

PROPOSED ALTERATIONS & ADDITIONS
FOR
MUDGEES COMMUNITY PRESCHOOL INCORPORATED
2 LOVEJOY ST, MUDGEES, NSW 2850



GENERAL NOTES:

Builder to confirm all dimensions before commencing any works.

If discrepancies occur on plans, designer is to be contacted.

All dimensions are in millimeters unless otherwise stated.

Use figured dimensions only. Do not scale from plans.

Site information is based on information supplied by the owner and must be verified by the supplier on acceptance of this plan.

All works shall comply with the National Construction Code (NCC) current Australian Standards, building regulations and statutory approvals. Notify this office of any discrepancies.

These plans should be read in conjunction with project specification and all consultant drawings including but not limited to Structural Engineer and Surveyor.

Soil Classification - refer to Engineers report and soil tests.

SPECIFICATIONS:

WIND CLASSIFICATION - BY ENGINEER

PLUMBING

All plumbing to AS 3500 and must be carried out by a licensed plumber in accordance with the Plumbing Code of Australia (PCA) to comply with the requirements of the Local Authority.

Gutters and Downpipes to be designed and installed in accordance with NCC/BCA Part 3.5.3.

ELECTRICAL

All electrical work shall be undertaken by a licensed electrician and in accordance with AS/NZS 3000

DRAUGHT SEALING

Provide a seal/draught excluder to the bottom edge of all external doors

SPECIFICATIONS:

TERMITE PROTECTION

All buildings shall be protected against termite attack in accordance with AS3660.1 and NCC/BCA 3.1.4. Provide a durable notice in the meter box indicating type of barrier and required inspections.

SMOKE DETECTORS

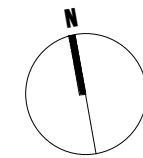
Smoke detectors shall be installed as noted on the plans and in accordance with AS 3786 and NCC/BCA Vol. 2 Part 3.7.5. They must be hard wired to the electrical supply.

GLAZING

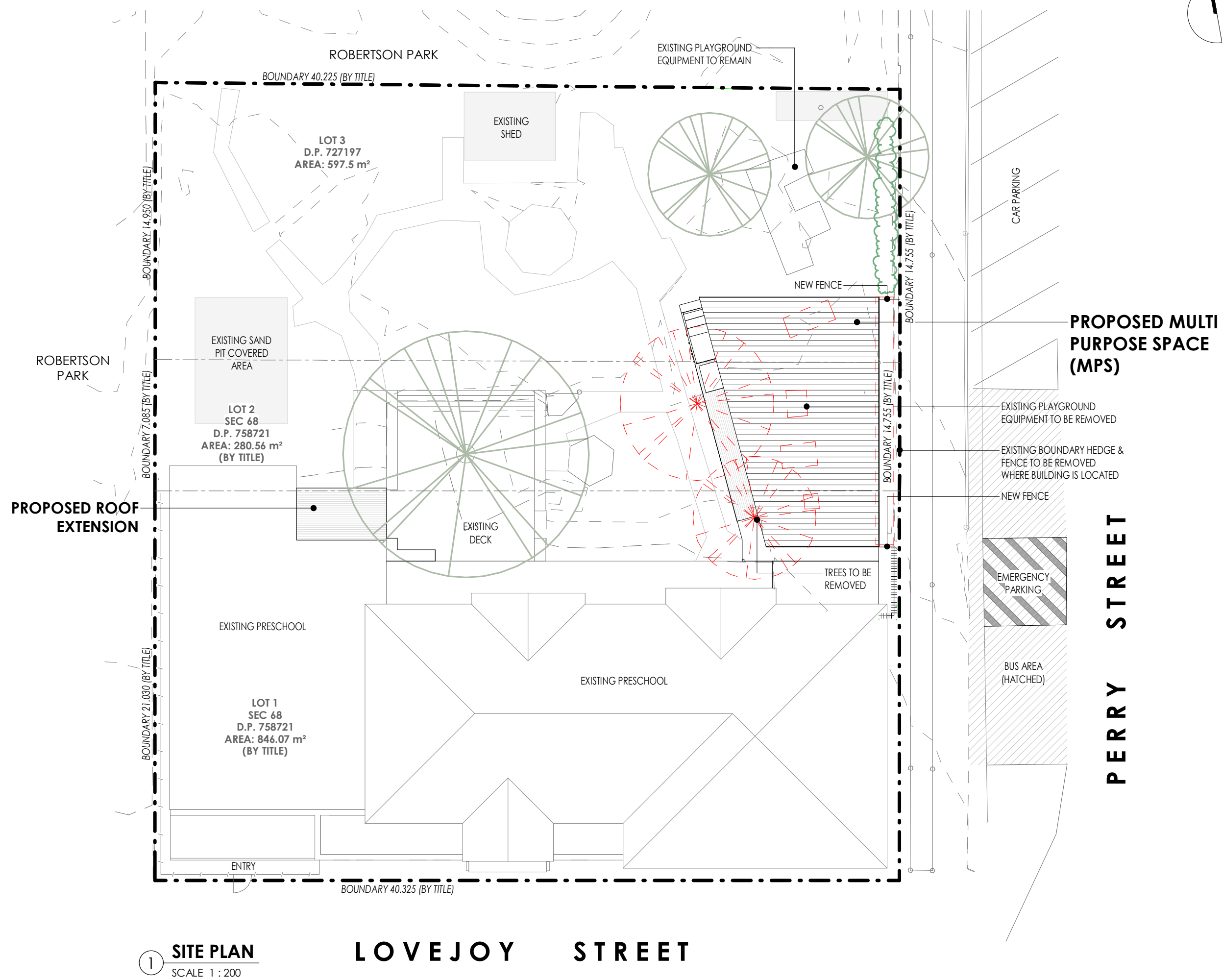
Provide glazing to AS 1288 and NCC/BCA Part 3.6

LIFT OFF HINGES (LOH)

Provide lift of hinges to the doors on sanitary compartments as labeled on the plans in accordance with NCC/BCA Vol 2 3.8.3.3



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1 SITE PLAN
SCALE 1 : 200

LOVEJOY STREET

PERRY STREET

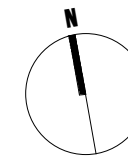
Issue	Description	Date
B	FOR CLIENT APPROVAL	16.12.22
A	PRELIMINARY	07.11.22

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Client	MUDGE COMMUNITY PRE-SCHOOL INC.	
Project	2 LOVEJOY STREET, MUDGE NSW 2850	
Title	SITE PLAN	
Scale at A3	1 : 200	
Date	JULY 2022	Drawn RG/DW
Drawing No.	568PRE-01	Issue B

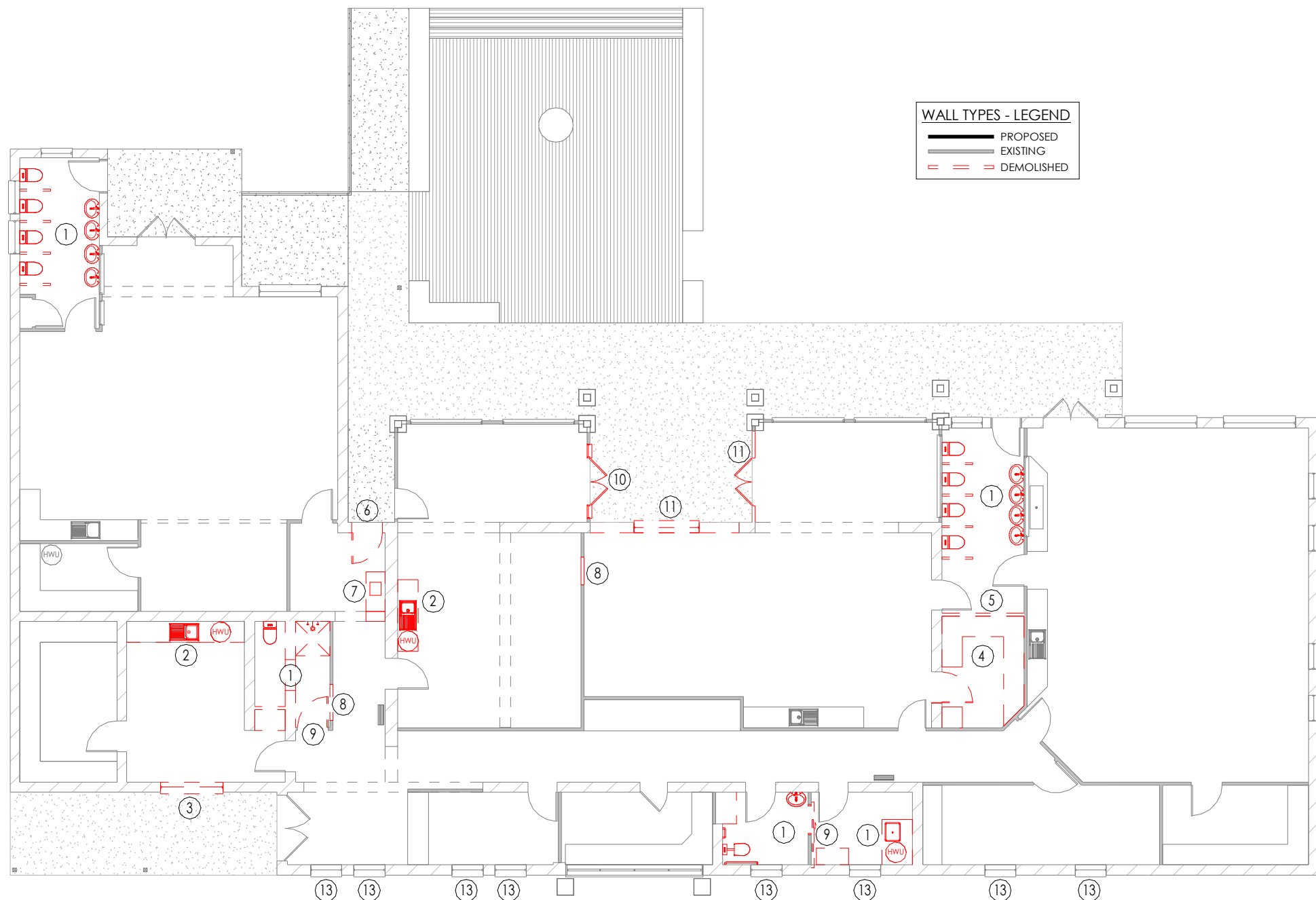


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WALL TYPES - LEGEND

- PROPOSED
- EXISTING
- - - DEMOLISHED



1 DEMOLITION PLAN
SCALE 1 : 150

SCOPE OF WORKS

- EXISTING BATHROOM FIXTURES, WALL, FLOOR TILES & PARTITIONS TO BE REMOVED. ANY UNUSED SERVICES TO BE CAPPED. FLOOR AND WALL SURFACES PREPARED FOR NEW FITOUT.
- EXISTING KITCHENETTE & HWU TO BE DEMOLISHED. SERVICES CAPPED.
- EXISTING WINDOW TO BE REMOVED & WINDOW OPENING HEIGHT INCREASED TO SUIT NEW WINDOW SIZE
- EXISTING STORE ROOM DOOR AND INTERNAL JOINERY TO BE REMOVED
- EXISTING DIVIDING WALL TO BE DEMOLISHED
- EXISTING DOOR AND NIBS TO BE DEMOLISHED
- EXISTING SINK & JOINERY TO BE REMOVED & PLUMBING CAPPED
- CREATE NEW DOOR OPENING
- REMOVE EXISTING DOOR & FRAME UP OPENING. MAKE GOOD
- REMOVE EXISTING FRENCH DOORS & WINDOWS. FRAME UP AND MAKE GOOD
- REMOVE WINDOWS/DOORS. DEMOLISH WALLS AS SHOWN DOTTED. NEW BEAM OVER TO ENGINEER'S DESIGN
- HATCH DENOTES NEW TIMBER STUD WALLS
- TIMBER WINDOWS TO BE REPAIRED AND MADE OPERABLE AGAIN.

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PRE-SCHOOL INC.

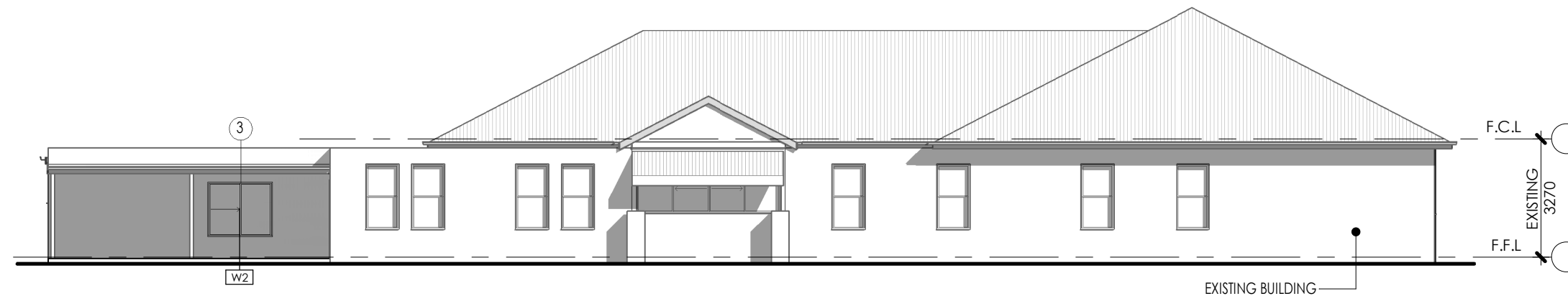
Project
2 LOVEJOY STREET, MUDGEE
NSW 2850

Title
DEMOLITION PLAN

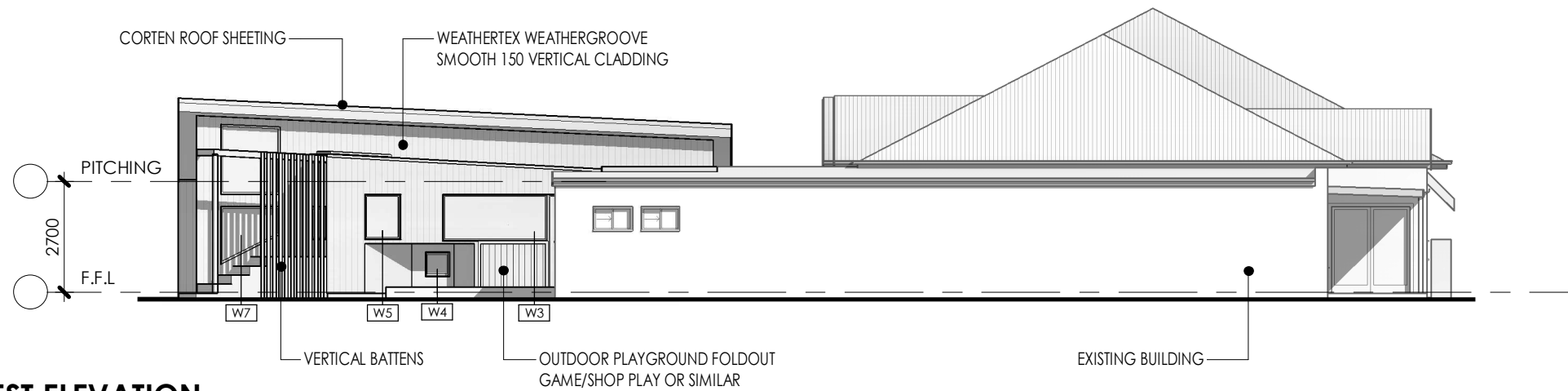
Scale at A3
1 : 150

Date JULY 2022 **Drawn** RG/DW

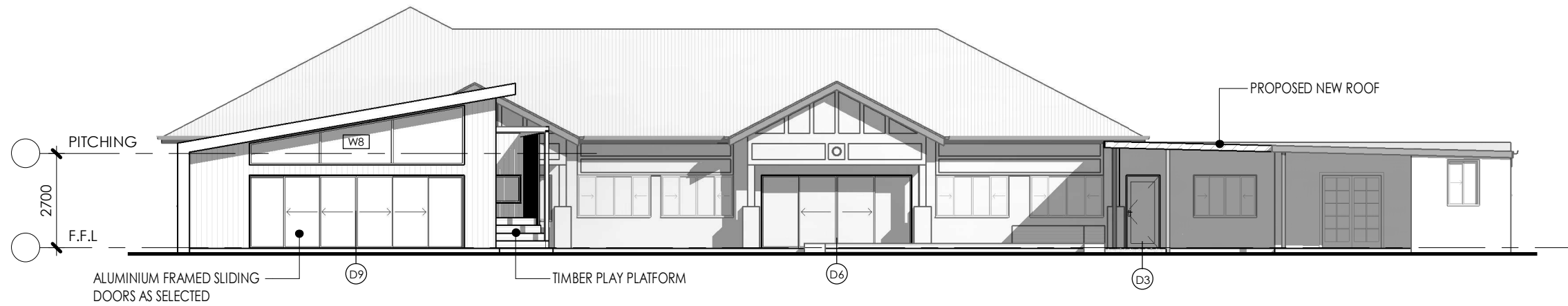
Drawing No. 568PRE-03 **Issue** B



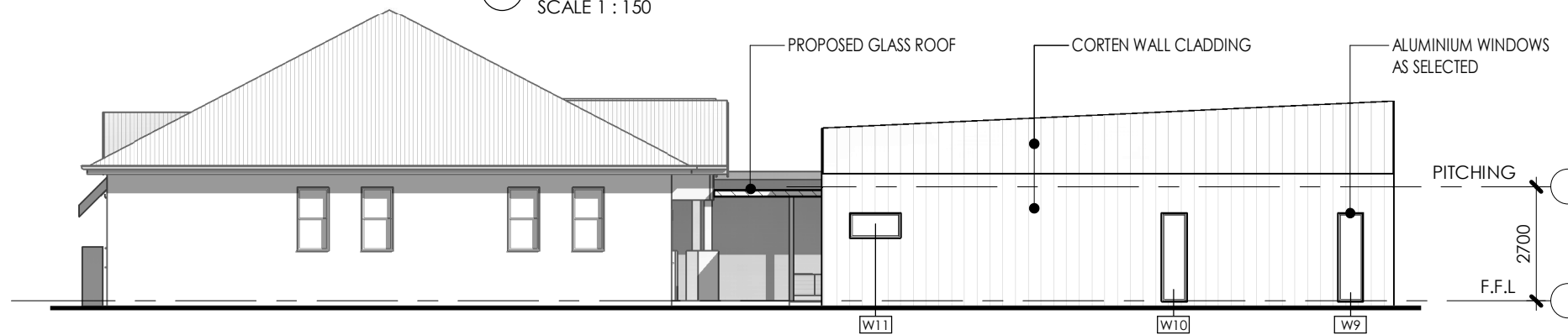
1 **SOUTH ELEVATION**
SCALE 1 : 150



2 **WEST ELEVATION**
SCALE 1 : 150



3 **NORTH ELEVATION**
SCALE 1 : 150



4 **EAST ELEVATION**
SCALE 1 : 150

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Project
2 LOVEJOY STREET, MUDGEY NSW 2850

Title
ELEVATIONS

Scale at A3
1 : 150

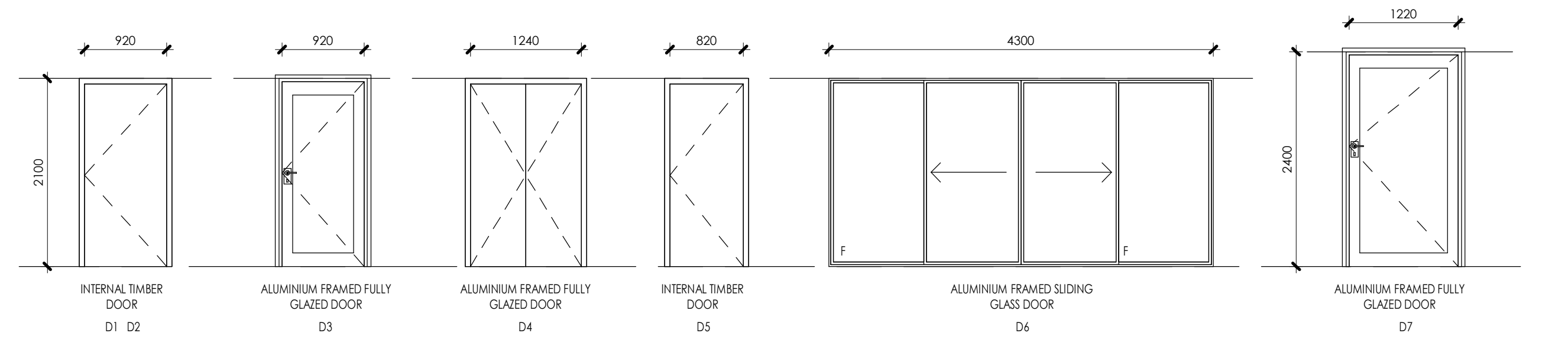
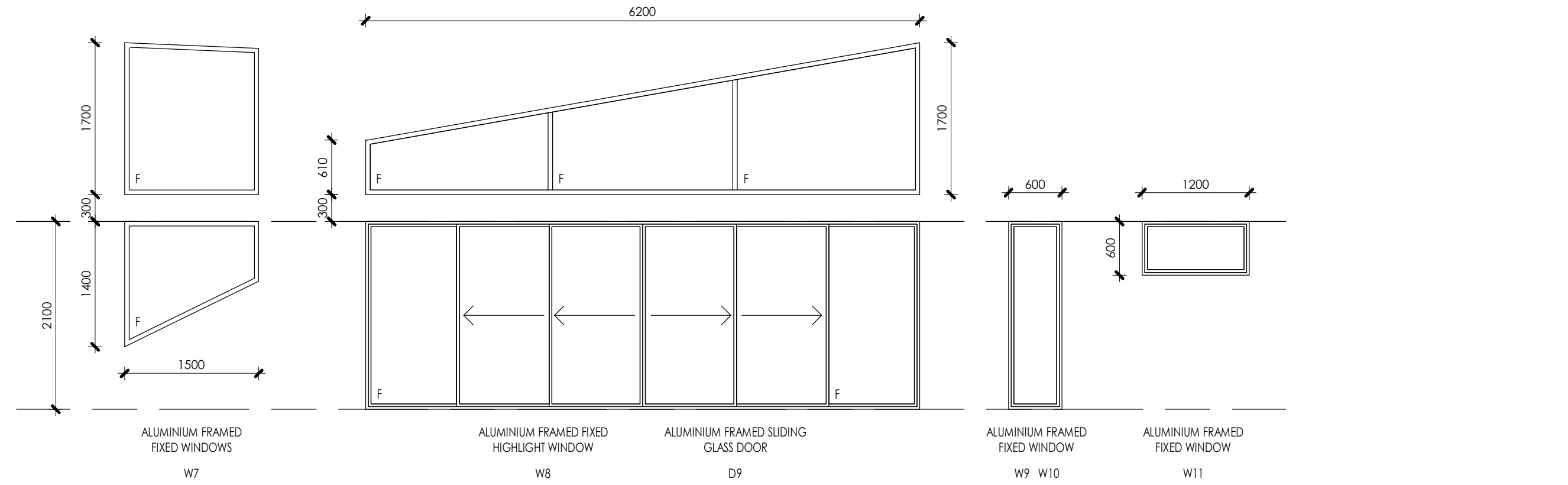
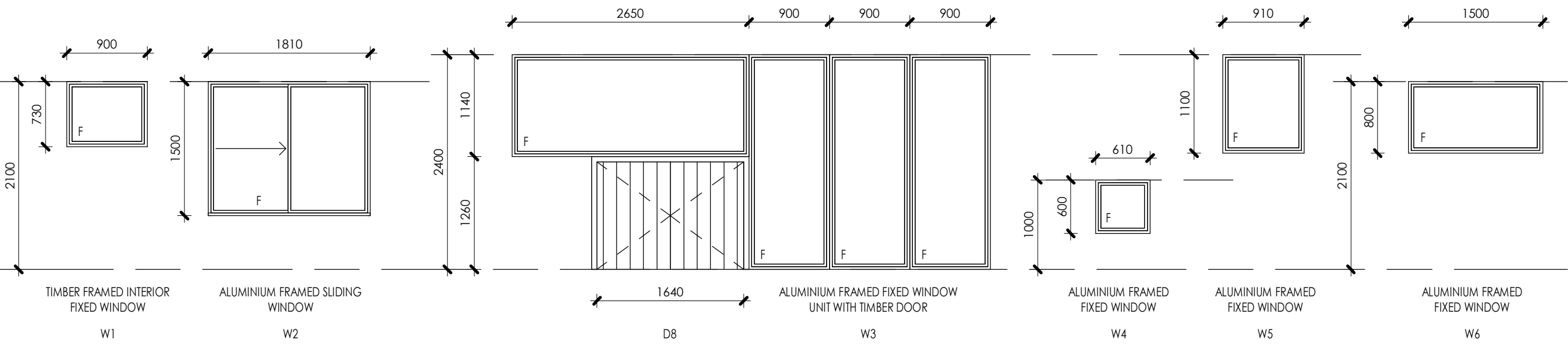
Date
JULY 2022

Drawn
RG/DW

Drawing No.
568PRE-05

Issue
B

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Client: MUDGEE COMMUNITY PRE-SCHOOL INC.

Project: 2 LOVEJOY STREET, MUDGEE NSW 2850

Title: WINDOW & DOOR SCHEDULE

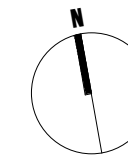
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Date: JULY 2022

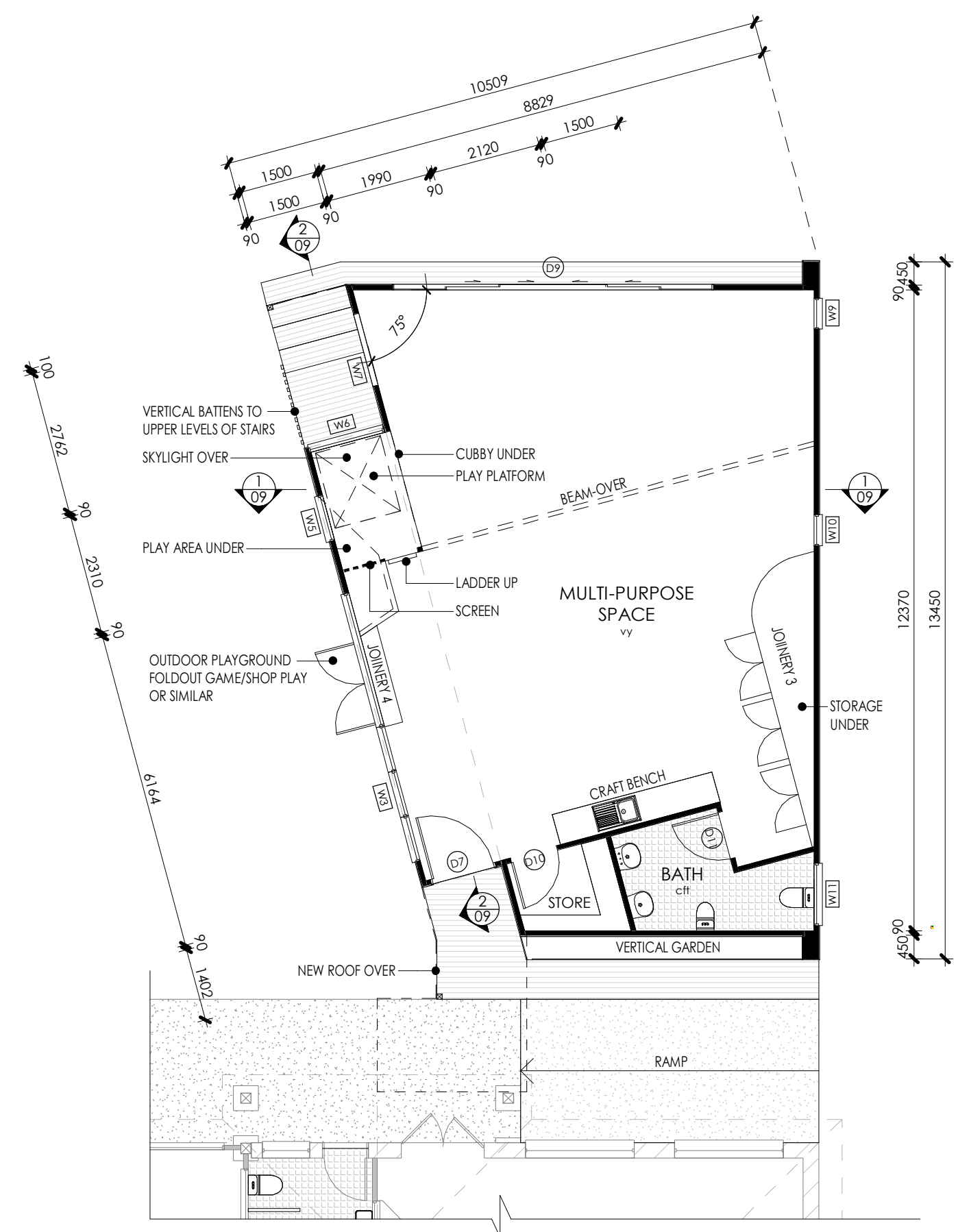
Drawn: RG/DW

Drawing No.: 568PRE-06

Issue: B



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WALL TYPES - LEGEND

	PROPOSED
	EXISTING
	DEMOLISHED

AREA ANALYSIS	SQ M
EXISTING PRESCHOOL	546.2 m ²
PROPOSED MPS	105.8 m ²
TOTAL	652.0 m ²

LEGEND

15-21	WINDOW DIMENSIONS - HEIGHT x WIDTH.
AAW	ALUMINIUM AWNING WINDOW
ADH	ALUMINIUM DOUBLE HUNG WINDOW
ASD	ALUMINIUM SLIDING DOOR
ASW	ALUMINIUM SLIDING WINDOW
BFD	BI-FOLDING DOOR
CLN	CLOTHES LINE
CONC	CONCRETE, TROWEL FINISH
CPT	CARPET
CSD	CAVITY SLIDING DOOR
CFT	CERAMIC FLOOR TILES
DP	DOWN PIPE
DR	DRYER SPACE
DW	DISHWASHER
F	FIXED GLASS WINDOW
FD	FRENCH DOOR
FP	FIREPLACE
F.TIM	FLOATING TIMBER FLOOR
FWG	FLOOR WASTE GULLY
HP	HOT PLATES
HWS	HOT WATER SYSTEM
J	JOINERY
LOH	LIFT OFF HINGES
LT	LAUNDRY TUB
LV	LOUVRE WINDOW
MB	METER BOX
MOD	MODWOOD DECKING
MSSD	MULTI STACK SLIDING DOOR
MW	MICROWAVE
OBS	OBSCURE GLASS
OV	OVEN
PC	POLISHED CONCRETE
PL	VINYL PLANK FLOORING
PLD	PANEL-LIFT GARAGE DOOR
RD	ROLLER DOOR
REF	REFRIGERATOR
RW	RETAINING WALL
SD	SMOKE DETECTOR
SK	SINK
SL	SIDE-LITE
TD	TIMBER DECKING
TF	POLISHED TIMBER FLOOR
WM	WASHING MACHINE SPACE

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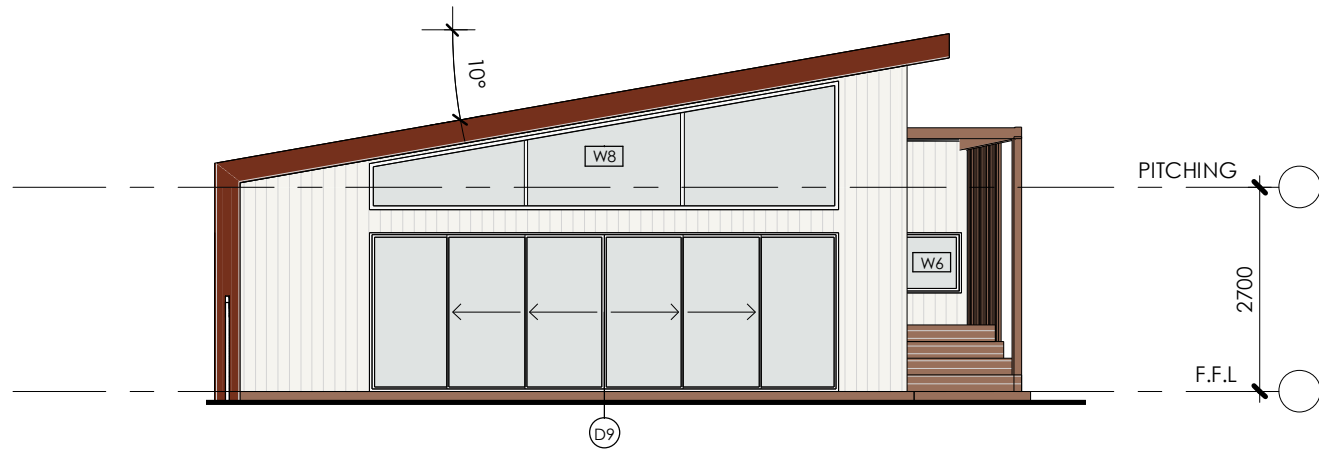
Title
 MPS FLOOR PLAN

Scale at A3
 As indicated

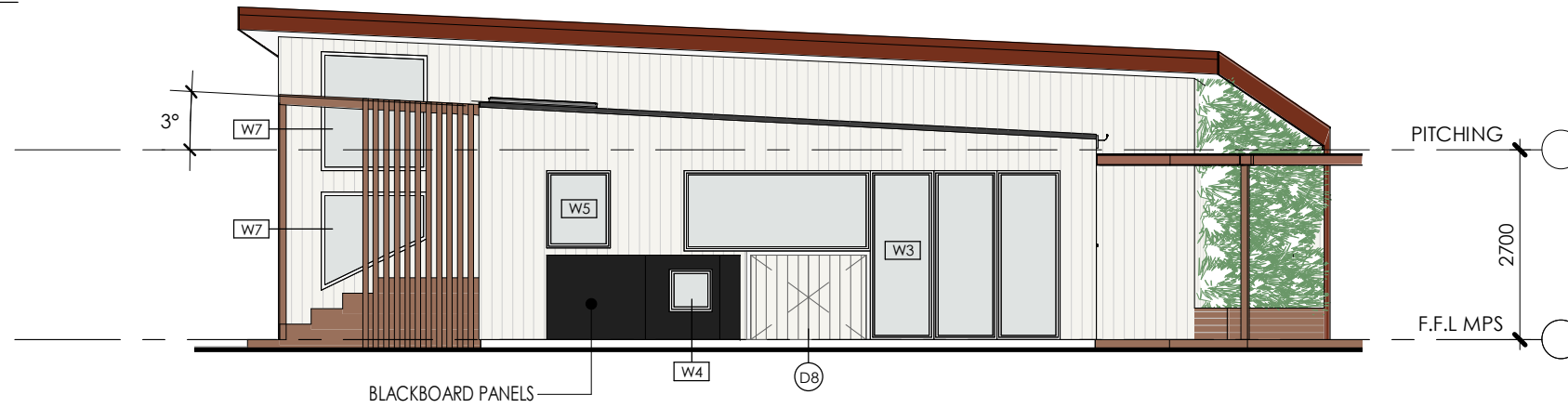
Date JULY 2022 **Drawn** RG/DW

Drawing No. 568PRE-07 **Issue** B

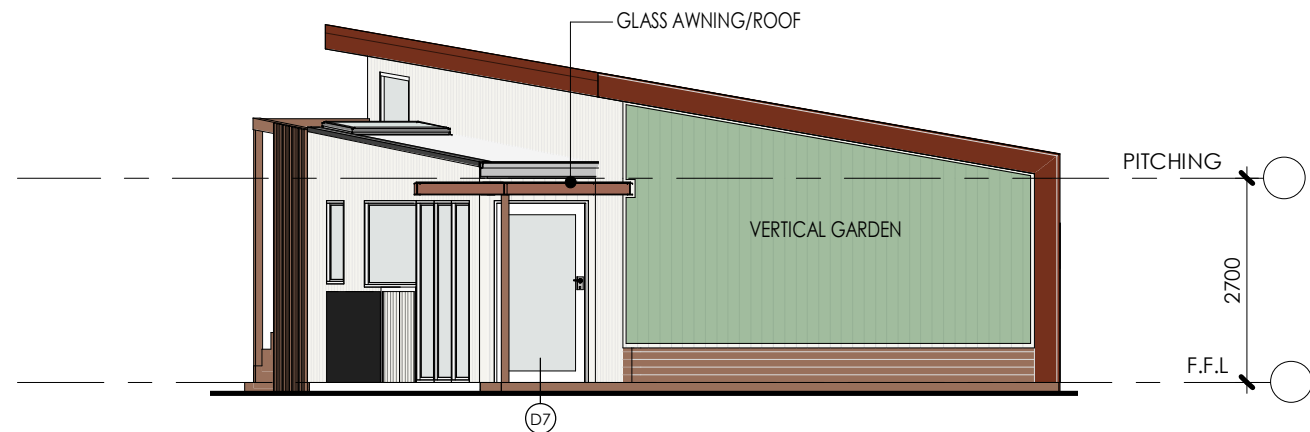
1 MPS - FLOOR PLAN
 SCALE 1 : 100



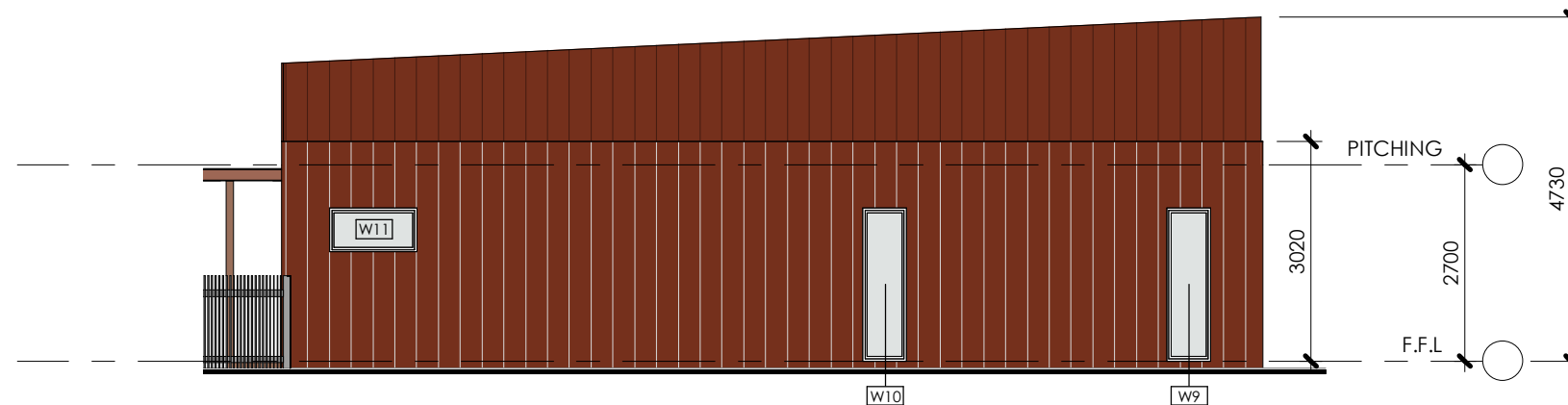
1 **NORTH ELEVATION**
SCALE 1 : 100



2 **WEST ELEVATION**
SCALE 1 : 100



3 **SOUTH ELEVATION**
SCALE 1 : 100



4 **EAST ELEVATION**
SCALE 1 : 100

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Project
2 LOVEJOY STREET, MUDGE NSW 2850

Title
MPS ELEVATIONS

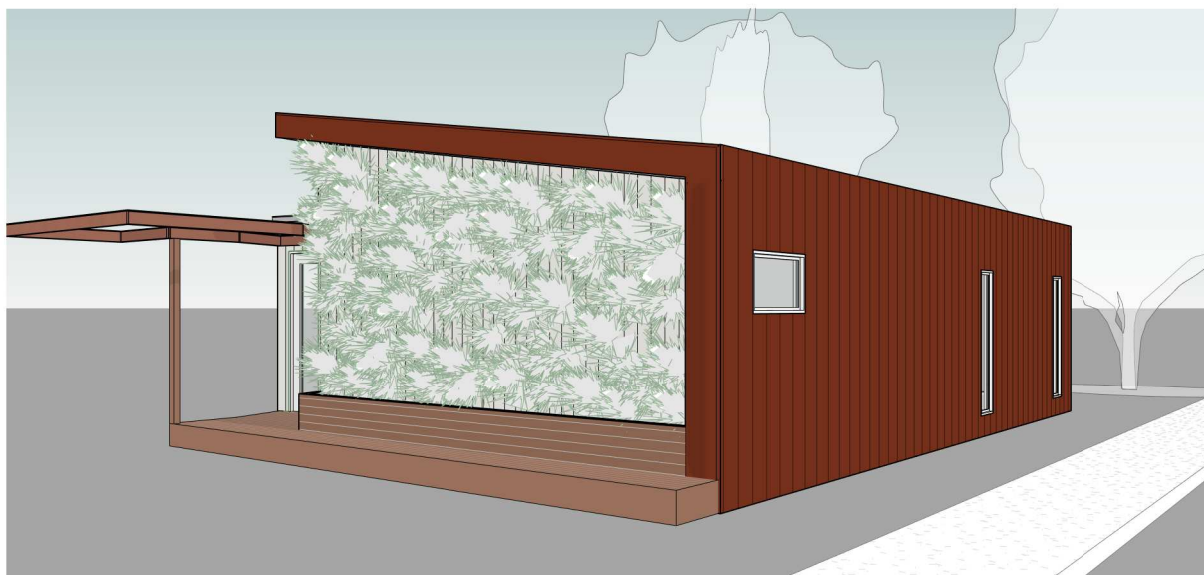
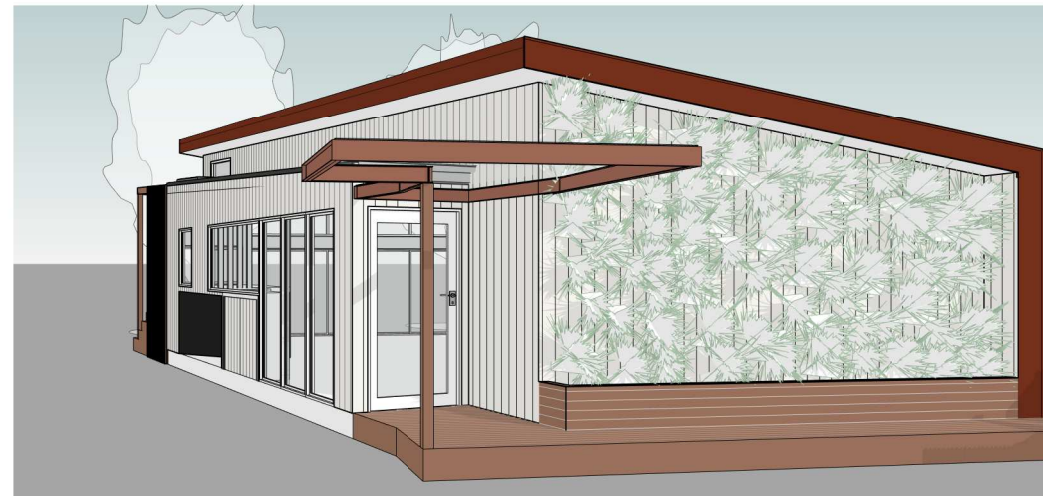
Scale at A3
1 : 100

Date
JULY 2022

Drawn
RG/DW

Drawing No.
568PRE-08

Issue
B



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Project
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Title
 MPS PERSPECTIVES

Scale at A3

Date JULY 2022 **Drawn** RG/DW

Drawing No. 568PRE-10 **Issue** B