

**PROJECT:** PROPOSED DWELLING (& SHED) TO FORM DUAL OCCUPANCY  
 PROPOSED CARPORT (TO EXISTING DWELLING)  
 PROPOSED SUBDIVISION

**CLIENT:** M & S MILTON

**SITE ADDRESS:** 2 MEALEY STREET MUDGEES NSW 2850  
 Lot 2 DP 1074035

**DRG No: SHEET DESCRIPTION**

01	COVER SHEET, LOCALITY PLAN
02	SITE PLAN , ROOF PLAN
03	EROSION CONTROL PLAN
04	LANDSCAPE PLAN, PRELIM SUBDIVISION PLAN
05	PROPOSED DWELLING & SHED - FLOOR PLAN
06	PROPOSED DWELLING - ELEVATIONS
07	PROPOSED DWELLING & SHED - ELEVATIONS
08	PROPOSED DWELLING - SECTIONS
09	PROPOSED DWELLING & SHED - SECTIONS
10	WINDOW & DOOR LIST
11	BASIX COMMITMENTS
12	PROPOSED CARPORT DETAILS
13	GENERAL CONSTRUCTION NOTES
14	SAFETY NOTES



**PERSPECTIVE VIEW - (INDICATIVE ONLY)**



**LOCALITY PLAN**  
 2 MEALEY ST MUDGEES 2850  
 LOT 2 DP 1074035



**GENERAL NOTES:**

- ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS INCLUDING BUT NOT LIMITED TO:  
 BUILDING CODE OF AUSTRALIA NATIONAL CONSTRUCTION CODE - BCA NCC  
 PLUMBING CODE OF AUSTRALIA - BCA NCC  
 AUSTRALIAN STANDARDS & OTHER REGULATORY BODIES
- WORKMANSHIP & MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A. CODES INCLUDING ALL AMENDMENTS, THE BUILDING CODE OF AUSTRALIA - BCA NCC - VOLUME 2 - 2019 AND POLICY REQUIREMENTS OF MID-WESTERN REGIONAL COUNCIL
- RELEVANT STATUTORY AUTHORITIES TO BE NOTIFIED IN ADVANCE AND APPROVALS AND/ OR SERVICES OBTAINED
- ALL LEVELS, DIMENSIONS, SITE CONDITIONS & SERVICES TO BE CHECKED & CONFIRMED ON SITE INCLUDING RELEVANT SERVICE AUTHORITIES PRIOR TO WORK COMMENCEMENT OR CONSTRUCTION
- THIS DRAWING TO BE READ IN CONJUNCTION WITH SPECIFICATIONS / STRUCTURAL ENGINEER DRAWINGS / SURVEYOR AND OTHER CONSULTANT DOCUMENTATION APPLICABLE TO THIS PROJECT
- ALL BOUNDARIES ARE SUBJECT TO FINAL SURVEY. REFER TO CONTOUR AND DETAIL SURVEY WHERE PROVIDED
- ALL WORKS TO BE UNDERTAKEN BY LICENSED BUILDER AND LICENSED SUBCONTRACTORS
- BUILDER TO CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK
- ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE STATED. WRITTEN DIMENSIONS TO BE USED. DO NOT SCALE DRAWINGS

**CONSTRUCTION NOTES:**

- ALL WET AREAS OF THE BUILDING TO BE PROTECTED BY INSTALLATION OF A WATERPROOF SYSTEM COMPLYING WITH AS 3740 - WATERPROOFING OF WET AREAS
- WALL FRAME BRACING, ROOF BRACING AND ALL TIE DOWN FIXING DETAILS TO BE TO NOMINATED TRUSS & FRAME MANUFACTURERS ENGINEERED SPECIFICATIONS
- THE BUILDING INCLUDING STRUCTURAL MEMBERS SHALL BE PROTECTED AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS 3660.1 A DURABLE NOTICE MUST BE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT POSITION SHOWING METHOD OF PROTECTION , DATE OF INSTALLATION & SYSTEM, INSTALLER DETAILS, MANUFACTURERS RECOMMENDATIONS FOR THE SCOPE & FREQUENCY OF FUTURE INSPECTIONS AND TERMITE ACTIVITY WHERE CHEMICAL BARRIER USED, NOTICE TO INCLUDE ITS LIFE EXPECTANCY AS LISTED ON THE NATIONAL REGISTRATION AUTHORITY LABEL, INCLUDING THE NEED TO MAINTAIN AND INSPECT THE SYSTEM ON A REGULAR BASIS.
- ALL PLUMBING WORKS TO BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA (PCA), THE NEW SOUTH WALES CODE OF PRACTICE FOR PLUMBING & DRAINAGE 2006 (NSW PLUMBING CODE) & AS/NZS 3500
- WATER TEMPERATURE TO ALL OUTLETS (EXCLUDING LAUNDRY & KITCHEN) NOT TO EXCEED 50° C
- ROOF WATER TO BE COLLECTED BY EAVES GUTTER AND DISCHARGED TO DOWNPIPES TO RAIN WATER TANK/S, AND TO LOCAL COUNCIL STORMWATER SYSTEM
- ALL INTERNAL WALLS (U.N.O.) TO BE 90mm TIMBER STUD FRAMED LINED WITH 10mm GYPROCK PLASTERBOARD CD INTERNALLY (OR SELECTED LINING) AND 10mm GYPROCK AQUACHECK PLASTERBOARD TO WET AREAS

**NOTE:**  
 The Builder shall check all dimensions and levels on the site prior to construction and notify any errors, discrepancies or omissions to the Building Designer.  
 Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.  
 All boundaries and contours to initial survey provided by DeWitt Consulting.  
 All levels to Australian Height Datum.  
 Contractors to confirm all measurements on site and location of any services prior to work commencement.  
 All documents are subject to Australian Copyright Law.

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**Preferred Design & Drafting**

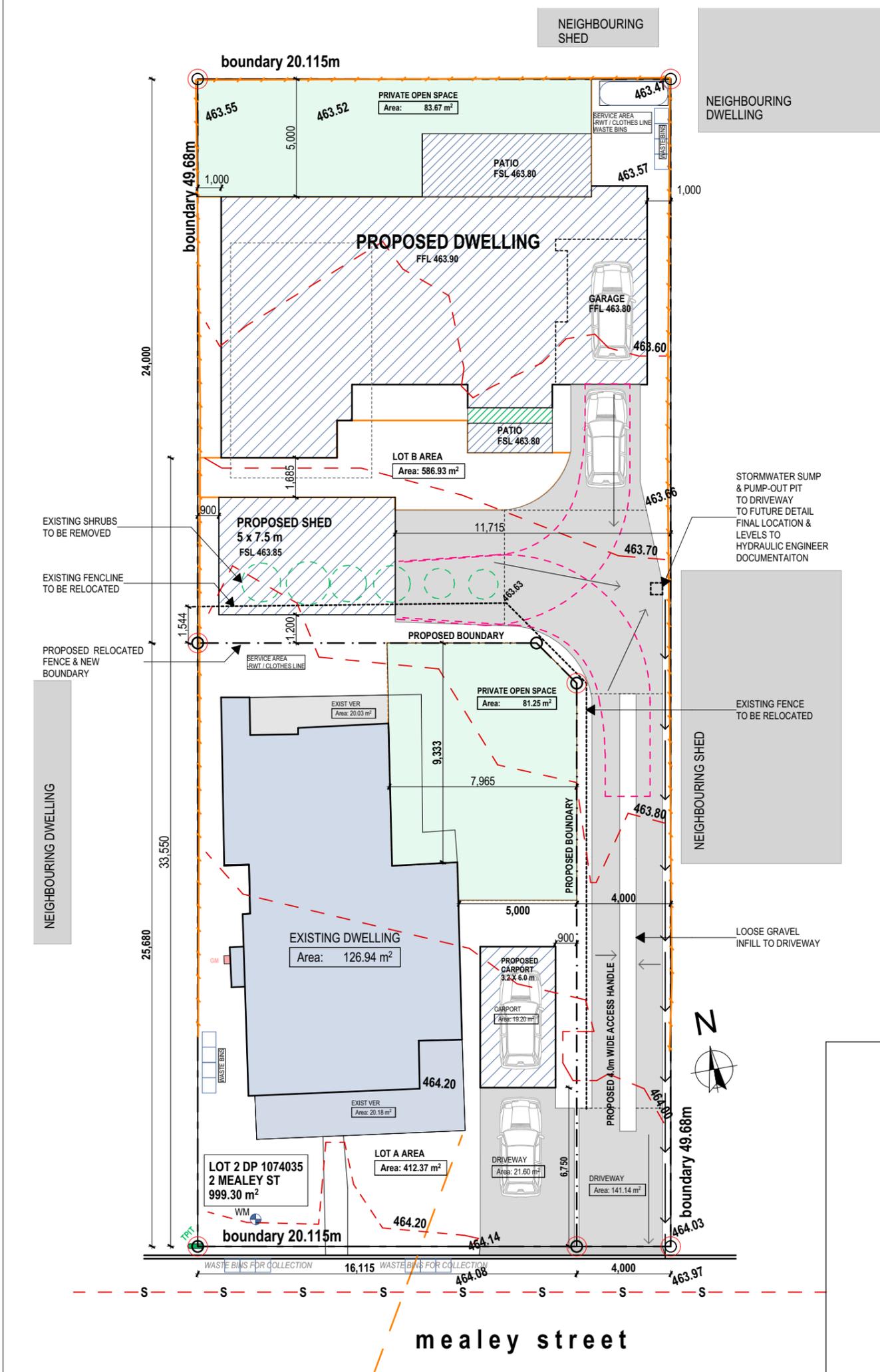


**bdaa**  
 ACCREDITED  
 BUILDING DESIGNER

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DRAWING No:  
**01**

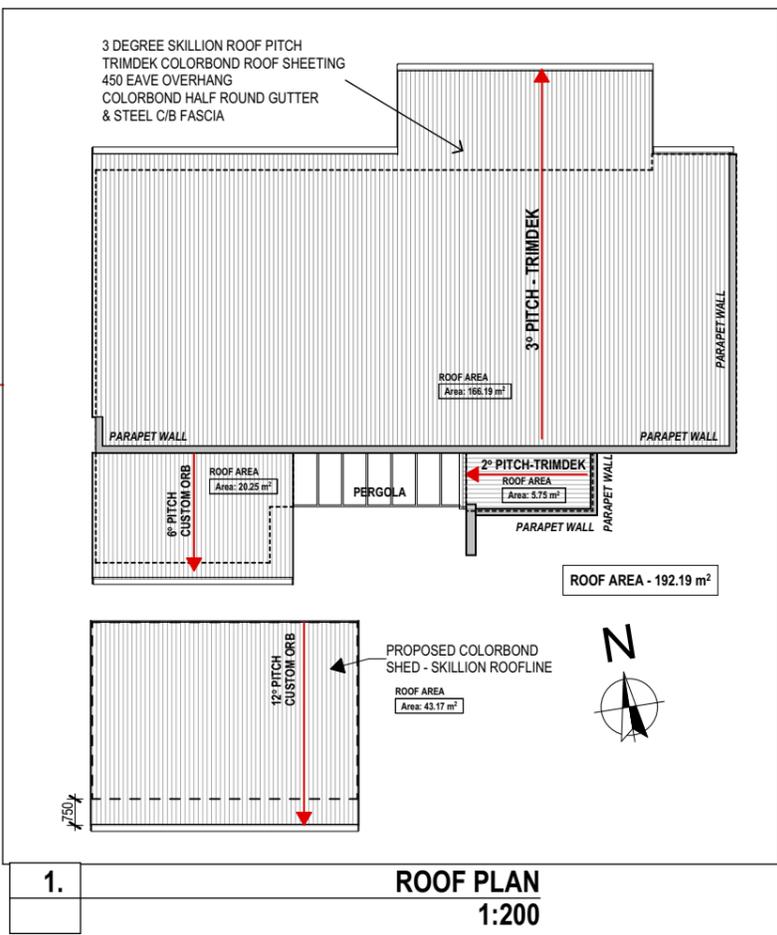
PROJECT No:  
**108.22**



SITE CALCULATIONS	
SITE DESCRIPTION	LOT 2 DP 1074035
ZONING	R3 MEDIUM DENSITY
SITE AREA	999.30 m <sup>2</sup>
EXISTING DWELLING	126.94 m <sup>2</sup>
PROPOSED DWELLING	165.91 m <sup>2</sup>
PROPOSED SHED	37.50 m <sup>2</sup>
PROPOSED CARPORT	19.20 m <sup>2</sup>
<b>TOTAL SITE COVERAGE</b>	<b>349.55m<sup>2</sup> (34.97%)</b>
VERANDAHS- TOTAL	65.01 m <sup>2</sup>
DRIVEWAYS -TOTAL	162.74 m <sup>2</sup>
<b>LANDSCAPING</b>	<b>42.23%</b>
PROPOSED SUBDIVISION - PRELIM AREAS	
LOT A	412.37m <sup>2</sup>
LOT B	586.93m <sup>2</sup>
PRIVATE OPEN SPACE	
EXISTING DWELLING	81.25m <sup>2</sup>
PROPOSED DWELLING	83.67m <sup>2</sup>

**-2.**  
**SITE PLAN**   
**1:200**

LEGEND	
	BOUNDARY LINE
	CONTOUR LINE
	FENCE LINE
	SEWER MAIN
	OVERHEAD POWER
	TELECOMMUNICATIONS PIT
	POWER POLE
	WATER METER
	GAS METER



**1.**  
**ROOF PLAN**  
**1:200**

DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

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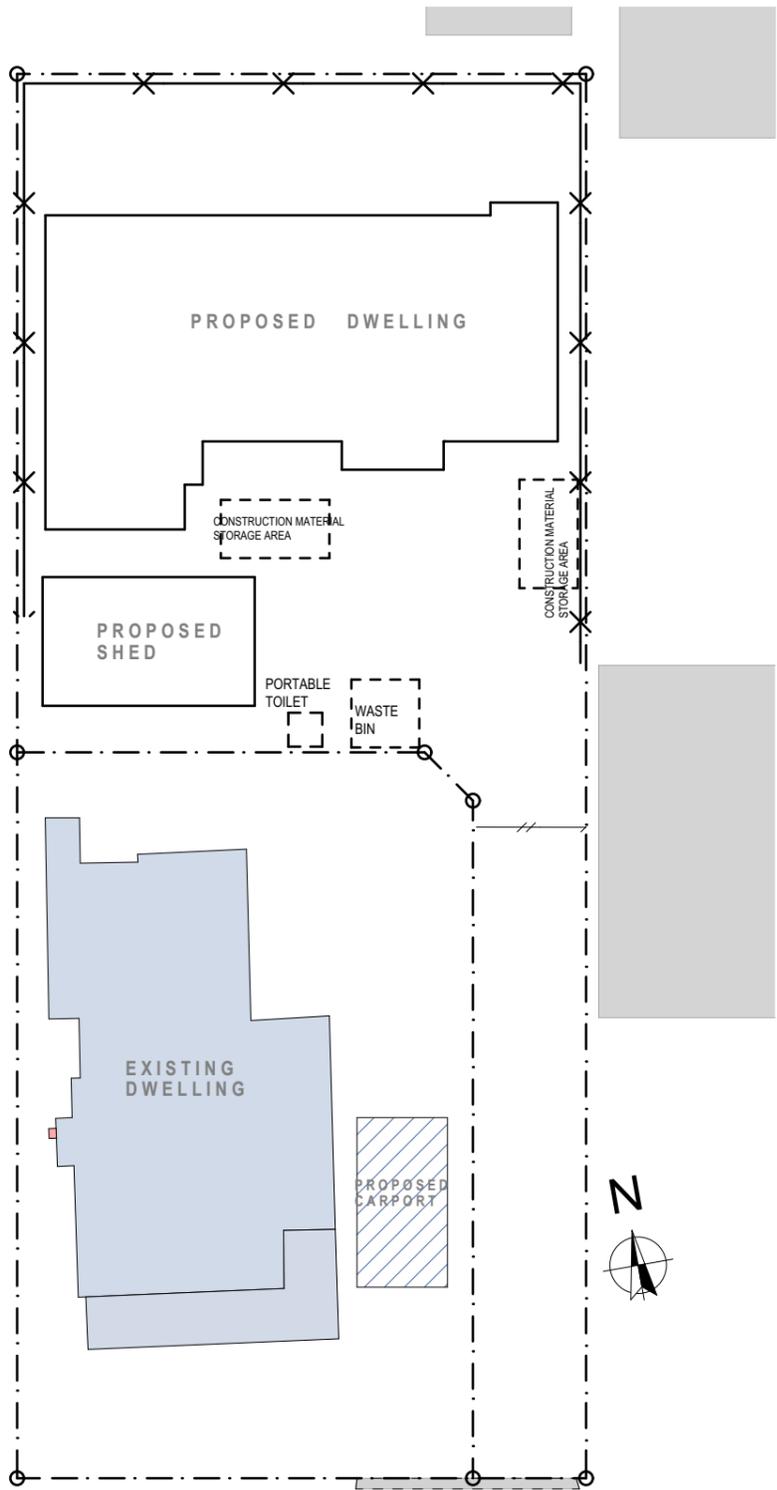
**BUILDING CLASSIFICATION:** 1a  
**CLIENT:** M & S MILTON  
**PROJECT:** PROPOSED DWELLING TO FORM DUAL OCCUPANCY  
**SITE ADDRESS:** 2 MEALEY ST MUDGEE  
**SHEET DESCRIPTION:** SITE PLAN, ROOF PLAN  
 D.P. NUMBER: 1074035  
 SITE AREA: 999.31 m<sup>2</sup>  
 DATE: 3.11.22  
 DRAWN: M Palmer  
 SCALE: 1:100, 1:200, UNO

**CLIENT:** M & S MILTON  
**PROJECT:** PROPOSED DWELLING TO FORM DUAL OCCUPANCY  
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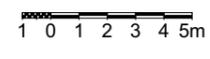
**Preferred Design & Drafting**

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DRAWING No: **02**  
 PROJECT No: **108.22**



**-2.**  
**EROSION CONTROL PLAN**  
**1:250**



LEGEND	
	SEDIMENT FENCING
	BARRIER FENCING
	EARTH BANK
	STABILISED SITE ACCESS

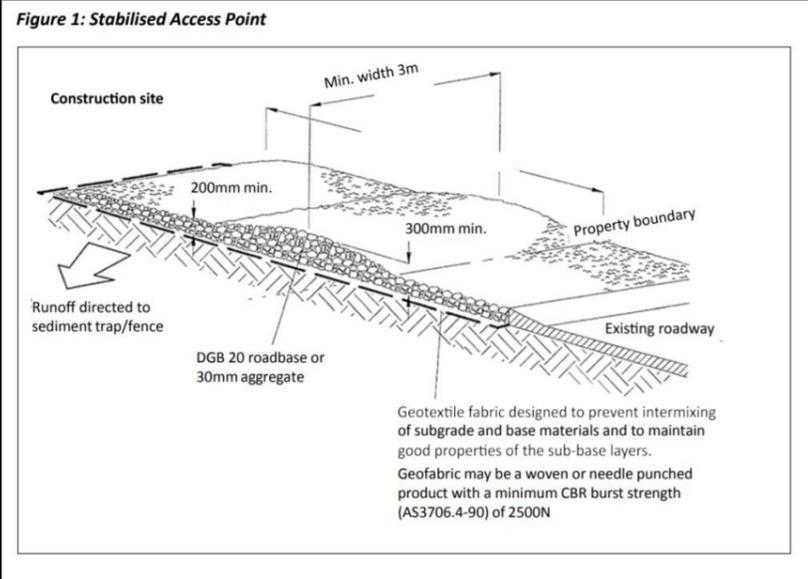
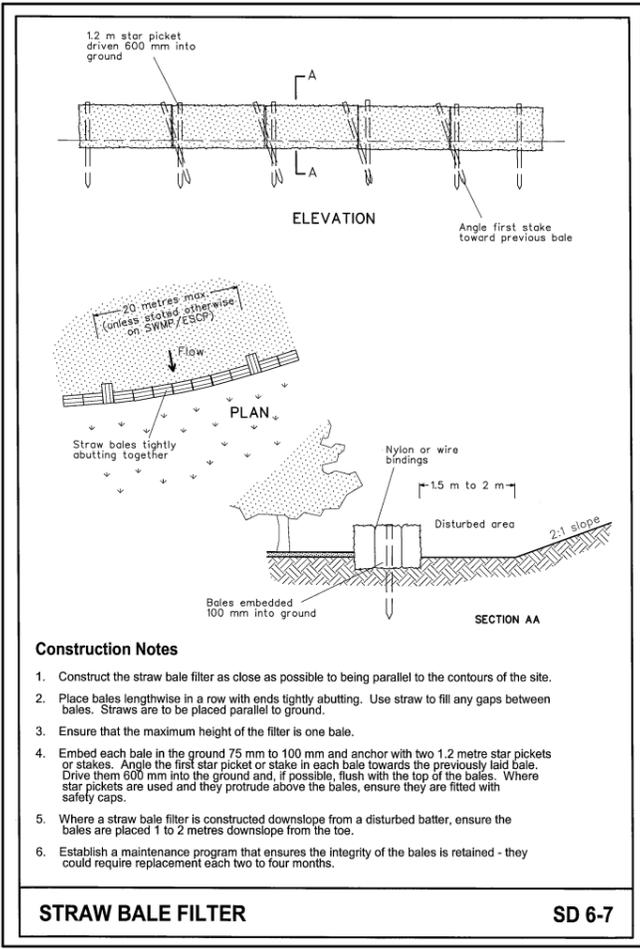
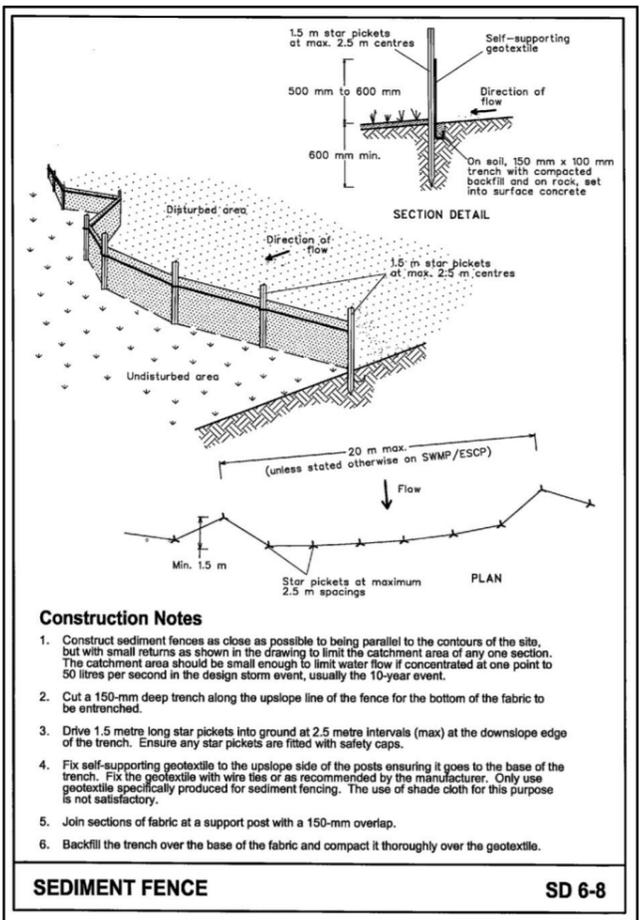
**EROSION CONTROL NOTES:**

1. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION
2. ALL TREES ARE TO BE RETAINED (IF APPLICABLE) UNLESS INDICATED OTHERWISE. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS, PAVEMENTS, ETC.
3. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADDED WATER, TO COUNCILS STANDARDS
4. NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATER ACT.
5. TOPSOIL SHALL BE STRIPPED ON STOCKPILED OUTSIDE HAZARDOUS AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE RE-VEGETATED.
6. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES. ALL SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT.

THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE UNTIL ALL DISTURBED AREAS ARE RE-VEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL

**NOTES:**

1. Site works are not to start until the erosion and sediment control measures are installed and functional.
2. Entry and departure of vehicles is to be confined to the stabilised site access.
3. Topsoil is to be stripped and stockpiled for later use in landscaping the site. Topsoil is to be re-spread and all disturbed areas rehabilitated (turfed) within 20 working days of completion.
4. The footpath, other than the stabilised site access is not to be disturbed, including stockpiling of materials. Where essential works (eg. drainage) are required, the footpath is to be rehabilitated (turfed) as soon as possible.
5. Bins are to be provided for building waste and arrangements are to be made for regular collection and disposal.
6. Roof guttering is to be connected to the stormwater system as soon as practicable.
7. All erosion controls are to be checked daily (at a minimum weekly) and after all rain events to ensure they are maintained in fully functional condition.



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REV	DATE	AMENDMENT
A	3.11.22	DA SUBMISSION

**BUILDING CLASSIFICATION:** 1a

D.P. NUMBER: 1074035  
 SITE AREA: 999.31 m<sup>2</sup>  
 DATE: 3.11.22  
 DRAWN: M Palmer  
 SCALE: 1:100, 1:200, UNO

**CLIENT:** M & S MILTON

**PROJECT:** PROPOSED DWELLING TO FORM DUAL OCCUPANCY

**SITE ADDRESS:** 2 MEALEY ST MUDGEE

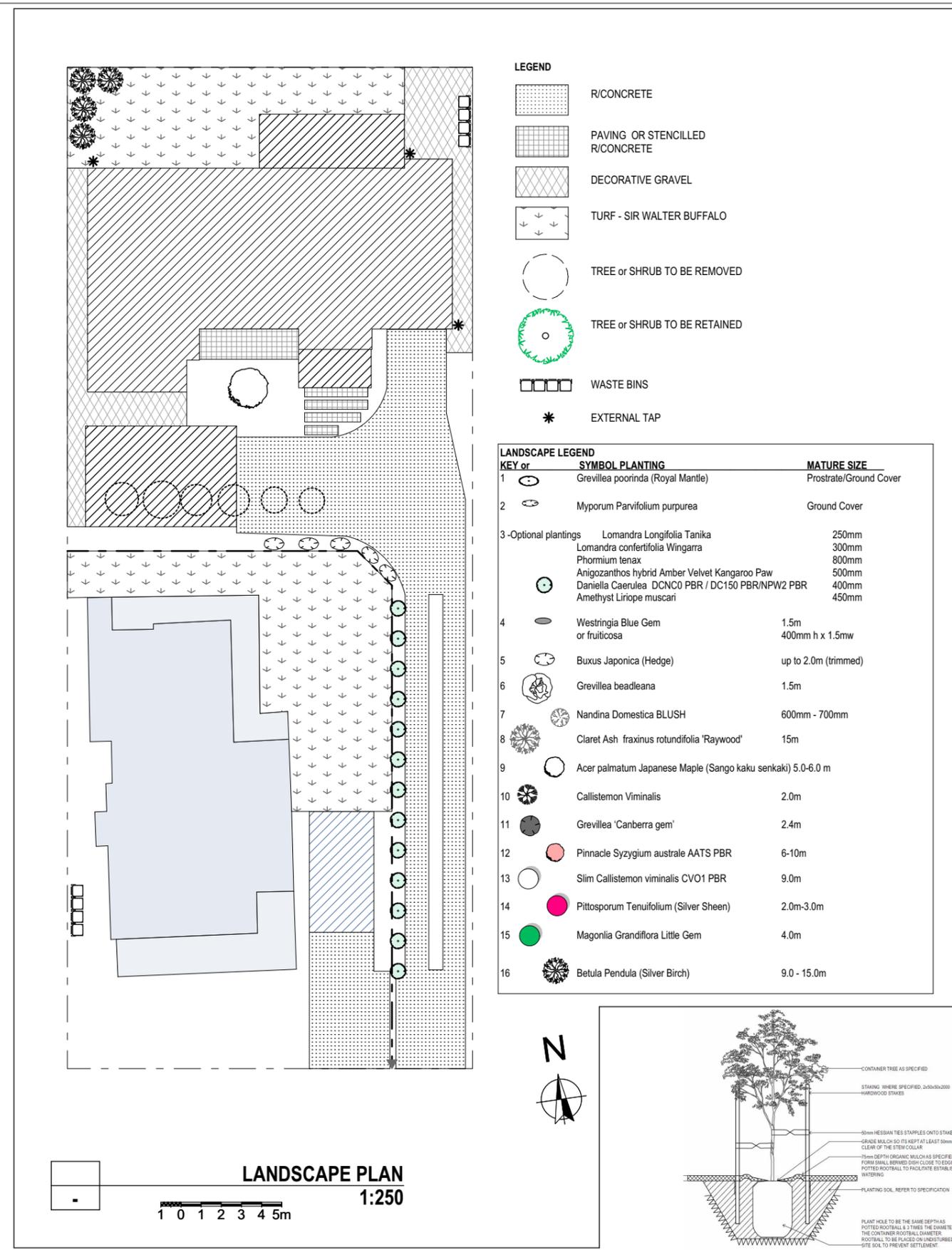
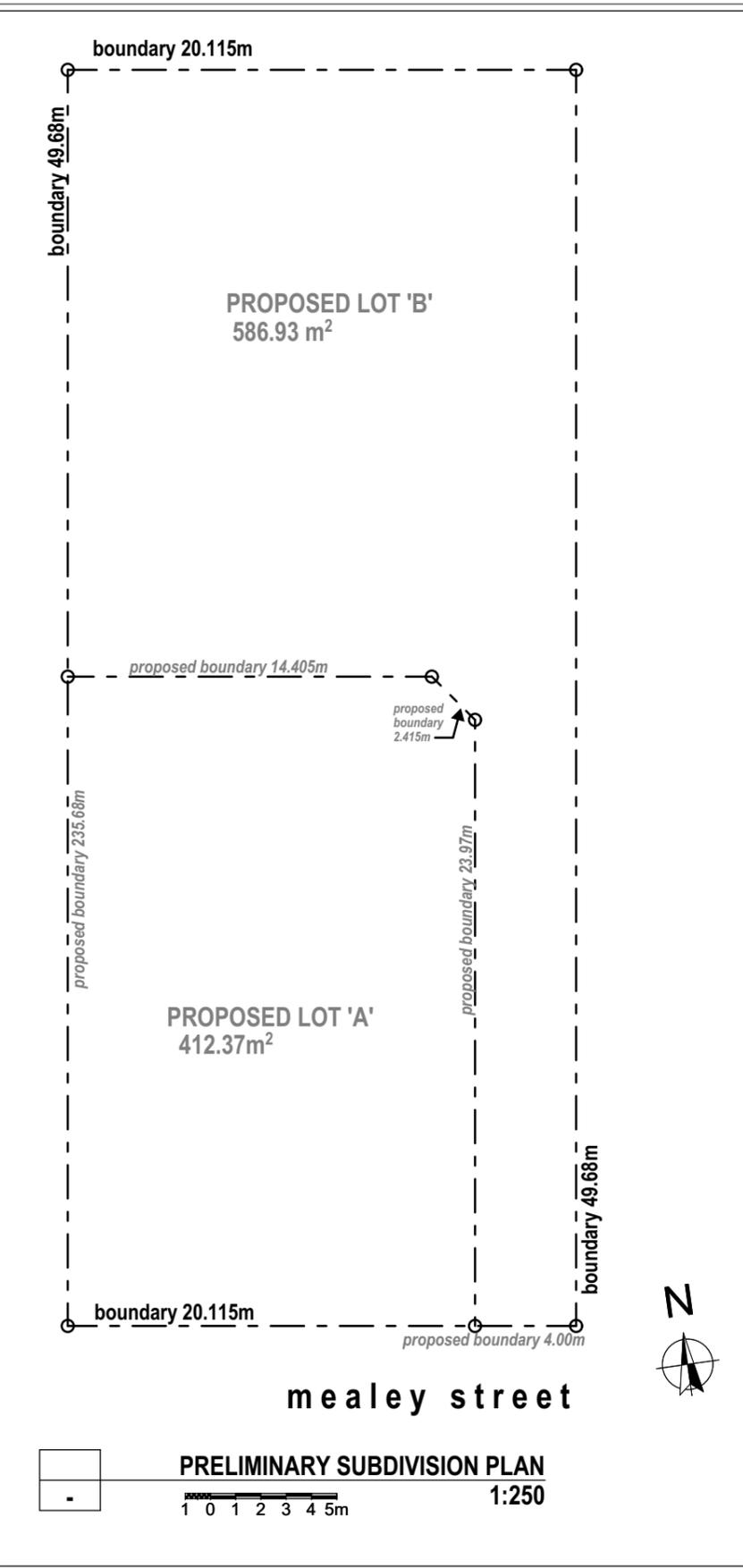
**SHEET DESCRIPTION:** EROSION CONTROL PLAN



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DRAWING No: 03  
 PROJECT No: 108.22



**GENERAL SPECIFICATION**

**PLANTING NOTES**

**PREPARATION OF MASS PLANTED AREAS**

Where topsoil is of good quality and it is not necessary to remove it and import topsoil, remove all weeds roots and other debris. If necessary, excavate to bring levels to 150mm below required finished level to allow for placement of mulch. To the whole area to be mass planted cultivate to a fine till to a depth of 200-250mm by hand or rotary hoe.

Mass planted areas requiring excavation and backfilling with approved planting mixtures shall be excavated to a depth of 300mm below finished levels. Break subsoil to a further depth of 100mm prior to placing soil.

**PLANTING HOLES**

Generally in border and mass planted areas, the diameter of planting holes shall be twice the diameter of the container and the depth equal to the height of the container.

Planting holes shall be twice the diameter of the root ball, and dug to a depth of 75mm more than the depth of the root ball. Generally all surplus material shall be removed and replaced with planting soil as specified. The bottom of each hole shall be loosened to a further 150mm to assist drainage.

A slow release fertiliser at the rate of 20g/hole shall be placed at the bottom of each hole before planting. Stake and tie as specified. Leave a neat 600mm square opening in turf after planting is completed. Form a shallow saucer like depression in soil around the base of plant.

**IMPORTED TOPSOIL**

For planting areas soil should conform to AS4419 a mixture of three parts by volume of sandy loam, or equivalent, and one part by volume of compost, or equivalent, thoroughly mixed shall be spread to thickness of 225mm to all mass planting areas if required to have imported topsoil.

**MODIFICATION OF SITE SOIL**

Add organic matter in the form of compost, or other suitable equivalent, to a depth of 75mm over the entire areas previously cultivated. Organic matter shall be thoroughly mixed through the prepared soil before planting out.

**PLANTING MATERIALS**

All plants shall be true to name and size as scheduled, in well developed healthy condition, free from insect and diseases, with well established roots.

The minimum sized pot shall have a diameter of 150mm. Specification of 5 Litre and up refer to the capacity of the pots and are standard within the nursery industry.

**PLANTING**

Set out plants in accordance with the plan. Minor adjustments may be necessary. Planting shall not be carried out in dry soil or in extreme weather conditions.

The root system must be moist before planting to ensure the turgidity. The plants shall be removed from their containers with as little disturbance as possible to the root system. Plants should be planted at the same depth as the plants were in the containers to allow for a shallow saucer to be formed around the plant to aid water penetration. Avoid hilling up of soil around young plant stem. Firm soil around the root ball and thoroughly soak the areas after planting. On completion, cultivate, rake mulch and leave all garden areas in a neat and tidy condition. Remove all plant containers from the site.

**MULCH**

Spread mulch to all mass planted areas to an even depth of 75mm on the surface of the topsoil so that refinished levels are flush with surrounding kerbs, edges or paths. Care shall be taken not to mix soil and mulch together. The material to be used shall be graded pine bark.

**SHORT TERM MAINTENANCE**

Maintenance shall include the following items as a minimum requirement for a period of 3 months.

All plants shall be adequately watered to keep them healthy and growing vigorously. Watering shall be done by fixed hoses or portable sprinklers. The minimum acceptable watering requirement shall equal 50mm of natural rainfall or its applied equivalent, or a combination of both, during each period of one week.

The Landscape Contractor shall ensure that fallen leaves, branches and wind blown debris such as papers are collected and removed at least once a week and that the site is kept in a clean and tidy condition. Remove any weed growth from all planted and mulched areas.

The Landscape Contractor is not to be held responsible for the theft of any plant or plants damaged by the vandals or act of God during the short term maintenance period. Replace plants which fail with plants of a similar size and quality to those specified or originally provided. Arrange for the supply of plants with a minimum of delay and under no circumstances shall different species be substituted without prior approval.

All mulched surfaces shall be kept in a clean and tidy condition. Reinstate mulch to depths specified.

If pathological diseases or insect pests appear, control them by natural means where possible, no chemicals are to be used unless requested by the client and then they must be used in accordance with the manufacturer's instructions.

Make good erosion of soil or subsidence which may occur in landscaped areas at no contract variation.

Make good any defects or faults arising out of defective workmanship.

Pruning work shall be implemented to maintain dense foliage conditions and encourage suitable growth habits.

When the short term maintenance period is completed the Landscape Contractor shall notify the Superintendent. The site will be inspected and if to the satisfaction of the Superintendent the responsibility will be handed over to Client for long term/on going maintenance.

**5 YEAR MAINTENANCE**

All plants planted under this contract are spaced with consideration of their natural mature size. Planting closely together means they will join together quickly to develop a full planted or hedge look.

On a yearly basis prune the Photina to keep it compact and keep its height at 2.5m tall. There is no need to severely prune it to keep it narrow though 2m would be an ideal width off the fence boundary. Other shrubs that could be pruned include the Teucrium, just lightly to shape if required though is attractive in its natural form.

If over time the Liriope muscari develops dead leaves and looks unattractive, cut down with a whipper snipper at the end of the cooler months and it will regrow new fresh leaves.

The Italian Pencil Pine is a fast grower and should reach 2.5m in 3 years so at five years it should be nearly 5m tall. At this time cut out the top 30cm of the pines which will sever the leader and contain their height at around 4.5-5m and as they are a narrow tree they should not grow wider than 1m, though if they do, give a light prune to straighten the side facing the motel yearly rather than one heavy prune which can destroy the foliage.

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DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

REV	DATE	DA SUBMISSION	AMENDMENT
A	3.11.22	DA SUBMISSION	

**BUILDING CLASSIFICATION:** 1a

**CLIENT:** M & S MILTON

**PROJECT:** PROPOSED DWELLING TO FORM DUAL OCCUPANCY

**SITE ADDRESS:** 2 MEALEY ST MUDGEE

**SHEET DESCRIPTION:** PRELIMINARY SUBDIVISION PLAN, LANDSCAPE PLAN

D.P. NUMBER: 1074035  
SITE AREA: 999.31 m<sup>2</sup>  
DATE: 3.11.22  
DRAWN: M Palmer  
SCALE: 1:100, 1:200, UNO

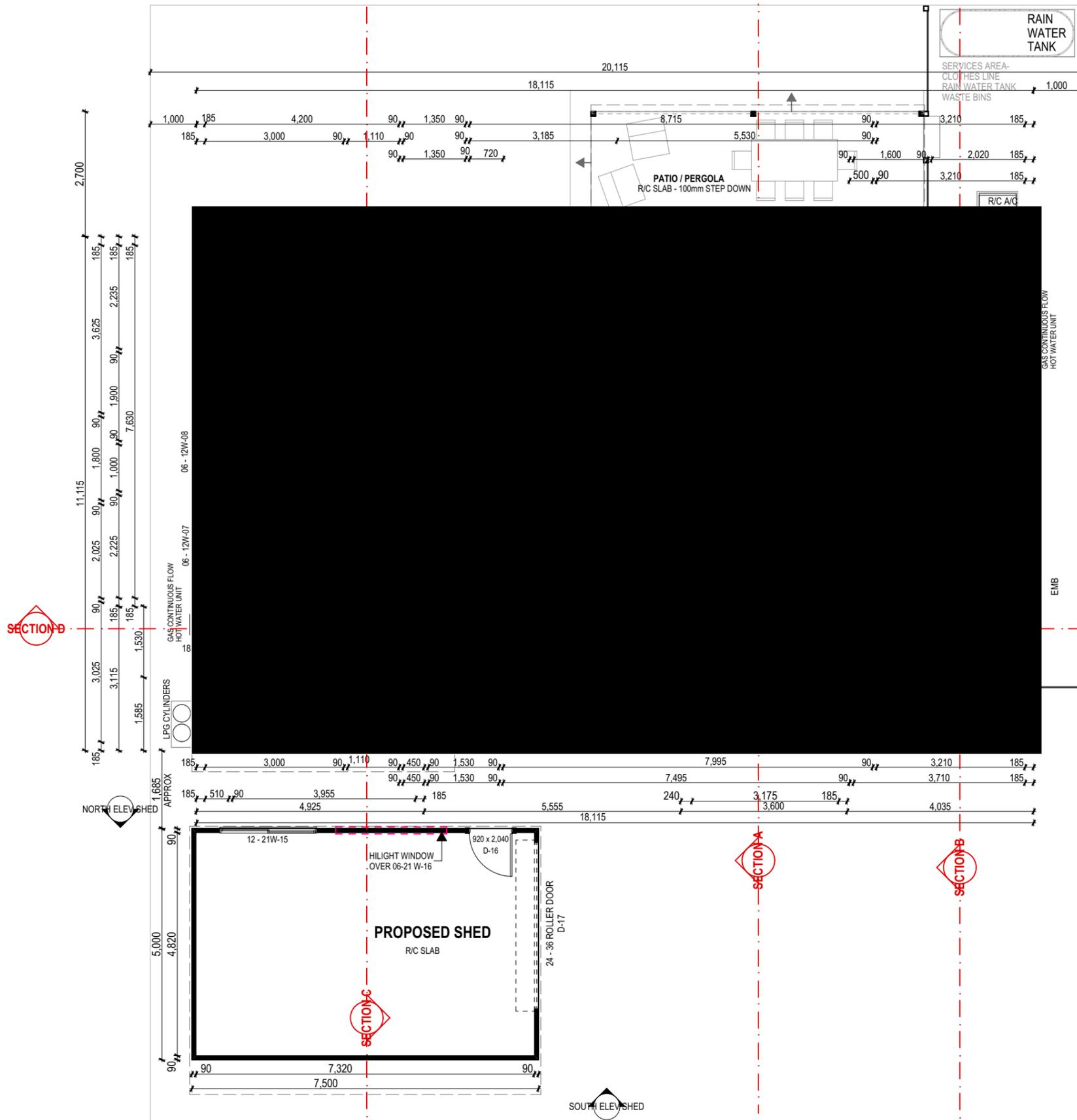
**Preferred Design & Drafting**

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email: marian@preferred-design.com.au

**bdac**  
ACCREDITED BUILDING DESIGNER

DRAWING No: **04**

PROJECT No: **108.22**



**LEGEND:**

<b>SA</b>	A.S. APPROVED CEILING MOUNTED SMOKE ALARM HARD WIRED TO ELECTRICAL SUPPLY
<b>ASW</b>	ALUMINIUM FRAMED SLIDING WINDOW
<b>ASD</b>	ALUMINIUM FRAMED FULLY GLAZED SLIDING DOOR
<b>FXD</b>	FIXED WINDOW
<b>BR</b>	BROOM CUPBOARD
<b>CF</b>	CEILING FAN
<b>CH</b>	CEILING HATCH (FOR ROOF SPACE ACCESS)
<b>CPT</b>	CARPET
<b>DR</b>	CLOTHES DRYER SPACE
<b>DW</b>	DISH WASHER
<b>EMB</b>	ELECTRICAL METER BOARD
<b>FW</b>	FLOOR WASTE
<b>LPG CYLINDERS</b>	LP GAS CYLINDERS
<b>HP</b>	HOT PLATE
<b>HWS</b>	HOT WATER SERVICE
<b>IB</b>	IRONING BOARD CUPBOARD
<b>MW</b>	MICROWAVE OVEN
<b>REF</b>	REFRIGERATOR SPACE
<b>R/C or CONC</b>	REINFORCED CONCRETE SLAB
<b>R/C A/C</b>	REVERSE CYCLE AIR CONDITIONING UNIT
<b>STV</b>	STOVE - FREESTANDING
<b>S</b>	SINK TO KITCHEN OR PANTRY
<b>SK</b>	SKYLIGHT
<b>T</b>	TILES
<b>TR</b>	TOWEL RAIL
<b>UB OV</b>	UNDER BENCH OVEN
<b>V</b>	VANITY
<b>WM</b>	WASHING MACHINE SPACE
<b>WOV</b>	WALL OVEN
<b>WC</b>	WATER CLOSET (TOILET)

**AREA OF DEVELOPMENT**

<b>RESIDENCE - LIVING</b>	<b>AREA: 142.57 m<sup>2</sup></b>
<b>RES - LIVING &amp; GARAGE</b>	<b>AREA: 165.91 m<sup>2</sup></b>
<b>ENTRY PATIO</b>	Area: 5.36 m <sup>2</sup>
<b>NORTHERN PATIO</b>	Area: 19.44 m <sup>2</sup>
<b>TOTAL DWELLING - 190.71m<sup>2</sup></b>	
<b>PROPOSED SHED</b>	<b>Area: 37.50 m<sup>2</sup></b>

**0. FLOOR PLAN - DUAL OCC DWELLING & SHED**  
1:100



**NOTE:**

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DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

A	3.11.22	DA SUBMISSION
REV	DATE	AMENDMENT

**BUILDING CLASSIFICATION:** 1a

D.P. NUMBER: 1074035  
 SITE AREA: 999.31 m<sup>2</sup>  
 DATE: 3.11.22  
 DRAWN: M Palmer  
 SCALE: 1:100, 1:200, UNO

**CLIENT:** M & S MILTON

**PROJECT:** PROPOSED DWELLING TO FORM DUAL OCCUPANCY

**SITE ADDRESS:** 2 MEALEY ST MUDGEE

**SHEET DESCRIPTION:** FLOOR PLAN - DUAL OCC DWELLING & SHED

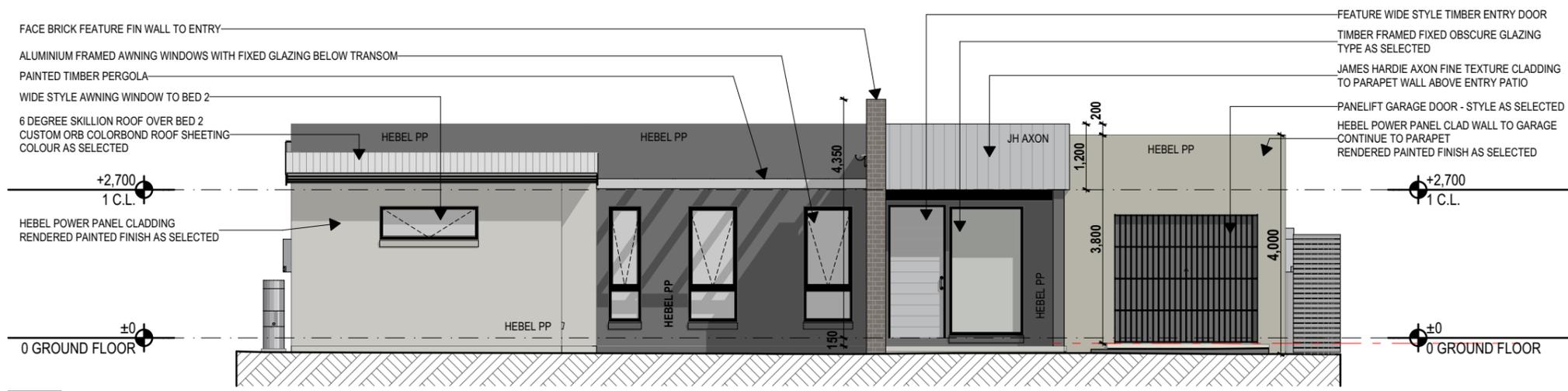
**Preferred Design & Drafting**

**bdoo**  
ACCREDITED BUILDING DESIGNER

30 Lewis Street Mudgee NSW 2850  
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 email: marian@preferred-design.com.au

DRAWING No: **05**

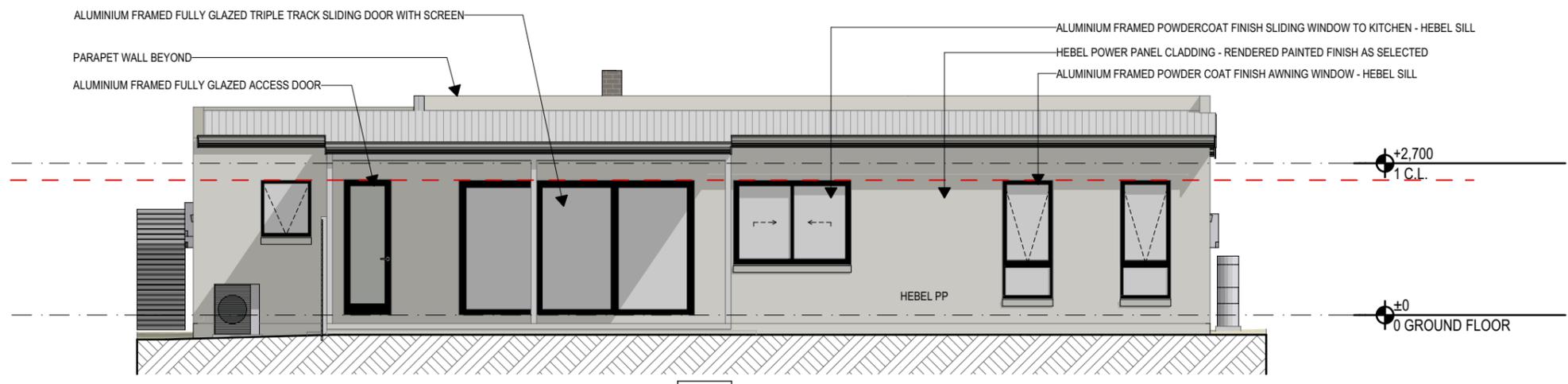
PROJECT No: **108.22**



**E-03**  
-  
**SOUTH ELEVATION**  
1:100

**GENERAL CONSTRUCTION**  
R/CONCRETE WAFFLE POD SLAB  
HEBEL POWER PANEL WALL CLADDING & CONSTRUCTION  
JAMES HARDIE AXON FINE TEXTURE CLADDING TO PARAPET OVER FRONT ENTRY  
TRIMDEK COLORBOND ROOF @ 3 DEGREE PITCH  
COLORBOND HALF ROUND GUTTER & STEEL C/B FASCIA  
450mm EAVE OVERHANG

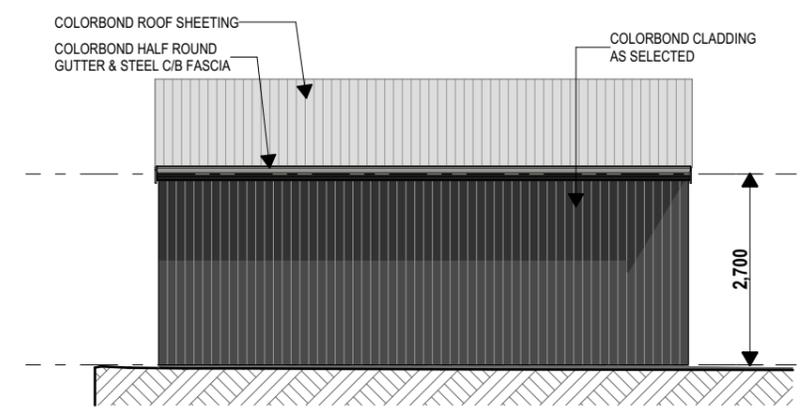
FEATURE WIDE STYLE TIMBER ENTRY DOOR  
TIMBER FRAMED FIXED OBSCURE GLAZING TYPE AS SELECTED  
JAMES HARDIE AXON FINE TEXTURE CLADDING TO PARAPET WALL ABOVE ENTRY PATIO  
PANELIFT GARAGE DOOR - STYLE AS SELECTED  
HEBEL POWER PANEL CLAD WALL TO GARAGE CONTINUE TO PARAPET  
RENDERED PAINTED FINISH AS SELECTED



**E-01**  
-  
**NORTH ELEVATION**  
1:100

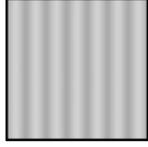


**E-07**  
-  
**NORTH ELEV SHED**  
1:100



**E-08**  
-  
**SOUTH ELEV SHED**  
1:100

**MATERIALS & FINISHES**

 COLORBOND ROOF SHEETING - SHALE GREY	 FACE BRICK FEATURE ENTRY WALL PGH ALFRESCO - 'ESPRESSO'	 ENTRY PORTICO PARAPET WALL BED 2 SOUTHERN & EASTERN WALLS DULUX - BEIGE ROYAL HALF	 GARAGE - HEBEL DULUX - LINSEED	 HEBEL WALLS CONTRAST - DULUX "DOMINO"	 WINDOWS & DOOR FRAMES POWDERCOAT - BLACK	 PARAPET OVER ENTRY JAMES HARDIE SCYON AXON - SELECTED PAINT FINISH	 ENTRY PATIO - SLAT SCREEN VERTICAL TIMBER FINISH AS SELECTED
--	--	---	---	---	---	---	---

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A	3.11.22	DA SUBMISSION
REV	DATE	AMENDMENT

**BUILDING CLASSIFICATION:** 1a  
**D.P. NUMBER:** 1074035  
**SITE AREA:** 999.31 m2  
**DATE:** 3.11.22  
**DRAWN:** M Palmer  
**SCALE:** 1:100, 1:200, UNO

**CLIENT:** M & S MILTON  
**PROJECT:** PROPOSED DWELLING TO FORM DUAL OCCUPANCY  
**SITE ADDRESS:** 2 MEALEY ST MUDGEE  
**SHEET DESCRIPTION:** ELEVATIONS

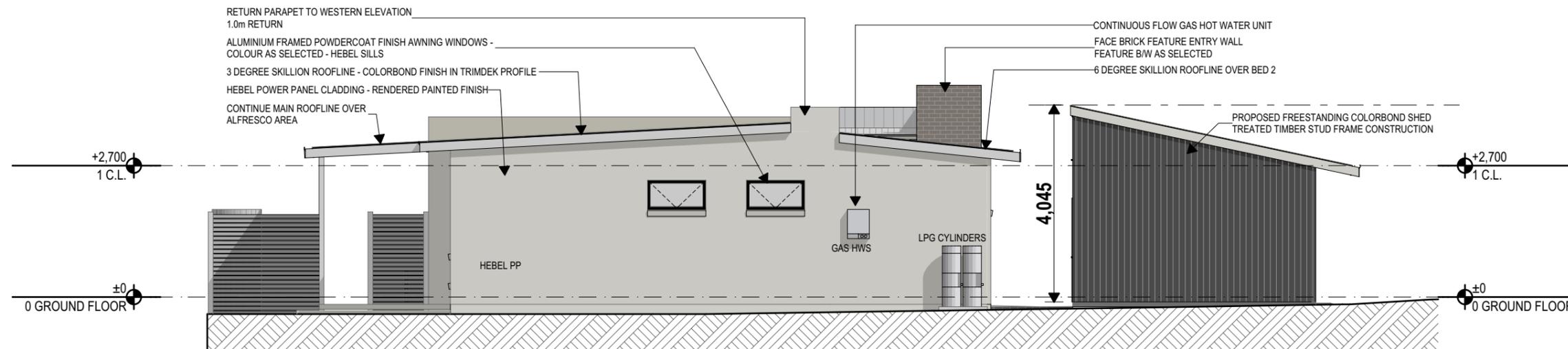


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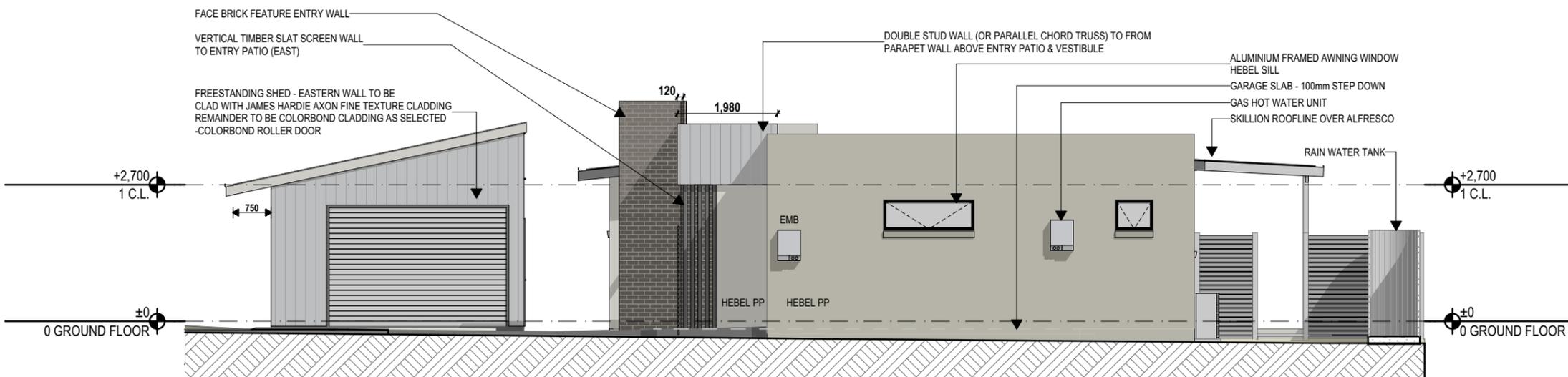
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ph: 0263724397 Mob: 0429600160  
email: marian@preferred-design.com.au

**DRAWING No:** 06  
**PROJECT No:** 108.22



E-04  
-

**WEST ELEVATION**  
1:100



E-02  
-

**EAST ELEVATION**  
1:100

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DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

REV	DATE	DA SUBMISSION	AMENDMENT
A	3.11.22	DA SUBMISSION	

**BUILDING CLASSIFICATION:** 1a

D.P. NUMBER: 1074035  
 SITE AREA: 999.31 m2  
 DATE: 3.11.22  
 DRAWN: M Palmer  
 SCALE: 1:100, 1:200, UNO

**CLIENT:** M & S MILTON  
**PROJECT:** PROPOSED DWELLING TO FORM DUAL OCCUPANCY  
**SITE ADDRESS:** 2 MEALEY ST MUDGEE  
**SHEET DESCRIPTION:** ELEVATIONS



**Preferred Design & Drafting**

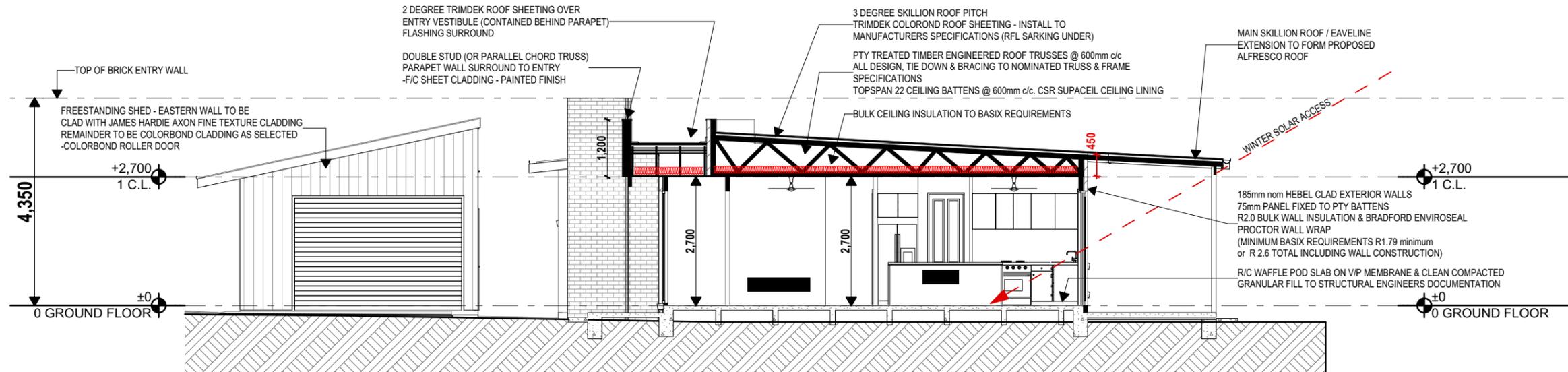


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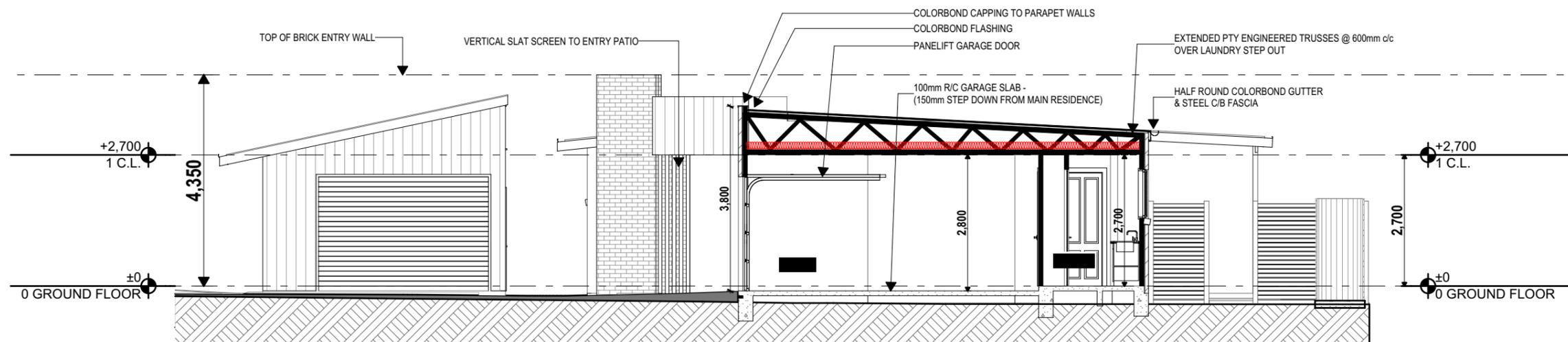
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 email: marian@preferred-design.com.au

DRAWING No:  
**07**

PROJECT No:  
**108.22**



**S-01**  
**SECTION A**  
1:100



**S-04**  
**SECTION B**  
1:100

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REV	DATE	DA SUBMISSION	AMENDMENT
A	3.11.22	DA SUBMISSION	

**BUILDING CLASSIFICATION:** 1a

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 SITE AREA: 999.31 m2  
 DATE: 3.11.22  
 DRAWN: M Palmer  
 SCALE: 1:100, 1:200, UNO

**CLIENT:** M & S MILTON  
**PROJECT:** PROPOSED DWELLING TO FORM DUAL OCCUPANCY  
**SITE ADDRESS:** 2 MEALEY ST MUDGEE  
**SHEET DESCRIPTION:** SECTIONS



**bdaa**  
ACCREDITED  
BUILDING DESIGNER

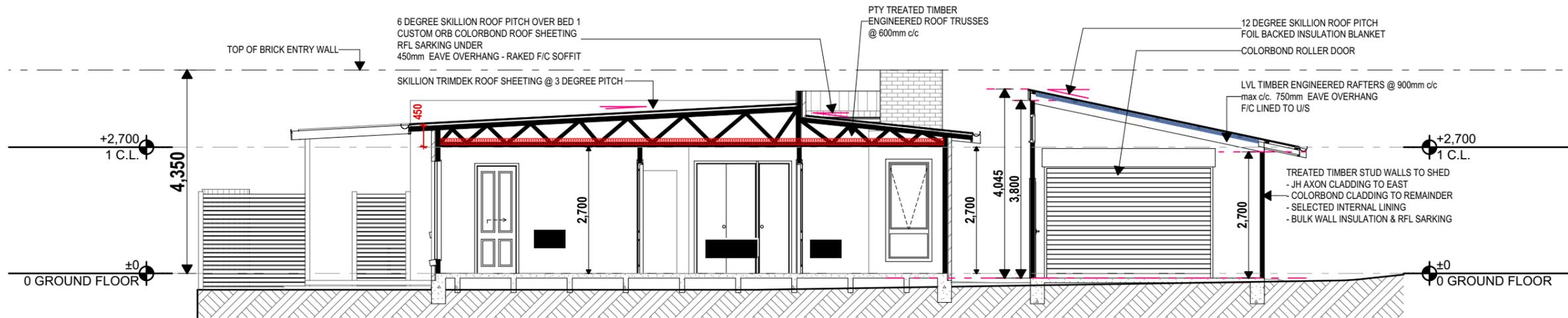
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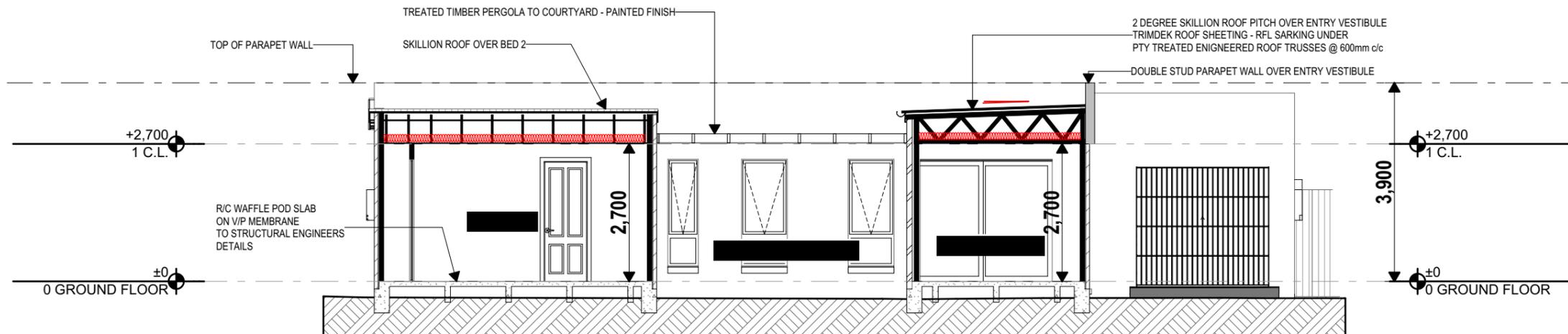
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 email: marian@preferred-design.com.au

DRAWING No:  
**08**

PROJECT No:  
**108.22**



**S-03**  
SECTION C  
1:100



**S-02**  
SECTION D  
1:100

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**SHEET DESCRIPTION:** SECTIONS



**Preferred Design & Drafting**



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DRAWING No:  
**09**

PROJECT No:  
**108.22**

DOOR LIST				
ID	Height	Width	ELEVATION	NOTES
D-01	2,400	1,000		TIMBER FEATURE ENTRY DOOR AS SELECTED
D-02	2,400	4,200		ALUMINIUM FRAMED FULLY GLAZED TRIPLE TRACK SLIDING DOOR WITH SCREEN
D-03	2,400	820		ALUMINIUM FRAMED FULLY GLAZED LAUNDRY ACCESS DOOR
D-04	2,400	2,700		GARAGE PANELIFT DOOR AS SELECTED
D-05	2,340	820		INTERIOR DOOR
D-06	2,340	820		INTERIOR DOOR
D-07	2,340	820		INTERIOR DOOR
D-08	2,340	920		INTERIOR CSD
D-09	2,340	820		INTERIOR CSD

DOOR LIST				
ID	Height	Width	ELEVATION	NOTES
D-10	2,340	820		INTERIOR DOOR
D-11	2,340	820		INTERIOR DOOR
D-12	2,400	2,895		WARDROBE DOORS AS SELECTED
D-13	2,340	620		INTERIOR DOOR TO LINEN CUPBD
D-14	2,340	1,240		INTERIOR DOUBLE DOORS TO LINEN CUPBD
D-15	2,400	1,900		INTERIOR SLIDING DOOR TO LAUNDRY CUPBOARD STORE
D-16	2,040	920		ACCESS DOOR TO SHED - TYPE AS SELECTED
D-17	2,400	3,600		ROLLER DOOR TO SHED - TYPE & COLOUR AS SELECTED

WINDOW LIST				
ID	HEIGHT	WIDTH	ELEVATION	NOTES
W-01	2,350	1,360		ALUMINIUM FRAMED FIXED GLAZED UNIT TO ENTRY - GLASS TYPE TBC
W-02	2,100	900		ALUMINIUM FRAMED AWNING WITH TRANSOM
W-03	2,100	900		ALUMINIUM FRAMED AWNING WITH TRANSOM
W-04	2,100	600		ALUMINIUM FRAMED AWNING WITH TRANSOM
W-05	2,100	900		ALUMINIUM FRAMED AWNING WITH TRANSOM
W-06	600	1,800		ALUMINIUM FRAMED AWNING
W-07	600	1,200		ALUMINIUM FRAMED AWNING
W-08	600	1,200		ALUMINIUM FRAMED AWNING

WINDOW LIST				
ID	HEIGHT	WIDTH	ELEVATION	NOTES
W-09	2,100	900		ALUMINIUM FRAMED AWNING WITH TRANSOM
W-10	2,100	900		ALUMINIUM FRAMED WITH TRANSOM
W-11	1,500	2,100		ALUMINIUM FRAMED SLIDING
W-12	1,000	900		ALUMINIUM FRAMED AWNING
W-13	600	750		ALUMINIUM FRAMED AWNING
W-14	600	1,800		ALUMINIUM FRAMED AWNING
W-15	1,200	2,100		ALUMINIUM FRAMED SLIDING TO SHED
W-16	600	2,400		ALUMINIUM FRAMED WINDOW - HIGH SET - TO SHED



WINDOW LIST

DOOR LIST

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DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY			
A	3.11.22	DA SUBMISSION	
REV	DATE	AMENDMENT	

**BUILDING CLASSIFICATION:** 1a  
 D.P. NUMBER: 1074035  
 SITE AREA: 999.31 m2  
 DATE: 3.11.22  
 DRAWN: M Palmer  
 SCALE: 1:100, 1:200, UNO

**CLIENT:** M & S MILTON  
**PROJECT:** PROPOSED DWELLING TO FORM DUAL OCCUPANCY  
**SITE ADDRESS:** 2 MEALEY ST MUDGEE  
**SHEET DESCRIPTION:** DOOR & WINDOW LIST



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DRAWING No: 10  
 PROJECT No: 108.22

# BASIX COMMITMENTS

Project address		Assessor details and thermal loads	
Project name	MILTON M & S	Assessor number	n/a
Street address	2 MEALEY Street MUDGEES 2850	Certificate number	n/a
Local Government Area	Mid-Western Regional Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 1074035	Area adjusted cooling load (MJ/m <sup>2</sup> .year)	n/a
Lot no.	2	Area adjusted heating load (MJ/m <sup>2</sup> .year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
<b>Project type</b>		Ceiling fan in at least one living room or other conditioned area	n/a
Project type	separate dwelling house	<b>Project score</b>	
No. of bedrooms	2	Water	✔ 32 Target 30
<b>Site details</b>		Thermal Comfort	✔ Pass Target Pass
Site area (m <sup>2</sup> )	587	Energy	✔ 40 Target 40
Roof area (m <sup>2</sup> )	192		
Conditioned floor area (m2)	103.15		
Unconditioned floor area (m2)	17.75		
Total area of garden and lawn (m2)	120		

Energy Commitments
<b>Hot water</b>
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.
<b>Cooling system</b>
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 6 star (cold zone)
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 6 star (cold zone)
The cooling system must provide for day/night zoning between living areas and bedrooms.
<b>Heating system</b>
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 6 star (cold zone)
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 6 star (cold zone)
The heating system must provide for day/night zoning between living areas and bedrooms.
<b>Ventilation</b>
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off  Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off  Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off
<b>Artificial lighting</b>
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 2 of the bedrooms / study;
• at least 2 of the living / dining rooms;
• the kitchen;
• all bathrooms/toilets;
• the laundry;
• all hallways;
<b>Natural lighting</b>
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.
<b>Other</b>
The applicant must install an induction cooktop & electric oven in the kitchen of the dwelling.
The applicant must install a fixed outdoor clothes drying line as part of the development.
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - AAC veneer (AAC: 75 mm)	1.79 (or 2.60 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 4 (up), roof: foil/sarking	framed; medium (solar absorptance 0.475-0.70)

Water Commitments
<b>Landscape</b>
The applicant must plant indigenous or low water use species of vegetation throughout 20 square metres of the site.
<b>Fixtures</b>
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.
<b>Alternative water</b>
<b>Rainwater tank</b>
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 166 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:
• all toilets in the development
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>North facing</b>					
W09	2100	900	aluminium, single, clear	eave 550 mm, 600 mm above head of window or glazed door	not overshadowed
W10	2100	900	aluminium, single, clear	eave 550 mm, 600 mm above head of window or glazed door	not overshadowed
W11	1500	2100	aluminium, single, clear	eave 550 mm, 600 mm above head of window or glazed door	not overshadowed
D02	2400	4200	aluminium, single, clear	solid overhang 2700 mm, 350 mm above head of window or glazed door	not overshadowed
D03	2400	820	aluminium, single, clear	solid overhang 2700 mm, 350 mm above head of window or glazed door	not overshadowed
W12	1000	900	aluminium, single, clear	none	not overshadowed
<b>East facing</b>					
W13	600	800	aluminium, single, clear	none	not overshadowed
W05	2100	900	aluminium, single, clear	eave 650 mm, 600 mm above head of window or glazed door	not overshadowed
<b>South facing</b>					
W01	2400	1400	aluminium, single, clear	eave 770 mm, 400 mm above head of window or glazed door	not overshadowed
D01	2400	1000	timber/UPVC/fibreglass, single, clear	eave 770 mm, 400 mm above head of window or glazed door	not overshadowed
W02	2100	900	aluminium, single, clear	pergola (adjustable battens) 900 mm, 400 mm above head of window or glazed door	not overshadowed
W03	2100	900	aluminium, single, clear	pergola (adjustable battens) 900 mm, 400 mm above head of window or glazed door	not overshadowed
W04	2100	400	aluminium, single, clear	pergola (adjustable battens) 900 mm, 400 mm above head of window or glazed door	not overshadowed
W06	600	1800	aluminium, single, clear	eave 550 mm, 550 mm above head of window or glazed door	not overshadowed
<b>West facing</b>					
W07	600	1200	aluminium, single, clear	none	not overshadowed
W08	600	1200	aluminium, single, clear	none	not overshadowed

NOTE:  
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3. ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS INCLUDING BUT NOT LIMITED TO: BUILDING CODE OF AUSTRALIA NATIONAL CONSTRUCTION CODE - BCA NCC PLUMBING CODE OF AUSTRALIA (BCA NCC) AUSTRALIAN STANDARDS & OTHER REGULATORY AUTHORITIES  
4. ALL WORKS TO BE UNDERTAKEN BY LICENSED BUILDER AND SUBCONTRACTORS  
5. BUILDER TO CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK  
6. MATERIALS AND FINISHES TO BE AS SPECIFIED ON THE DRAWINGS. CHANGES PERMITTED BY OWNER APPROVAL ONLY  
7. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE STATED. WRITTEN DIMENSIONS TO BE USED. DO NOT SCALE DRAWINGS  
8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. NO PART OF THIS DRAWING MAY BE REPRODUCED WITHOUT WRITTEN CONSENT OF PREFERRED DESIGN & DRAFTING

CLIENT:  
M & S MILTON  
PROJECT:  
PROPOSED DWELLING TO FORM DUAL OCCUPANCY  
SITE ADDRESS:  
2 MEALEY ST MUDGEES  
SHEET DESCRIPTION:  
BASIX COMMITMENTS

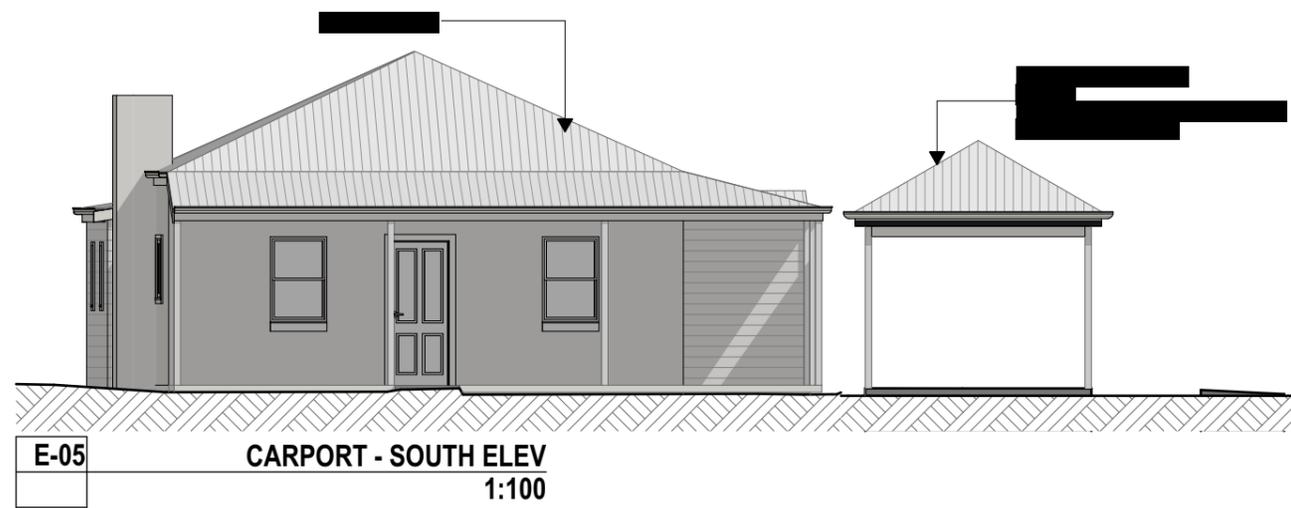
A 3.11.22 DA SUBMISSION  
REV DATE AMENDMENT  
D.P. NUMBER: 1074035  
SITE AREA: 999.31 m2  
DATE: 3.11.22  
DRAWN: M Palmer  
SCALE: 1:100, 1:200, UNO  
BUILDING CLASSIFICATION: 1a

## Preferred Design & Drafting

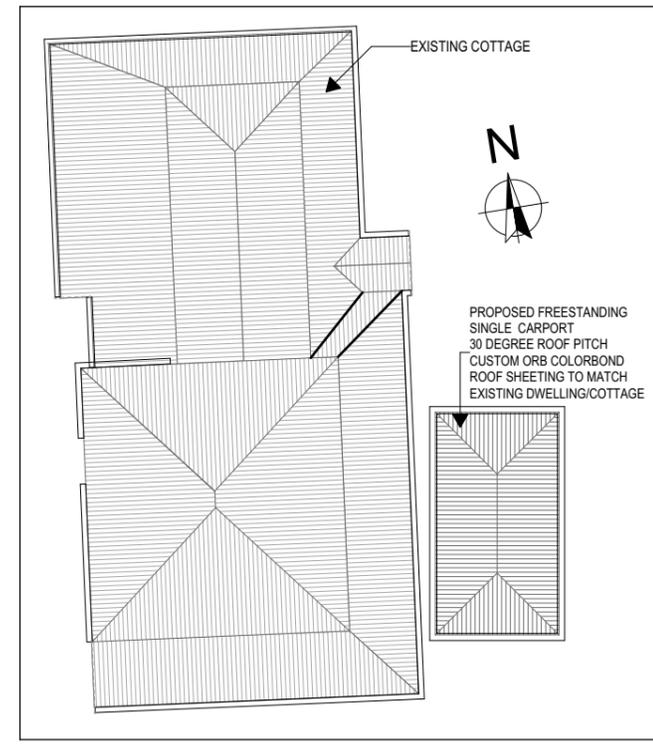
  
30 Lewis Street  
Mudgee NSW 2850  
ph: 0263724397 Mob: 0429600160  
email: marian@preferred-design.com.au



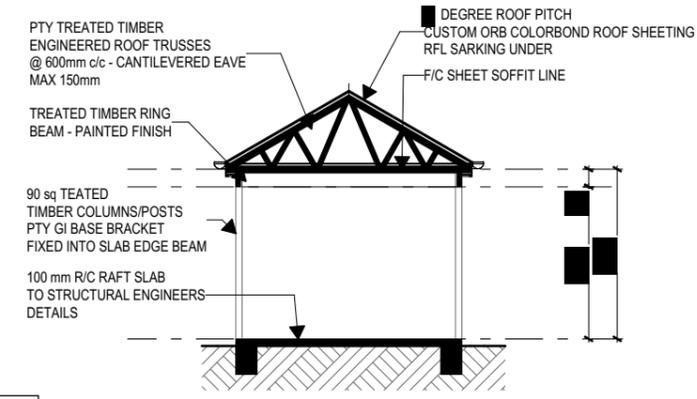
DRAWING No: PROJECT No:  
11 108.22



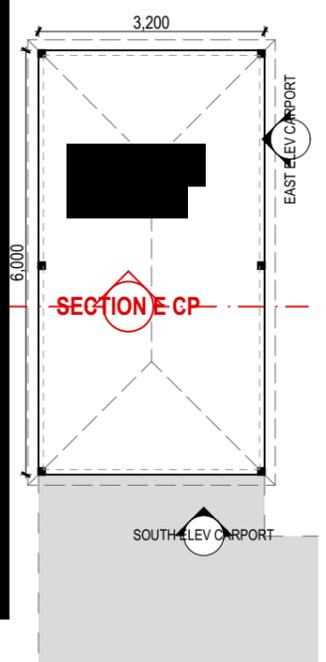
**E-05** CARPORT - SOUTH ELEV  
1:100



**1.** ROOF PLAN  
1:200



**S-05** CARPORT SECTION  
1:100



**0.** FLOOR PLAN- EXISTING DWELLING & PROPOSED CARPORT  
1:100



**E-06** CARPORT - EAST ELEV  
1:100

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DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

A	3.11.22	DA SUBMISSION
REV	DATE	AMENDMENT

**BUILDING CLASSIFICATION:** 1a  
**D.P. NUMBER:** 1074035  
**SITE AREA:** 999.31 m2  
**DATE:** 3.11.22  
**DRAWN:** M Palmer  
**SCALE:** 1:100, 1:200, UNO

**CLIENT:** M & S MILTON  
**PROJECT:** PROPOSED DWELLING TO FORM DUAL OCCUPANCY  
**SITE ADDRESS:** 2 MEALEY ST MUDGEE  
**SHEET DESCRIPTION:** EXISTING COTTAGE FLOOR PLAN & ELEVATION, CARPORT PLAN, ELEVATIONS, SECTION



**Preferred Design & Drafting**



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 email: marian@preferred-design.com.au

**DRAWING No:** 12  
**PROJECT No:** 108.22

## General Notes

**ALL WORKS** shall be carried out in accordance with the NCC Building Code of Australia, Australian Standards, Local Council requirements, guidelines and all other relevant by laws and authorities. In particular refer Australian standards:

-AS 1288 - GLASS IN BUILDINGS - SELECTION & INSTALLATION  
-AS 1562 - DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING  
-AS 1684 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION  
-AS 2047 - INSTALLATION & SELECTION OF WINDOWS  
-AS 2870 - RESIDENTIAL SLABS & FOOTINGS  
-AS 2904 - DAMP PROOF COURSES AND FLASHINGS  
-AS 3500 - PLUMBING & DRAINAGE  
-AS 3600 - CONCRETE STRUCTURES  
-AS 3660 - TERMITE MANAGEMENT  
-AS 3740 - WATERPROOFING OF DOMESTIC WET AREAS  
-AS 3786 - SMOKE ALARMS  
-AS 4055 - WIND LOADING FOR HOUSING  
-AS 4678 - EARTH RETAINING STRUCTURES  
-AS 5146 - REINFORCED AUTOCLAVED AERATED CONCRETE

### CONSULTANTS:

Drawings shall be read in conjunction with engineers drawings and computations. All structure to Engineers design. All drawings to be co-ordinated with consultant documentation prior to construction.

### DIMENSIONS:

Do not scale off drawings - use figured dimensions only. Contractor shall verify all dimensions on site prior to construction. Any discrepancies or errors shall be referred to the builder and client prior to installation or manufacture of any works. Confirm levels and RL's on site prior to commencement of work.

### SETOUT:

Contractor to confirm exact siting and orientation prior to construction setout. All building setout and confirmation of setbacks and height to be carried out by a Licensed Surveyor. No footing, or wall to encroach the title boundary.

### TERMITE PROTECTION:

Termite protection to be in accordance with A.S. 3660.1 and installed in strict accordance with current manufacturers specifications.

### STRUCTURAL STEEL:

Unless noted otherwise all exposed structural steel, anchor bolts and other attachments shall be hot dip

galvanised. A cold gal painted finish shall be applied to any field welding to existing or new steelwork. All steel work cast in concrete footings or slab shall have a bitumen finish applied to full extent of cast in concrete steel. Check all dimensions on site prior to fabrication of steelwork.

### RETAINING WALLS:

All retaining walls to pty engineered manufacturers specifications or to structural engineers details. Provide rubble backfill and agg drainage to all retaining walls. Builder to provide tanking if or where required.

### SLAB & FOOTINGS:

All footings to structural engineers details. A moisture barrier shall be installed under any habitable concrete slab to BCA, Australian Standards and manufacturer's requirements.

### ARTICULATION JOINTS:

Provide articulation joints to comply with CSR Hebel Design & Installation Specifications

### EROSION CONTROLS:

All building works to comply with local authorities Erosion and Sediment control standards.

### WATERPROOFING:

All wet areas and walls to be waterproofed in accordance with the NCC BCA Part 3.8.1 & AS 3740. Wall finishes shall be impervious to a minimum height of 1800mm above floor level to shower enclosures and minimum 150mm above basins, basins & sinks. Builder to provide certificate of installation and compliance.

### CONCEALMENT OF SERVICES:

All services shall be concealed in walls or ducts. Where services are exposed they must be confirmed and approved on site prior to installation unless noted otherwise.

### LICENSED TRADESPERSONS:

All services to be installed by licensed tradespersons in accordance with local authority and with current manufacturers specifications.

### ALL PRODUCTS:

To be installed to manufacturers requirements and to be in accordance with manufacturers requirements for suitable exposure levels.

### PROPRIETARY ITEMS:

Identification of a proprietary item does not necessarily imply exclusive preference for the item so identified, but indicates the necessary properties of the item. If alternatives are proposed, confirm selections with owner including available technical information, reasons for proposed substitutions and cost.

### TILES:

Expansion joints, walls: 5mm. Floors: 8mm. Fill both with silicone rubber. Grout for wall: Epoxy based mildew resistant. Grout for floors: prepared grout to be acid resistant. all wall tiles to have fc substrate.

### GLAZING:

Glazing shall be installed to a size,type & thickness to comply with NCC BCA Part 3.6 for Class 1 & 10 buildings within a design wind speed of not more than N3.

Safety glass to be used in the following cases:

- All rooms - within 500mm vertical of the floor
- Bathrooms - within 2000mm of the floor
- Laundry - within 1200mm vertical from floor and / or within 300mm horizontal from all doors
- Doorway - within 300mm horizontal from doors

Shower Screens shall be Grade A Safety Glass

### INTERNAL PAINTING:

Unless noted otherwise paint system to be Dulux approved 3 coat system - low sheen finish. Colours to be supplied by owner during contract and applied as per Dulux's recommendations and guidelines.

### JOINERY ITEMS SHALL INCLUDE:

Manufactured casework items, including: cabinets and cupboards.

### APPLIANCES & EQUIPMENT:

Builder to co-ordinate all appliance and equipment locations on site and with joiner. Installation and final connection by the contractor.

### DOCUMENTATION:

The contractor shall carry out works in accordance with the signed drawings and specifications and anything reasonable inferred and with the Conditions of Contract. The drawings and specifications/schedules shall be considered complementary, and any work and/or materials absent from one but present or implied in the other shall be furnished as if they were present in both.

## GENERAL NOTES CONTINUED

### FIXINGS, TIE DOWN AND BRACING:

The contractor must ensure that all fixings, brackets and the like are compatible materials prior to procurement / installation. All bracing and tie down connections are in accordance with AS1684 and any other relevant codes and legislation, and to nominated truss & frame manufacturers engineered documentation and specifications. Refer to AS1684 for the required fixing type as nominated (nominal or specific). All linings and claddings that are used for bracing purposes need to be fixed according to the manufacturer's requirements to achieve the nominated bracing requirements.

### EXISTING SITE CONDITIONS:

All existing elements have been shown indicatively. The Contractor shall inspect the site to fully understand the scope of works. Contractors are to inform themselves of existing site conditions and services.

The Contractors Tender amount shall be deemed to include the cost of dealing with existing conditions and services.

The existence of which was ascertainable from the appropriate authority, or from visual inspection on or adjacent to the site; or which are shown on the Drawings or described in the Specification.

### PRESERVATIVES AND TREATMENT:

All Structural timbers to be treated with suitable preservatives and to an appropriate hazard level for their intended environment which will meet the required design life expectancy of 50 years.

### FINAL CERTIFICATE:

At completion of work, Builder to obtain and supply an Occupation Certificate from Principal Certifying Authority.

## Excavation Notes

### FOOTING EXCAVATION:

Ensure building is correctly set-out prior to excavation. All earthworks in accordance with NCC BCA Part 3.1.1

### EXTENT:

Excavation and cut & fill as noted on the Architectural Drawings for Proposed Dwelling. Site cut & levels indicated are preliminary only and to be checked on site before work commencement. Retaining walls required.

### SITE SURFACE:

Excavate over the site to give correct levels and profiles as the basis for construction, paving, filling, landscaping and the like. Make allowance for compaction and settlement.

### FALLS:

Grade to minimum falls of 1:20 away from buildings within 1200 of building perimeter and 1:100 elsewhere unless noted otherwise. Negate surface water discharging on to neighbouring properties.

### REQUIREMENT OF DETAILED EXCAVATION:

Excavate to the Contract depths and extent necessary to accommodate all foundation elements and any formwork, blinding concrete, working spaces and waterproofing processes.

### LANDSCAPING:

Landscaping scope of works and finishes to be confirmed by client prior to final quotation

### TRIM:

Trim bottom of all excavations as necessary to attain the required levels, grades and profiles of the finished work.

### BATTERS:

In accordance with NCC BCA Part 3.1.

## Hydraulic Notes

**ALL WORKS** shall be carried out in accordance with the following requirements:

- The Plumbing and Drainage Act 2002
- AS 3500 - 2003
- The Local Authority
- Any other authority have jurisdiction over any part of the works.
- All subterranean services to be located prior to construction.

### EXISTING SITE CONDITIONS:

The Contractor shall attend to existing services. Contractors are to inform themselves of existing site conditions and plumbing services before work commencement.

### DESIGN LEVELS:

Design Levels shall be confirmed on site, prior to commencing installation of any pipework. Levels shown on drawings are recommended only. It shall be the Contractors responsibility to ensure that correct grades are attained at site.

### RAINWATER DRAINAGE:

Allow to connect all new rainwater drainage downpipes etc., to the existing stormwater drainage system.

### RAINWATER GOODS:

Refer to documentation for specification and finish. Unless otherwise noted: new roofing sheeting, ridge cappings and valley flashings shall be metal with a colorbond finish. downpipes to be metal colorbond (min 0.5mm gauge). Unless otherwise noted: new gutters, gutter spikes, barge rolls; new metal wall cladding; associated flashings and cappings shall be metal with any "colorbond" finish nominated by the Designer.

### MATERIALS:

Water services shall be in accordance with Australian Standards.

### COVER PLATES:

Provide Cover Plates at all wall & floor penetrations.

### SANITARY PLUMBING:

Sanitary plumbing shall be UPVC Class HD with solvent weld joints and shall be laid at a minimum grade of 1:80 unless noted otherwise. Connect sanitary plumbing to council sewer in accordance with authority requirements.

### INSULATION:

All hot water lines shall be fully insulated.

### DIAL BEFORE YOU DIG:

It is the contractors responsibility to contact "Dial Before You Dig" Phone 1100 for the location of existing public utilities prior to excavation.

### ENCASING OF UNDERGROUND SERVICES:

All underground water and fire services shall be encased in 100mm of sand.

## Hydraulic Notes

### AUTHORITIES FEES AND CHARGES:

The Contractor shall allow to pay all authorities fees & charges associated with new connections.

### CONTRACTOR:

To provide necessary flashings to windows and openings. Plumbing to be carried by a licenced plumber and in accordance with the requirement of local authorities. The contractor shall be responsible for all permits and approvals. All hot water lines shall be fully insulated. Sanitary Plumbing shall be connected to existing system with materials approved by the local authority. Builder and Sub-contractor to ensure all stormwater drains and sewer pipes are located at sufficient distance from any building footings and/or slab edge beams to prevent moisture penetration, dampness, weakening or undermining to the structure.

### HOT WATER SUPPLY:

All domestic hot water to basins, showers and baths to have maximum temperature of 50°C. Allow to supply and install tempering valves where required, as nominated in the NCC BCA and relevant standards

## Electrical Notes

**SUPPLY:** Electrical contractor to provide phased supply to main switchboard and assess maximum demand to AS3000.

**DISTRIBUTION BOARD:** Provide new distribution board if required. All electrical outlets shall be protected by overcurrent/earth leakage circuit breakers in accordance with Australian Standards. **WIRING:** Electrical conductors and wiring used for electrical services shall be in accordance with NCC BCA and Australian standards. All wiring shall be concealed where possible. Where exposed wiring is unavoidable, wiring must be concealed within suitable conduit.

**ARTIFICIAL LIGHTING:** Provide a system of artificial lighting to comply with AS1680 to all rooms not naturally lit.

**LIGHTING:** All luminaires shall be ceiling mounted unless otherwise required by owner. If provided, refer to the schematic electrical plan for mounting heights of exterior wall mounted luminaires and layout of luminaires as indicated on reflected ceiling drawing. All fluorescent lamps shall be cool white unless requested otherwise

**FINAL LOCATIONS:** If provided, refer to drawings for specific locations of accessories.

**ELECTRICAL INSTALLATION:** includes:

- installation of distribution switchboard (if required)
- light and power installation
- light fittings, sub circuit wiring and lighting accessories
- socket outlets, special purpose power and subcircuit cabling
- installation of circuits for air conditioning
- installation of circuits and connection of all equipment (eg kitchen equipment)
- supply and installation of new outlet + wiring to roof mounted tv antenna.

**ELECTRICAL ACCESSORIES:** includes: switches and powerpoints. unless otherwise noted all controls, switches and powerpoints shall be

"pure white ", light switches - 1200 above floor level unless noted otherwise and located as per electrical layouts

**ROOFTOP ANTENNA:** All new relevant outlets to be wired to antenna.

**NETWORK & DATA:** All phone networks and data points to be min cat6 cable connected to wall sockets. Cable runs to be concealed. If provided refer to electrical layouts for locations.

**SWITCHES:** Some light switches may require dimmers. Confirm with client prior to final quotation.

## Joinery Notes

**JOINERY ITEMS SHALL INCLUDE:** Manufactured casework items, including: cabinets and cupboards.

**APPLIANCES & EQUIPMENT:** Builder to co-ordinate all appliance and equipment locations on site and with joiner.

Installation and final connection by the contractor. Joiner to confirm all appliance and equipment tolerances and requirements in joinery prior to fabrication.

**SITE MEASURE:** All joinery to be site measured once linings are in place.

Confirm any discrepancies prior to fabrication.

## Fire Safety

**GENERAL:** Fire safety in accordance with part 3.7 of the NCC BCA

**SMOKE ALARMS:** In accordance with part 3.7.5 of the BCA & A.S 3786 to be hard wired to consumer supply. Smoke detectors to be of the type with alarms wired together and having a battery back-up

**FIRE ALARM INSTALLATION:** Install smoke detection, in the area affected by the works, to suit the requirements of AS1670 and the

BCA. Provide any additional detection to areas to allow for compliance with AS1670 and the NCC BCA.

**BUILDER:** To provide electricians installation certificate.

## Energy Efficiency

**WORKS:** In accordance with BCA Environmental guidelines.

**LUMINAIRES:** All lamps to luminaires shall be energy efficient lamps to suit specific luminaire

**EXTERNAL WALL:** In accordance with BCA Environmental guidelines. Installed as per manufacturers instructions.

All external walls to have vapour permeable sarking.

Weatherproof seals to all external doors.

**NEW ROOF:** In accordance with NCC BCA Environmental guidelines. Installed as per manufacturers instructions.

**TIMBER FLOORS:** (Where applicable) In accordance with NCC BCA Environmental guidelines.

Installed as per manufacturers instructions.

All exposed timber floors to have required insulation to underside as per Basix Certificate .

**LIGHT & VENTILATION:** In accordance with parts 3.8.4 and 3.8.5 of the NCC BCA plus relevant A.S

**SOUND:** Insulation in accordance with part 3.8.6 of the NCC BCA

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### DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

A	3.11.22	DA SUBMISSION
REV	DATE	AMENDMENT

### BUILDING CLASSIFICATION:

1a

D.P. NUMBER: 1074035  
SITE AREA: 999.31 m2  
DATE: 3.11.22  
DRAWN: M Palmer  
SCALE: 1:100, 1:200, UNO

CLIENT: M & S MILTON

PROJECT: PROPOSED DWELLING  
TO FORM DUAL OCCUPANCY

SITE ADDRESS:  
2 MEALEY ST MUDGEE

SHEET DESCRIPTION:  
GENERAL CONSTRUCTION NOTES



**Preferred Design  
& Drafting**



**bdoo**  
ACCREDITED  
BUILDING DESIGNER

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email: marian@preferred-design.com.au

DRAWING No:  
**13**

PROJECT No:  
**108.22**

## SAFE DESIGN OF STRUCTURE NOTES

THE FOLLOWING SAFETY NOTES AND GUIDELINES ARE SET OUT IN ACCORDANCE WITH THE WORK HEALTH & SAFETY ACT 2011 WORK HEALTH & SAFETY REGULATION 2011 & THE SAFE DESIGN OF STRUCTURES CODE OF PRACTICE 2012  
THE GUIDELINES CONTAIN WORK HEALTH & SAFETY INFORMATION AND MAY INCLUDE OBLIGATIONS UNDER VARIOUS LEGISLATIONS THAT WORKCOVER NSW ADMINISTERS. TO ENSURE COMPLIANCE REFERENCE TO APPROPRIATE LEGISLATION REQUIRED.

### 1. FALLS, SLIPS, TRIPS

#### a) WORKING AT HEIGHTS

##### DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

##### DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or freestyles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

##### ANCHORAGE POINTS

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

#### b) SLIPPERY OR UNEVEN SURFACES

##### FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

##### FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

##### STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

### 2. FALLING OBJECTS

#### LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

#### BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

### 3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

### 4. SERVICES

#### GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

### 5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

### 6. HAZARDOUS SUBSTANCES

#### ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - it therefore may contain asbestos

1986 - it therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

#### POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

#### TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

#### VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

#### SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

#### TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

### 7. CONFINED SPACES

#### EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

#### ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

#### SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

### 8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

### 9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

#### NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified:

This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

For non-residential buildings where the end-use is known:

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

### 10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

## THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

## THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

#### NOTE:

1. THIS DRAWING TO BE READ IN CONJUNCTION WITH SPECIFICATIONS / STRUCTURAL ENGINEER DRAWINGS / SURVEYOR AND OTHER CONSULTANT DOCUMENTATION APPLICABLE TO THIS PROJECT
2. ALL BOUNDARIES AND SITE LEVELS ARE SUBJECT TO SURVEY
3. ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS INCLUDING BUT NOT LIMITED TO:  
BUILDING CODE OF AUSTRALIA NATIONAL CONSTRUCTION CODE - BCA NCC  
PLUMBING CODE OF AUSTRALIA (BCA NCC)  
AUSTRALIAN STANDARDS & OTHER REGULATORY AUTHORITIES
4. ALL WORKS TO BE UNDERTAKEN BY LICENSED BUILDER AND LICENSED SUBCONTRACTORS
5. BUILDER TO CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK
6. MATERIALS AND FINISHES TO BE AS SPECIFIED ON THE DRAWINGS. CHANGES PERMITTED BY OWNER APPROVAL ONLY
7. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE STATED. WRITTEN DIMENSIONS TO BE USED. DO NOT SCALE DRAWINGS
8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT - NO PART OF THIS DRAWING MAY BE REPRODUCED WITHOUT WRITTEN CONSENT OF PREFERRED DESIGN & DRAFTING

#### DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

A	3.11.22	DA SUBMISSION
REV	DATE	AMENDMENT

#### BUILDING CLASSIFICATION:

1a

D.P. NUMBER: 1074035  
SITE AREA: 999.31 m2  
DATE: 3.11.22  
DRAWN: M Palmer  
SCALE: 1:100, 1:200, UNO

#### CLIENT:

M & S MILTON

#### PROJECT:

PROPOSED DWELLING

#### SITE ADDRESS:

2 MEALEY ST MUDGEE

#### SHEET DESCRIPTION:

SAFETY NOTES



## Preferred Design & Drafting



**bdoo**  
ACCREDITED  
BUILDING DESIGNER

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email: marian@preferred-design.com.au

DRAWING No:

14

PROJECT No:

108.22