

SELF-CONTAINED CABINS

CONCEPT DESIGN

CLIENT
MR/MRS TURRISI
569 HIGH END ROAD
ERUDGERE NSW 2850

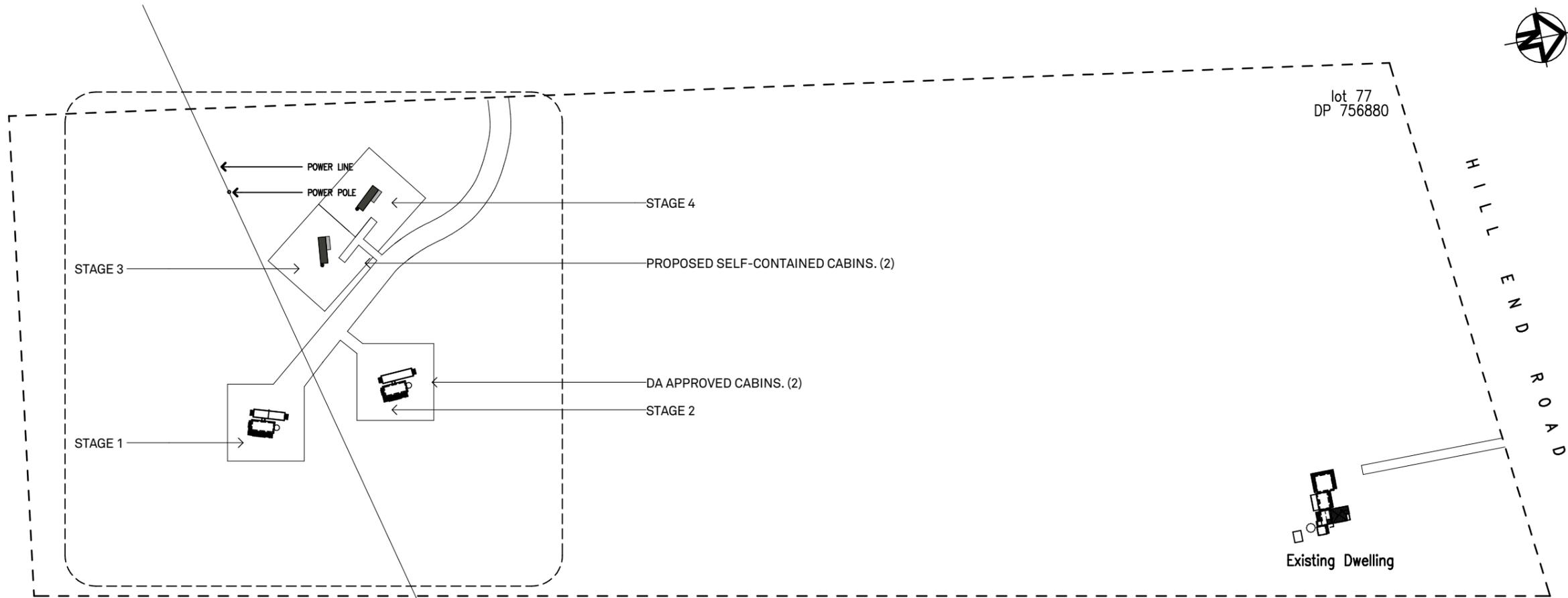
PROJECT DETAILS

569 HIGH END ROAD
ERUDGERE NSW 2850

5 / 505 BALMAIN RD
LILYFIELD NSW 2040
ABN 76 129 130 285
RN 7536

P. +61 2 9818 0777
F. +61 2 9818 0778
E. ENQUIRIES@BENSONMCCORMACK.COM
W. WWW.BENSONMCCORMACK.COM

**BENSON
McCORMACK
ARCHITECTURE**



The following assumptions have been used in the thermal and BASIX assessment. Should the following not be complied with a measurement may be required.
 Please refer to H Star certificates nos. 0008340630 and 0008340648 for all insulation and glazing details. Details on H Star Certificates are to be used. Below is a summary.

Window	Glazing	Frame	U-value	SHGC	Detail
Sliding	Single glazed	Aluminium	6.3	0.72	To all sliding doors to Stage 3 and 4
Sliding	Single glazed	Aluminium	6.4	0.63	To bathroom window, sliding to Stage 3 and 4
Default					Stage 3 - Living and Bedroom sliding doors to North East to have external louvers Stage 4 - all external louvers

Window and skylight U and SHGC values, if specified, are according to NRC 100. Unless specified otherwise, alternate products or specifications may be used if their U value is equal to or lower than the U value specified above and the SHGC value is within 5% of the SHGC value specified above. Windows have been assessed as complying with AS2047.

External walls	Insulation	Colour - solar abs.	Detail
Fibre cement	R2.2	Medium SA 0.475-0.7	As per drawings to Stage 3 and Stage 4
Metal Clad on stud	R2.2	Dark SA >0.70	As per drawings to Stage 3 and Stage 4

Internal	Insulation	Detail
Plasterboard on stud	Nil	To all internal walls.

Floors	Construction	Insulation	Covering	Detail
Timber	R1.0	Timber/Tiles		To all Stage 3 floors
Timber	R2.0	Timber/Tiles		To all Stage 4 floors

Ceilings	Insulation	Detail
Plasterboard	R4.5	To all ceilings under Metal roof for Stage 3 and 4
Plaster	Nil	Other - solar abs. detail

Roof	Insulation	Detail
Metal	R1.0 eq	Dark SA >0.70 To Stage 3 roof
Metal	R2.0 eq	Anticon Dark SA >0.70 To Stage 4 roof

Lighting	Detail
Lighting	No downlights included in this assessment.

Exhaust fans	Detail
Exhaust fans <td>Exhaust fans have been included to bathroom and have been included as being sealed.</td>	Exhaust fans have been included to bathroom and have been included as being sealed.

Water requirements	Detail
Water requirements	4.1-6.0 (min but <=7.5 (min)) rated showerheads, 4 star rated toilets and taps

Hot Water System	Detail
Hot Water System	Electric storage

Photovoltaic system	Detail
Photovoltaic system	A photovoltaic system with a minimum 1.1kW peak output has been included to the dwellings.

Rain Water Tank	Detail
Rain Water Tank	A 2000L minimum water tank collecting from 63sqm of roof area to supply toilets, laundry, and garden.

Insulation AS/NZS 4859.2	Detail
Insulation AS/NZS 4859.2	The effects of thermal bridging on insulation to be taken into account in accordance with AS/NZS 4859.2



Scope of works:

ALL WORK TO COMPLY WITH BCA AND ALL STATUTORY REGULATIONS. PROVIDE ALL NOTICES OBTAIN INSPECTIONS AND CERTIFICATES AND PAY ANY REQUIRED FEES. GENERALLY THE STANDARD OF WORKMANSHIP IS TO MATCH EXISTING IN THE HOUSE INCLUDING DETAILING FOR TRIM ETC. PROVIDE ALL LABOUR AND MATERIALS TO CARRY OUT THE WORK. THE BUILDER IS TO SETOUT THE WORK. ANY DISCREPANCIES TO BE NOTIFIED PRIOR TO PROCEEDING. THE BUILDER IS TO PROVIDE ALL INSURANCES AND SHOW PROOF OF SUCH TO THE OWNERS PRIOR TO PROCEEDING.

REMOVE EXTERNAL PATHS AND GRASSED AREAS IN THE AREA OF THE WORK. EXCAVATE FOR NEW FOOTINGS SERVICES ETC AS REQUIRED. REMOVE ALL PLANT MATERIAL FROM THE BUILDING AREA AND PROVIDE PEST TREATMENT TO WHOLE OF NEW BUILT AREA. BACK FILL ALL TRENCHES UPON COMPLETION WITH APPROVED MATERIAL.

REINFORCED CONCRETE FOOTINGS TO STRUCTURAL ENGINEERS DETAILS AND SPECIFICATION.

PROVIDE FLASHINGS TO WINDOW HEADS, SILLS, REVEALS AND TO DOOR FRAMES. PROVIDE GALVANISED LINTELS AS REQUIRED.

PROVIDE ALL ROOF FRAMING TO STRUCTURAL ENGINEERS DETAILS. GENERALLY ALL FRAMING TO BE F7 OREGON. PROVIDE GALVANISED STEEL FIXINGS. PROVIDE ALL TIMBER FRAMED WINDOWS EQUAL TO STEGBAR AS PER SIZES NOMINATED. PROVIDE FLYSCREENS TO ALL WINDOWS AND DOORS.

SUPPLY AND FIX CUSTOM-ORB COLORBOND ROOF SHEETING FOR ROOF. FIX TO TIMBER BATTENS AT EQUAL CENTRES ON RAFTERS AT EQUAL CENTRES TO MANUFACTURERS SPECIFICATION. PROVIDE FLASHINGS TO WALL JUNCTION AS REQUIRED.

PROVIDE PLASTERBOARD FINISH TO ALL NEW INTERNAL WALLS FOR PAINT FINISH. PROVIDE 10mm PLASTERBOARD TO CEILINGS SET JOINTS AND FIX SELECTED CORNICE TO ALL NEW WORKS.

DETERMINE POSITION OF SEWER ON SITE AND ALLOW FOR NEW CONNECTION AND PIPEWORK. PROVIDE VENTS, CLEAN OUTS AS REQUIRED. ALL WORK TO COMPLY WITH SAA CODES.

DISCLAIMER
 This drawing is issued upon the condition it is not copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without prior consent in writing of Benson McCormack Architecture. Drawings show design intent only. Shop drawings are to be provided for approval prior to construction or manufacture. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architecture.
ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2019 + AUSTRALIAN STANDARDS (AS)
 DIAL BEFORE YOU DIG www.1100.com.au

LEGEND

ACC	Air Conditioning Unit	CEX	Carpark Exhaust	GBC	Garbage Chute	POS	Private Open Space
ACC	Accessible	CWM	Cold Water Meter	GBR	Garbage Room	RWT	Rainwater Tank
ADP	Adaptable	D	Dining	GEX	Garbage Exhaust	SCN	Screen
AHD	Aust. Height Datum	DP	Down Pipe	GFA	Gross Floor Area	SW	Sewer
B	Basement	DPR	Diesel Pump Room	GM	Gas Meter	ST	Storage
BAL	Balustrade	F	Fridge	H	Hydraulic Services	SD	Study
BALC	Balcony	FEX	Fire Extinguisher	LY	Laundry	STP	Stormwater Pit
BE	Bedroom	FHB	Fire Hydrant Booster	M	Meter Room	STW	Stormwater
BE	Bedroom	FHL	Fire Hydrant level	MC	Motorcycle Parking	SFL	Structural floor level
BT	Bathroom	FN	Fence	MSB	Main Switch Board	SUB	Substation
COM	Comm. Room	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
COS	Communal Open Space	FSR	Floor Space Ratio	OSD	Onsite Detention Tank/TOW	TOP	Top of Wall
		GSA	Gross Building Area	P	Pantry	VIS	Visitor Parking

CLIENT
MR/MRS TURRIS

ADDRESS
 569 HIGH END ROAD
 #Client Address2
 ERUDGERE NSW 2850
 #Client Phone Number
 #Client Website

PROJECT NAME
SELF-CONTAINED CABINS

PROJECT No
2249A

PROJECT STATUS
 CONCEPT DESIGN

PROJECT ADDRESS
 569 HIGH END ROAD, ERUDGERE NSW 2850

DRAWING TITLE
 Site Plans
 Site Plan

DRAWING No
100-001

SCALE
1:2500

REV
01

NORTH

DRAWN
 DM

APPROVED
 GM

AMENDMENTS

Chk	Description	Date	Rev
GM	Concept Design - Issue 01	5/12/2022	01

A. 5 / 505 BALMAIN RD
 LILYFIELD NSW 2040

ABN 76 129 130 285

RN 7536

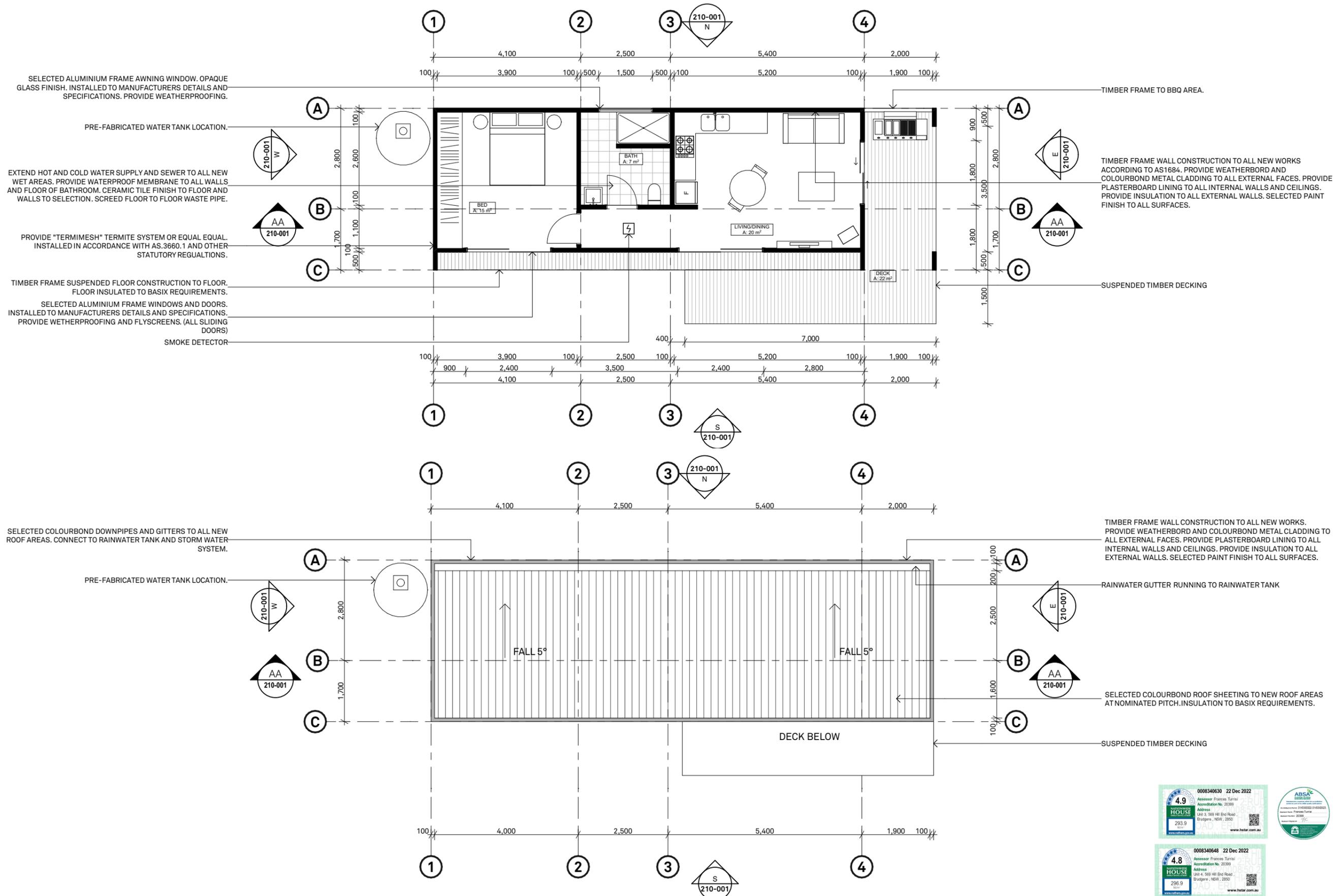
P. +61 2 9818 0777

F. +61 2 9818 0778

E. ENQUIRIES@BENSONMCCORMACK.COM

W. WWW.BENSONMCCORMACK.COM





DISCLAIMER
 This drawing is issued upon the condition it is not copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without prior consent in writing of Benson McCormack Architecture. Drawings show design intent only. Shop drawings are to be provided for approval prior to construction or manufacture. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architecture.
ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2019 + AUSTRALIAN STANDARDS (AS)
 DIAL BEFORE YOU DIG www.1100.com.au

LEGEND

AC	Air Conditioning Unit	CEX	Carpark Exhaust	GBC	Garbage Chute	POS	Private Open Space
ACC	Accessible	CWM	Cold Water Meter	GBR	Garbage Room	RWT	Rainwater Tank
ADP	Adaptable	DM	Dining	GEX	Garbage Exhaust	SCN	Screen
AHD	Aust. Height Datum	DP	Down Pipe	GFA	Gross Floor Area	SH	Sewer
B	Basement	DPR	Diesel Pump Room	GM	Gas Meter	ST	Storage
BALC	Balustrade	F	Fridge	GM	Hydraulic Services	STP	Stormwater
BALC	Balcony	FEX	Fire Extinguisher	LY	Laundry	STW	Stormwater
BED	Bedroom	FHB	Fire Hydrant Booster	M	Meter Room	MC	Motorcycle Parking
BT	Bathroom	FFL	Finish floor level	MSB	Main Switch Board	SFL	Structural floor level
COMM	Comms Room	FN	Fence	NGL	Natural Ground Level	SUB	Substation
COS	Communal Open Space	FSR	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
		FSR	Fire Stairs	OSD	Onsite Detention Tank	TOW	Top of Wall
		GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

CLIENT
 MR/MRS TURRISI

ADDRESS
 569 HIGH END ROAD
 #Client Address2
 ERUDGERE NSW 2850
 #Client Phone Number
 #Client Website

PROJECT NAME
 SELF-CONTAINED CABINS

PROJECT No
 2249A

PROJECT STATUS
 CONCEPT DESIGN

PROJECT ADDRESS
 569 HIGH END ROAD, ERUDGERE NSW 2850

DRAWING TITLE
 GA Plans
 Plans

DRAWING No
 110-008

SCALE
 1:100

REV
 01

DRAWN
 -

APPROVED
 GM

NORTH

AMENDMENTS

Chk	Description	Date	Rev
GM	Concept Design - Issue 01	5/12/2022	01

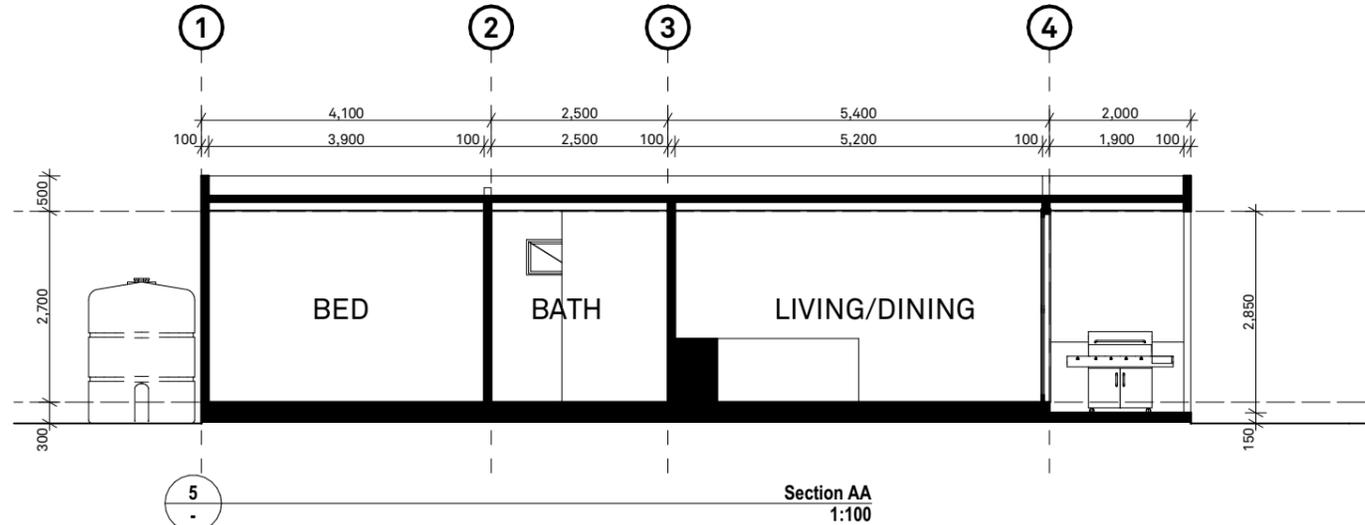
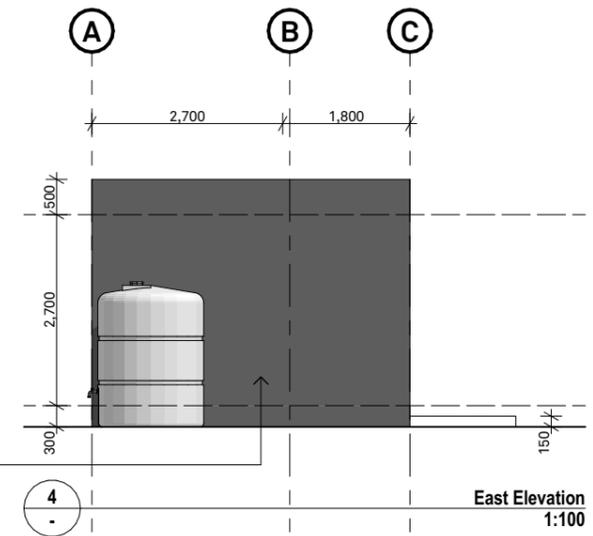
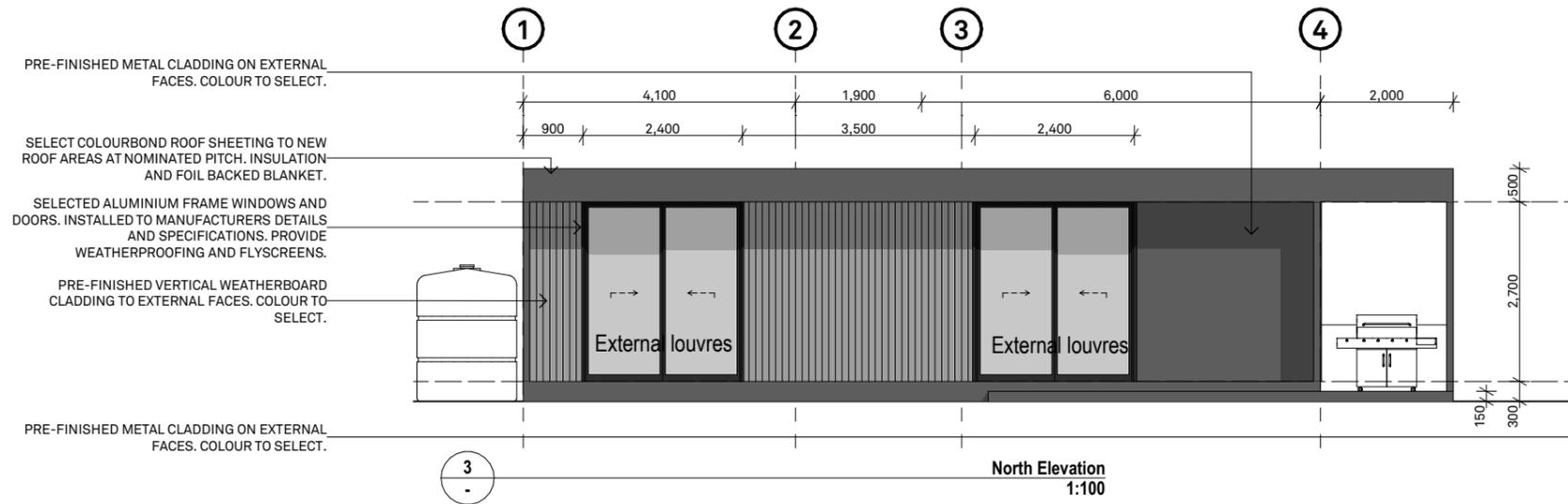
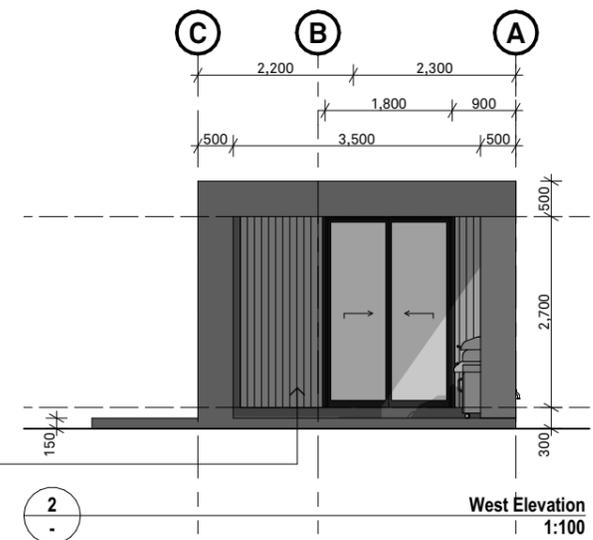
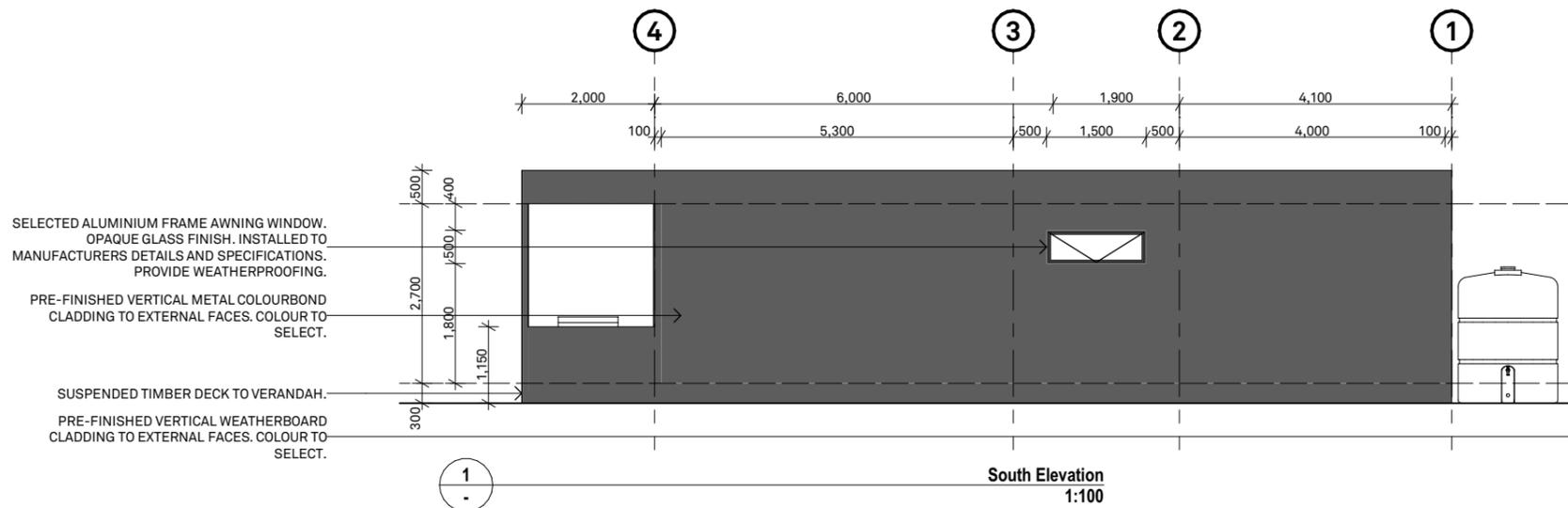
A. 5 / 505 BALMAIN RD
 LILYFIELD NSW 2040

ABN 76 129 130 285

RN 7536

P. +61 2 9818 0777
F. +61 2 9818 0778
E. ENQUIRIES@BENSONMCCORMACK.COM
W. WWW.BENSONMCCORMACK.COM





DISCLAIMER
This drawing is issued upon the condition it is not copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without prior consent in writing of Benson McCormack Architecture. Drawings show design intent only. Shop drawings are to be provided for approval prior to construction or manufacture. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architecture.
ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2019 + AUSTRALIAN STANDARDS (AS)
DIAL BEFORE YOU DIG www.1100.com.au

LEGEND

AC	Air Conditioning Unit	CEX	Carpark Exhaust	GBC	Garbage Chute	POS	Private Open Space
ACC	Accessible	CWM	Cold Water Meter	GBR	Garbage Room	RWT	Rainwater Tank
ADP	Adaptable	D	Dining	GEX	Garbage Exhaust	SCN	Screen
AHD	Aust. Height Datum	DP	Down Pipe	GFA	Gross Floor Area	SW	Sewer
B	Basement	DPR	Diesel Pump Room	GM	Gas Meter	ST	Storage
BAL	Balustrade	F	Fridge	H	Hydraulic Services	SD	Study
BALC	Balcony	FEX	Fire Extinguisher	LY	Laundry	STP	Stormwater Pit
BE	Bedroom	FHB	Fire Hydrant Booster	M	Motor Room	STW	Stormwater
BT	Bathroom	FFL	Finish floor level	MC	Motorcycle Parking	SFL	Structural floor level
BT	Bathroom	FN	Fence	MSB	Main Switch Board	Sub	Substation
CCMM	Comma Room	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
COS	Communal Open Space	FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOV	Top of Wall
		GSA	Gross Building Area	P	Pantry	VIS	Visitor Parking

CLIENT
MR/MRS TURRISI

ADDRESS
569 HIGH END ROAD
#Client Address2
ERUDGERE NSW 2850
#Client Phone Number
#Client Website

PROJECT NAME
SELF-CONTAINED CABINS

PROJECT No
2249A

PROJECT STATUS
CONCEPT DESIGN

PROJECT ADDRESS
569 HIGH END ROAD, ERUDGERE NSW 2850

DRAWING TITLE
GA Elevation
Elevations / Section

DRAWING No
210-001

SCALE
1:100

REV
01

DRAWN
DM

APPROVED
GM

AMENDMENTS

Chk	Description	Date	Rev
GM	Concept Design - Issue 01	5/12/2022	01

A. 5 / 505 BALMAIN RD
LILYFIELD NSW 2040

ABN 76 129 130 285

RN 7536

P. +61 2 9818 0777

F. +61 2 9818 0778

E. ENQUIRIES@BENSONMCCORMACK.COM

W. WWW.BENSONMCCORMACK.COM



The following assumptions have been used in the thermal and BASIX assessment. Should the following not be complied with a reassessment may be required.

Please refer to H Star certificate nos. 0008340630 and 0008340648 for all insulation and glazing details. Details on H Star Certificates are to be used. Below is a summary.

Window	Glass	Frame	U value	SHGC	Detail
Stegbar	Single glazed	Aluminium	6.3	0.72	To all sliding doors to Stage 3 and 4
Stegbar	Single glazed	Aluminium	6.4	0.63	To bathroom awning glazing to Stage 3 and 4
Default					Stage 3 – Living and Bedroom sliding doors to North East to have external louvres Stage 4 – nil external louvres

Window and skylight U and SHGC values, if specified, are according to NFR 100. Unless specified otherwise, alternate products or specifications may be used if their U value is equal to or lower than the U value specified above and the SHGC value is within 5% of the SHGC values specified above. Windows have been assessed as complying with AS2047.

External walls	Insulation	Colour – solar abs.	Detail
Fibre cement weatherboard	R2.2	Medium SA 0.475-0.7	As per drawings to Stage 3 and Stage 4
Metal Clad on stud	R2.2	Dark SA >0.70	As per drawings to Stage 3 and Stage 4.

Internal	Insulation	Detail
Plasterboard on stud	Nil	To all internal walls.

Floors	Construction	Insulation	Covering	Detail
Timber	R1.0	Timber/Tiles		To all Stage 3 floors
Timber	R2.0	Timber/Tiles		To all Stage 4 floors

Ceilings	Insulation	Detail
Plasterboard	R4.5	To all ceilings under Metal roof for Stage 3 and 4

Roof	Insulation	Colour – solar abs.	Detail
Metal	R1.0 eg Anticon	Dark SA >0.70	To Stage 3 roof.
Metal	R2.0 eg Anticon	Dark SA >0.70	To Stage 4 roof

Lighting
No downlights included in this assessment.

Exhaust fans
Exhaust fans have been included to bathroom and have been included as being sealed.

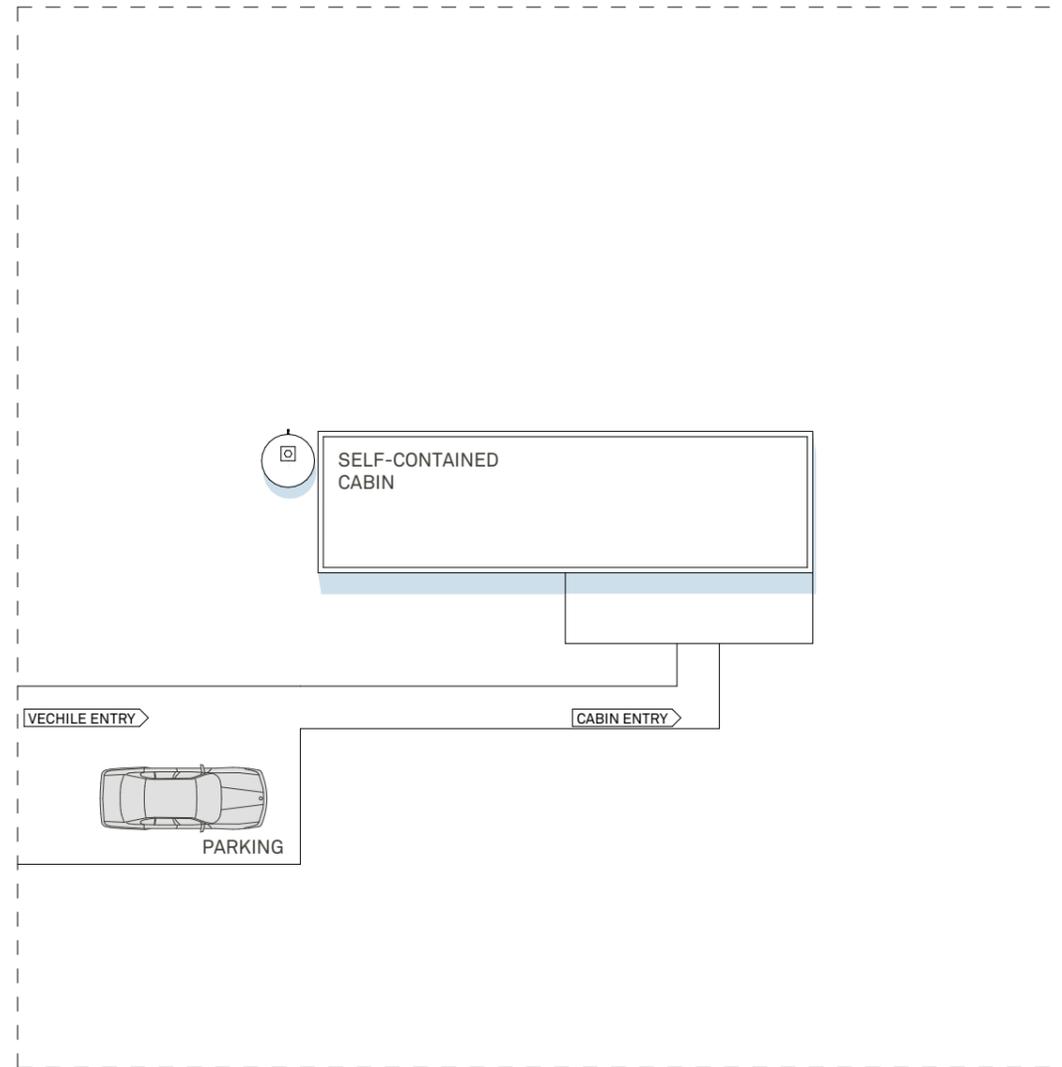
Water requirements
4 (>6.0L/min but <7.5L/min) rated showerheads, 4 star rated toilets and taps

Hot Water System
Electric storage

Photovoltaic system
A photovoltaic system with a minimum 1.1kW peak output has been included to the dwellings.

Rain Water tank
A 2000L minimum water tank collecting from 63sqm of roof area to supply toilets, laundry, and garden.

Insulation AS/NZS 4859.2
The effects of thermal bridging on insulation to be taken into account in accordance with AS/NZS 4859.2



DISCLAIMER

This drawing is issued upon the condition it is not copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without prior consent in writing of Benson McCormack Architecture. Drawings show design intent only. Shop drawings are to be provided for approval prior to construction or manufacture. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architecture.
ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA(BCA) 2019 + AUSTRALIAN STANDARDS (AS)
DIAL BEFORE YOU DIG www.1100.com.au

LEGEND

AC	Air Conditioning Unit	CEX	Carpark Exhaust	GBC	Garbage Chute	POS	Private Open Space
ACC	Accessible	CWM	Cold Water Meter	GBR	Garbage Room	RWT	Rainwater Tank
ADP	Adaptable	D	Down Pipe	GEX	Garbage Exhaust	SCN	Screen
AHD	Aust. Height Datum	DP	Down Pipe	GFA	Gross Floor Area	SH	Sewer
B	Basement	DPR	Diesel Pump Room	GM	Gas Meter	ST	Storage
BALC	Balustrade	FEX	Fire Extinguisher	H	Hydraulic Services	SD	Study
BALC	Balcony	FHL	Fire Hydrant Booster	LY	Laundry	STP	Stormwater Pit
BED	Bedroom	FN	Finish floor level	M	Meter Room	STW	Stormwater
BT	Bathroom	FS	Fence	MC	Motorcycle Parking	SFL	Structural floor level
COMM	Comms Room	FSR	Fire Stairs	MSB	Main Switch Board	SUB	Substation
COS	Communal Open Space	FSR	Floor Space Ratio	NGL	Natural Ground Level	TOF	Top of Fence
		GBA	Gross Building Area	OSD	Onsite Detention Tank	TOW	Top of Wall
				P	Pantry	VIS	Visitor Parking

CLIENT

MR/MRS TURRIS

ADDRESS
569 HIGH END ROAD
#Client Address2
ERUDGERE NSW 2850
#Client Phone Number
#Client Website

PROJECT NAME

SELF-CONTAINED CABINS

PROJECT No

2249A

PROJECT STATUS

CONCEPT DESIGN

PROJECT ADDRESS

569 HIGH END ROAD, ERUDGERE NSW 2850

DRAWING TITLE

**Supplementary Drawings
Typical Cabin Yard Layout Elevations**

DRAWING No

810-001

SCALE

1:200

REV

01

NORTH



DRAWN

DM

APPROVED

GM

AMENDMENTS

Chk	Description	Date	Rev
GM	Concept Design - Issue 01	5/12/2022	01

A. 5 / 505 BALMAIN RD

LILYFIELD NSW 2040
ABN 76 129 130 285
RN 7536

P. +61 2 9818 0777

F. +61 2 9818 0778

E. ENQUIRIES@BENSONMCCORMACK.COM

W. WWW.BENSONMCCORMACK.COM

