

# PROPOSED ALTERATION AND ADDITION TO EXISTING DWELLING AND CONSTRUCTION OF A SECOND DWELLING @ 23 ROBERT HODDLE GROVE BOMBIRA.



| Sheet List   |                                  |             |            |                       |                  |
|--------------|----------------------------------|-------------|------------|-----------------------|------------------|
| Sheet Number | Sheet Name                       | Drawn By    | Checked By | Current Revision Date | Current Revision |
| 23RH00       | Sheet list                       | Chris Davey | CJD        |                       |                  |
| 23RH01       | Site Plan                        | Chris Davey | CJD        |                       |                  |
| 23RH02       | Proposed addition floor plan     | Chris Davey | CJD        |                       |                  |
| 23RH03       | Addition floor plan              | Chris Davey | CJD        |                       |                  |
| 23RH04       | North/south elevation main home  | Chris Davey | CJD        |                       |                  |
| 23RH05       | East/West main home elevation    | Chris Davey | CJD        |                       |                  |
| 23RH06       | Addition sectional               | Chris Davey | CJD        |                       |                  |
| 23RH07       | Addition Basix/specification     | Chris Davey | CJD        |                       |                  |
| 23RH08       | Door/Window schedule addition    | Chris Davey | CJD        |                       |                  |
| 23RH09       | Floor plan proposed 2nd dwelling | Chris Davey | CJD        |                       |                  |
| 23RH10       | Elevations second dwelling       | Chris Davey | CJD        |                       |                  |
| 23RH11       | Second dwelling sectional        | Chris Davey | CJD        |                       |                  |
| 23RH12       | 2nd dwelling BASIX/specification | Chris Davey | CJD        |                       |                  |
| 23RH13       | Door/window schedule 2nd dwg     | Chris Davey | CJD        |                       |                  |

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 Site analysis, design drawings, DA, CC, CDC, drawings, BASIX

**Christopher Davey**  
 Drafting for the residential housing industry

| No | Description | Date |
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**Greg & Anita BURKE** 23 Robert Hoddle Grove, Bombira, 2850  
  
 Proposed addition to existing dwelling and a second dwelling

| Sheet list     |                  |               |
|----------------|------------------|---------------|
| Project number | Project Number   | <b>23RH00</b> |
| Date           | 14 December 2022 |               |
| Drawn by       | Chris Davey      |               |
| Checked by     | CJD              |               |
|                |                  | Scale         |



1 Site  
1 : 500

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| No | Description | Date |
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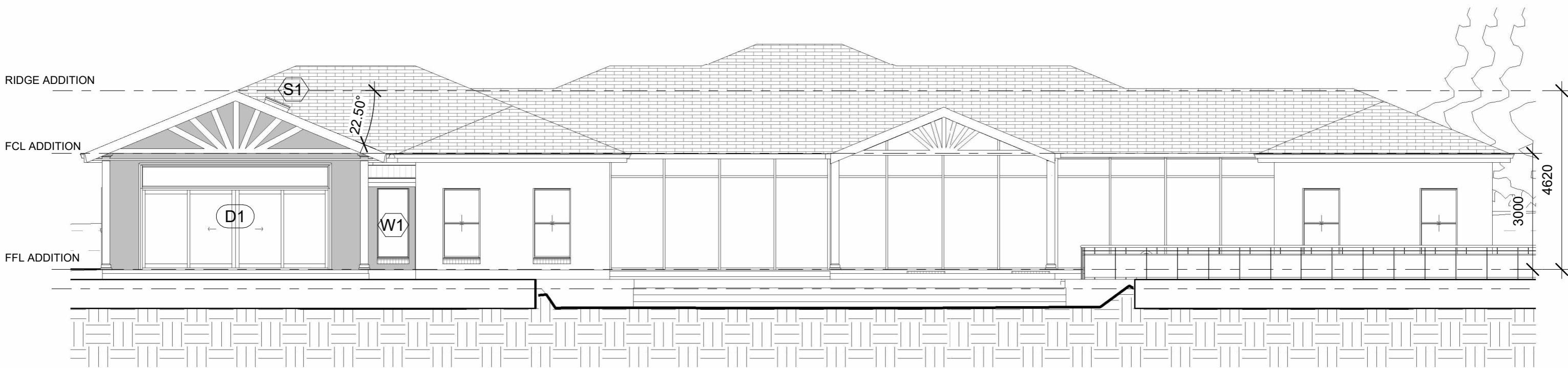
Proposed addition to existing dwelling and a second dwelling

| Site Plan      |                  | 23RH01  |
|----------------|------------------|---------|
| Project number | Project Number   |         |
| Date           | 14 December 2022 |         |
| Drawn by       | Chris Davey      |         |
| Checked by     | CJD              | Scale   |
|                |                  | 1 : 500 |





**1** North main dwelling  
1 : 100



**2** South main dwelling  
1 : 100

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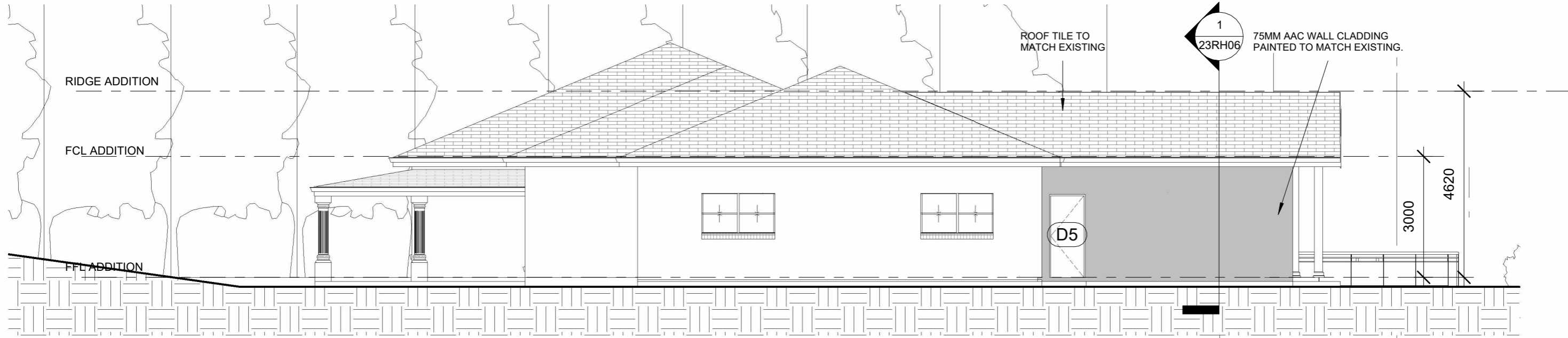
**Christopher Davey**  
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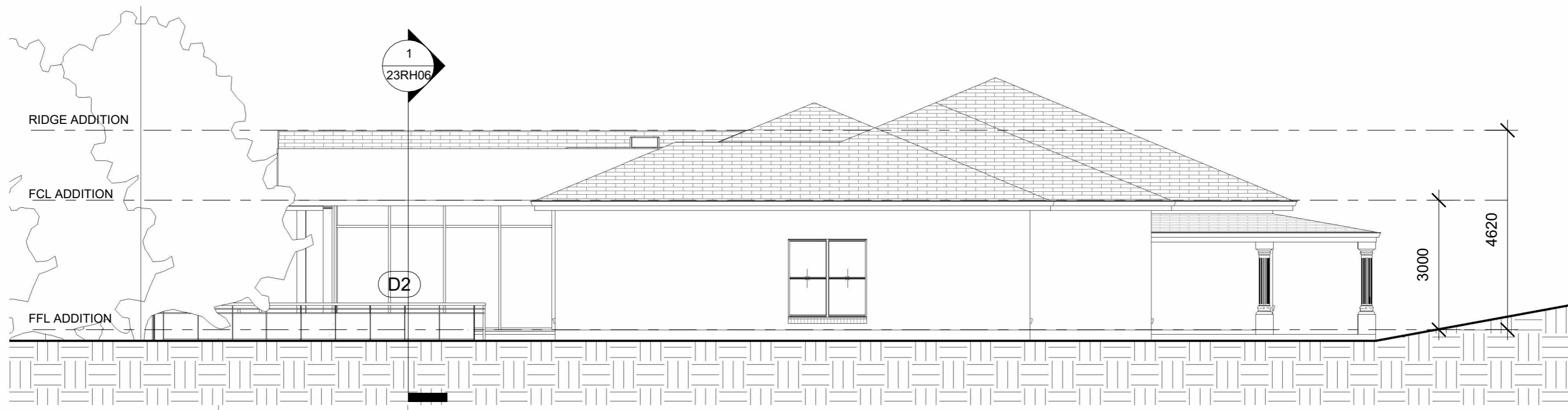
Greg & Anita BURKE 23 Robert Hoddle Grove, Bombira, 2850

Proposed addition to existing dwelling and a second dwelling

| North/south elevation main home |                  |               |
|---------------------------------|------------------|---------------|
| Project number                  | Project Number   | <b>23RH04</b> |
| Date                            | 14 December 2022 |               |
| Drawn by                        | Chris Davey      |               |
| Checked by                      | CJD              |               |
| Scale                           |                  | 1 : 100       |



**1** West main dwelling  
1 : 100



**2** East main dwelling  
1 : 100

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Proposed addition to existing dwelling  
and a second dwelling

**East/West main home elevation**

|                |                  |               |
|----------------|------------------|---------------|
| Project number | Project Number   | <b>23RH05</b> |
| Date           | 14 December 2022 |               |
| Drawn by       | Chris Davey      |               |
| Checked by     | CJD              |               |
| Scale          |                  | 1 : 100       |

MEDIUM SOLAR ABSORPTANCE CONCRETE TILE  
ROOF CLADDING TO COMPLY WITH NCC 3.5.2  
& AS 2050 & BASIX

ROOF SARKING TO COMPLY  
WITH NCC 3.5.2.4  
& AS/NZS 4200.1 & BASIX

PLASTERBOARD CEILING LINING  
TO COMPLY WITH NCC 3.8.6

R3.0 THERMAL INSULATION TO CEILING TO COMPLY  
WITH NCC 3.12.1, AS/NZS 4859.1 AND BASIX

PLASTERBOARD WALL LINING  
TO COMPLY WITH NCC 3.8.6

FACILITIES TO BE PROVIDED  
IN ACCORDANCE WITH  
NCC 3.8.3.2

TIMBER WALL FRAMING TO COMPLY  
WITH NCC 3.4.3 & AS 1684.2

75MM AAC WALL CLADDING TO COMPLY WITH  
AS 5146.1 TO MEET REQUIRMENTS OF NCC  
P2.1.1 & 2.

R 2.5 THERMAL INSULATION TO  
WALLS TO COMPLY WITH NCC  
3.12.1, AS/NZS 4859.1 & BASIX

ALL DRAINAGE TO COMPLY WITH  
NCC 3.1.3

WET AREAS AND EXTERNAL WATERPROOFING  
TO COMPLY WITH NCC 3.8.1 & AS3740

TERMITE RISK MANAGEMENT TO COMPLY  
WITH NCC 3.1.4

SMOKE ALARMS TO BE INSTALLED  
TO COMPLY WITH NCC 3.7.5 & AS 3786

TIMBER ROOF FRAMING TO COMPLY WITH NCC 3.4.3  
& AS 1684.2

METAL GUTTERS AND DOWNPIPES TO COMPLY  
WITH NCC 3.5.3 & AS/NZS 3500.3

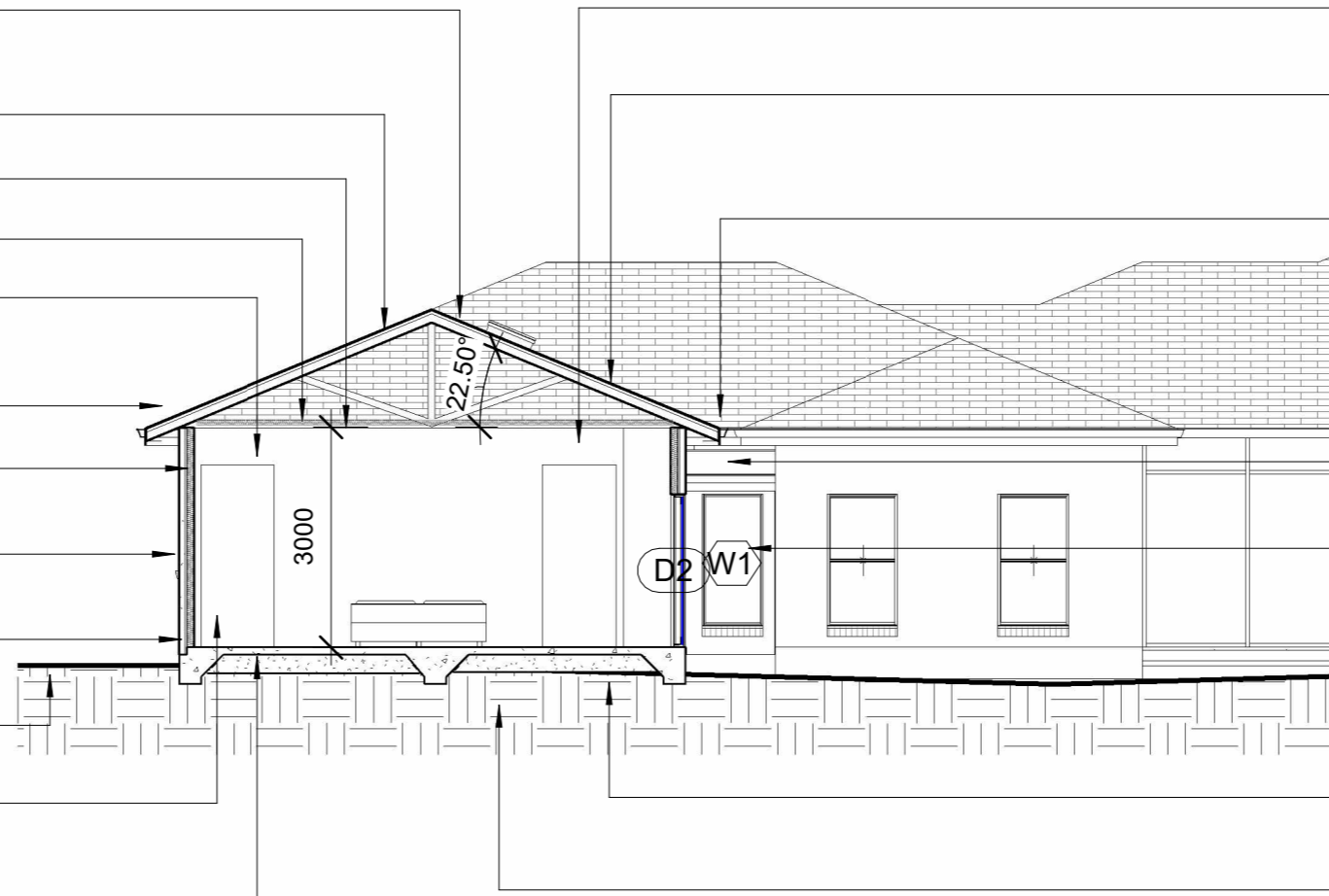
EAVES AND SOFFIT LININGS TO COMPLY WITH  
NCC 3.5.4.5 & AS/NZS 2908.2 OR ISO8336

GLAZING TO COMPLY WITH  
NCC 3.6 AND BASIX

SITE CUT AND FILL TO COMPLY WITH NCC  
3.1.1.1 & 2.

STRUCTURAL ENGINEER DESIGNED 100MM CONCRETE  
RAFT SLAB TO COMPLY WITH NCC3.2.2, 3.2.3, 3.2.5  
& AS3600, AS2870.

SITE TO BE CLASSIFIED IN ACCORDANCE WITH NCC 3.2.4  
& AS 2870.



1 Addition sectional  
1 : 100

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Proposed addition to existing dwelling  
and a second dwelling

| Addition sectional |                  | 23RH06        |
|--------------------|------------------|---------------|
| Project number     | Project Number   |               |
| Date               | 14 December 2022 |               |
| Drawn by           | Chris Davey      |               |
| Checked by         | CJD              | Scale 1 : 100 |



**BASIX REQUIREMENTS.** As per BASIX certificate .

**WATER COMMITMENTS.**

**FIXTURES & SYSTEMS.**

**LIGHTING.**

The applicant must ensure 40% of new or altered light fixtures are fluorescent, compact fluorescent or LED lamps.

**FIXTURES.**

Showerheads. All showerheads minimum 3 star (>7.5 but <=9L/min)  
All toilet flushing systems have a flow rate no greater than 4litres per flush or a minimum of 3 star.  
All new or altered taps have a flow rate no greater than 9 L per minute or a minimum 3 star rating.

**CONSTRUCTION.**

**Insulation requirements.**

**Floor walls and ceiling/roof.**

Floor. Concrete slab on ground. Nil additional insulation.  
External wall. AAC veneer autoclaved aerated concrete (AAC) (AAC:75mm). R0.89 (or 1.70 including construction)  
Internal wall shared with garage. 75mm AAC panel R0.49 Nil additional insulation.  
Ceiling and roof. Flat ceiling/pitched roof. Ceiling: R3.0 up. Roof. foil/sarking.  
Other. Roof unventilated, medium solar absorptance 0.475 -0.70.  
**Insulation to be installed in accordance with NCC 3.12.1.1.**

**Windows, glazed doors and skylights.**

Windows glazed doors and shading devices must be installed as described in the **Sheet named Door/Window schedule No 23RH08.** and comply with the specifications listed in same.

**GENERAL SPECIFICATION.**

**SITE PREPARATION.**

All earthworks are to be carried out to comply with NCC3.1.1.

Any earth retaining structures are to comply with NCC 3.1.2.

Drainage is to comply with NCC 3.1.3. & AS/NZS 3500.3

Termite risk management is to comply with NCC 3.1.4

**FOOTINGS AND SLABS.**

The footing and slab is to comply with NCC 3.2 and AS2870.

Preparation is to comply with NCC 3.2.2.

**CONCRETE AND REINFORCING.**

Concrete must comply with NCC 3.2.3.1 and AS3600.

Steel reinforcement must comply with NCC 3.2.3.2 and AS 2870.

**SITE CLASSIFICATION.**

The site classification is to be conducted in compliance with NCC 3.2.4.1 and AS 2870.

**FOOTING AND SLAB CONSTRUCTION.**

Footing and slab construction is to comply with NCC3.2.5.1 and AS 2870.

**FRAMING.**

Timber framing is to comply with NCC 3.4.3 and AS1684.2

**ROOF AND WALL CLADDING.**

Autoclaved aerated concreted wall cladding to comply with NCC 3.5 and AS5146.1

Roof tiling is to comply with NCC 3.5.2 and AS 2050. (Medium Solar absorptance 0.425 - 0.70 to comply with BASIX)

Sarking to be installed to comply with NCC 3.5.2.4, AS/NZS 4200.1 and BASIX.

Gutters and downpipes are to comply with NCC 3.5.3, AS/NZS 2179.1 for metal or AS1273 for UPVC.

Fibre cement sheet eaves to be installed in compliance with NCC 3.5.4.5 and AS/NZS 2908.2 or ISO 8336

**GLAZING.**

Glazing is to comply with NCC 3.6 and AS 2047, AS 1288.

**FIRE SAFETY.**

Fire safety is to comply with NCC 3.7.

Smoke alarms to be installed in compliance with NCC 3.7.5.3, 3.7.5.5 and AS 3786.

**HEALTH AND AMENITY.**

Wet areas are to comply with NCC 3.8.1.2 and AS3740.

External above ground membranes are to comply with NCC 3.8.1. , AS 4654.1 and AS 4654.2.

Facilities are to be provided in compliance with NCC 3.8.3.2.

Construction of Sanitary compartments is to comply with NCC 3.8.3.3

Natural light must be provided to all habitable rooms in compliance with NCC 3.8.4.2.

Artificial lighting must be provided in sanitary compartments, bathrooms, ensuites and laundries if natural light is not available to comply with NCC 3.6.4.3 and AS/NZS 1680.0.

Ventilation must be provided to habitable rooms, sanitary compartments, bathrooms, laundry or any other room occupied by a person in compliance with NCC 3.8.5.2.

Walls must be constructed so as to provide sound insulation in compliance with NCC 3.8.6.2 and 3.8.6.4.

**ENERGY EFFICIENCY.**

Building fabric thermal insulation must comply with NCC 3.12.1.1 and AS/NZS 4859.1

Building fabric for.

- \* The roof must be compliant with NCC 3.12.1.2 and BASIX.
- \* External walls must comply with NCC 3.12.1.4 and BASIX.
- \* The attached garage must comply with NCC 3.2.1.6 and BASIX.

External glazing must comply with NCC 3.12.2.1 and BASIX.

Roof lights must be sealed in accordance with NCC 3.12.3.2.

External windows and doors must be sealed in compliance with NCC 3.12.3.3.

Ceilings walls and floors must be constructed to comply with NCC 3.12.3.5.

Air movement to the dwelling must comply with NCC 3.12.4.1.

Services must be insulated in accordance with NCC 3.12.5.1 and AS/NZS 4859.1.

Heating and cooling ductwork must meet the requirements of NCC 3.12.5.3.

Artificial lighting must comply with NCC 3.12.5.5 and BASIX.

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Proposed addition to existing dwelling and a second dwelling

| Addition Basix/specification |                  |        |
|------------------------------|------------------|--------|
| Project number               | Project Number   | 23RH07 |
| Date                         | 14 December 2022 |        |
| Drawn by                     | Chris Davey      |        |
| Checked by                   | CJD              |        |
| Scale                        |                  |        |

Door Schedule addition


| Level               | Mark | Location          | Height | Width | Finish                         | Frame Material | Comments   |
|---------------------|------|-------------------|--------|-------|--------------------------------|----------------|--|
| Addition floor plan | D1   | South New Bedroom | 2100   | 4900  | Powdercoated to match existing | Std Aluminium  | 13.23m2 Clear/air gap/clear. (U value 5.34, SHGC 0.67) Not overhadowed. Shading device eave >450mm |
| Addition floor plan | D2   | East New bedroom  | 2100   | 1540  | Powdercoated to match existing | Std Aluminium  | 3.23m2 Clear/air gap/clear. (U value 5.34, SHGC 0.67) Not overhadowed. Shading device eave >450mm  |
| Addition floor plan | D3   | Proposed bedroom  | 2040   | 820   | Painted                        | Timber         | 820 hung door  |
| Addition floor plan | D4   | Ensuite           | 2040   | 820   | Painted                        | Timber         | 820 hung door  |
| Addition floor plan | D5   | Exit garage       | 2040   | 820   | Painted                        | Timber         | 820 hung door  |
| Addition floor plan | D6   | Side entry        | 2100   | 1200  | Powdercoated to match existing | Std Aluminium  | Select entry door  |
| Addition floor plan | D7   | Garage entry      | 2040   | 820   | Painted                        | Timber         | 820 hung door  |

Addition floor plan: 7

Grand total: 7

Window Schedule addition

| Level               | Mark | Location               | Window Style            | Width | Height | Material      | Comments  |
|---------------------|------|------------------------|-------------------------|-------|--------|---------------|---|
| Addition floor plan | W1   | South proposed bedroom | Fixed                   | 820   | 1800   | Std aluminium | 1.47m2 Clear/air gap/clear U value 5.34 SHGC 0.67 Overshadowed 3mH 1mD Shading eave >45mm |
| Addition floor plan | S1   | Ensuite                | Manual venting skylight | 689   | 689    | Timber        | 0.47m2 Clear/air gap/air fill U value 4.3 SHGC 0.5. No shading device.                    |


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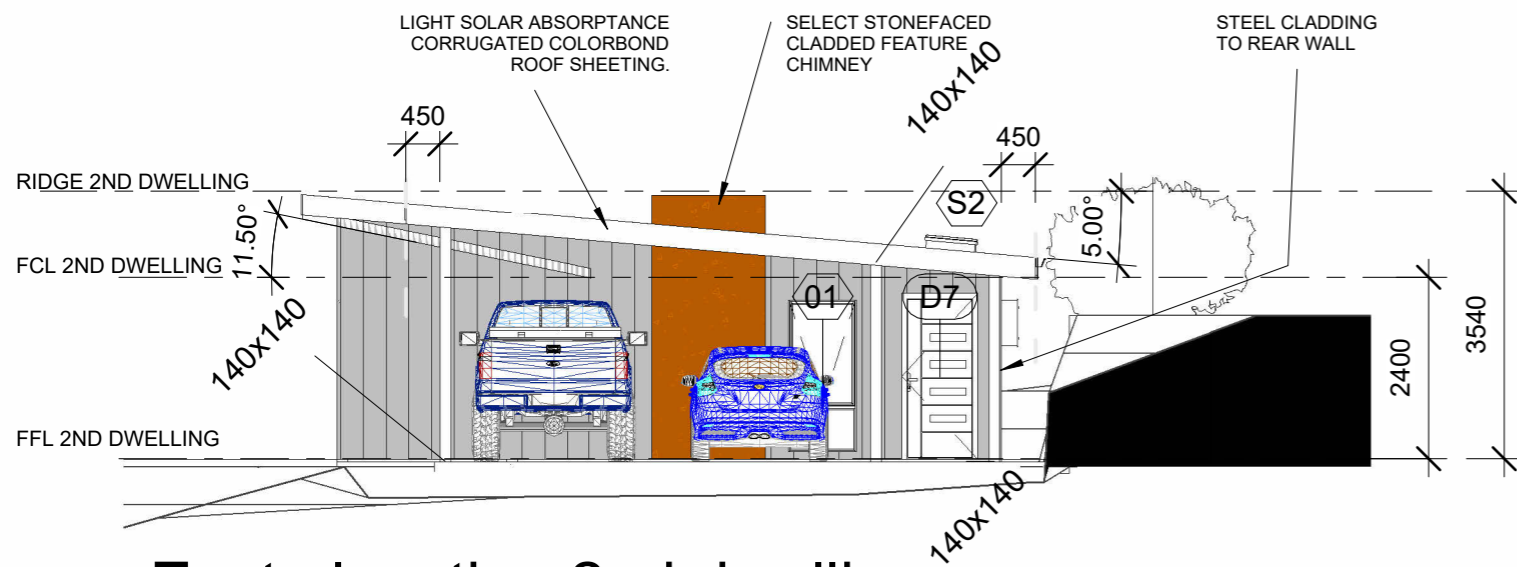
Proposed addition to existing dwelling and a second dwelling

**Door/Window schedule addition**

|                |                  |
|----------------|------------------|
| Project number | Project Number   |
| Date           | 14 December 2022 |
| Drawn by       | Chris Davey      |
| Checked by     | CJD              |

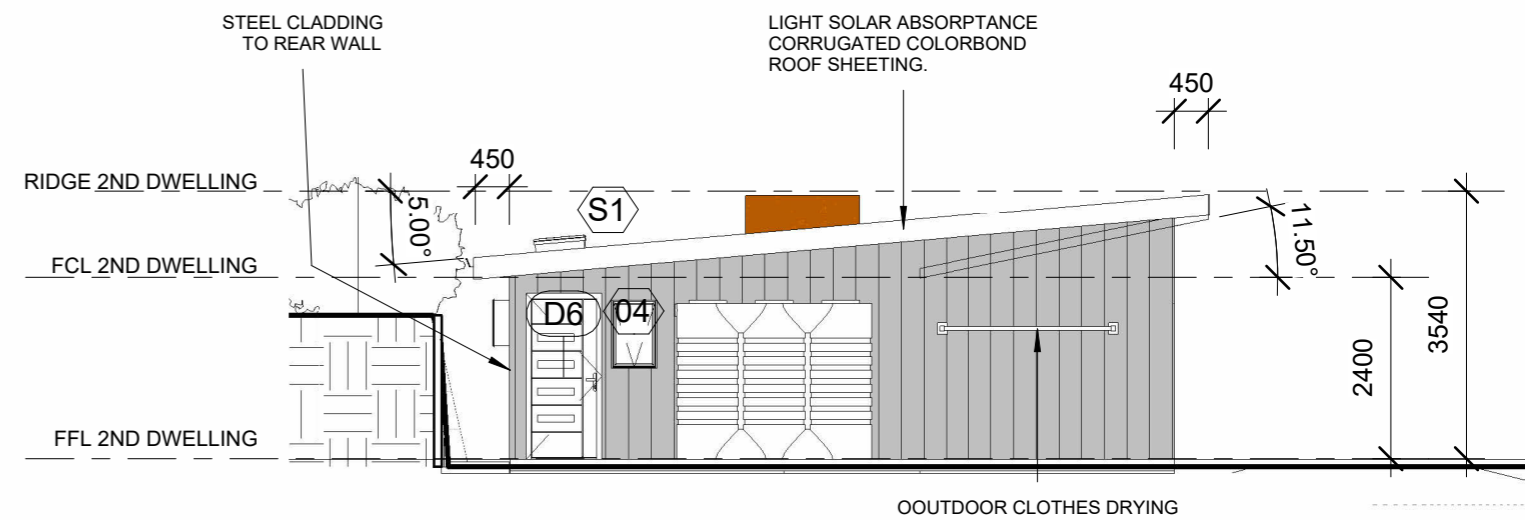
**23RH08**

Scale



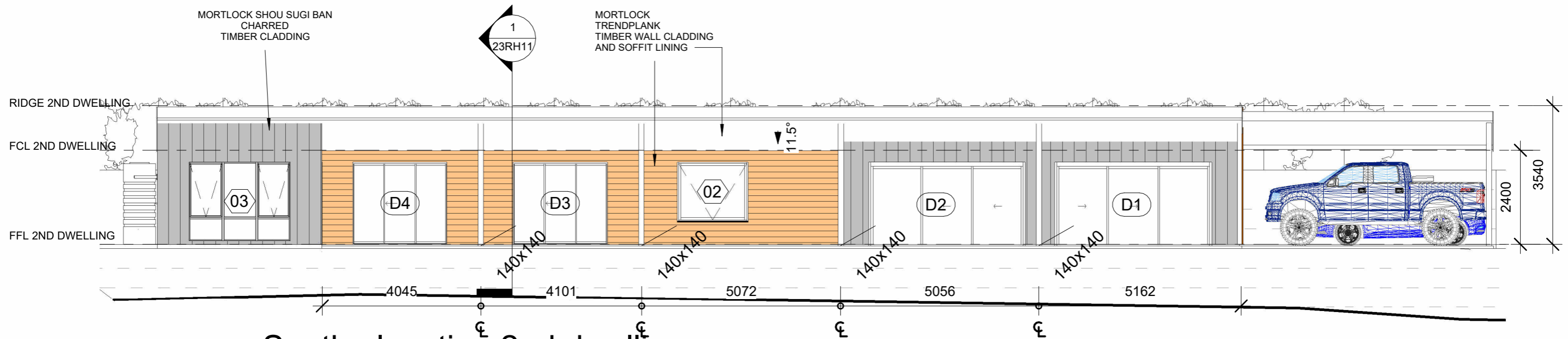
**1 East elevation 2nd dwelling**

1 : 100



**2 West elevation 2nd dwelling**

1 : 100



**3 South elevation 2nd dwelling**

1 : 100

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Christopher Davey  
Drafting for the residential housing industry

| No | Description | Date |
|----|-------------|------|
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Greg & Anita BURKE 23 Robert Hoddle Grove, Bombira, 2850

Proposed addition to existing dwelling and a second dwelling

**Elevations second dwelling**

|                |                  |               |
|----------------|------------------|---------------|
| Project number | Project Number   | <b>23RH10</b> |
| Date           | 14 December 2022 |               |
| Drawn by       | Chris Davey      |               |
| Checked by     | CJD              |               |
| Scale          |                  | 1 : 100       |



60MM BRADFORD ANTICON THERMAL BACKED BLANKET OR SIMILAR TO COMPLY WITH NCC 3.12.1.2, AS/NZS4859 AND BASIX

ROOF FRAME AND TRUSSES TO COMPLY WITH AS 1684.2

WET AREAS TO COMPLY WITH NCC 3.8.1.2 AND AS 3740

EAVES AND SOFFIT LININGS TO COMPLY WITH NCC 3.5.4.5 & AS/NZS 2908.2 OR ISO8336  
MORTLOCK TIMBER SHOU SUGI BAN CHARRED TIMBER CLADDING TO COMPLY WITH NCC3.5.4.2 & AS/NZS 4200.1

GLAZING TO COMPLY WITH NCC 3.6 AS 2047 AND BASIX

STORMWATER DRAINAGE TO COMPLY WITH NCC 3.1.3.5

SURFACE WATER DRAINAGE TO COMPLY WITH NCC 3.1.3.3

ENGINEER DESIGNED 100MM CONCRETE RAFT SLAB TO COMPLY WITH NCC 3.2.5.1 , AS2870.

COLORBOND CORRUGATE ROOF SHEETING LIGHT SOLAR ABSORPTANCE TO COMPLY WITH NCC3.5.1, AS1562.1 AND BASIX

R 5 BRADFORD GOLD HIGH PERFORMANCE OR SIMILAR CEILING INSULATION TO COMPLY WITH NCC 3.12.1.2& BASIX& AS/NZS4859.1

PLASTERBOARD WALL AND CEILING LININGS TO COMPLY WITH NCC 3.12.3.5

GUTTERS AND DOWNPIPES TO COMPLY WITH NCC 3.5.3.4 & AS/NZS3500.3

TIMBER WALL FRAME TO COMPLY WITH AS1684.2

SMOKE ALARMS TO COMPLY WITH NCC 3.7.5.2, AS3786 & NCC 3.7.5.3

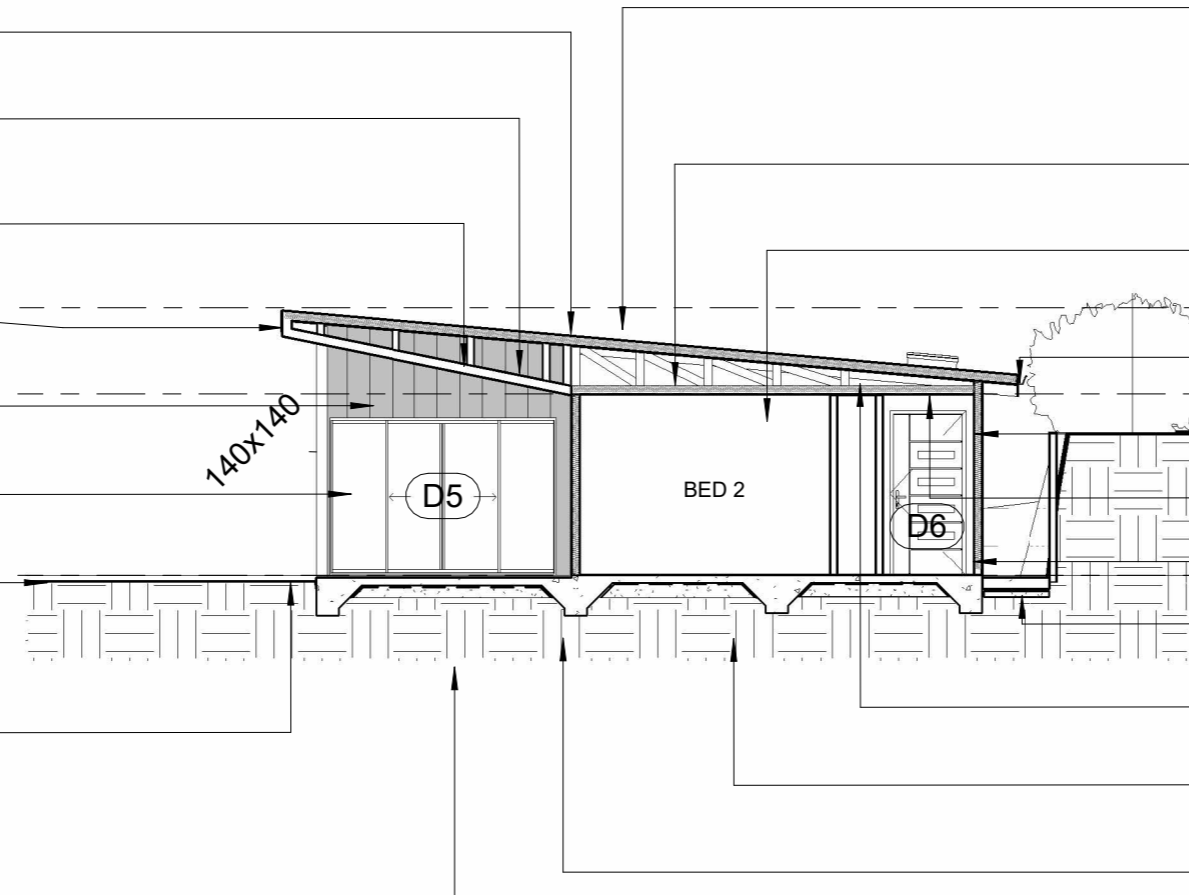
R4.0 BRADFORD GOLD HIGH PERFORMANCE BATTS OR SIMILAR INSULATION TO WALL CAVITY TO COMPLY WITH NCC 3.12.1.4 & BASIX& AS/NZS4859.1

SITE PREPARATION TO COMPLY WITH NCC 3.1

STRUCTURAL STEEL MEMBERS TO COMPLY WITH NCC 3.4.4.2 , AS4100 OR AS/NZS4600

TERMITE RISK MANAGEMENT TO COMPLY WITH NCC 3.1.4.2 & AS 3660.1

CONCRETE AND REINFORCING TO COMPLY WITH NCC 3.2.3, AS3600 & AS2870



**1** Second dwelling sectional  
1 : 100

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Proposed addition to existing dwelling and a second dwelling

| Second dwelling sectional |                  |               |
|---------------------------|------------------|---------------|
| Project number            | Project Number   | <b>23RH11</b> |
| Date                      | 14 December 2022 |               |
| Drawn by                  | Chris Davey      |               |
| Checked by                | CJD              |               |
| Scale                     |                  | 1 : 100       |

**BASIX REQUIREMENTS.** As per BASIX certificate

**WATER COMMITMENTS.**

**FIXTURES.**

Showerheads. All showerheads minimum 3 star (>7.5 but <=9L/min)  
 All toilet flushing systems minimum of 3 star.  
 All taps in kitchen have a minimum 3 star rating.  
 All basin taps in bathrooms have a minimum 3 star rating.

**ALTERNATIVE WATER.**

**Rainwater tank.**

Install rainwater tank with at least 3000 litres capacity. It must meet and be installed in accordance with the requirements of all applicable regulatory authorities.  
 Must be configured to collect rain runoff from at least 364 square metres of the roof.  
 The tanks must be connected to all toilets and the cold water tap for each clothes washer in the dwelling.

**THERMAL COMFORT.**

**General features.**

Dwelling not have more than two storeys.  
 Conditioned floor area not to exceed 300 square metres.  
 Not contain a mezzanine area over 25 square metres.  
 Not contain a third level habitable attic room.

**Floor walls and ceiling/roof.**

Floor. Concrete slab on ground. No additional insulation required.  
 External wall. framed (weatherboard/fibre cement /metal clad) Additional insulation. R 3.2 or 3.6 including construction.  
 Ceiling and roof- flat ceiling flat roof =5 deg pitch. Ceiling R5.0 up roof foil backed blanket 55mm. Framed light solar absorptance <.475.

**Insulation to be installed in accordance with NCC 3.12.1.1.**

**Windows, glazed doors and skylights.**

Windows glazed doors and shading devices must be installed as described in the **Sheet named Window/Door schedule No 23RH13.** and comply with the specifications listed in same.

**ENERGY.**

**Hot water.**

Install a gas instantaneous hot water system.

**Heating/Cooling system.**

Cooling system. Install a single phase airconditioning heating system to at least 1 living area and 1 bedroom. Energy rating 4 star (cold zone)  
 Heating system. Install a single phase air conditioner to at least 1 living area and 1 bedroom of the dwelling. It is to have an energy rating 4 star (cold zone).

**Ventilation.**

Provide natural ventilation to the bathrooms and kitchen.  
 Laundry fan ducted to the ceiling. Operation control manual on off.

**Artificial lighting.**

Lighting is to be light emitting diode (LED) in all 3 bedrooms/study 1 living/dining rooms, kitchen, all bathrooms, toilets, laundry and hallways.

**Natural lighting.**

A window /skylight must be installed in the Kitchen  
 A window/skylight must be installed in the 2 bathrooms.

**Other.**

Install a gas cooktop and electric oven in the kitchen.  
 Provide ventilation for the refrigerator as defined in the BASIX.  
 Install a fixed outdoor clothes drying line.

**GENERAL SPECIFICATION.**

**SITE PREPARATION.**

All earthworks are to be carried out to comply with NCC3.1.1.

Any earth retaining structures are to comply with NCC 3.1.2.

Drainage is to comply with NCC 3.1.3. & AS/NZS 3500.3

Termite risk management is to comply with NCC 3.1.4

**FOOTINGS AND SLABS.**

The footings are to comply with NCC 3.2 and AS2870.

Preparation is to comply with NCC 3.2.2.

**CONCRETE AND REINFORCING.**

Concrete must comply with NCC 3.2.3.1 and AS3600.

Steel reinforcement must comply with NCC 3.2.3.2 and AS 2870.

**SITE CLASSIFICATION.**

The site classification is to be conducted in compliance with NCC 3.2.4.1 and AS 2870.

**FOOTING AND SLAB CONSTRUCTION.**

Footing and slab construction is to comply with NCC3.2.5.1 and AS 2870.

**FRAMING.**

Timber framing is to comply with NCC 3.4.3 and AS1684.2

Structural steel members are to comply with NCC 3.4.4 & AS4100 or AS/NZS 4600

**ROOF AND WALL CLADDING.**

Sheet roofing is to comply with NCC 3.5.1 and AS 1562.1. (Light Solar absorptance <0.475 to comply with BASIX)

Gutters and downpipes are to comply with NCC 3.5.3, AS/NZS 2179.1 for metal or AS1273 for UPVC.

Fibre cement sheet wall cladding must comply with NCC 3.5.4.4 & AS/NZS 2908.2 or ISO 8336.

Fibre cement sheet eaves to be installed in compliance with NCC 3.5.4.5 and AS/NZS 2908.2 or ISO 8336

Metal wall cladding to comply with NCC 3.5.5 and AS1562.1

Mortlock Timber "SHOU SUGI BAN" charred timber wall cladding to comply with NCC 3.5.4.2 & AS/NZS 4200.1

**GLAZING.**

Glazing is to comply with NCC 3.6 and AS 2047, AS 1288.

**FIRE SAFETY.**

Install smoke alarms in compliance with NCC 3.7.5.3. and 5 & AS3786

**HEALTH AND AMENITY.**

Wet areas to comply with NCC 3.8.1.2 and AS 3740.

Natural light must be provided to all habitable rooms in compliance with NCC 3.8.4.2.

Ventilation must be provided to habitable rooms, sanitary compartments, bathrooms, laundry or any other room occupied by a person in compliance with NCC 3.8.5.2.

Walls must be constructed so as to provide sound insulation in compliance with NCC 3.8.6.2 and 3.8.6.4.

**SAFE MOVEMENT AND ACCESS.**

Stairway construction is to comply with NCC 3.9.1. & AS/NZS 1170.1

Landings must comply with NCC 3.9.1.5

Install barriers and handrails to comply with NCC 3.9.2

Protection of openable windows must be provided to comply with NCC 3.9.2.6 and 7

Deck is to comply with NCC 3.10.6.

**ENERGY EFFICIENCY.**

Building fabric thermal insulation must comply with NCC 3.12.1.1 and AS/NZS 4859.1

Building fabric for.

- \* The roof must be compliant with NCC 3.12.1.2 and BASIX.
- \* External walls must comply with NCC 3.12.1.4 and BASIX.
- \* The attached garage must comply with NCC 3.2.1.6 and BASIX.

External glazing must comply with NCC 3.12.2.1 and BASIX.

External windows and doors must be sealed in compliance with NCC 3.12.3.3.

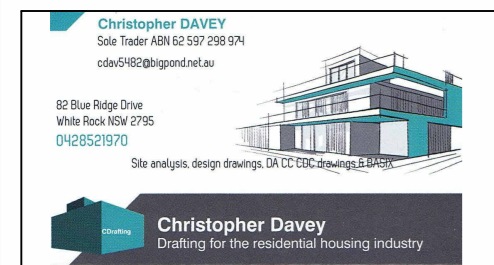
Ceilings walls and floors must be constructed to comply with NCC 3.12.3.5.

Air movement to the dwelling must comply with NCC 3.12.4.1.

Services must be insulated in accordance with NCC 3.12.5.1 and AS/NZS 4859.1.

Heating and cooling ductwork must meet the requirements of NCC 3.12.5.3.

Artificial lighting must comply with NCC 3.12.5.5 and BASIX.



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 Site analysis, design drawings, DA, CC, CDC, drawings, BASIX  
 Christopher Davey  
 Drafting for the residential housing industry

| No | Description | Date |
|----|-------------|------|
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Greg & Anita BURKE 23 Robert Hoddle Grove, Bombira, 2850

Proposed addition to existing dwelling and a second dwelling

|   |                  |
|---|------------------|
| <b>2nd dwelling BASIX/specification</b> |                  |
| Project number                          | Project Number   |
| Date                                    | 14 December 2022 |
| Drawn by                                | Chris Davey      |
| Checked by                              | CJD              |
| <b>23RH12</b>                           |                  |
| Scale                                   |                  |

Door Schedule Second dwelling

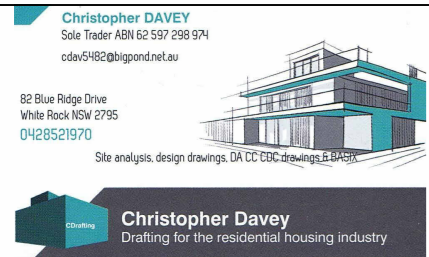
| Level                      | Mark | Location     | Height | Width | Finish       | Frame Material | Comments   |
|----------------------------|------|--------------|--------|-------|--------------|----------------|--|
| Second dwelling floor plan | D1   | South Living | 2100   | 4000  | Powdercoated | Std Aluminium  | Aluminium double (air) clear. Eave 2400mm, 300mm above head not overshadowed |
| Second dwelling floor plan | D2   | South Living | 2100   | 4000  | Powdercoated | Std Aluminium  | Aluminium double (air) clear. Eave 2400mm, 300mm above head not overshadowed |
| Second dwelling floor plan | D3   | South Bed 3  | 2100   | 2400  | Powdercoated | Std Aluminium  | Aluminium double (air) clear. Eave 3380mm, 300mm above head not overshadowed |
| Second dwelling floor plan | D4   | South Bed 2  | 2100   | 2400  | Powdercoated | Std Aluminium  | Aluminium double (air) clear. Eave 3380mm, 300mm above head not overshadowed |
| Second dwelling floor plan | D5   | East Bed 1   | 2100   | 3000  | Powdercoated | Std Aluminium  | Aluminium double (air) clear. Eave 3380mm, 300mm above head not overshadowed |
| Second dwelling floor plan | D6   | Hall         | 2190   | 1000  | Painted      | Timber         | Select entry door  |
| Second dwelling floor plan | D7   | Kitchen      | 2190   | 1000  | Painted      | Timber         | Select entry door  |
| Second dwelling floor plan | D8   | West Living  | 2100   | 2400  | Powdercoated | Std Aluminium  | Aluminium double (air) clear. Eave 5180mm, 300mm above head not overshadowed |
| Second dwelling floor plan | D9   | Hall         | 2040   | 920   | Painted      | Timber         | 920 hung door  |
| Second dwelling floor plan | D10  | Laundry cupb | 2040   | 1370  | Painted      | Timber         | 2x620 smartrobe  |
| Second dwelling floor plan | D11  | Bathroom     | 2040   | 920   | Painted      | Timber         | 920 hung door  |
| Second dwelling floor plan | D12  | Bed 3        | 2040   | 920   | Painted      | Timber         | 920 hung door  |
| Second dwelling floor plan | D13  | Bed 3 robe   | 2040   | 1770  | Painted      | Timber         | 2x720 smartrobe  |
| Second dwelling floor plan | D14  | Linen        | 2040   | 1370  | Painted      | Timber         | 2x620 smartrobe  |
| Second dwelling floor plan | D15  | Bed 2 robe   | 2040   | 1770  | Painted      | Timber         | 2x720 smartrobe  |
| Second dwelling floor plan | D16  | Bed 2        | 2040   | 920   | Painted      | Timber         | 920 hung door  |
| Second dwelling floor plan | D17  | Main bed     | 2040   | 920   | Painted      | Timber         | 920 hung door  |
| Second dwelling floor plan | D18  | WIR          | 2028   | 956   | Painted      | Timber         | 920 barn door  |

Second dwelling floor plan: 18

Grand total: 18

Window Schedule 2nd dwelling

| Level                      | Mark | Location       | Window Style            | Height | Width | Material      | Glazing          | Remarks   |
|----------------------------|------|----------------|-------------------------|--------|-------|---------------|------------------|---|
| Second dwelling floor plan | 01   | East Kitchen   | Awning                  | 2000   | 900   | Std aluminium | Double air clear | Solid overhand 6000mm, 300mm above head. Not overhshadowed. |
| Second dwelling floor plan | 02   | South bathroom | Awning                  | 1500   | 1800  | Std aluminium | Double air clear | Eave 5180mm, 300mm above head. Not overhshadowed.           |
| Second dwelling floor plan | 03   | South main bed | Awning                  | 2000   | 2600  | Std aluminium | Double air clear | Eave 450mm, 600mm above head. Not overhshadowed.            |
| Second dwelling floor plan | 04   | West ensuite   | Awning                  | 900    | 600   | Std aluminium | Double air clear | None. Not overshadowed                                      |
| Second dwelling floor plan | S1   | North hall     | Manual venting skylight | 689    | 689   | Timber        | Double air clear | None. Not overshadowed                                      |
| Second dwelling floor plan | S2   | North hall     | Manual venting skylight | 689    | 689   | Timber        | Double air clear | None. Not overshadowed                                      |



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Site analysis, design drawings, DA, CC, CDC, drawings, E, B, A, S, X

**Christopher Davey**  
Drafting for the residential housing industry

| No | Description | Date |
|----|-------------|------|
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|    |             |      |
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Greg & Anita BURKE 23 Robert Hoddle Grove, Bombira, 2850

Proposed addition to existing dwelling and a second dwelling

**Door/window schedule 2nd dwg**

|                |                  |               |
|----------------|------------------|---------------|
| Project number | Project Number   | <b>23RH13</b> |
| Date           | 14 December 2022 |               |
| Drawn by       | Chris Davey      |               |
| Checked by     | CJD              |               |
|                |                  | Scale         |