

DRAWING LIST	
DA-01	SITE & ROOF PLAN
DA-02	UPPER FLOOR PLAN
DA-03	LOWER FLOOR PLAN
DA-04	ELEVATIONS
DA-05	ELEVATIONS
DA-06	SECTIONS
DA-07	SECTION
DA-08	DETAILED SECTION
DA-09	POOL FENCING PERSPECTIVE
SCH-01	WINDOW SCHEDULE
SCH-02	WINDOW SCHEDULE
ANX-01	BASIX Commitments
ANX-02	BASIX Commitments
ANX-03	BASIX Commitments



## UNDERWOOD RESIDENCE

10 AVISFORD COURT, MUDGEEO, QLD.

DATE: JULY 2014

JOB No: 1414

## ISSUE F DEVELOPMENT APPLICATION



(02) 6674 0488  
 0419 259 426  
 570 Casuarina Way,  
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 ARB: 7017 3538  
 AIA No. 22721

ISSUE	DATE	DISTRIBUTION
A	04 / 07 / 14	Master Plan
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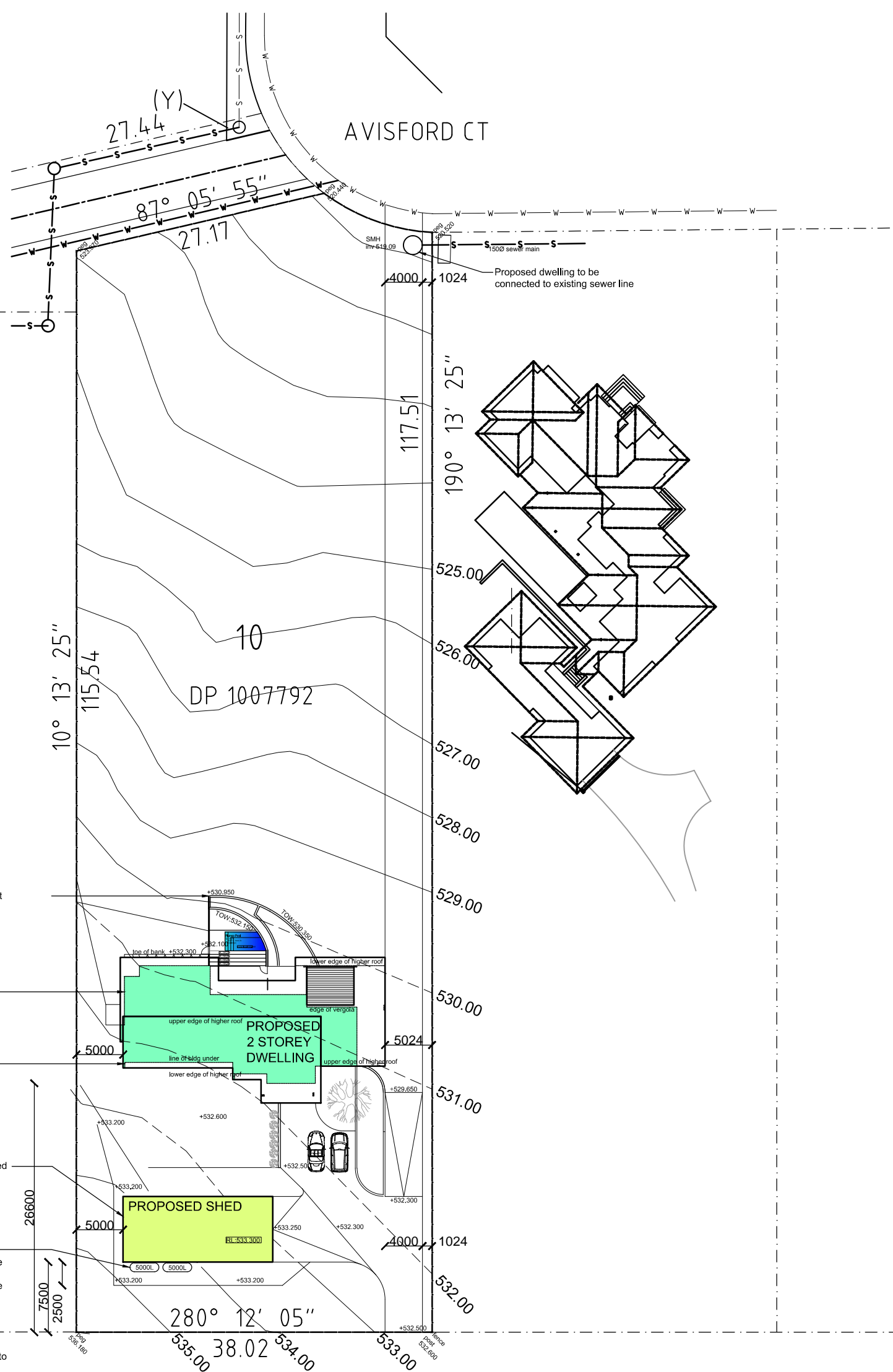
NOTES:  
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LEGEND

- W — W — W — W — W — EXISTING WATER MAIN
- ⊙ — W — W — W — W — W — PROPOSED WATER MAIN/HYDRANT
- S — S — S — S — S — EXISTING SEWER MAIN
- ⊙ — S — S — S — S — S — PROPOSED SEWER MAIN/MANHOLE



LOCATION PLAN



1200 high pool fence to 1200 out from the bottom of pool wall

Proposed dwelling to be connected to existing sewer line on Avisford Ct

Proposed dwelling to be connected to existing sewer line on Avisford Ct

8kW photovoltaic system installed on the shed roof

2 x 5000L rainwater tanks to installed adjacent to the shed. This meets the BASIX Commitment. Upper Roof has 144m<sup>2</sup> available for rainwater harvesting. Lower Roof has 196m<sup>2</sup> available for rainwater harvesting. Shed has 112m<sup>2</sup> available for rainwater harvesting.

A BASIX commitment of a minimum of 300m<sup>2</sup> of roof area to connected to rainwater tanks

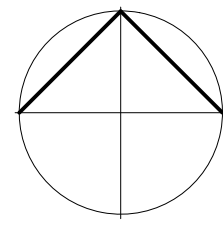
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scott carpenter architect

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**UNDERWOOD RESIDENCE**  
 10 AVISFORD COURT, MUDGEE  
 SITE & ROOF PLAN

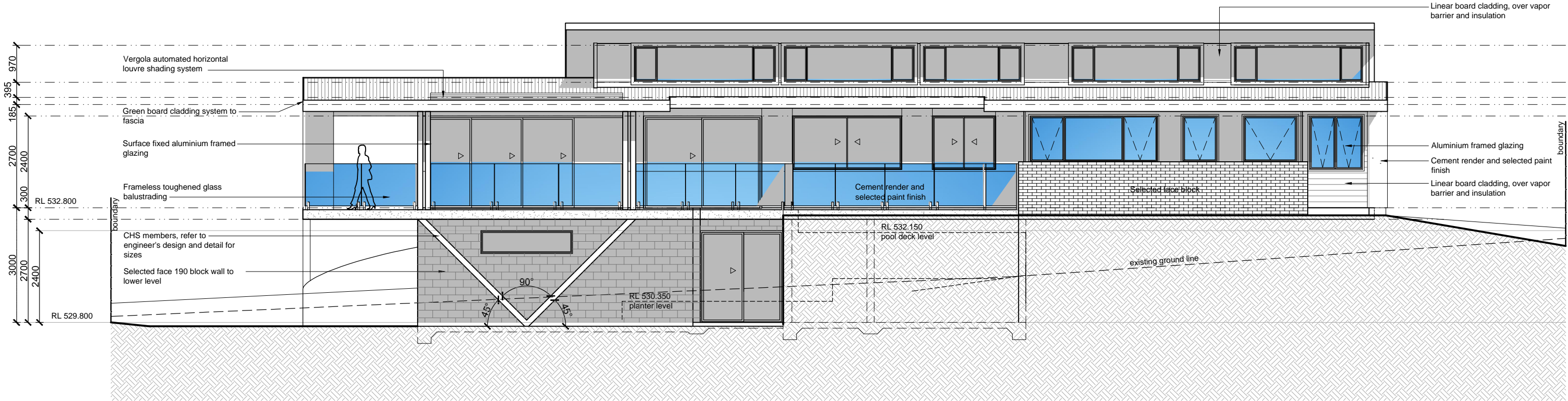
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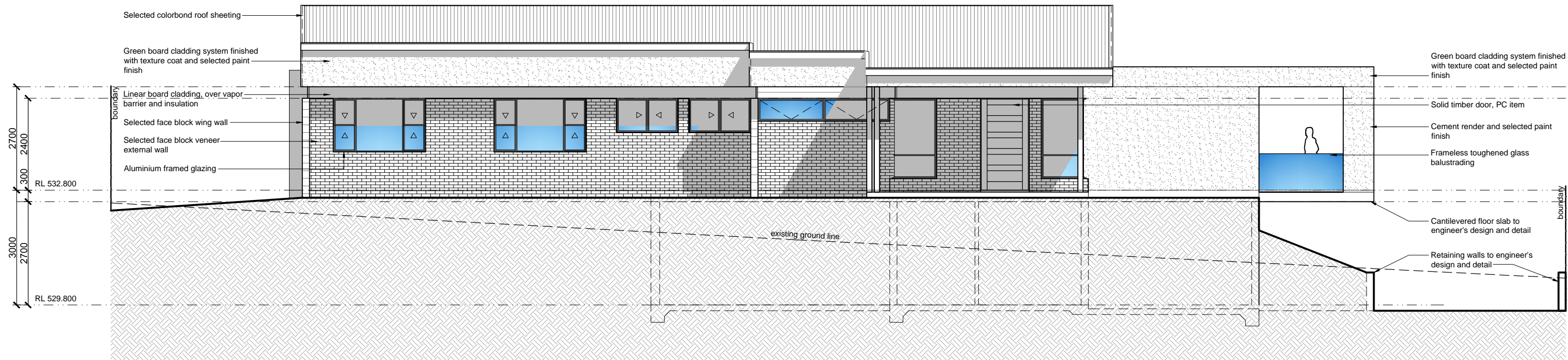
NOTE:  
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**SECTION C-C / NORTH ELEVATION**



**SECTION D-D / SOUTH ELEVATION**

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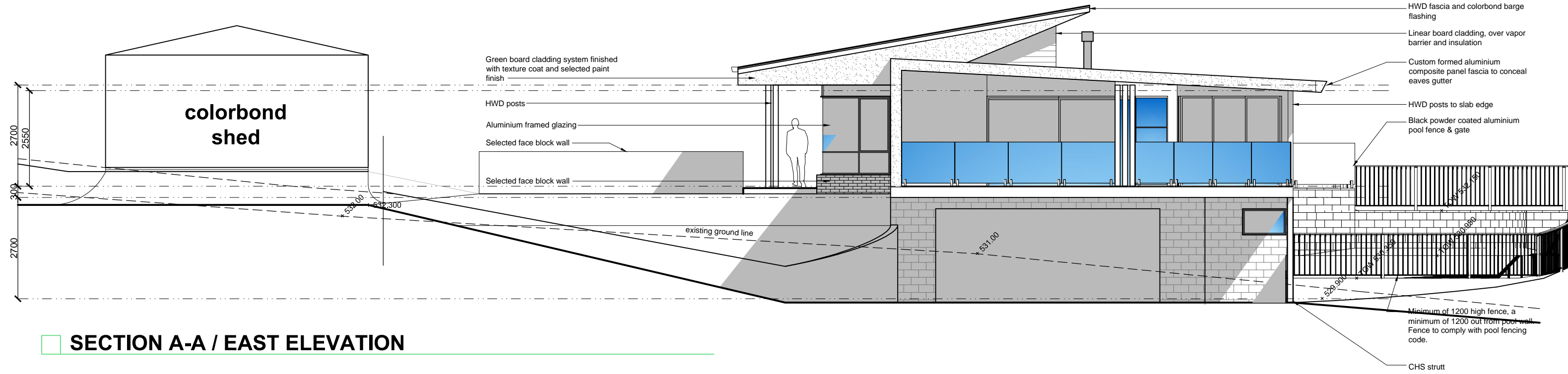
**UNDERWOOD RESIDENCE**  
10 AVISFORD COURT, MUDGEE  
ELEVATIONS

DATE: JULY 2014 JOB No: 1414  
SCALE: 1:100(A3), 1:50(A1) DWG No: DA-04

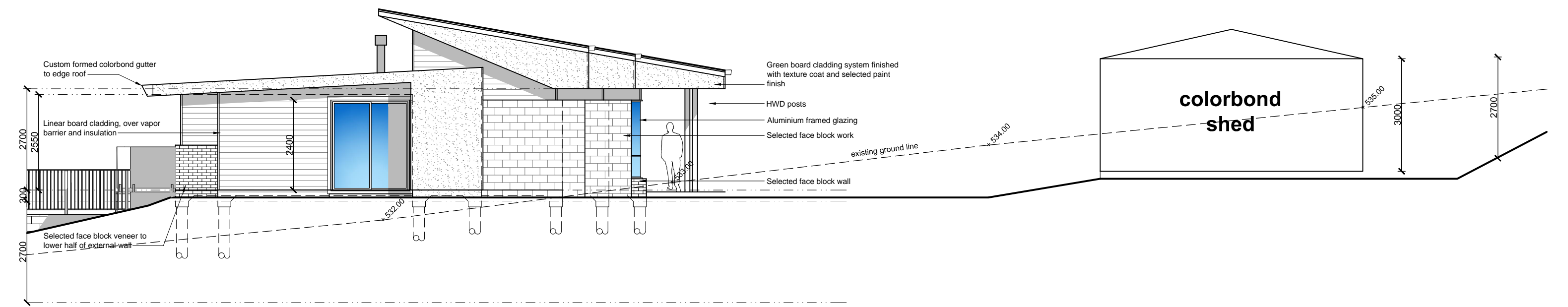
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**SECTION A-A / EAST ELEVATION**



**SECTION B-B / WEST ELEVATION**

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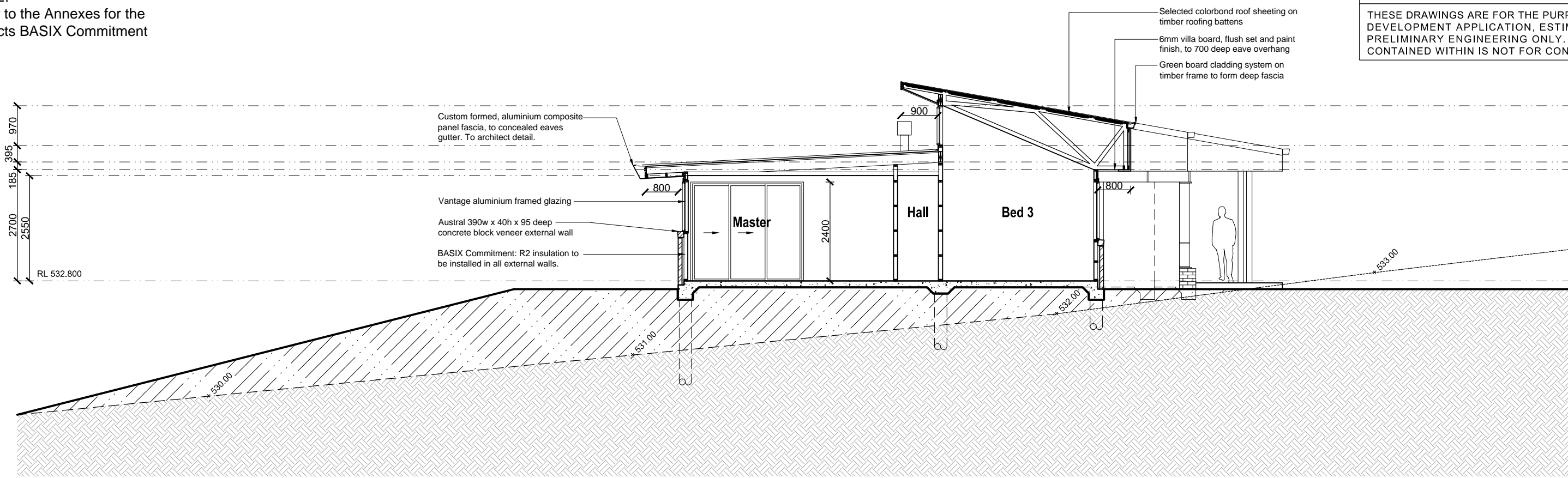
**UNDERWOOD RESIDENCE**  
10 AVISFORD COURT, MUDGEE  
**ELEVATIONS**

DATE: JULY 2014      JOB No: 1414  
SCALE: 1:100(A3), 1:50(A1)      DWG No: DA-05

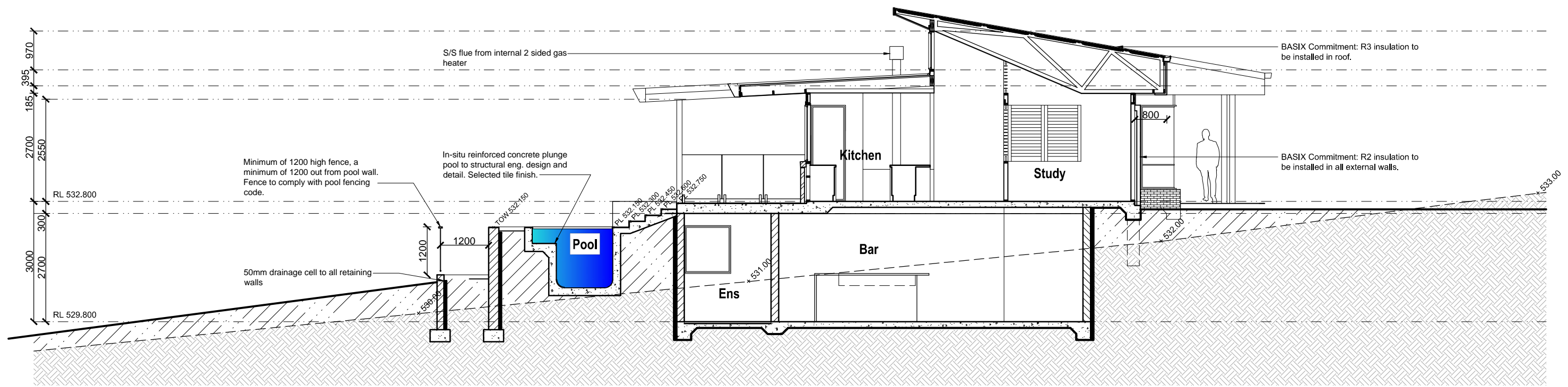
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**SECTION E-E**



**SECTION F-F**

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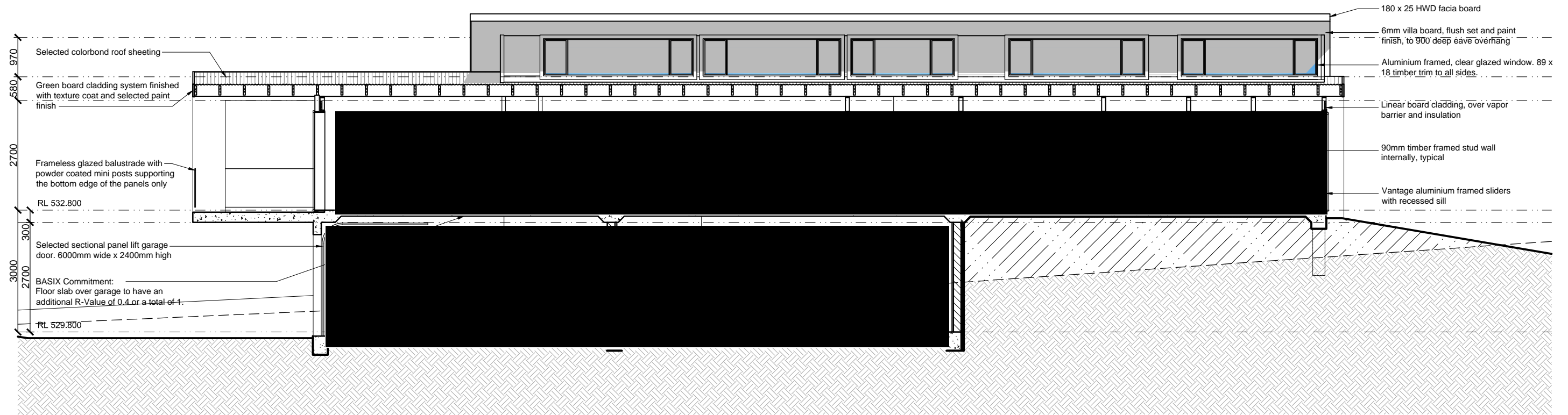
**UNDERWOOD RESIDENCE**  
10 AVISFORD COURT, MUDGEE  
**SECTIONS**

DATE: JULY 2014 JOB No: 1414  
SCALE: 1:100(A3), 1:50(A1) DWG No: DA-06

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**SECTION G-G**

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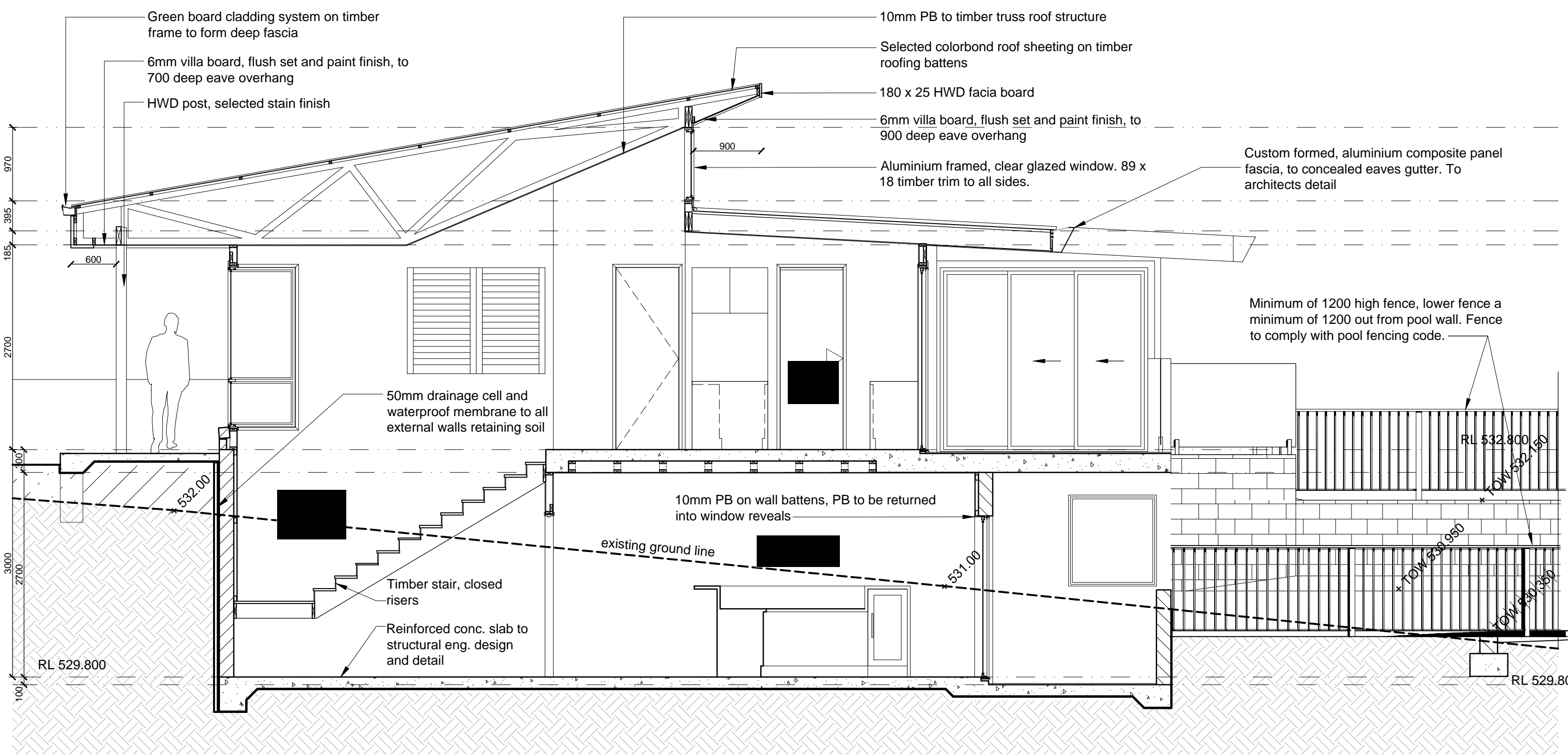
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**SECTION**

DATE: JULY 2014 JOB No: 1414  
SCALE: 1:100(A3), 1:50(A1) DWG No: DA-07

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SECTION H-H

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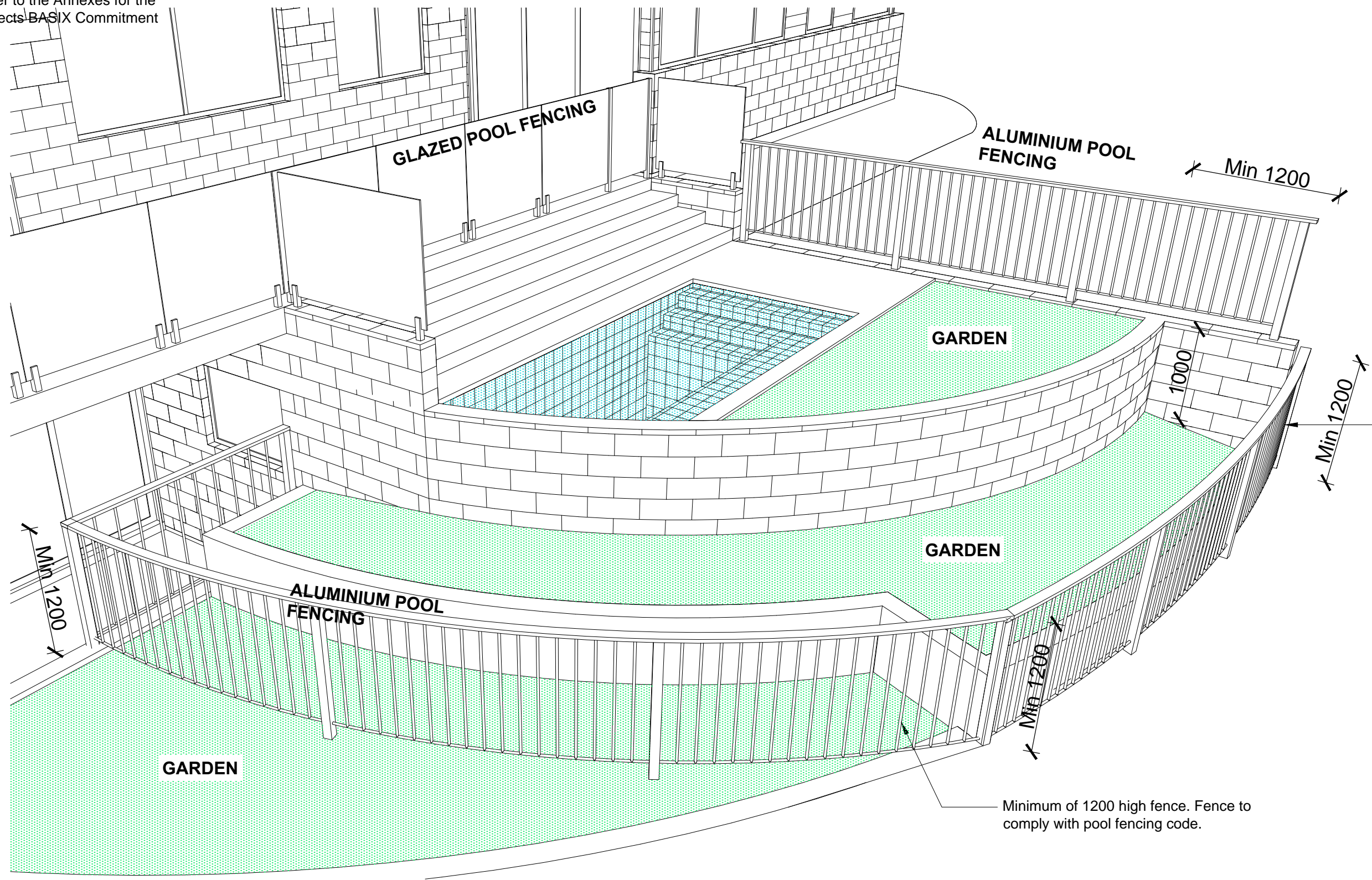
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10 AVISFORD COURT, MUDGEE  
**DETAILED SECTION**

DATE: JULY 2014  
SCALE: 1:50(A3), 1:25(A1)  
JOB No: 1414  
DWG No: DA-08

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NOTE:  
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Minimum of 1200 high fence, a minimum of 1200 out from pool wall. Fence to comply with pool fencing code. Fence to follow the fall of the land. Offset from the retaining wall behind such that no foot hold is possible.

Minimum of 1200 high fence. Fence to comply with pool fencing code.

**LINE DRAWING**

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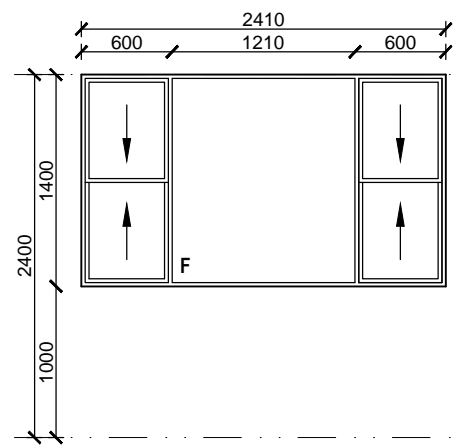
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**UNDERWOOD RESIDENCE**  
10 AVISFORD COURT, MUDGEEO  
**POOL FENCING PERSPECTIVE**

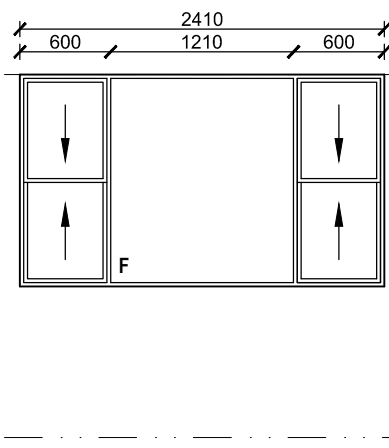
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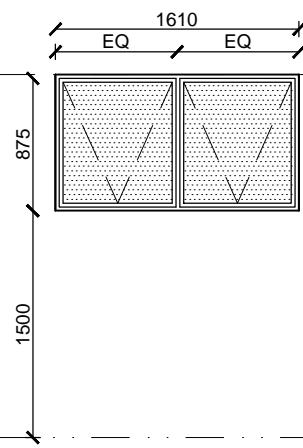




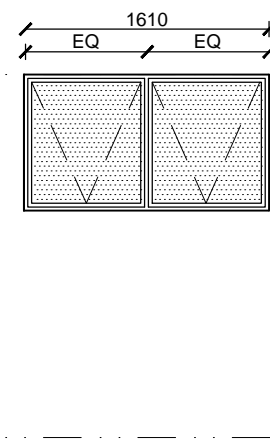
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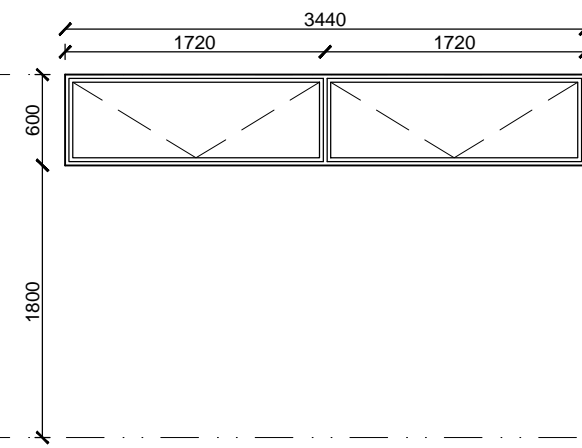
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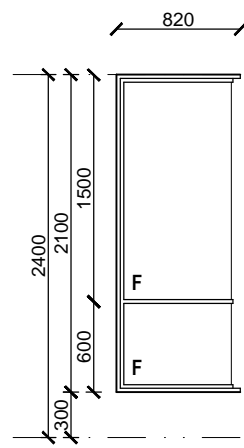
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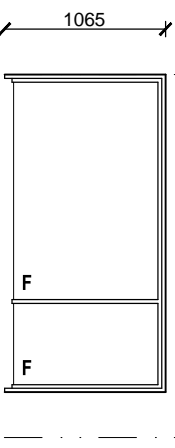
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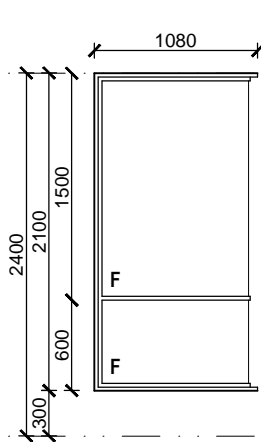
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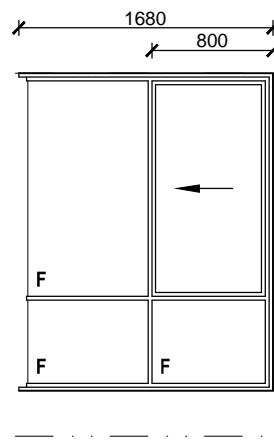
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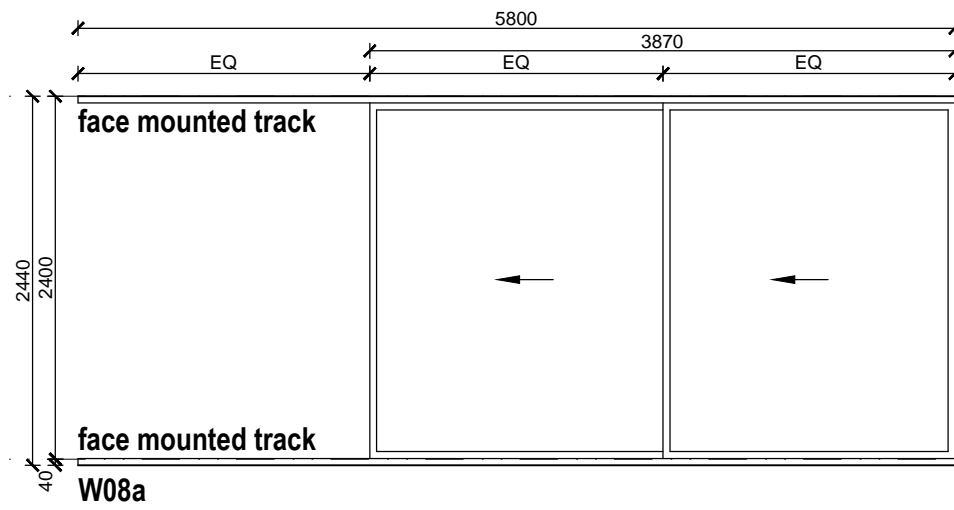
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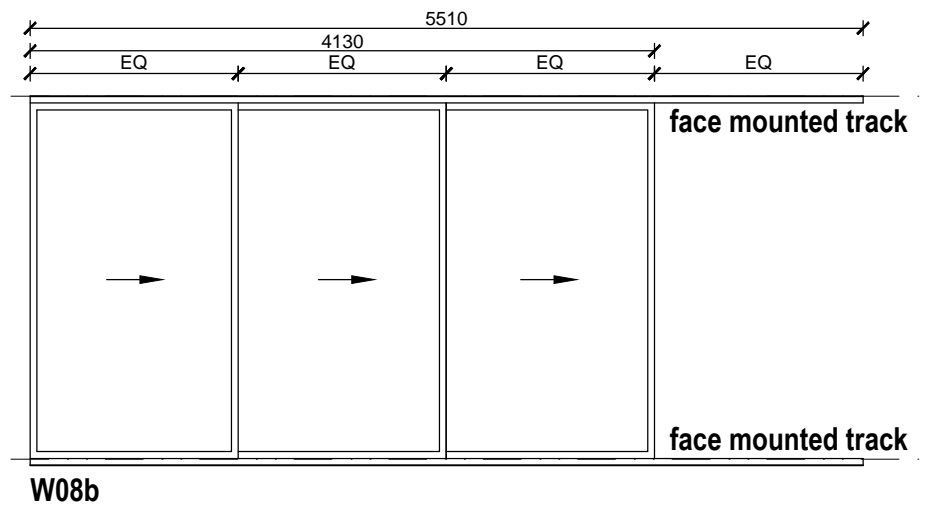
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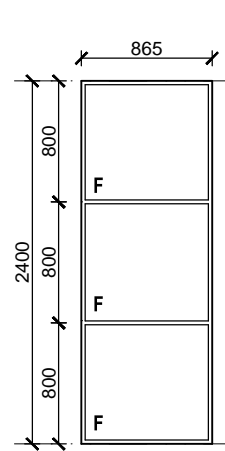
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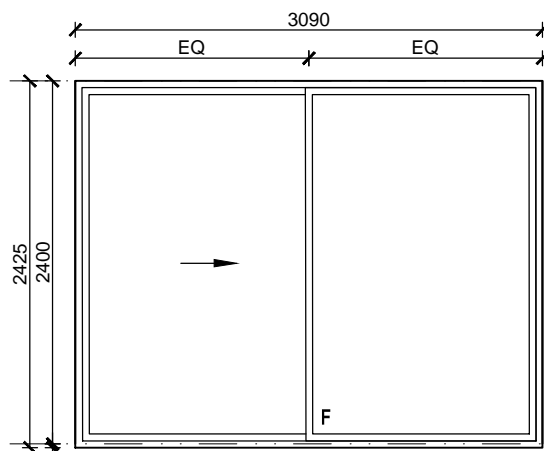
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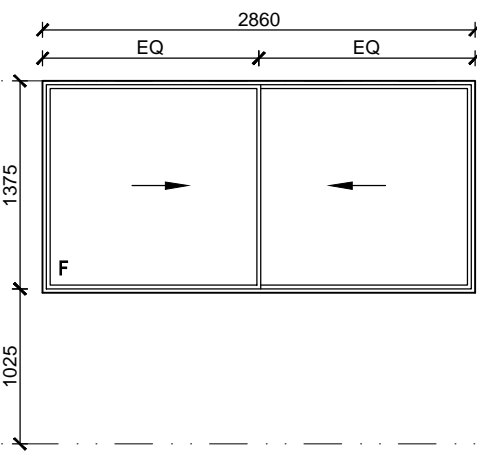
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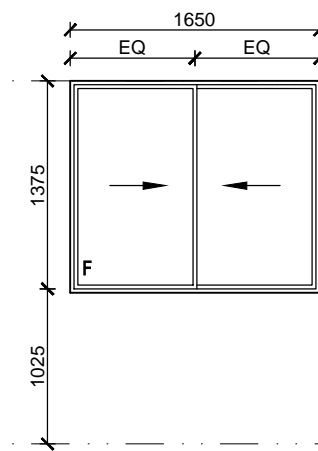
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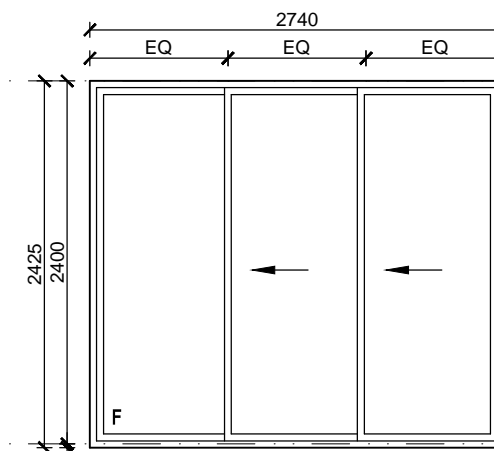
W10



W11



W12



W13

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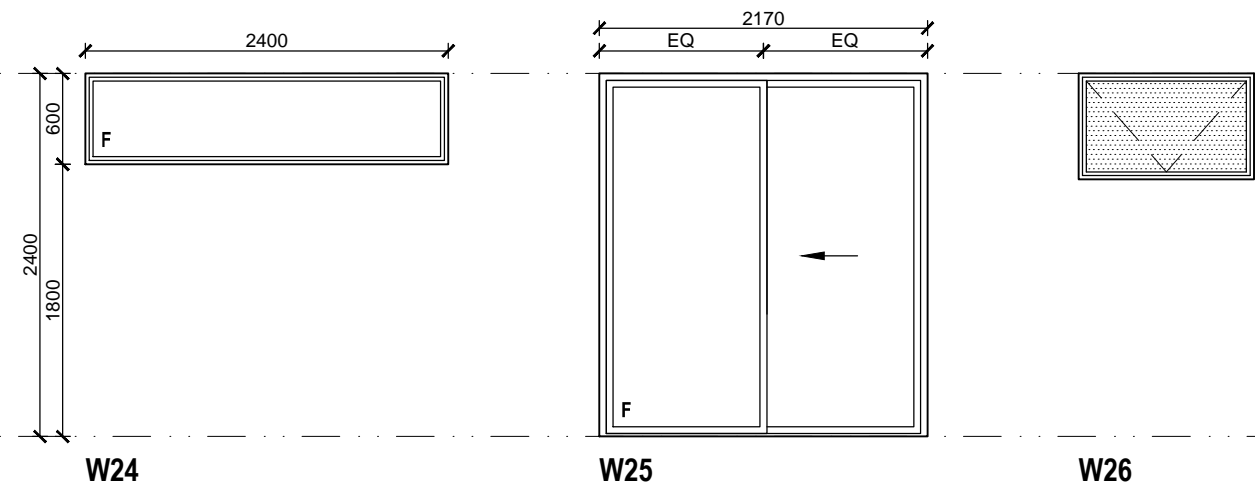
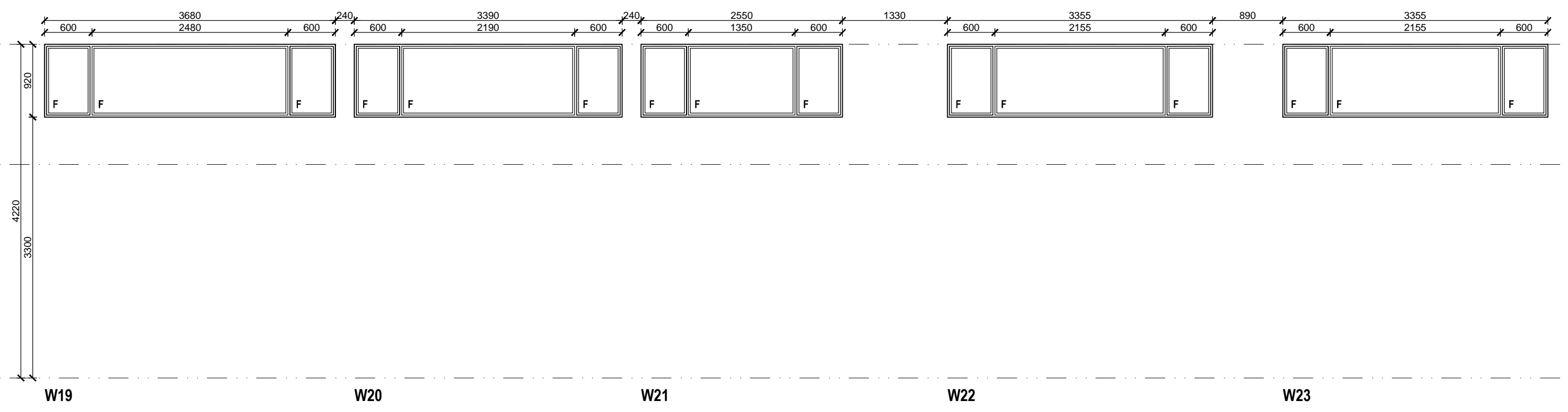
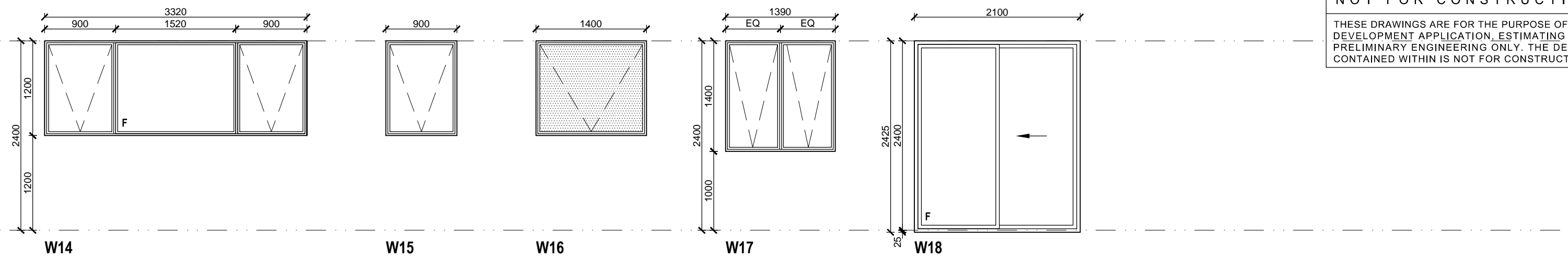
**UNDERWOOD RESIDENCE**  
10 AVISFORD COURT, MUDGEEO  
**WINDOW SCHEDULE**

DATE: JULY 2014  
SCALE: 1:50(A3), 1:25(A1)  
JOB No: 1414  
DWG No: SCH-01

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10 AVISFORD COURT, MUDGEEO  
**WINDOW SCHEDULE**

DATE: JULY 2014 JOB No: 1414  
SCALE: 1:50(A3), 1:25(A1) DWG No: SCH-02

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## Single Dwelling

Certificate number: 576355S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 18/09/2014 published by Planning & Infrastructure. This document is available at www.basix.nsw.gov.au

Director-General  
Date of issue: Thursday, 18 September 2014  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Kathy & Craig Underwood	
Street address	Avisford Court Mudgee 2850	
Local Government Area	Mid-Western Regional Council	
Plan type and plan number	deposited 1007792	
Lot no.	10	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	3	
Project score		
Water	✓ 31	Target 30
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 99	Target 35

Certificate Prepared by	
Name / Company Name:	Gabrielle O'Sullivan
ABN (if applicable):	N/A

## Description of project

Project address		Assessor details and thermal loads	
Project name	Kathy & Craig Underwood	Assessor number	n/a
Street address	n/a Avisford Court Mudgee 2850	Certificate number	n/a
Local Government Area	Mid-Western Regional Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 1007792	Area adjusted cooling load (MJ/m <sup>2</sup> .year)	n/a
Lot no.	10	Area adjusted heating load (MJ/m <sup>2</sup> .year)	n/a
Section no.	-	Other	none
Project type		Project score	
Project type	separate dwelling house	Water	✓ 31 Target 30
No. of bedrooms	3	Thermal Comfort	✓ Pass Target Pass
Site details		Energy	✓ 99 Target 35
Site area (m <sup>2</sup> )	4511		
Roof area (m <sup>2</sup> )	300		
Conditioned floor area (m <sup>2</sup> )	225		
Unconditioned floor area (m <sup>2</sup> )	60		
Total area of garden and lawn (m <sup>2</sup> )	850		

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 300 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
• all hot water systems in the development		✓	✓
• all indoor cold water taps (not including taps that supply clothes washers) in the development		✓	✓
• a tap that is located within 10 metres of the swimming pool in the development		✓	✓

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Swimming pool</b>			
The swimming pool must not have a volume greater than 11 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	
The swimming pool must be outdoors.	✓	✓	

## NOTES:

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A	04 / 07 / '14	Master Plan
B	08 / 07 / '14	Amended Master Plan
C	15 / 07 / '14	Amended Master Plan
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F	22 / 09 / '14	Development Application



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ARB: 7017 3539  
AIA No. 22721



NOT FOR CONSTRUCTION

**UNDERWOOD RESIDENCE**  
10 AVISFORD COURT, MUDGEE  
BASIX REQUIREMENTS

DATE: JULY 2014 JOB No: 1414  
SCALE: 1:100(A3), 1:50(A1) DWG No: ANX-01

Thermal Comfort Commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Floor, walls and ceiling/roof</b>					
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.			✓	✓	✓
Construction	Additional insulation required (R-Value)	Other specifications			
floor - concrete slab on ground	nil				
floor - suspended floor above garage, concrete	0.4 (or 1 including construction) (down)				
external wall - brick veneer	1.66 (or 2.20 including construction)				
external wall - framed (weatherboard, fibre cement, metal clad)	1.80 (or 2.20 including construction)				
external wall - concrete block/plasterboard	1.68 (or 2.20 including construction)				
internal wall shared with garage - 200 mm AAC block	nil				
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 3 (up), roof: foil/sarking	framed; dark (solar absorptance > 0.70)			
<b>Note</b> Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.					

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W8B	N	13.20	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W9	E	2.07	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W10, 11 & 12	N	13.56	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W13	E	6.57	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W14, 15, 16 & 17	N	9.44	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony 751-900 mm	not overshadowed
W18	W	5.04	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony 451-600 mm	not overshadowed
W19, 20, 21, 22 & 23	N	15.00	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony 751-900 mm	not overshadowed
W24 & 25	N	6.64	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W26	E	0.72	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed

Thermal Comfort Commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>					
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.			✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) and up to 2 windows/glazed doors (<0.7 square metres) which are not listed in the table.			✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:			✓	✓	✓
<ul style="list-style-type: none"> <li>Except where the glass is 'single clear' or 'single toned', each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) +/-10% of that listed. Total system U-values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.</li> <li>The leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 millimetres above the head of the window or glazed door, except that a projection greater than 500 mm and up to 1500 mm above the head must be twice the value in the table.</li> <li>Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.</li> <li>Unless they have adjustable shading, pergolas must have fixed battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.</li> </ul>			✓	✓	✓
Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W1 & 2	S	6.72	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony 451-600 mm	not overshadowed
W3, 4 & 5	S	4.86	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony 451-600 mm	not overshadowed
W6A	W	1.70	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony 451-600 mm	not overshadowed
W6B & 7A	S	4.46	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W7B	E	3.52	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony 451-600 mm	not overshadowed
W8A	E	6.72	improved aluminium, double clear (U-value:4.12, SHGC:0.66)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed

Energy Commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>					
The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (gas boosted) with a performance of 31 to 35 RECs or better.			✓	✓	✓
<b>Cooling system</b>					
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 4 Star (new rating)				✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 4 Star (new rating)				✓	✓
<b>Heating system</b>					
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 4 Star (new rating)				✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 4 Star (new rating)				✓	✓
<b>Ventilation</b>					
The applicant must install the following exhaust systems in the development:					
At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off				✓	✓
Kitchen: individual fan, not ducted; Operation control: manual switch on/off				✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a				✓	✓
<b>Artificial lighting</b>					
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:					
<ul style="list-style-type: none"> <li>at least 4 of the bedrooms / study; dedicated</li> <li>at least 1 of the living / dining rooms; dedicated</li> <li>the kitchen;</li> </ul>				✓	✓

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ARB: 7017 3539  
AIA No. 22721



NOT FOR CONSTRUCTION

**UNDERWOOD RESIDENCE**  
10 AVISFORD COURT, MUDGEEO  
BASIX REQUIREMENTS

DATE: JULY 2014 JOB No: 1414  
SCALE: 1:100(A3), 1:50(A1) DWG No: ANX-02

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets;		✓	✓
• the laundry;		✓	✓
• all hallways;		✓	✓
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
<b>Swimming pool</b>			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar only		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
<b>Alternative energy</b>			
The applicant must install a photovoltaic system with the capacity to generate at least 5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
<b>Other</b>			
The applicant must install an induction cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

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N O T F O R  
 C O N S T R U C T I O N

**UNDERWOOD RESIDENCE**  
 10 AVISFORD COURT, MUDGEE  
**BASIX REQUIREMENTS**

DATE: JULY 2014 JOB No: 1414  
 SCALE: 1:100(A3), 1:50(A1) DWG No: ANX-03

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