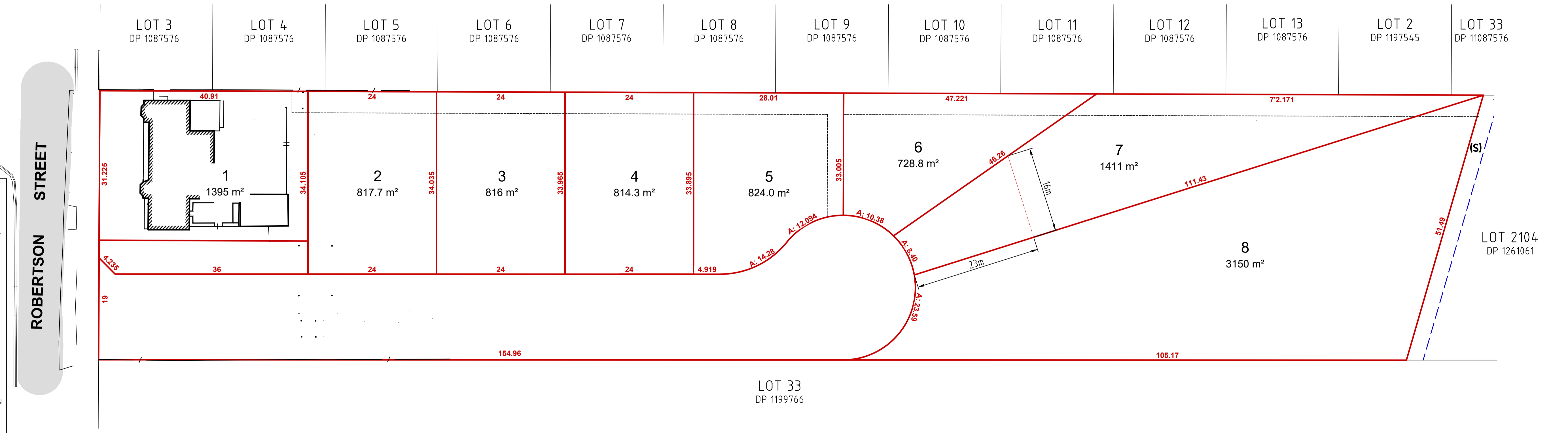
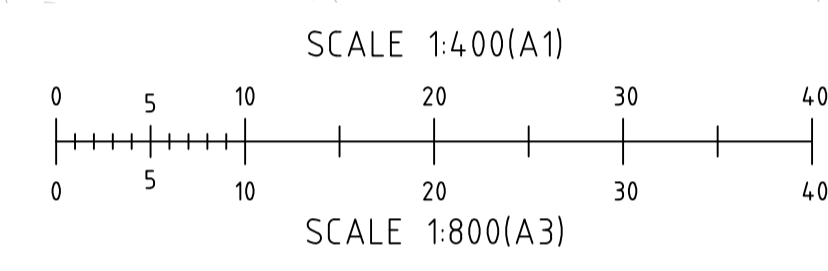




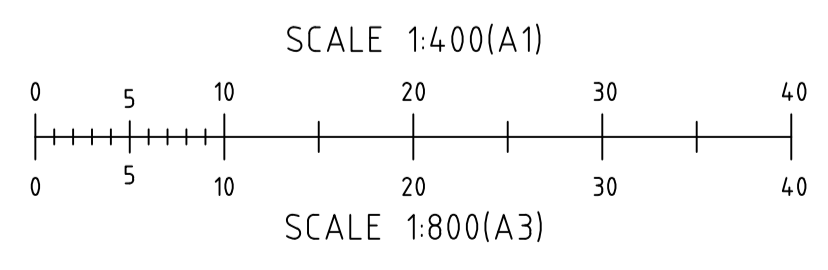
(S) EASEMENT TO DRAIN SEWAGE 2, 3.4 WIDE AND VARIABLE (WIDE DP1199766)



EXISTING ALLOTMENT PLAN  
REDUCTION RATIO 1:400 @ A1  
1:800 @ A3



PROPOSED SUBDIVISION PLAN  
REDUCTION RATIO 1:400 @ A1  
1:800 @ A3



- NOTES:
- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9.1(1) OF THE "SURVEYING AND SPATIAL INFORMATION REGULATION 2017". IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.
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  - THE LOCATIONS AND DEPTHS OF UNDERGROUND SERVICES ARE NOT ASSURED BY BARNSON. SERVICE AUTHORITIES SHOULD BE CONSULTED BEFORE ANY EXCAVATION, DEMOLITION OR CONSTRUCTION COMMENCES.
  - THERE MAY BE UNDERGROUND SERVICES THAT HAVE NOT BEEN SHOWN HEREON.
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Client: Penney Constructions  
Project: PROPOSED SUBDIVISION OF LOT 2101 IN DP 1261061  
139 ROBERTSON STREET, MUDGEE, NSW 2850  
Drawing Title: EXISTING ALLOTMENT AND PROPOSED SUBDIVISION PLAN

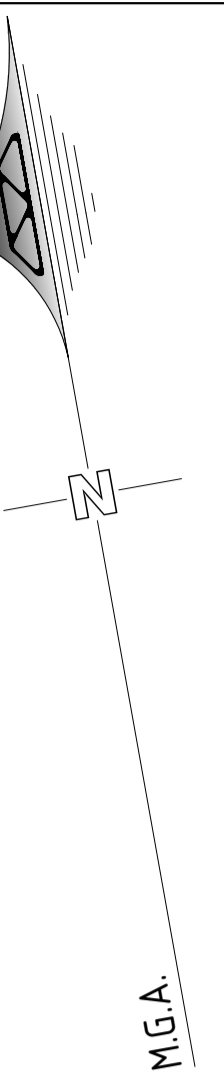
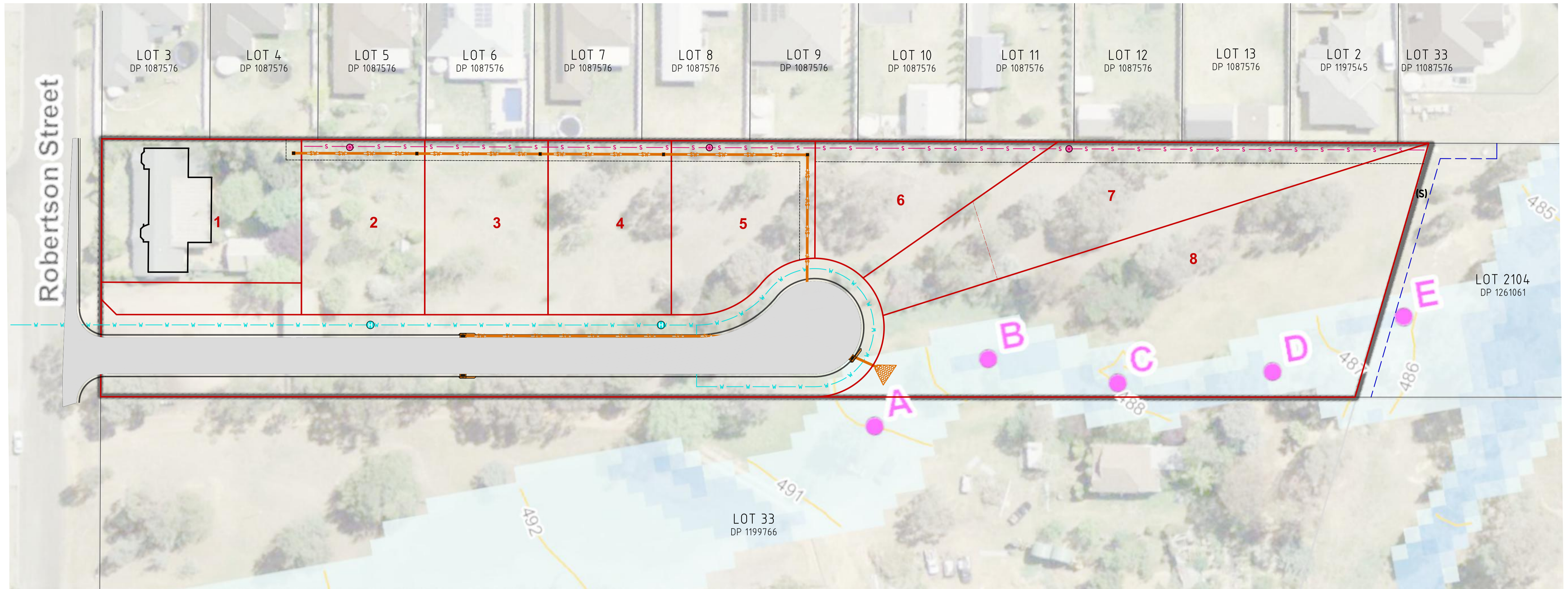
Rev	Date	Amendment
A	27-05-2022	ISSUED TO CLIENT
B	23-08-2022	AMENDED PROPOSED SUBDIVISION PLAN SLOTS
C	23-09-2022	NEW LOT ADDED
D	8/03/2023	16m MARK ADDED TO Lot 7

Survey	RB	Certification
Drawn	JS	
Check	RB	Drawing Number
Original Sheet Size = A1		38895_L02
Revision		D





(S) EASEMENT TO DRAIN SEWAGE 2, 3.4 WIDE AND VARIABLE (VIDE DP1199766)



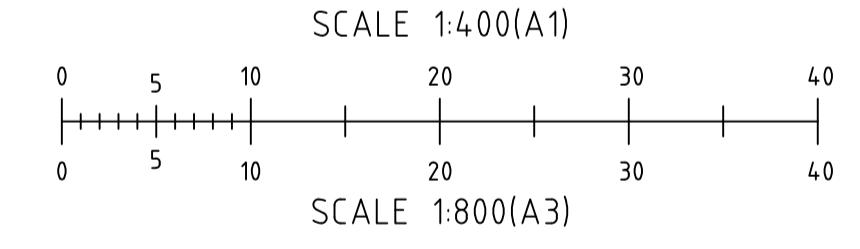
**Legend**

- Cadastre
- 139 Robertson St, Mudgee
- Flood Level Sample Point
- Flood Level Contours (1m interval)

Peak Flood Depth (m)	Color
<= 0.2	
0.2 - 0.5	
0.5 - 1.0	
1.0 - 1.5	
1.5 - 2.0	
> 2.0	

Point ID	1% AEP Peak Flood Level (mAHD)
A	489.99
B	488.56
C	488.00
D	487.58
E	486.20

**PLAN SHOWING FLOOD LEVELS**  
 REDUCTION RATIO 1:400 @ A1  
 1:800 @ A3



- NOTES:**
- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9(1) OF THE "SURVEYING AND SPATIAL INFORMATION REGULATION 2017". IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.
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  - THE LOCATIONS AND DEPTHS OF UNDERGROUND SERVICES ARE NOT ASSURED BY BARNSON. SERVICE AUTHORITIES SHOULD BE CONSULTED BEFORE ANY EXCAVATION, DEMOLITION OR CONSTRUCTION COMMENCES.
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Client: Penney Constructions  
 Project: PROPOSED SUBDIVISION OF LOT 2101 IN DP 1261061  
 139 ROBERTSON STREET, MUDGEE, NSW 2850  
 Drawing Title: PLAN SHOWING FLOOD LEVELS

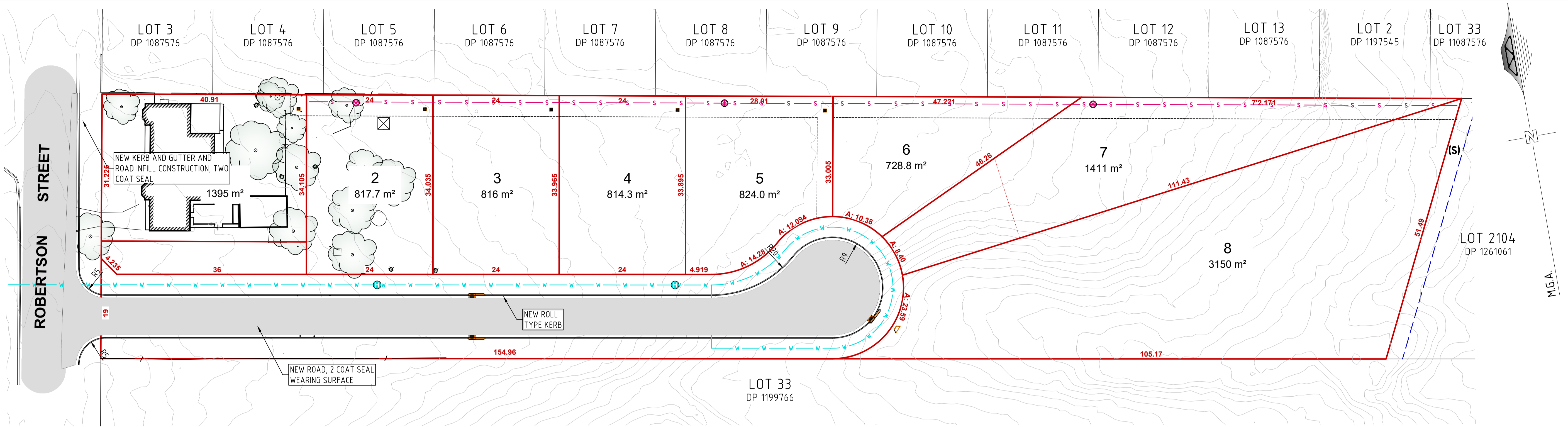
Rev	Date	Amendment
A	23/08/2022	ISSUED TO CLIENT
B	23/09/2022	NEW LOT ADDED

Survey	RB	Certification	
Drawn	JS		
Check	LM	Drawing Number	
Original Sheet Size = A1		38895_L03	Revision <b>B</b>

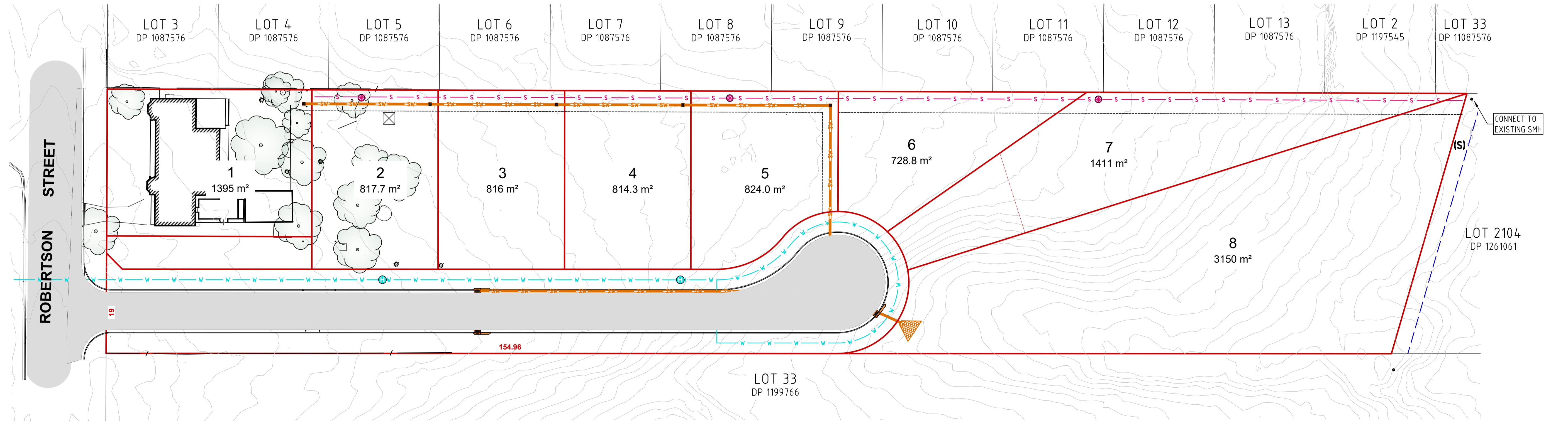
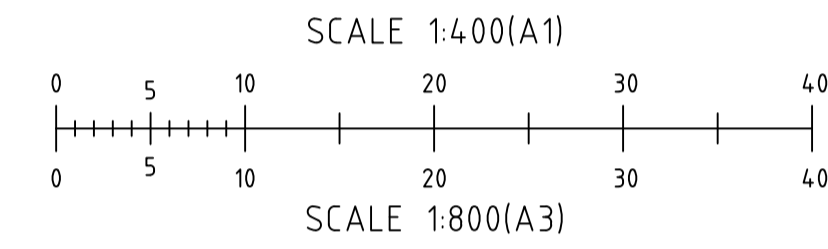




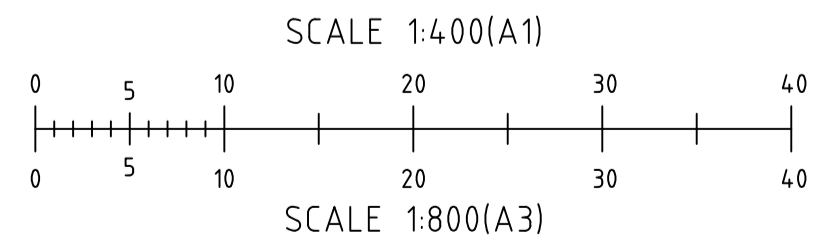
(S) EASEMENT TO DRAIN SEWAGE 2, 3.4 WIDE AND VARIABLE (WIDE DP1199766)



PROPOSED ROAD PLAN  
REDUCTION RATIO 1:400 @ A1  
1:800 @ A3



PROPOSED SEWER PLAN  
REDUCTION RATIO 1:400 @ A1  
1:800 @ A3



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Client: Penney Constructions  
Project: PROPOSED SUBDIVISION OF LOT 2101 IN DP 1261061  
139 ROBERTSON STREET, MUDGEE, NSW 2850  
Drawing Title: PROPOSED ROAD AND SEWER PLAN

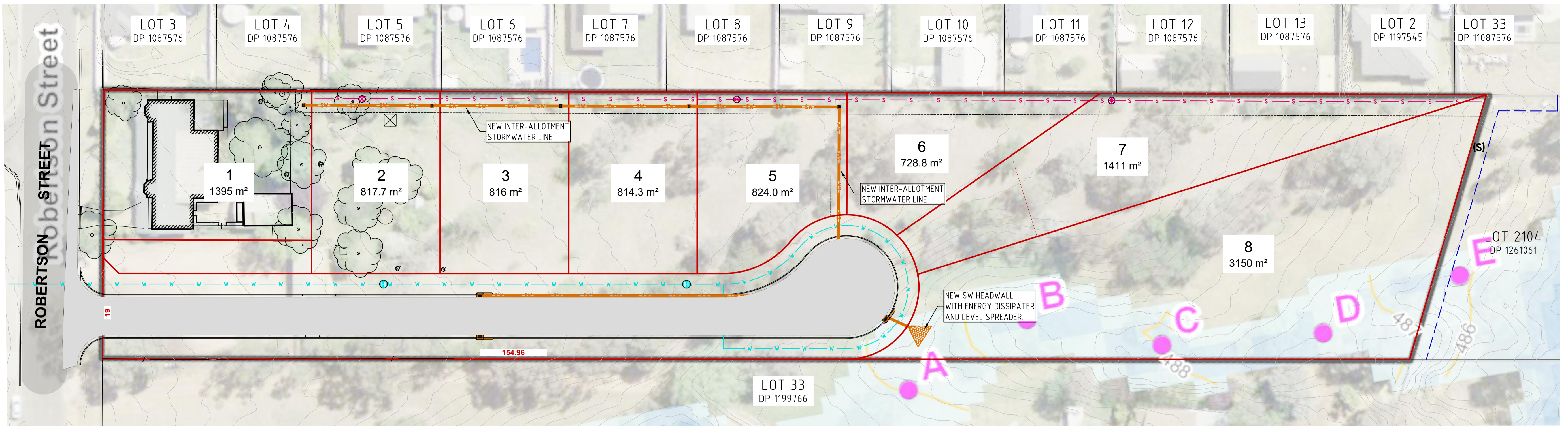
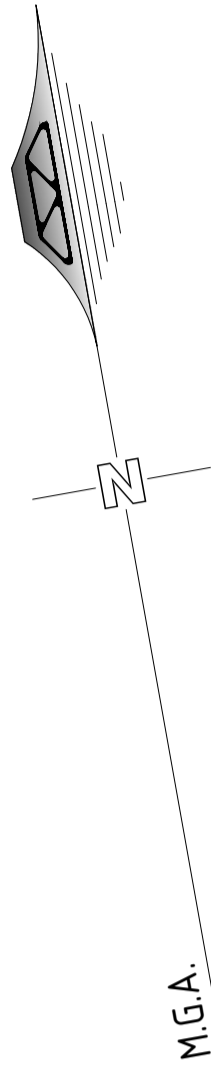
Rev	Date	Amendment
A	27-05-2022	ISSUED TO CLIENT
B	23-08-2022	AMENDED PROPOSED SUBDIVISION PLAN LOTS
C	23-09-2022	NEW LOT ADDED
D	8-03-2023	ROAD FRONTAGE ADDED

Survey	RB	Certification
Drawn	JS	
Check	RB	Drawing Number
Original Sheet Size = A1		38895_L04
Revision		D

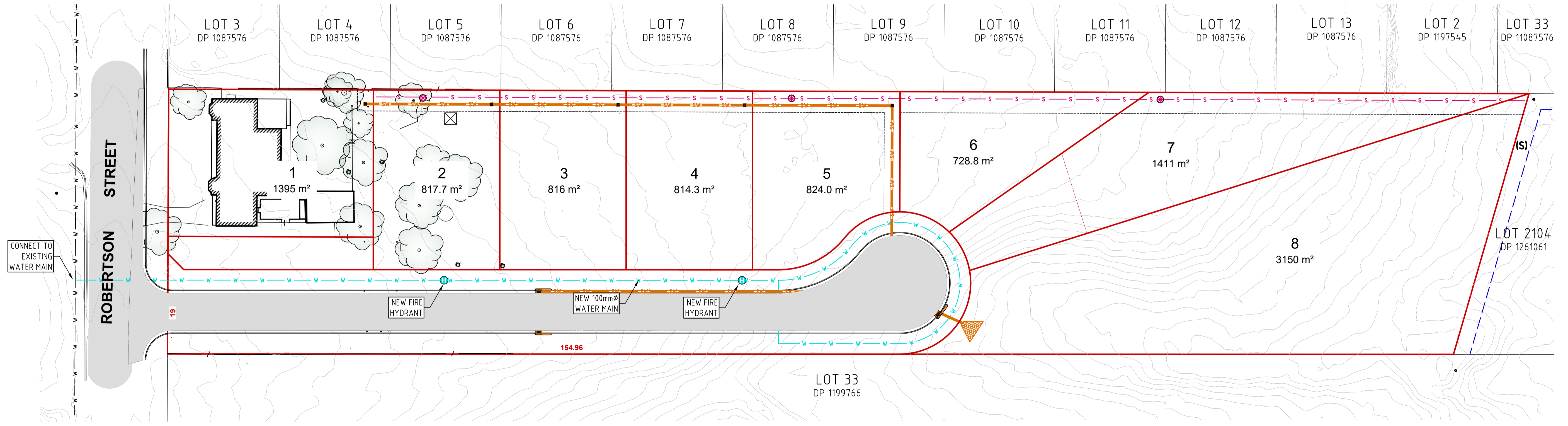
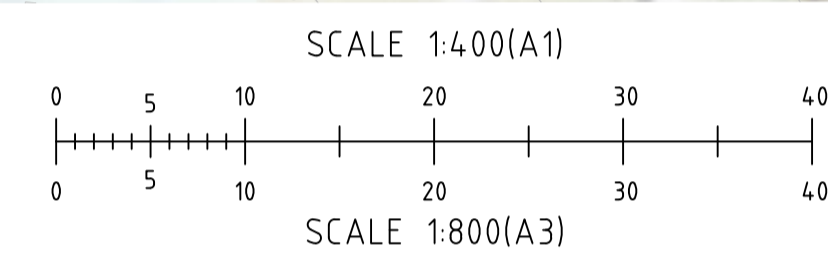




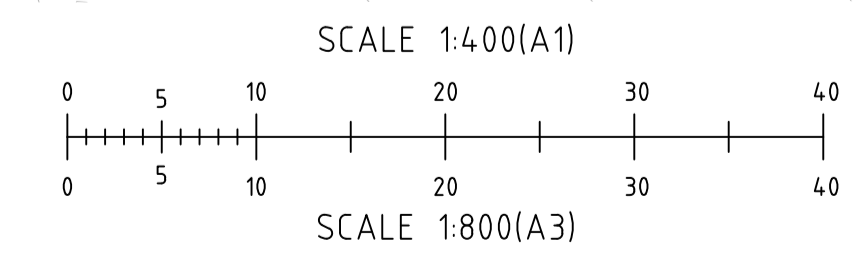
(S) EASEMENT TO DRAIN SEWAGE 2, 3.4 WIDE AND VARIABLE (WIDE DP1199766)



PROPOSED STORMWATER PLAN  
REDUCTION RATIO 1:400 @ A1  
1:800 @ A3



PROPOSED WATER PLAN  
REDUCTION RATIO 1:400 @ A1  
1:800 @ A3



ISSUED TO CLIENT



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Client: Penney Constructions  
Project: PROPOSED SUBDIVISION OF LOT 2101 IN DP 1261061  
139 ROBERTSON STREET, MUDGEES, NSW 2850  
Drawing Title: PROPOSED STORMWATER AND WATER PLAN

Rev	Date	Amendment
A	27-05-2022	ISSUED TO CLIENT
B	23-08-2022	AMENDED PROPOSED SUBDIVISION PLAN LOTS
C	23-09-2022	NEW LOT ADDED
D	8-12-2022	SW AMENDED
E	8/03/2023	LEVEL SPREADER NOTE ADDED

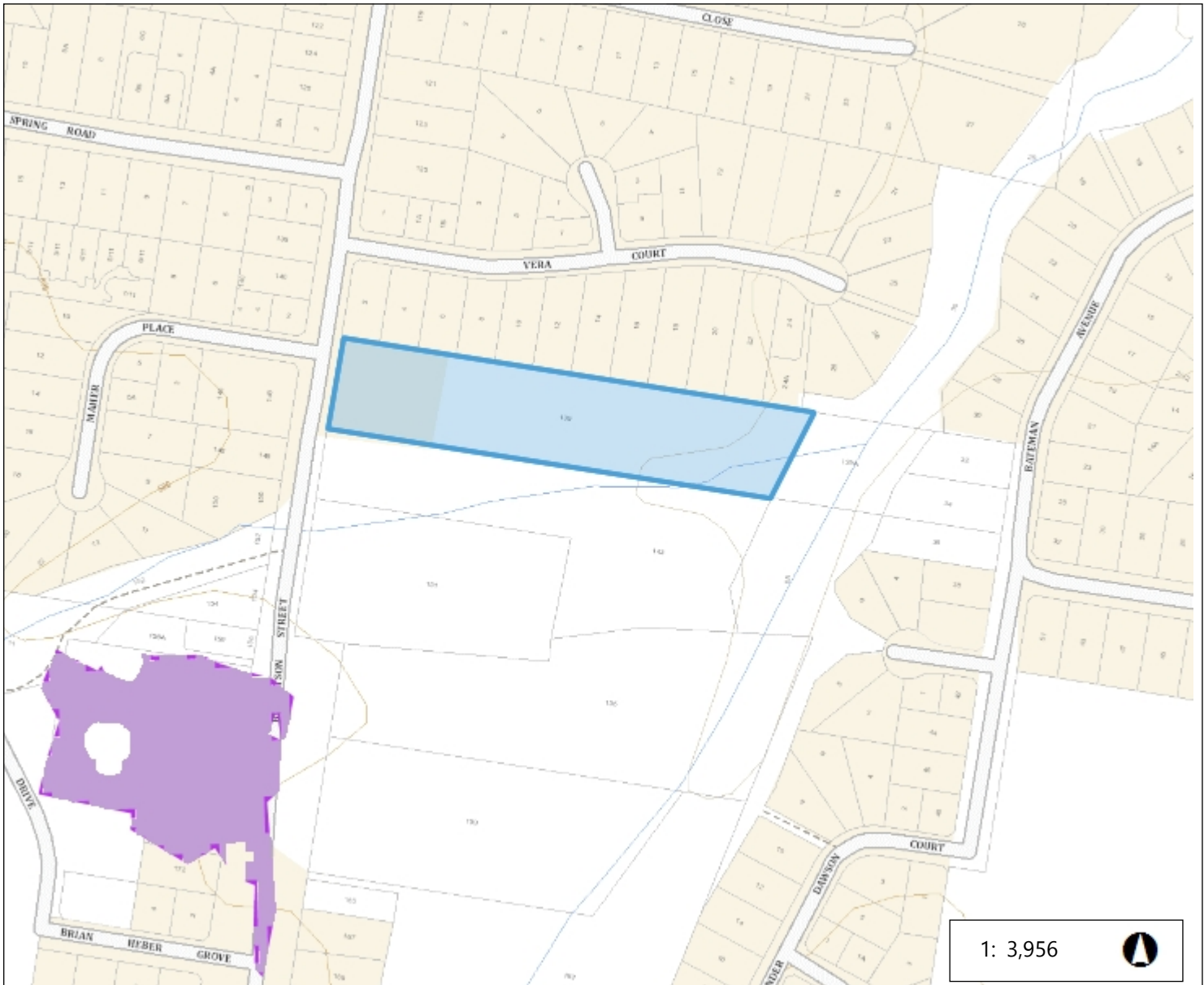
Survey	RB	Certification
Drawn	JS	
Check	RB	Drawing Number
Original Sheet Size = A1		38895_L05
Revision		E



**APPENDIX C**

**Biodiversity Offset Scheme Entry  
Tool Results**

# Biodiversity Values Map



1: 3,956



201.0 0 100.48 201.0 Metres

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

## Legend

- Biodiversity Values that have been mapped for more than 90 days
- Biodiversity Values added within last 90 days

## Notes

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## Biodiversity Values Map and Threshold Report

### Results Summary

<b>Date of Calculation</b>	19/12/2022 2:36 PM	<b>BDAR Required*</b>
<b>Total Digitised Area</b>	12,475.3 sqm	
<b>Minimum Lot Size Method</b>	LEP	
<b>Minimum Lot Size</b> 10,000sqm = 1ha	600 sqm	
<b>Area Clearing Threshold</b> 10,000sqm = 1ha	2,500 sqm	
<b>Area clearing trigger</b> Area of native vegetation cleared	Unknown #	Unknown #
<b>Biodiversity values map trigger</b> Impact on biodiversity values map(not including values added within the last 90 days)?	no	no
<b>Date of the 90 day Expiry</b>	N/A	

\*If BDAR required has:

- at least one 'Yes': you have exceeded the BOS threshold. You are now required to submit a Biodiversity Development Assessment Report with your development application. Go to <https://customer.lmbc.nsw.gov.au/assessment/AccreditedAssessor> to access a list of assessors who are accredited to apply the Biodiversity Assessment Method and write a Biodiversity Development Assessment Report
- 'No': you have not exceeded the BOS threshold. You may still require a permit from local council. Review the development control plan and consult with council. You may still be required to assess whether the development is "likely to significantly affect threatened species" as determined under the test in s. 7.3 of the Biodiversity Conservation Act 2016. You may still be required to review the area where no vegetation mapping is available.

# Where the area of impact occurs on land with no vegetation mapping available, the tool cannot determine the area of native vegetation cleared and if this exceeds the Area Threshold. You will need to work out the area of native vegetation cleared - refer to the BMAT user guide for how to do this.

On and after the 90 day expiry date a BDAR will be required.

## Disclaimer

This results summary and map can be used as guidance material only. This results summary and map is not guaranteed to be free from error or omission. The State of NSW and Department of Planning and Environment and its employees disclaim liability for any act done on the information in the results summary or map and any consequences of such acts or omissions. It remains the responsibility of the proponent to ensure that their development application complies will all aspects of the *Biodiversity Conservation Act 2016*.

The mapping provided in this tool has been done with the best available mapping and knowledge of species habitat requirements. This map is valid for a period of 30 days from the date of calculation (above).

## Acknowledgement

I as the applicant for this development, submit that I have correctly depicted the area that will be impacted or likely to be impacted as a result of the proposed development.

Signature \_\_\_\_\_ Date: 19/12/2022 02:36 PM