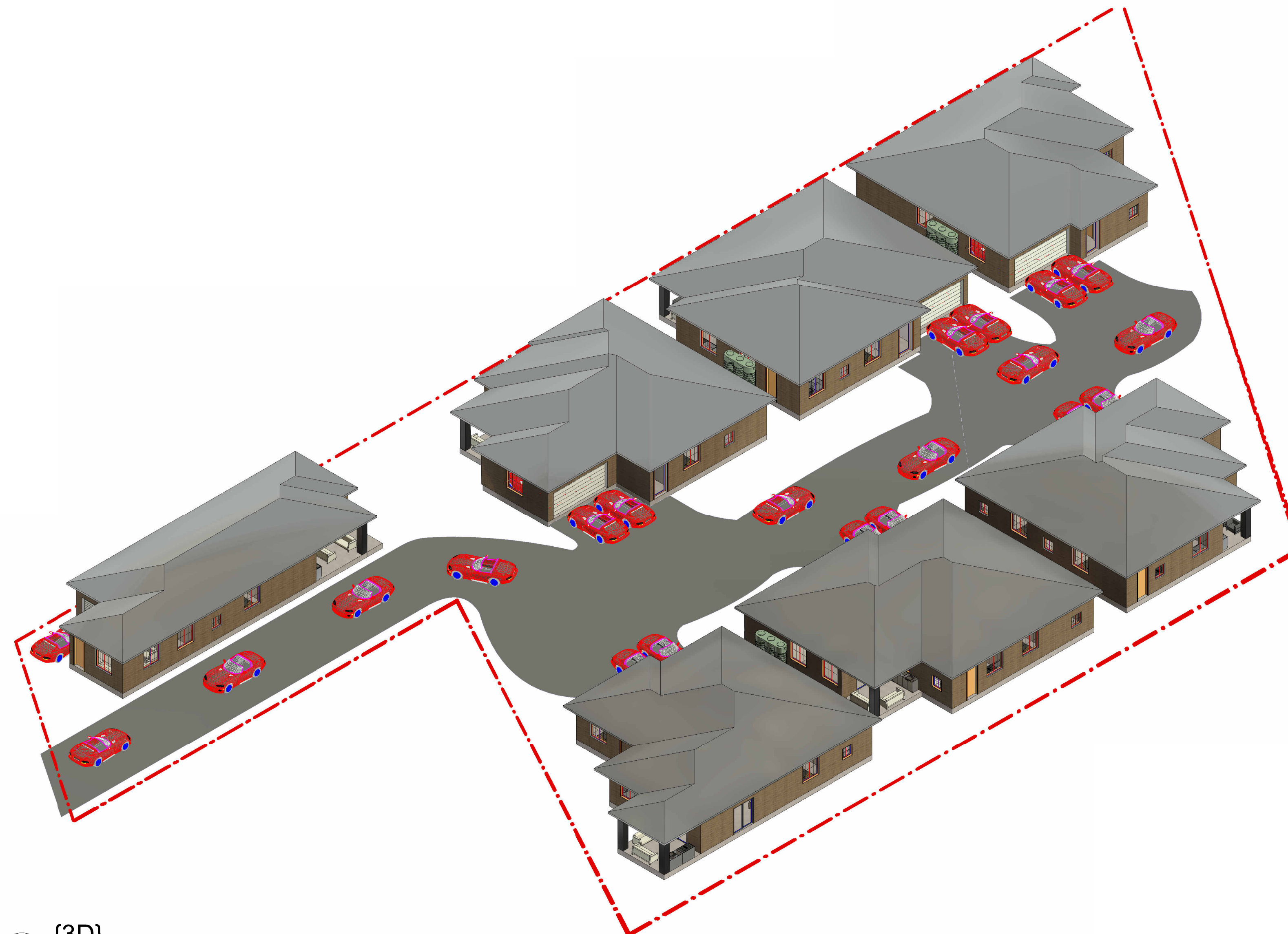


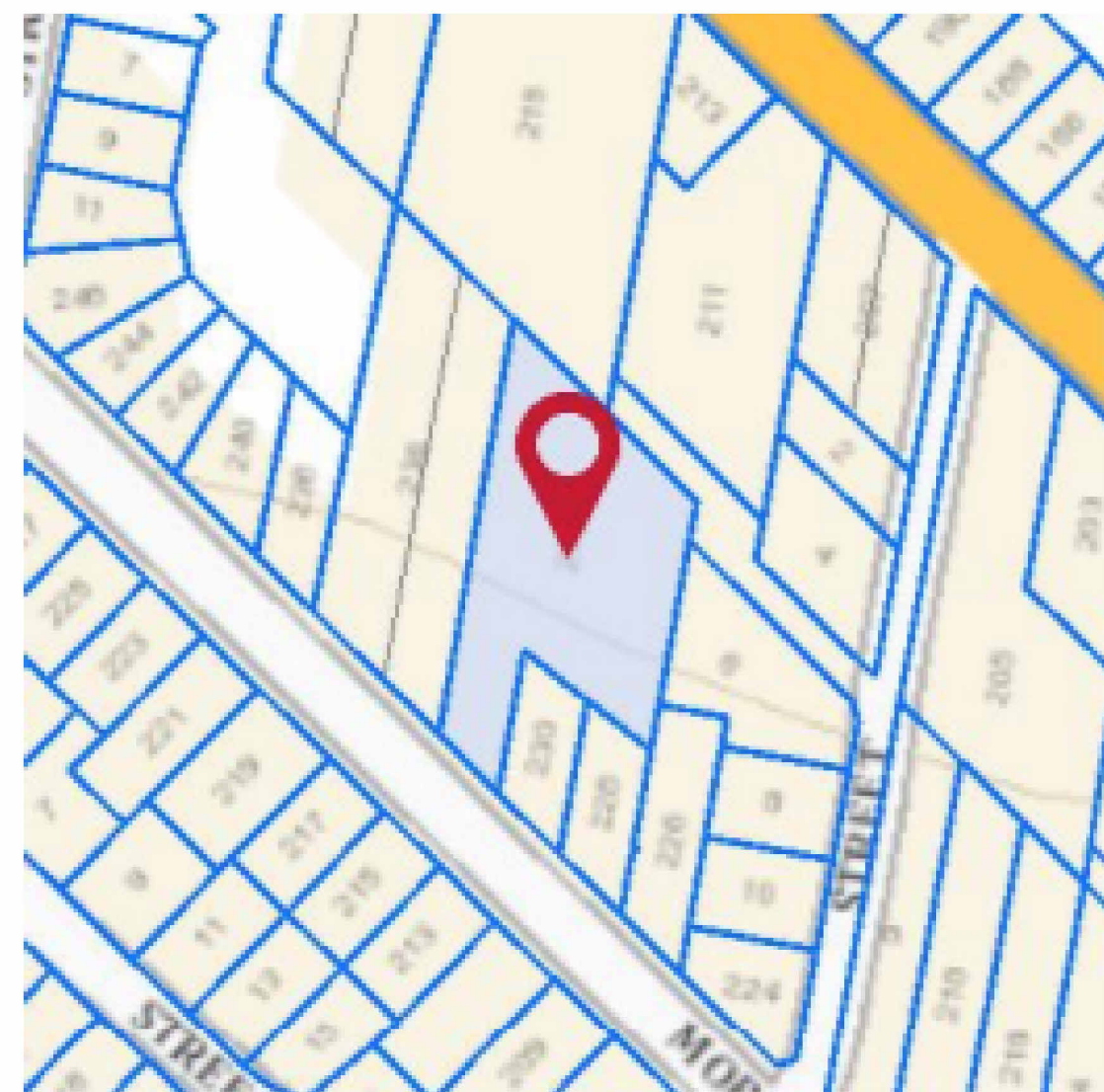
No.	Description	Date
A	Revised_Council_Letter	29/09/2022

ADAM HUGHES

232 MORTIMER ST MUDGEES



1 {3D}



**Property Details**

**Address:** 232 MORTIMER STREET MUDGEES 2850  
**Lot/Section /Plan No:** 1/-/DP865437  
**Council:** MID-WESTERN REGIONAL COUNCIL

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Sheet Number	Sheet Name	Sheet Issue Date
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DW 13	FLOOR PLAN, ELEVATIONS AND SECTIONS U7	05/07/2022
DW 15	SEDIMENT CONTROL PLAN	05/07/2022
DW 16	SHADOW DIAGRAM 9AM 21st JUNE	05/07/2022
DW 17	SHADOW DIAGRAM 12PM 21st JUNE	05/07/2022
DW 18	SHADOW DIAGRAM 3pm 21st JUNE	05/07/2022
DW 19	LANDSCAPE PLAN	05/07/2022
DW 20	NOTIFICATION PLAN	05/07/2022
DW 21	EXTERNAL FINISHES	05/07/2022

Grand total: 23

Cover Page

Project number 2022.01

Date 05/07/2022

Drawn by TR

Checked by FR

DW 00

Scale



## BCA COMPLIANCE

### Section A General Provisions

#### Vol. 2 Part 1.3, Clause 1.3.2 Classifications:

CLASS 1: One or more buildings which in association constitute -

- Class 1A - A single dwelling, being -
  - a detached house, or
  - one or more attached dwellings, each being a building, separated by a fire-resisting wall, including a row house, terrace house, town house or villa unit;

CLASS 10: A non-habitable building being a private garage, carport, shed, or the like.

#### Section C Fire Separation

##### Part 3.7.1 Fire Separation

3.7.1.1 Application Compliance with this Part satisfies Performance Requirement P2.3.1 for fire separation.

##### 3.7.1.2 General Concession - Non-combustible materials

The following materials, though combustible or containing combustible fibres, may be used wherever a non-combustible is required in the Housing Provisions:

- plasterboard, and
- perforated gypsum lath with a normal paper finish, and
- fibrous-plaster sheet, and
- fire-reinforced cement sheeting, and
- pre-finished metal sheeting having a combustible surface finish not exceeding 1mm thick and where the Spread-of-Flame Index of the product is not more than 0; and
- bonded laminated materials, where -
  - each laminate is non-combustible; and
  - each adhesive layer is not more than 1mm thick; and
  - the total thickness of adhesive layers is not more than 2mm; and
  - the Spread-of-Flame Index and the Smoke-Development Index of the laminated material as a whole does not exceed 0 and 3 respectively.

##### 3.7.1.3 External Walls of Class 1 buildings An external wall of a Class 1 building and any openings in that wall must comply with 3.7.1.5, if the wall is less than-

- 900mm from the allotment boundary other than the boundary adjoining a road alignment or other public space; or
- 1.8m from another building on the same allotment other than appurtenant Class 10 building or a detached part of the same Class 1 building.

##### 3.7.1.4 Measurement of distances

- The distance from any point on an external wall of a building to an allotment boundary or another building is the distance to that point measured along a line at right angles from the allotment boundary or external wall of the other building which intersects that point without obstruction by a wall complying with 3.7.1.5.
- Where a wall within a specified distance is required to be constructed in a certain manner, only that part of the wall, (including any openings) within the specified distance, must be constructed in that manner.

##### 3.7.1.5 Construction of External Walls

(a) External walls (including gables) required to be fire-resisting [Referred to in 3.7.1.3 or 3.7.1.6] must extend to the underside of a non-combustible roof covering or non-combustible eaves lining, and must-

- have an FRL of not less than 60/60/60 when tested from the outside; or
  - be of masonry-veneer construction in which the external masonry veneer is not less than 90mm thick; or
  - be of masonry construction not less than 90mm thick.
- (b) Openings in external walls required to be fire-resisting [referred to in 3.7.1.3 or 3.7.1.6] must be protected by-
- non-operable fire-windows or other construction with an FRL of not less than  $\frac{60}{60}$ ; or
  - self-closing solid-core doors not less than 35mm thick.
- (c) Sub-floor vents, roof vents, weep holes and penetrations for pipes, conduits and the like need not comply with (b) above.
- (d) Concessions for non-habitable room windows, conduits and the like- Despite the requirements in (b), in a non-habitable room a window that faces the boundary of an adjoining allotment may be not less than 600mm from that boundary, or, where the building faces another building on the same allotment, not less than 1.2m from that building; providing that-
- in a bathroom, laundry or toilet, the opening has an area of not more than 1.2sqm; or
  - in a room other than referred to in (i), opening has an area of not more than 0.54sqm; and-
- (A) the window is steel-framed, there are no opening sashes and it is glazed in wire glass; or
- (B) the opening is enclosed with hollow glass blocks.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES ( But is not limited to): OWNER,BUILDER,SUB-CONTACTORS,CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINORS, DEMOLISHERS.

## BUILDING DESIGN SAFETY REPORT

### 1. FALLS, SLIPS, TRIPS

#### a) WORKING AT HEIGHTS DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

#### DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

#### b) SLIPPERY OR UNEVEN SURFACES

##### FLOOR FINISHES By Owner

Designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

#### STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

#### 2. FALLING OBJECTS

##### LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below:

- Prevent or restrict access to areas below where the work is being carried out.
  - Provide toeboards to scaffolding or work platforms.
  - Provide protective structure below the work area.
  - Ensure that all persons below the work area have Personal Protective Equipment (PPE).
- During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

##### BUILDING COMPONENTS

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted

#### 3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

#### 4. SERVICES

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power: Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

### 5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag.

All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

### 6. HAZARDOUS SUBSTANCES

#### ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

- 1990 - it therefore may contain asbestos
- 1986 - it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

#### POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

#### TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

#### VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

#### SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

#### TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

#### 7. CONFINED SPACES

##### EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

##### ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

##### SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

#### 8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

#### 9. OPERATIONAL USE OF BUILDING

##### RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

All electrical work should be carried out in accordance with code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

#### 10. OTHER HIGH RISK ACTIVITY

All work should be carried out in accordance with code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.



DESCON  
Design & Construction

Ph: 0466 999 428

Email : pioneer\_43@hotmail.com



All Dimensions in Millimeters unless otherwise stated.

Contractor to check all dimensions prior to commencement of work.

Written dimensions take precedence over scale.

DO NOT SCALE FROM DRAWING

No.	Description	Date

ADAM HUGHES

ADAM HUGHES

232 MORTIMER ST MUDGEE

232 MORTIMER ST MUDGEE 2850

CC NOTES

Project number 2022.01

Date 05/07/2022

Drawn by TR

Checked by FR

DW 01

Scale

12/10/2022 1:45:33 PM





Existing House and Shed  
to be Demolished to Make Good

## Demolition Plan



**GENERAL NOTES:**

1. Figured Dimensions shall be taken in preference to scaling.
2. Check all Dimensions and Levels on site before commencing work or ordering materials.
3. All Existing Ground Lines and tree locations are approximate, therefore to be verified on-site by the builder.
4. Any discrepancies to be reported to Descon Design before proceeding.
5. All Workmanship and materials shall comply with all the relevant codes and Australian Standards.
6. All Plans are copyright work of Descon Design.

No.	Description	Date

Client Name     **ADAM HUGHES**  
 Client Address   **232 MORTIMER ST  
 MUDGEES NSW 2850**

**Demolition Plan**

Project number	2022.01
Date	05/07/2022
Drawn by	TR
Checked by	FR

DW 02

Scale



















Door Schedule				
Mark	Width	Height	Level	Unit

1	920	2340	Ground Floor	1
2	2435	1981	Ground Floor	1
3	920	2340	Ground Floor	1
4	920	2340	Ground Floor	1
5	920	2340	Ground Floor	1
6	920	2340	Ground Floor	1
7	920	2340	Ground Floor	1
8	920	2340	Ground Floor	1
9	920	2340	Ground Floor	1
10	920	2340	Ground Floor	1
11	1800	2040	Ground Floor	1
12	5000	2100	Ground Floor	2
13	1200	2340	Ground Floor	2
14	920	2340	Ground Floor	2
15	1800	2040	Ground Floor	2
16	920	2340	Ground Floor	2
17	920	2340	Ground Floor	2
18	920	2340	Ground Floor	2
19	920	2340	Ground Floor	2
20	920	2340	Ground Floor	2
21	920	2340	Ground Floor	2
22	920	2340	Ground Floor	2
23	920	2340	Ground Floor	2
24	920	2340	Ground Floor	2
25	1200	2340	Ground Floor	3
26	5000	2100	Ground Floor	3
27	920	2340	Ground Floor	3
28	920	2340	Ground Floor	3
29	920	2340	Ground Floor	3
30	920	2340	Ground Floor	3
31	920	2340	Ground Floor	3
32	920	2340	Ground Floor	3
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34	720	2040	Ground Floor	3
35	920	2340	Ground Floor	3
36	920	2340	Ground Floor	3
37	1800	2040	Ground Floor	3
38	1200	2340	Ground Floor	4
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49	920	2340	Ground Floor	4
50	1450	2040	Ground Floor	4
51	1800	2040	Ground Floor	4
52	1200	2340	Ground Floor	5
53	5000	2100	Ground Floor	5
54	920	2340	Ground Floor	5
55	920	2340	Ground Floor	5
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63	920	2340	Ground Floor	5
64	1800	2040	Ground Floor	5
65	1200	2340	Ground Floor	6
66	5000	2100	Ground Floor	6
67	920	2340	Ground Floor	6
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69	920	2340	Ground Floor	6
70	920	2340	Ground Floor	6
71	920	2340	Ground Floor	6
72	920	2340	Ground Floor	6
73	920	2340	Ground Floor	6
74	1800	2040	Ground Floor	6
75	920	2340	Ground Floor	6
76	920	2340	Ground Floor	6
77	920	2340	Ground Floor	6
78	1200	2340	Ground Floor	7
79	5000	2100	Ground Floor	7
80	920	2340	Ground Floor	7
81	920	2340	Ground Floor	7
82	920	2340	Ground Floor	7
83	920	2340	Ground Floor	7
84	1800	2040	Ground Floor	7
85	1800	2040	Ground Floor	7
86	920	2340	Ground Floor	7
87	920	2340	Ground Floor	7
88	920	2340	Ground Floor	7
89	920	2340	Ground Floor	7

Ground Floor: 89  
Grand total: 89

Window Schedule				
Mark	Width	Height	Level	UNIT

1	1500	1500	Ground Floor	1
2	1500	1500	Ground Floor	1
3	1500	1500	Ground Floor	1
4	900	900	Ground Floor	1
5	1500	1500	Ground Floor	1
6	1500	1500	Ground Floor	1
7	1500	1500	Ground Floor	1
8	1500	1500	Ground Floor	1
9	900	900	Ground Floor	1
10	900	900	Ground Floor	1
11	1500	1500	Ground Floor	1
12	1500	1500	Ground Floor	1
13	1500	1500	Ground Floor	2
14	900	900	Ground Floor	2
15	900	900	Ground Floor	2
16	1500	1500	Ground Floor	2
17	900	900	Ground Floor	2
18	1500	1500	Ground Floor	2
19	1500	1500	Ground Floor	2
20	1500	1500	Ground Floor	2
21	1500	1500	Ground Floor	2
22	1500	1500	Ground Floor	2
23	1500	1500	Ground Floor	3
24	900	900	Ground Floor	3
25	1500	1500	Ground Floor	3
26	1500	1500	Ground Floor	3
27	1500	1500	Ground Floor	3
28	1500	1500	Ground Floor	3
29	900	900	Ground Floor	3
30	900	900	Ground Floor	3
31	1500	1500	Ground Floor	3
32	1500	1500	Ground Floor	3
33	900	900	Ground Floor	4
34	1500	1500	Ground Floor	4
35	1500	1500	Ground Floor	4
36	900	900	Ground Floor	4
37	1500	1500	Ground Floor	4
38	1500	1500	Ground Floor	4
39	1500	1500	Ground Floor	4
40	900	900	Ground Floor	4
41	1500	1500	Ground Floor	4
42	1500	1500	Ground Floor	5
43	900	900	Ground Floor	5
44	900	900	Ground Floor	5
45	1500	1500	Ground Floor	5
46	900	900	Ground Floor	5
47	1500	1500	Ground Floor	5
48	900	900	Ground Floor	5
49	1500	1500	Ground Floor	5
50	1500	1500	Ground Floor	5
51	1500	1500	Ground Floor	5
52	1500	1500	Ground Floor	6
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54	1500	1500	Ground Floor	6
55	1500	1500	Ground Floor	6
56	1500	1500	Ground Floor	6
57	900	900	Ground Floor	6
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63	1500	1500	Ground Floor	6
64	1500	1500	Ground Floor	6
65	1500	1500	Ground Floor	7
66	900	900	Ground Floor	7
67	1500	1500	Ground Floor	7
68	1500	1500	Ground Floor	7
69	900	900	Ground Floor	7
70	900	900	Ground Floor	7
71	1500	1500	Ground Floor	7
72	1500	1500	Ground Floor	7
73	1500	1500	Ground Floor	7

Grand total: 73

1 Ground Floor  
1 : 200

UNIT 4  
SITE AREA  
474.59m<sup>2</sup>

UNIT 3  
SITE AREA  
451.94m<sup>2</sup>

UNIT 2  
SITE AREA  
451.94m<sup>2</sup>

DW 20 5

DW 06.1 2

UNIT  
SITE AREA  
381.8

1Mx1M Space for 6 Letter Boxes  
for Unit2 to unit7

- ALFRESCO
- BATH 1
- BATH 2
- BATH 3
- BATH 4
- BED 1
- BED 2
- BED 3
- GARAGE
- KITCHEN / DINING
- KITCHEN / LIVING
- LIVING
- LIVING/KITCHEN
- LNDRY
- PNTRY



No.	Description	Date
A	Revised_Council_Letter	29/09/2022

ADAM HUGHES

232 MORTIMER  
ST MUDGEE

GROUND FLOOR PLAN

Project number 2022.01

Date 05/07/2022

Drawn by TR

Checked by FR

DW 06

Scale 1 : 200

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No.	Description	Date
A	Revised_Council_Letter	29/09/2022

ADAM HUGHES

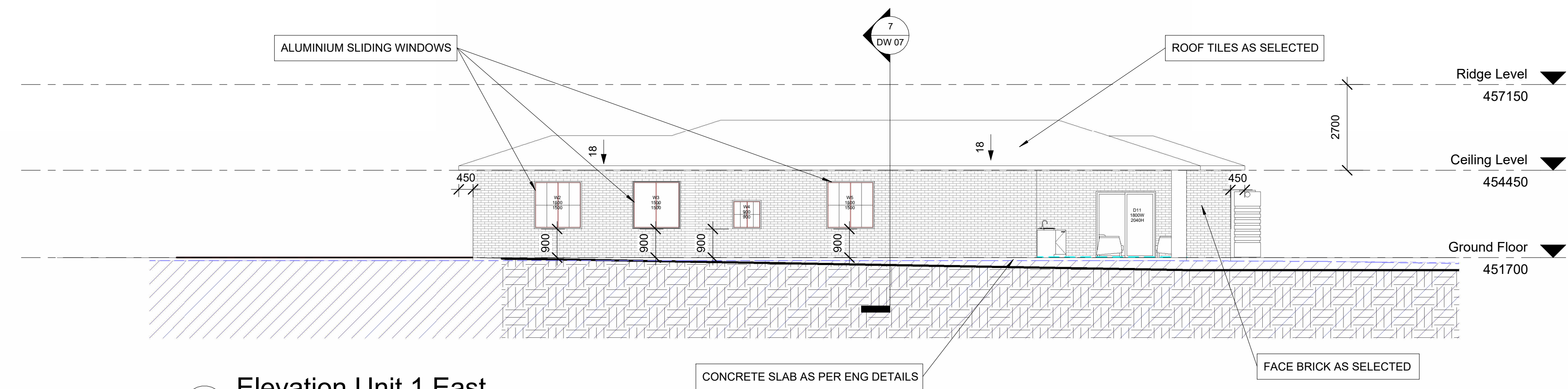
232 MORTIMER ST  
MUDGEE

FLOOR PLAN,  
ELEVATIONS AND  
SECTIONS U1

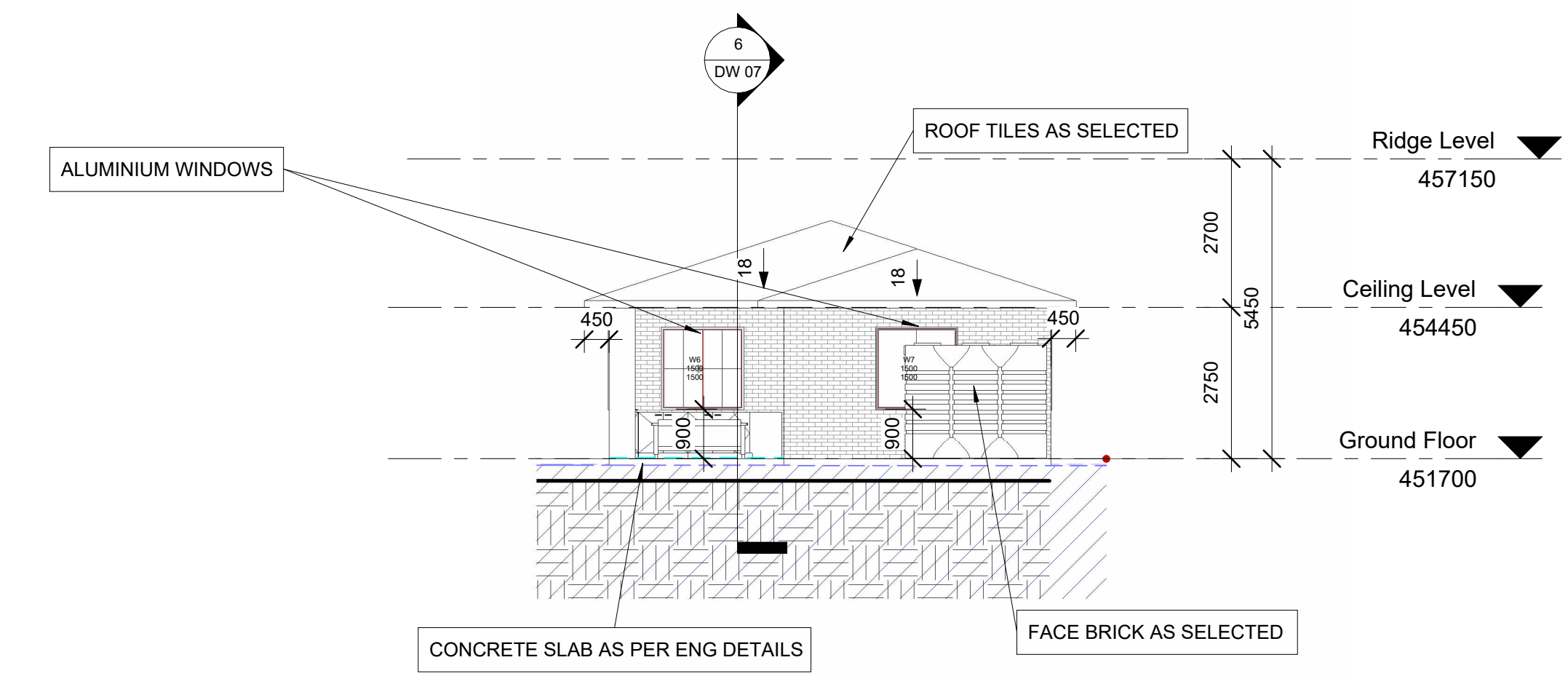
Project number	2022.01
Date	05/07/2022
Drawn by	TR
Checked by	FR

DW 07

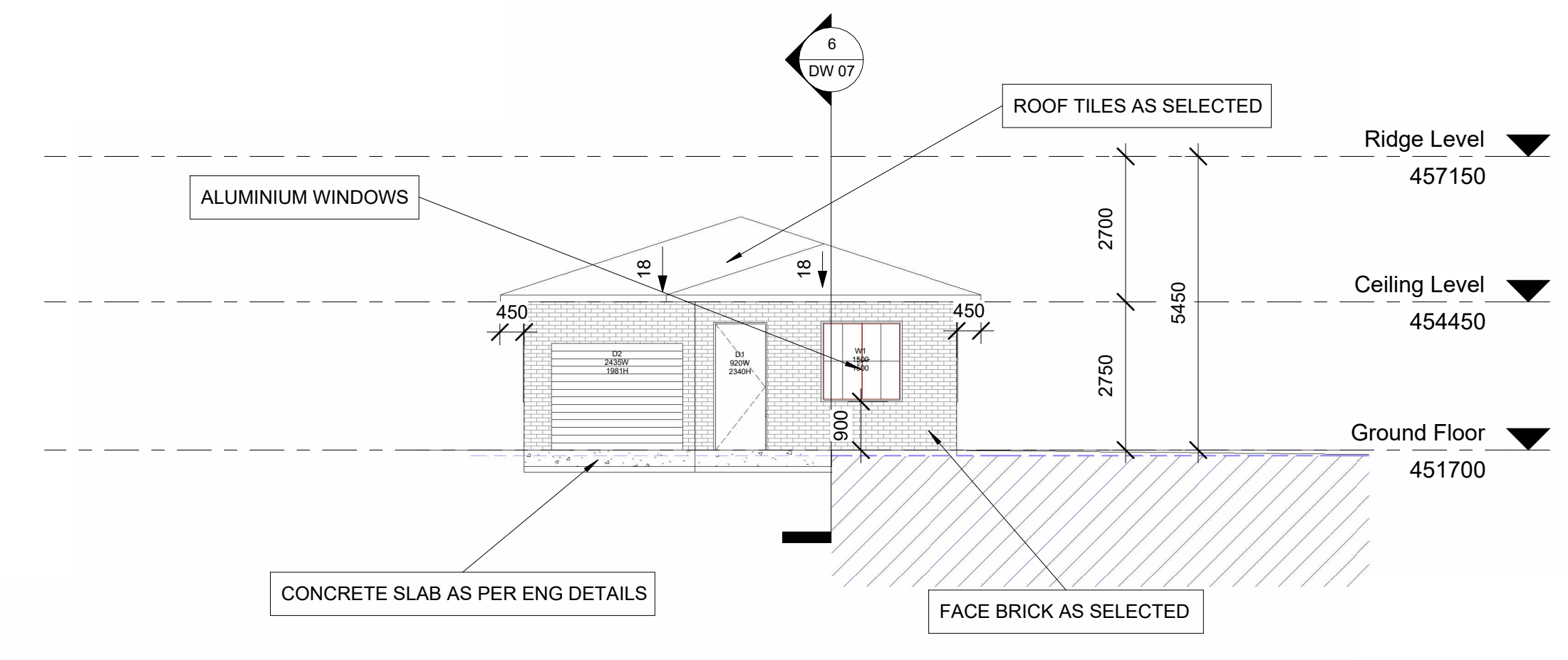
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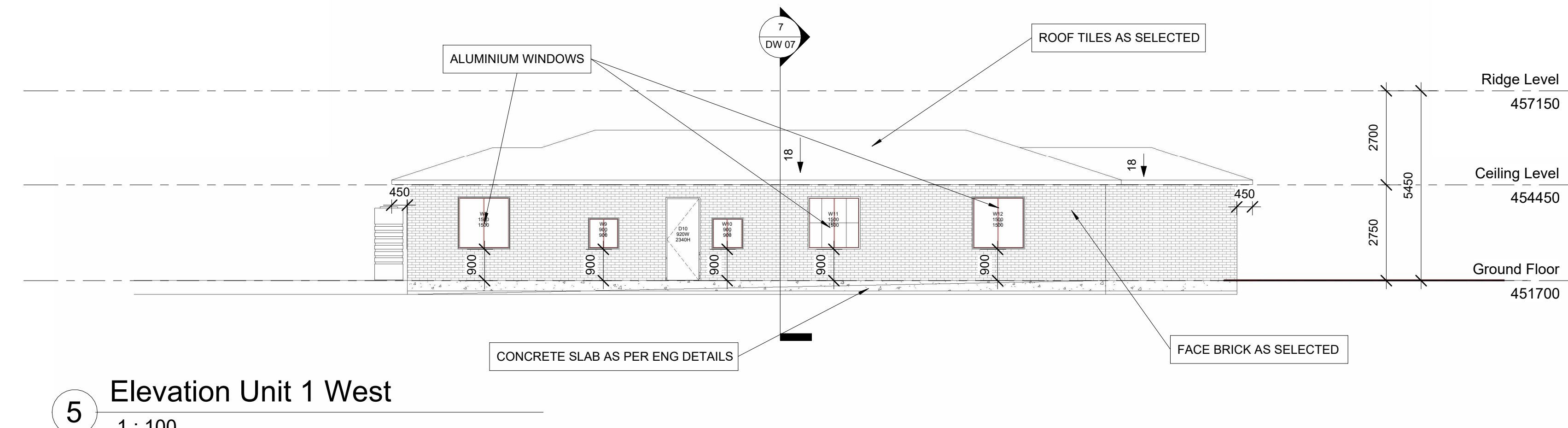
2 Elevation Unit 1 East  
1 : 100



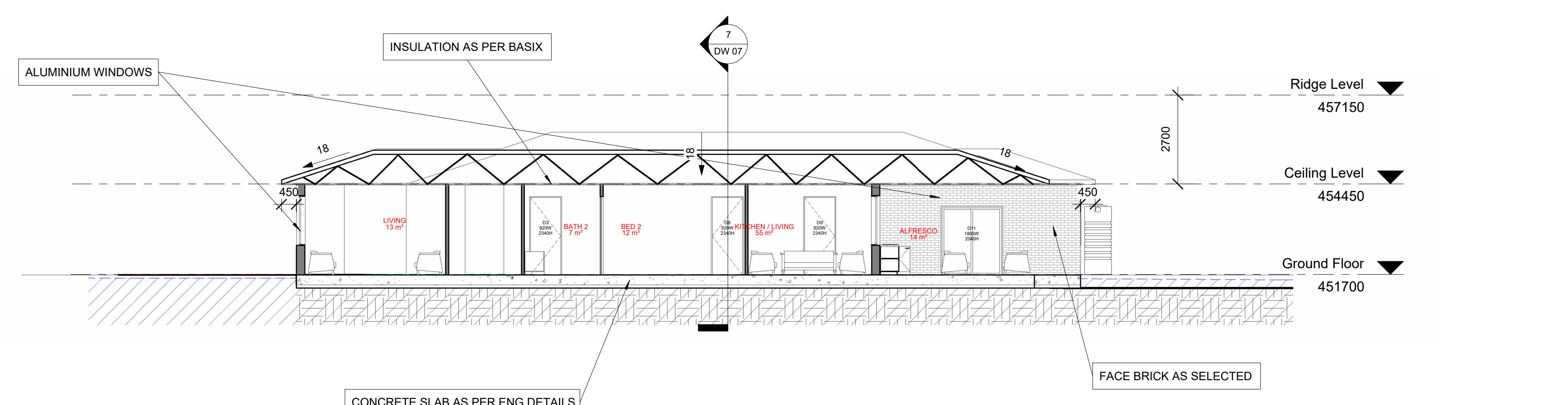
3 Elevation Unit 1 North  
1 : 100



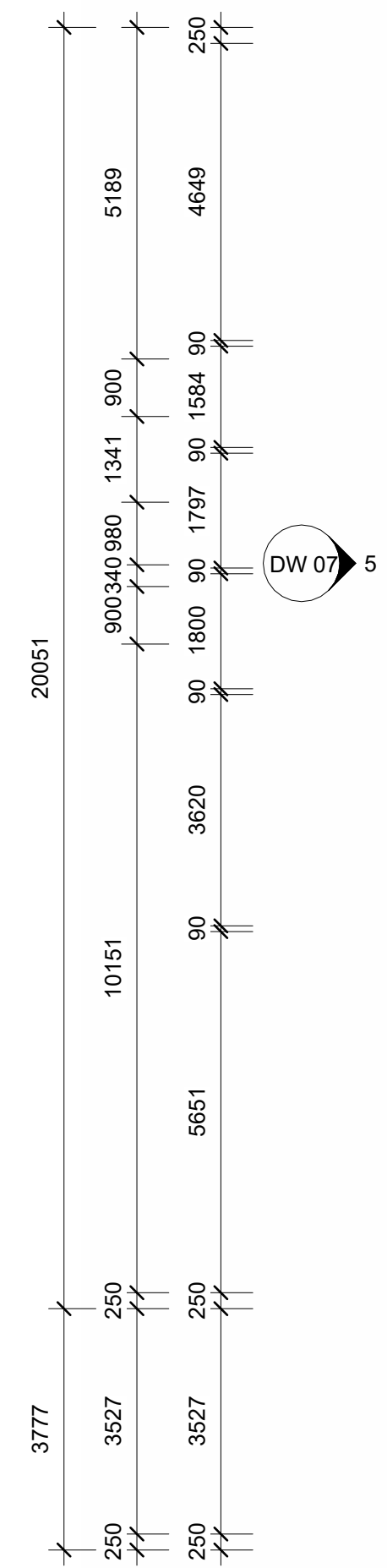
4 Elevation Unit 1 South  
1 : 100



5 Elevation Unit 1 West  
1 : 100



6 Section Unit 1 AA  
1 : 100



1 Ground Floor Unit 1  
1 : 100



7 Section Unit 1 BB  
1 : 100

**TOTAL SITE AREA**

**UNIT 1**

SITE	381.83m <sup>2</sup>
GROUND FLOOR	139.821m <sup>2</sup>
GARAGE	20.48m <sup>2</sup>
ALFRESCO	14m <sup>2</sup>
LANDSCAPE	176.9m <sup>2</sup>
POS	47.60m <sup>2</sup>

- ALFRESCO
- BATH 2
- BED 1
- BED 2
- GARAGE
- KITCHEN / LIVING
- LIVING
- LNDRY
- PNTRY
- STUDY ROOM

**Window Schedule**

Mark	Width	Height	Level	UNIT
1	1500	1500	Ground Floor	1
2	1500	1500	Ground Floor	1
3	1500	1500	Ground Floor	1
4	900	900	Ground Floor	1
5	1500	1500	Ground Floor	1
6	1500	1500	Ground Floor	1
7	1500	1500	Ground Floor	1
8	1500	1500	Ground Floor	1
9	900	900	Ground Floor	1
10	900	900	Ground Floor	1
11	1500	1500	Ground Floor	1
12	1500	1500	Ground Floor	1

**Door Schedule**

Mark	Width	Height	Level	Unit
1	920	2340	Ground Floor	1
2	2435	1981	Ground Floor	1
3	920	2340	Ground Floor	1
4	920	2340	Ground Floor	1
5	920	2340	Ground Floor	1
6	920	2340	Ground Floor	1
7	920	2340	Ground Floor	1
8	920	2340	Ground Floor	1
9	920	2340	Ground Floor	1
10	920	2340	Ground Floor	1
11	1800	2040	Ground Floor	1

**Basix-Commitments**  
for details: See the Basix certificate!

**Alternative water**  
The applicant must install a rainwater tank of at least 3000 litres.  
The rainwater tank to collect rain runoff from at least 215 m<sup>2</sup> of the roof  
The applicant must connect the rainwater tank to:  
• the cold water tap that supplies each clothes washer  
• at least one outdoor tap in the development

**Fixtures**  
• Shower heads ..... 4 star (> 6.0 but <= 7.5 L/min)  
• Toilets ..... 6 star  
• Kitchen tap ..... 6 star  
• Basin Taps ..... 6 star  
Hot Water System: gas instantaneous with a performance of 6.0 stars / or a system with a higher energy rating/  
Heating/Cooling: In at least 1 living area and 1 bedroom:  
3-phase Air-conditioning; Energy rating: EER 2.5 - 3.0 (Zoned)  
Ventilation  
• At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off  
• Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off  
• Laundry: natural ventilation only, or no laundry; Operation control: n/a  
Natural lighting  
• The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.  
• The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting. Artificial lighting fluorescent or (LED)/DEDICATED/  
• 4 in the bedrooms/study.  
• 4 in the living.  
• The kitchen, Bathroom, Laundry and ALL Hallways  
OTHER  
• The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.  
• The applicant must install a fixed outdoor clothes drying line as part of the development.

































DESCON

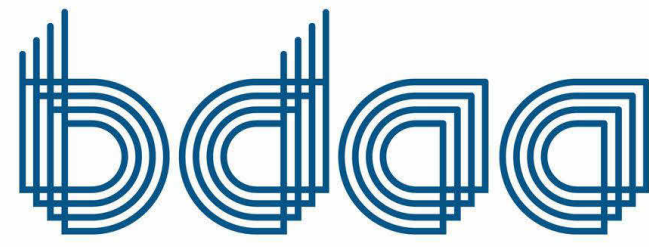
Design & Construction

DESCON AUSTRALIA PTY LTD

ABN: 35 621 059 765

Ph:0466 999 428

Email:pioneer\_43@hotmail.com



ACCREDITED  
BUILDING DESIGNER

No.	Description	Date
A	Revised_Council_Letter	29/09/2022

ADAM HUGHES

232 MORTIMER  
ST MUDGEE

SHADOW DIAGRAM 9AM  
21st JUNE

Project number 2022.01

Date 05/07/2022

Drawn by TR

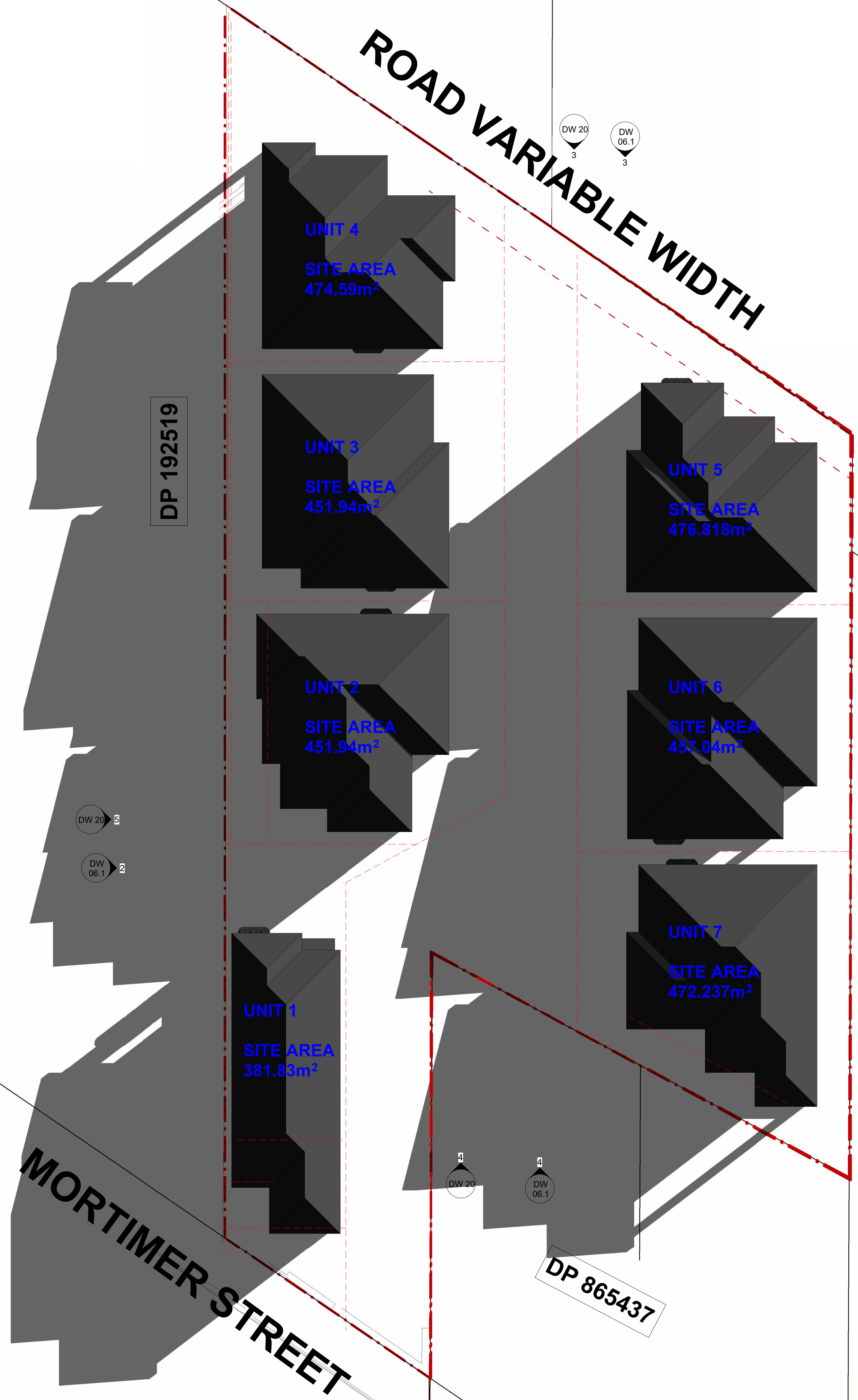
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DW 16

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12/10/2022 1:47:40 PM

ROAD VARIABLE WIDTH



DP 192519

TRUE NORTH  
D.P 38724

132  
DP 1201519

131  
DP 1201519

DP 865437

MORTIMER STREET

1 9AM 21st June  
1 : 200





DESCON

Design & Construction

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Email:pioneer\_43@hotmail.com



ACCREDITED  
BUILDING DESIGNER

No.	Description	Date
A	Revised_Council_Letter	29/09/2022

ADAM HUGHES

232 MORTIMER  
ST MUDGEE

SHADOW DIAGRAM 12PM  
21st JUNE

Project number 2022.01

Date 05/07/2022

Drawn by TR

Checked by FR

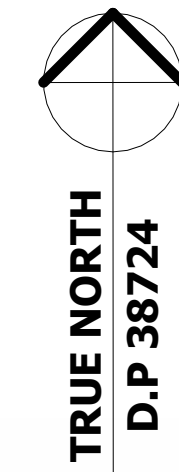
DW 17

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12/10/2022 1:47:44 PM

ROAD VARIABLE WIDTH

DP 192519



132  
DP 1201519

131  
DP 1201519

DP 865437

UNIT 4

SITE AREA  
474.59m<sup>2</sup>

UNIT 3

SITE AREA  
451.94m<sup>2</sup>

UNIT 2

SITE AREA  
451.94m<sup>2</sup>

UNIT 1

SITE AREA  
381.83m<sup>2</sup>

UNIT 5

SITE AREA  
476.818m<sup>2</sup>

UNIT 6

SITE AREA  
457.04m<sup>2</sup>

UNIT 7

SITE AREA  
472.237m<sup>2</sup>

12PM 21st June

1 : 200

MORTIMER STREET





DESCON

Design & Construction

DESCON AUSTRALIA PTY LTD

ABN: 35 621 059 765

Ph:0466 999 428

Email:pioneer\_43@hotmail.com



ACCREDITED  
BUILDING DESIGNER

No.	Description	Date
A	Revised_Council_Letter	29/09/2022

ADAM HUGHES

232 MORTIMER  
ST MUDGEE

SHADOW DIAGRAM 3pm  
21st JUNE

Project number 2022.01

Date 05/07/2022

Drawn by TR

Checked by FR

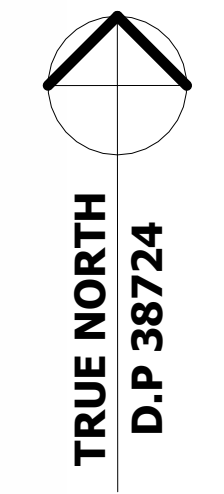
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12/10/2022 1:47:48 PM

ROAD VARIABLE WIDTH

DP 192519



132  
DP 1201519

131  
DP 1201519

DP 865437

UNIT 4  
SITE AREA  
474.59m<sup>2</sup>

UNIT 3  
SITE AREA  
451.94m<sup>2</sup>

UNIT 2  
SITE AREA  
451.94m<sup>2</sup>

UNIT 1  
SITE AREA  
381.83m<sup>2</sup>

UNIT 5  
SITE AREA  
476.818m<sup>2</sup>

UNIT 6  
SITE AREA  
457.04m<sup>2</sup>

UNIT 7  
SITE AREA  
472.237m<sup>2</sup>

1 3PM 21st June  
1 : 200

MORTIMER STREET













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Design & Construction

DESCON AUSTRALIA PTY LTD

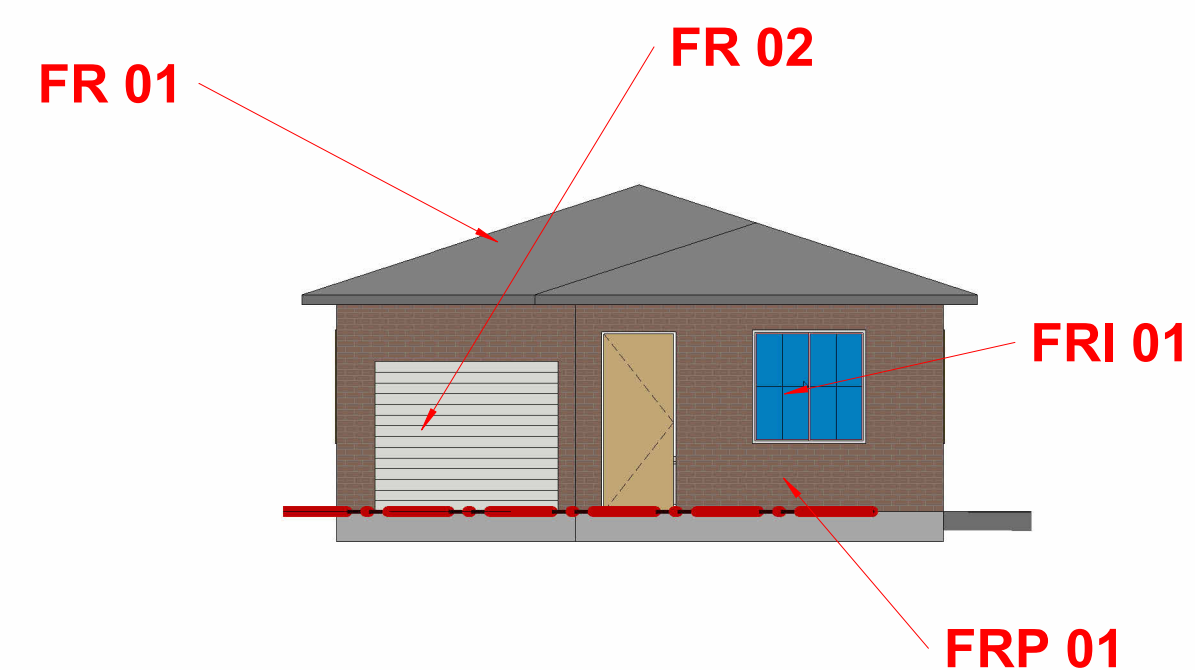
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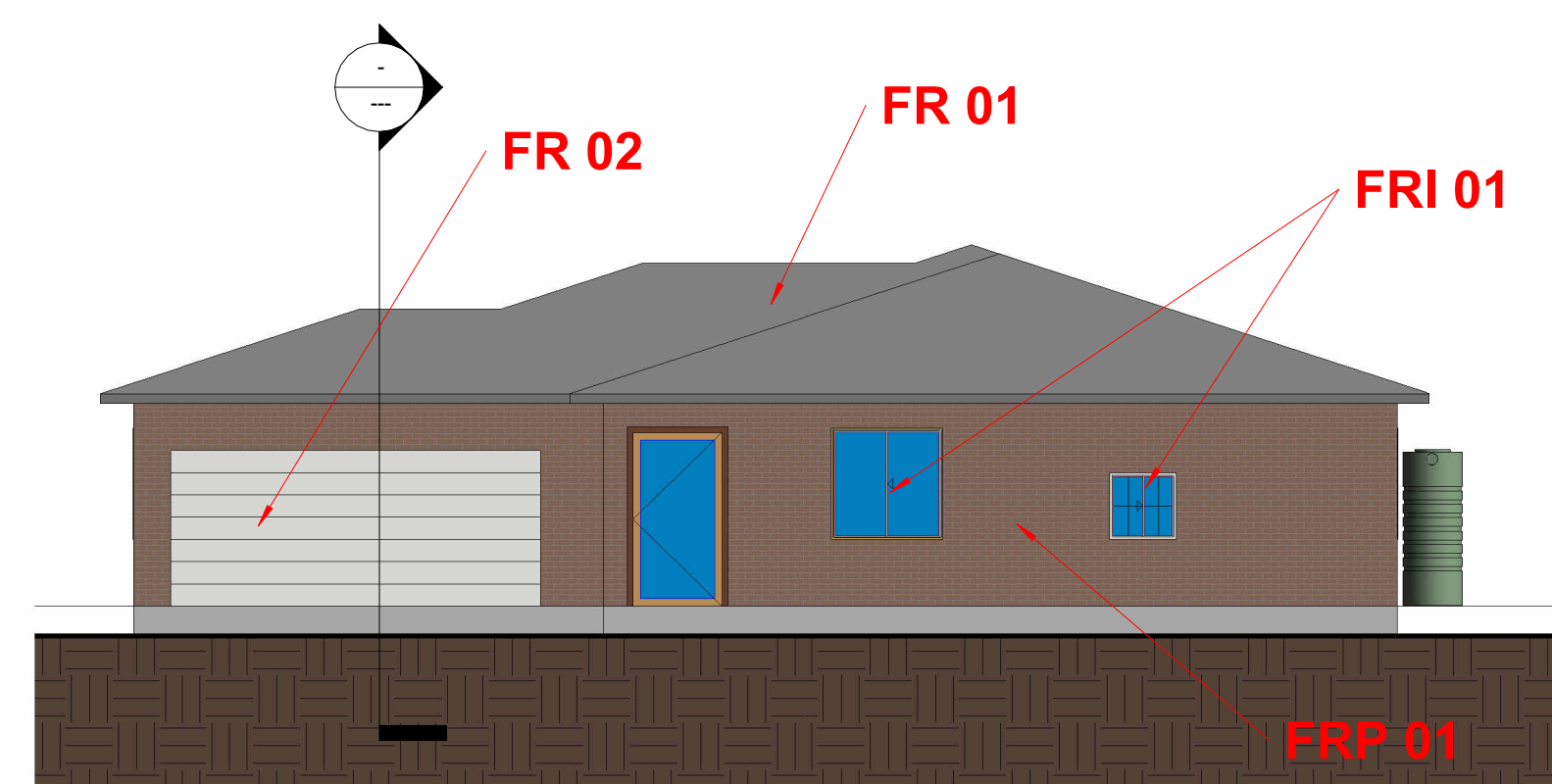
Email:pioneer\_43@hotmail.com



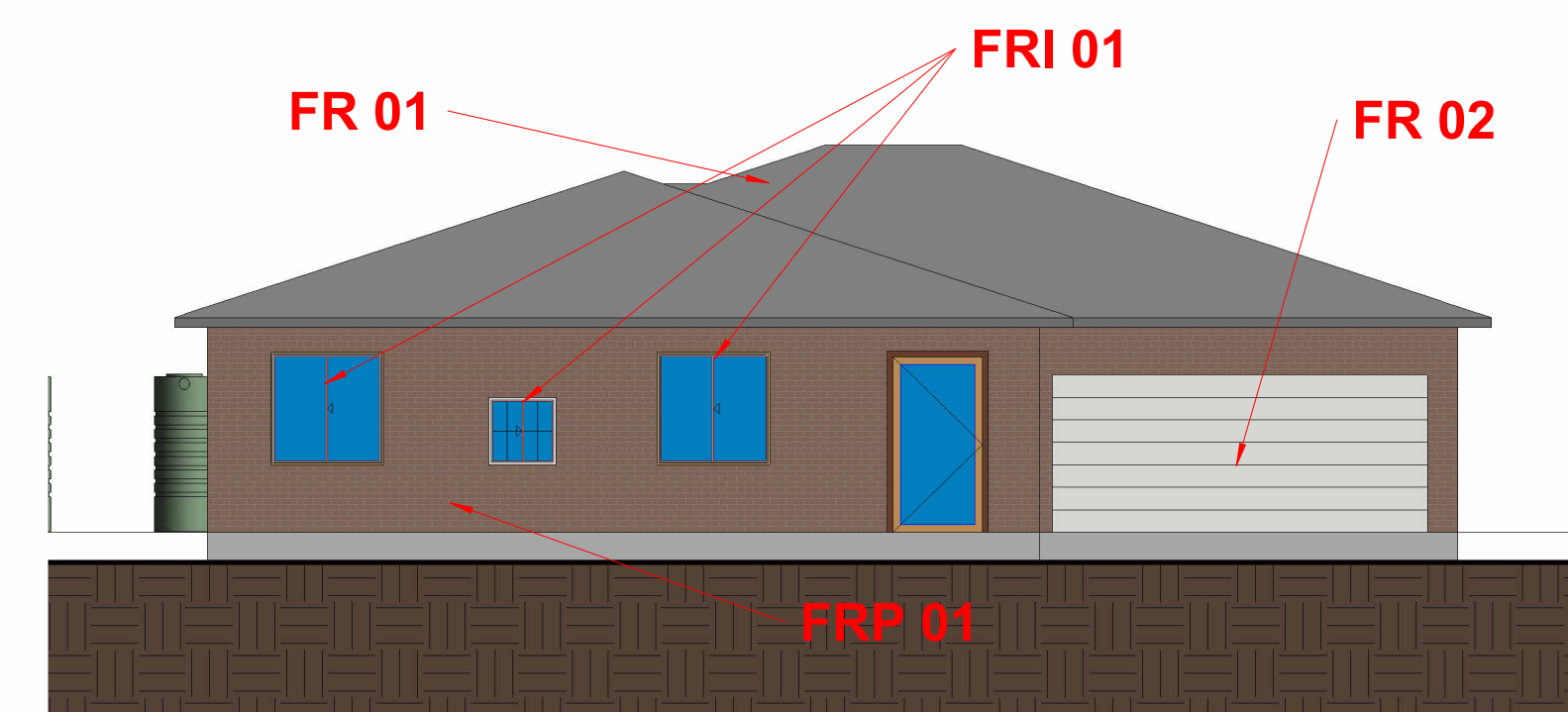
ACCREDITED BUILDING DESIGNER



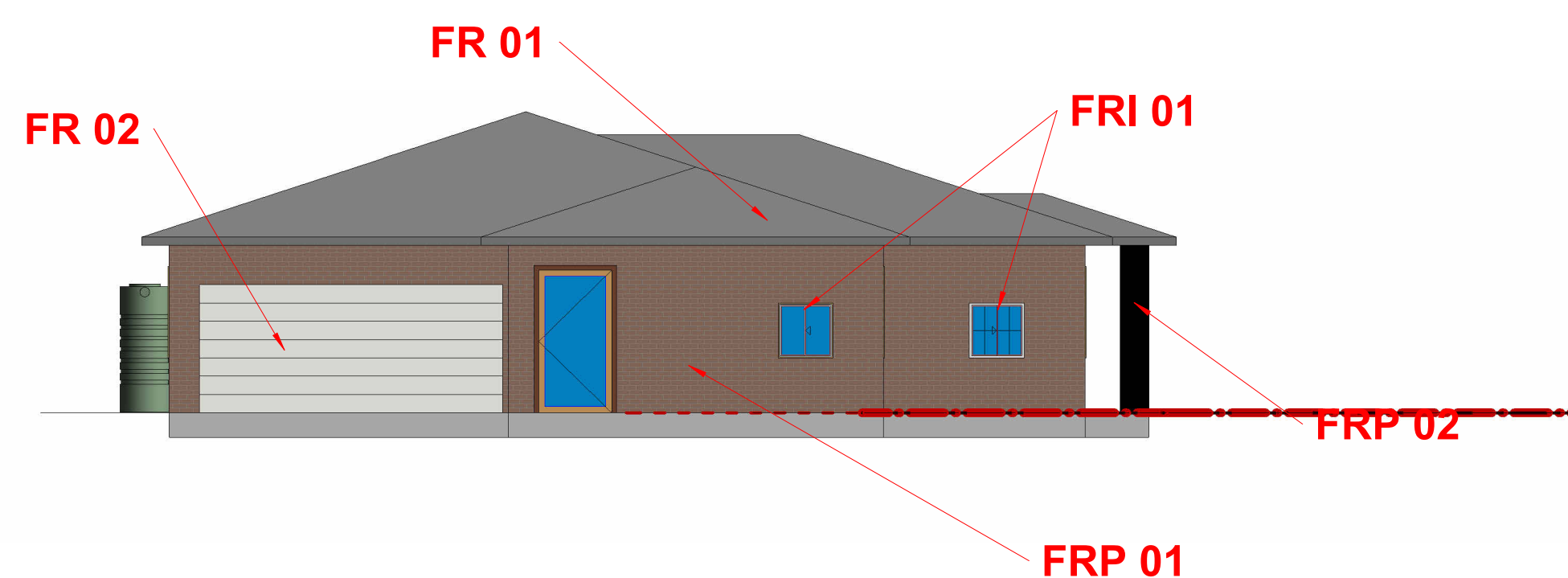
1 UNIT 1 FRONT VIEW  
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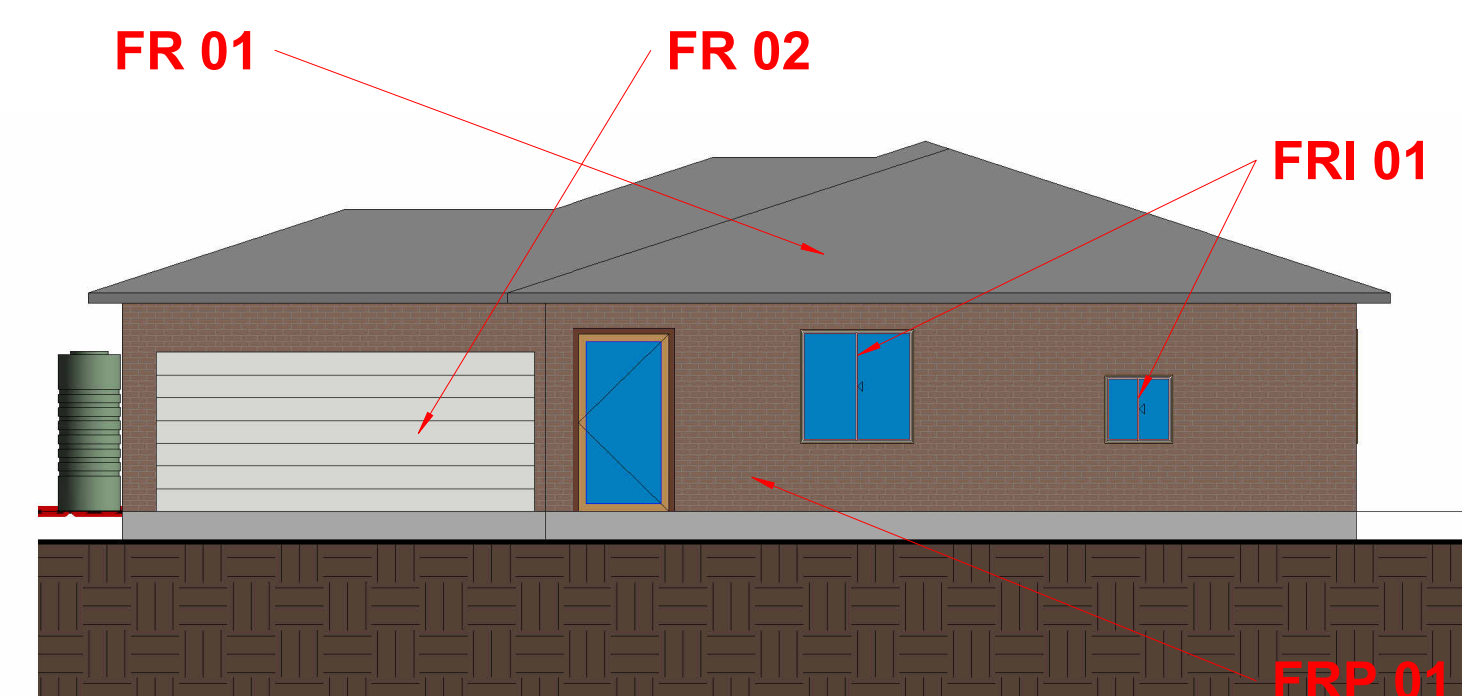
2 UNIT 2 FRONT VIEW  
1:100



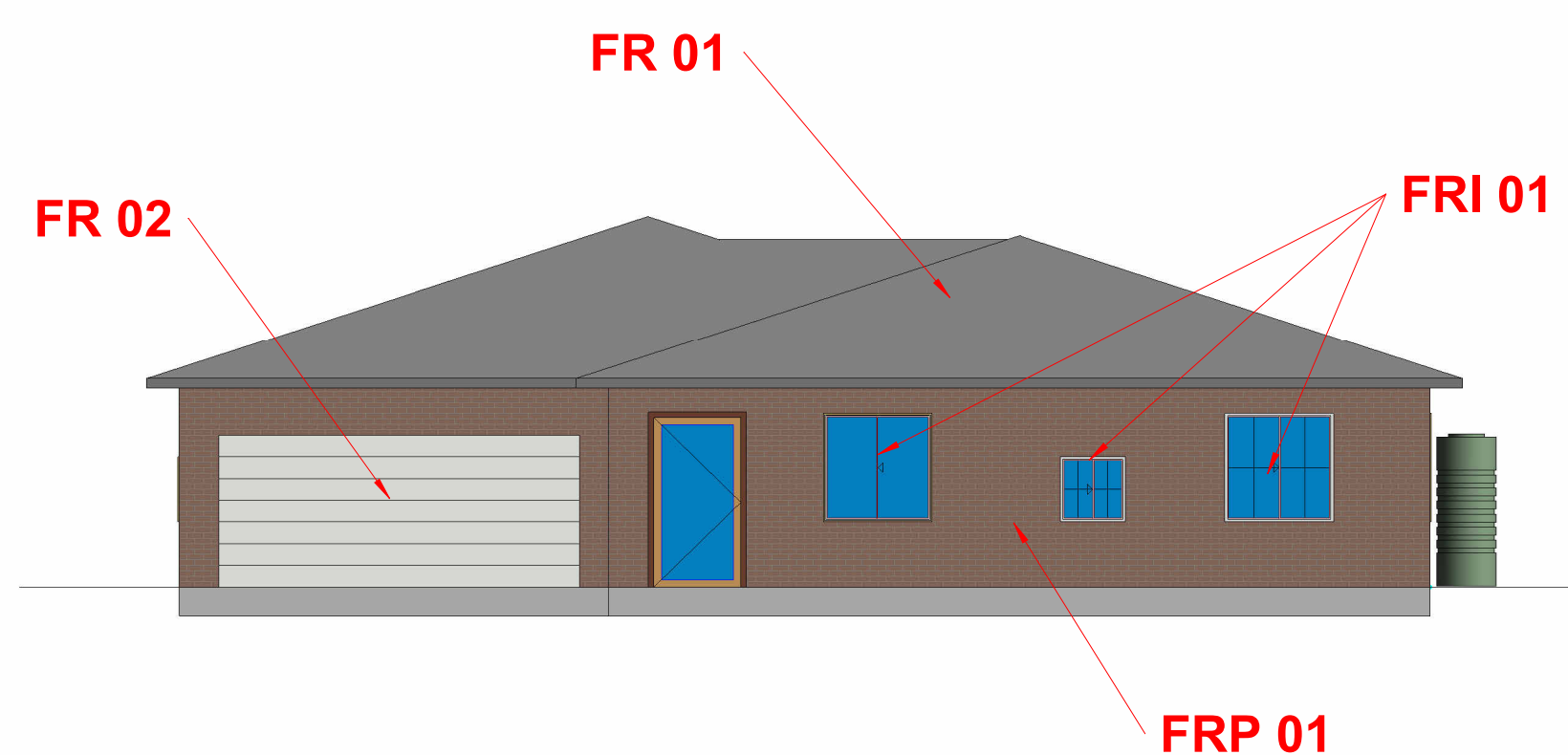
3 UNIT 3 FRONT VIEW  
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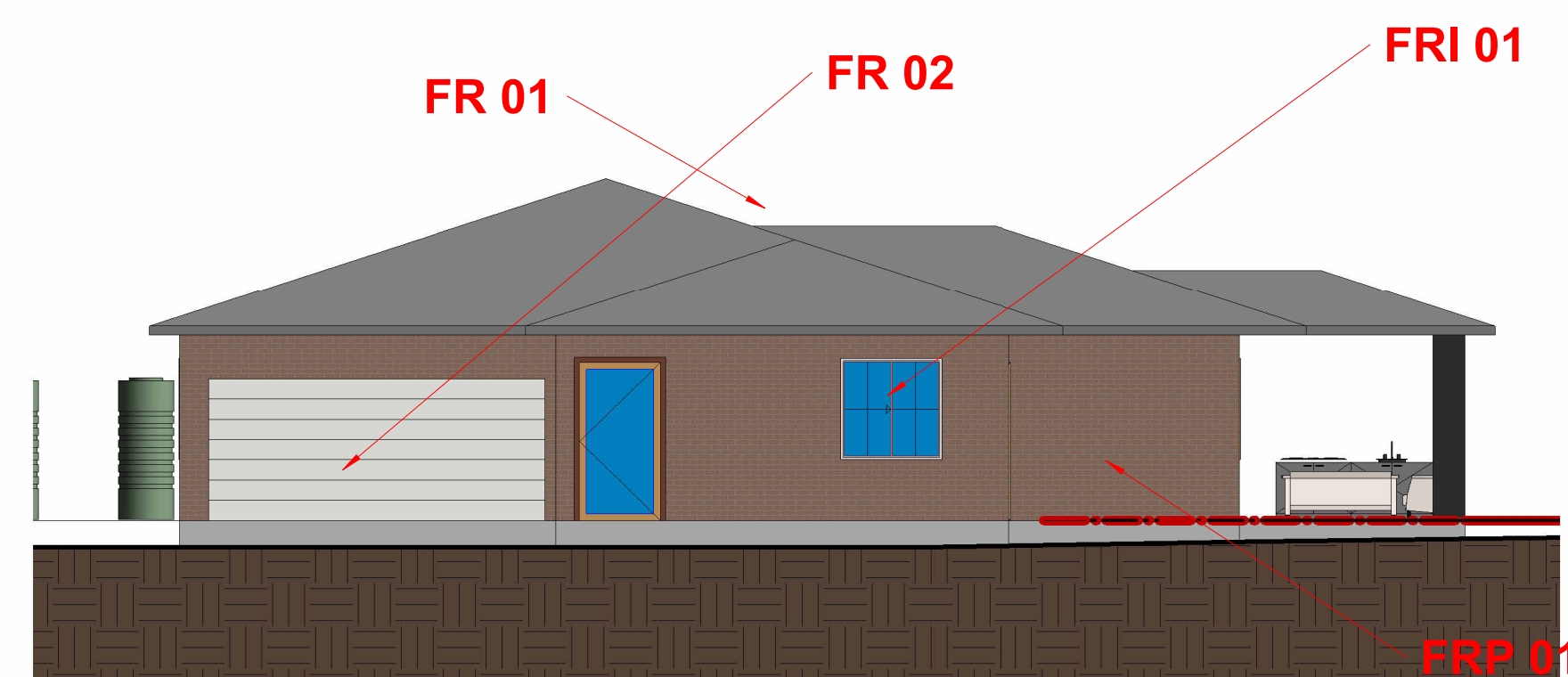
4 UNIT 4 FRONT VIEW  
1:100



5 UNIT 5 FRONT VIEW  
1:100



6 UNIT 6 FRONT VIEW  
1:100



7 UNIT 7 FRONT VIEW  
1:100

KEYNOTE	MATERIAL IMAGE	MATERIAL COMMENTS
FR01		ROOF TILES MONUMENT COLOUR
FR02		GARAGE DUNE COLOUR
FWI01		ALUMINIUM WINDOWS AS SELECTED
FWP01		BRICK ENGAGE AUSTRAL BRICKS
FWP02		BRICK COLUMN WITH RENDER

EXTERNAL FINISHES  
1:50

No.	Description	Date
A	Revised_Council_Letter	29/09/2022

ADAM HUGHES

232 MORTIMER ST MUDGEE

EXTERNAL FINISHES

Project number 2022.01

Date 05/07/2022

Drawn by TR

Checked by FR

DW 21

Scale As indicated

12/10/2022 1:48:12 PM