

Property Details

Address: 232 MORTIMER STREET MUDGEE 2850

Lot/Section 1/-/DP865437

/Plan No:

Council: MID-WESTERN REGIONAL COUNCIL

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DESCON
Design & Construction

DESCON AUSTRALIA PTY LTD

ABN: 35 621 059 765
Ph:0466 999 428
Email:pioneer_43@hotmail.com



No.	Description	Date
Α	Revised_Council_Letter	29/09/2022
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ADAM HUGHES

232 MORTIMER ST MUDGEE

Cover Page

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BCA COMPLIANCE

Section A General Provisions

Vol. 2 Part 1.3, Clause 1.3.2 Classifications:

CLASS 1: One or more buildings which in association constitute -

(a) Class 1A - A single dwelling, being -

(i) a detached house, or

(ii) one or more attached dwellings, each being a building, separated by a fireresisting wall, including a row house, terrace house, town house or villa unit;

CLASS 10: A non-habitable building being a private garage, carport, shed, or the

Section C Fire Separation

Part 3.7.1 Fire Separation

3.7.1.1 Application Compliance with this Part satisfies Performance Requirement P2.3.1 for fire separation.

3.7.1.2 General Concession - Non-combustible materials

The following materials, though combustible or containing combustible fibtres, may be used wherever a non-combustible is required in the Housing Provisions:

(a) plasterboard, and

- (b) perforated gypsum lath with a normal paper finish, and
- (c) fibrous-plaster sheet, and
- d) fibre-reinforced cement sheeting, and
- (e) pre-finished metal sheeting having a combustible surface finish not exceeding 1mm thick and where the Spread-of-Flame Index of the product is not more than 0;

(f) bonded laminated materials, where -

- (i) each laminate is non-combustible; and
- (ii) each adhesive layer is not more than 1mm thick; and (iii) the total thickness of adhesive layers is not more than 2mm; and
- (iv) the Spred-of-Flame Index and the Smoke-Development Index of the laminated
- material as a whole does not exceed 0 and 3 respectively

3.7.1.3 External Walls of Class 1 buildings An external wall of a Class 1 building and any openings in that wall must comply with 3.7.1.5, if the wall is less than-

(a) 900mm from the allotment boundary other than the boundary adjoining a road alignment or otherpublic space; or

(b) 1.8m from another building on the same allotment other than appurtenant Class 10 building or a detached part of the same Class 1 building.

3.7.1.4 Measurement of distances

(a) The distance from any point on an external wall of a building to an allotment boundary or another building is the distance to that point measured along a line at right angles from the allotment boundary or external wall of the other building which intersects that point without obstruction by a wall complying with 3.7.1.5. (b) Where a wall within a specified distance is required to be constructed in a certain manner, only that part of the wall, (including any openings) within the specified distance, must be constructed in that manner

3.7.1.5 Construction of External Walls

- (a) External walls (including gables) required to be fire-resisting [Referred to in 3.7.1.3 or 3.7.1.6] must extend to the underside of a non-combustible roof covering
- or non-combustible eaves lining, and must-
- (i) have an FRL of not less than 60/60/60 when tested from the outside; or
- (ii) be of masonry-veneer construction in which the external masonry veneer is not less than 90mm thick; or
- (iii) be of masonry construction not less than 90mm thick.
- (b) Openings in external walls required to be fire-resisting [referred to in 3.7.1.3 or 3.7.1.6] must be protected by-
- (i) non-operable fire-windows or other construction with an FRL of not less than
- --/60/-- : or
- (ii) self-closing solid-core doors not less than 35mm thick.
- (c) Sub-floor vents, roof vents, weep holes and penetrations for pipes, conduits and
- the like need not comply with (b) above.
- (d) Concessions for non-habitable room windows, conduits and the like-Despite the requirements in (b), in a non-habitable room a window that faces the boundary of an adjoining allotment may be not less than 600mm from that boundary, or, where the building faces another building on the same allotment, not less than
- 1.2m from that building; providing that-(i) in a bathroom, laundry or toilet, the opening has an area of not more than 1.2sqm;
- (ii) in a room other than referred to in (i), opening has an area of not more than
- 0.54sgm; and-
- (A) the window is steel-framed, there are no opening sashes and it is glazed in wire glass: or
- (B) he opening is enclosed with hollow glass blocks.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (But is not limited to): OWNER, BUILDER, SUB-CONTACTORS.CONSULTANTS. RENOVATORS, OPERATORS, MAINTAINORS, DEMOLISHERS.

BUILDING DESIGN SAFETY REPORT

3.7.1.8 Separating walls

(a) A wall that separates Class 1 dwellings, or separates a Class 1 building from a Class 10a building which is not apurtenant to that Class 1 building, must have an FRL of not less than 60/60/60, and-

(i) commence at the footings or ground slab; and (ii)extend-

(A)if the building has a non-comustible roof covering, to the underside of the roof covering; or (B)if the building has a combustible roof covering, to not less than 450mm

SPECIFICATION C1.10 Fire Hazard Properties

Materials used in the building having flamability, smoke developed and spread-of-flame indices as set-out in Spec. C1.10.

SECTION F Health and Amenity

above the roof covering.

Part F1: Damp and Weatherproofing

-Stormwater drainage must comply with AS/NZS 3500.3.2 -Roof covering to comply with F1.5 -Sarking must comply with AS/NZS 4200, Parts 1 and 2 -Water proofing of wet areas in buildings to comply with F1.7 -Damp-proofing of floors on ground to comply with F1.11

Part F3.7: Fire safety

-Automatic fire detection system to be provided in accordance with Part

3.7.2 General concession:

Part 3.7.2: Smoke alarms - requirements for smoke alarms:

(a) Smoke alarms must be installed in: (i) any storey containing bedrooms.

Part 3.8: Health and amenity

-Wet areas within the building must comply with the requirements of Part

3.8.1 Wet areas.

measurements.

Part 3.8.6: Sound insulation requirements

3.8.6.1 Application - Compliance with this Part satisfies performance requirement P2.4.6 for sound insulation.

3.8.6.2Sound insulation requirements

(a) to provide insulation from air-born and impact sound, a separating wall between two or more Class 1 buildings, must-

(i)achieve the weighted sound reduction with spectrum adaption term [Rw+Ctr] and discontinuous construction requirements, as required by Table

(ii) be installed in accordance with the appropriate requirements of 3.8.6.3

(b) For the purpose of this Part, the Rw+Ctr must be determined in accordance with As/NZS 1276.2 or ISO 717.1, using results from laboratory

Part 3.9:Safe movement and access

-The treads and risers of the proposed stairs are to comply with Part 3.9.1.2 General requirements.

1. FALLS, SLIPS, TRIPS a) WORKING AT HEIGHTS DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES By Owner

Designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below: 1. Prevent or restrict access to areas below where the work is being carried

- 2. Provide toeboards to scaffolding or work platforms.
- 3. Provide protective structure below the work area.
- 4. Ensure that all persons below the work area have Personal Protective Equipment During construction, renovation or demolition of this building, parts of the structure

including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

BUILDING COMPONENTS

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on theroadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power: Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance withmanufacturer 's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag.

All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer 's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - it therefore may contain asbestos 1986 - it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer 's recommendations for use must be carefully considered at all times.

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation

Equipment including protection against inhalation of harmful material should be used

manufacturer's recommendations for use must be carefully considered at all times.

when installing, removing or working near bulk insulation material.

may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective

SYNTHETIC MINERAL FIBRE

TIMBER FLOORS This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided

For buildings with small spaces where maintenance or other access may be required:Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

All electrical work should be carried out in accordance with code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

10.OTHER HIGH RISK ACTIVITY

All work should be carried out in accordance with code of Practice:Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it isrecommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.



Ph: 0466 999 428

Email: pioneer 43@hotmail.com

ACCREDITED BUILDING DESIGNER

All Dimensions in Millimeters unluss otherwise stated. Contractor to check all dimensions prior to commencement of work. Written dimensions take precedence over scale.

DO NOT SCALE FROM DRAWING

No.	Description	Date

ADAM HUGHES

ADAM HUGHES

232 MORTIMER ST MUDGEE

232 MORTIMER ST MUDGEE 2850

CC NOTES

2022.01 Project number

05/07/2022

TR

FR

Drawn by

Checked by

Date

DW 01

Scale

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Existing House and Shed to be Demolished to Make Good

Demolition Plan

Date



GENERAL NOTES:

- 1. Figured Dimensions shall be taken in preferance to scaling.
 2. Check all Dimensions and Levels on site before commencing work or ordering materials.
 3. All Existing Ground Lines and tree locations are approximate, therefore to be verified on-site by the builder.
 4. Any discrepancies to be reported to Descon Design before proceeding.
 5. All Workmanship and materials shall comply with all the relevant codes and Australian Standards.
 6. All Plans are copyright work of Descon Design.

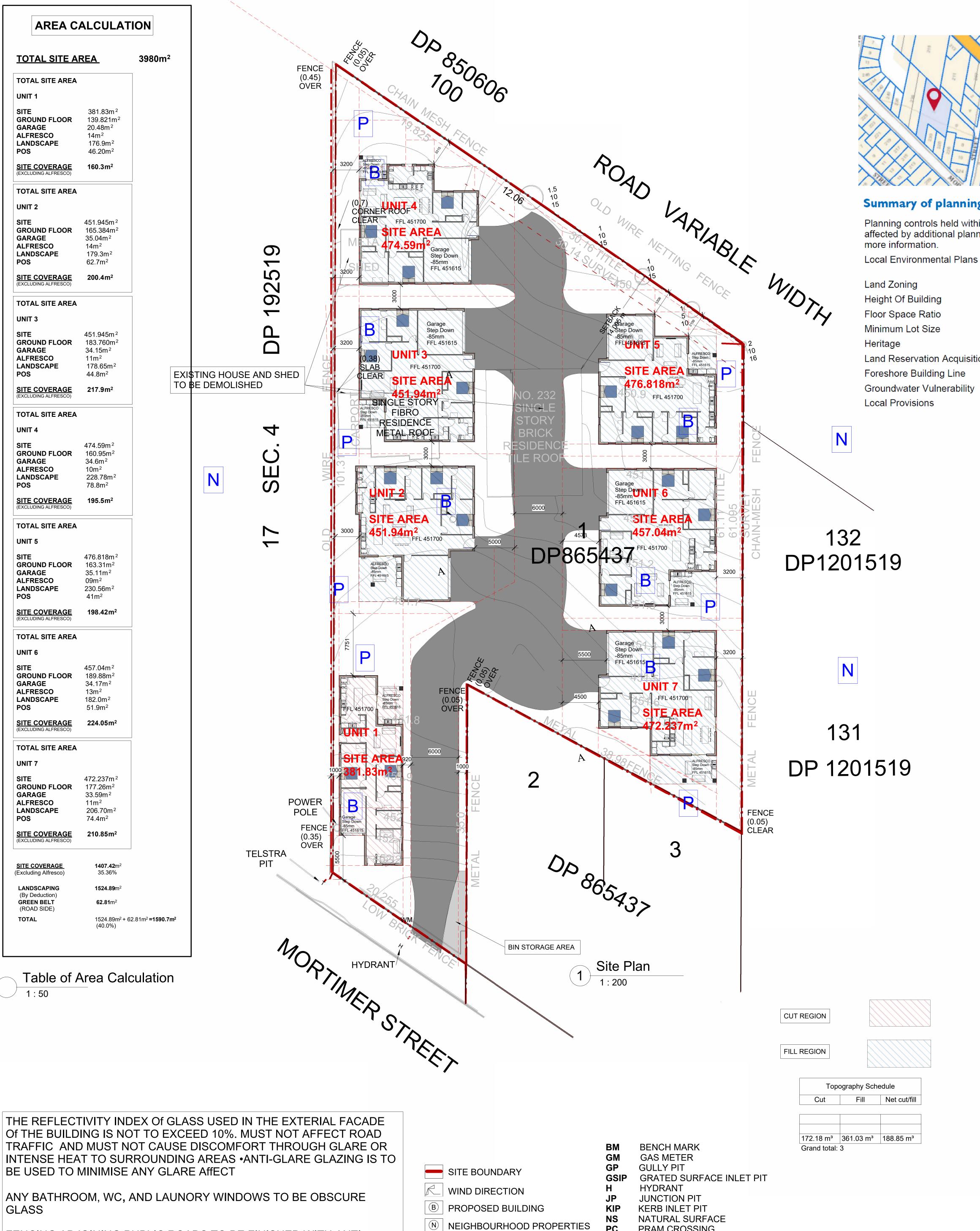
No.	Description	
	No.	

ADAM HUGHES Client Name

232 MORTIMER ST Client Address MUDGEE NSW 2850

Demolition Plan

Project number	2022.01			
Date	05/07/2022		DW 02	
Drawn by	TR		211 02	
Checked by	FR	Scale		



P PRIVATE OPEN SPACE

← DRIVEWAY ACCESS

FENCING ADJOINING PUBLIC ROADS TO BE FINISHED WITH ANTI

TO BE A MIMINUM 1.8M HIGH AND EITHER LAPPED AND CAPPED

ANY MASONARY RETAINING WALLS AS PER ENG DETAILS.

TIMBER FENCING OR COLORBOND FENCING ERECTED ON TOP OF

ALL SIDE AND REAR INTERNAL AND EXTERNAL BOUNDRY FENCING IS

GRIFFITI COATING

PRAM CROSSING

VEHICLE CROSSING

SEWER

WM WATER METER

STOP VALVE

TELSTRA PIT

Property Details

Lot/Section /Plan No:

Council:

232 MORTIMER STREET MUDGEE 2850 1/-/DP865437

MID-WESTERN REGIONAL COUNCIL

Summary of planning controls

Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for

R3 - Medium Density Residential: (pub. 10-8-2012)

Mid-Western Regional Local Environmental Plan 2012 (pub. 10

Land Reservation Acquisition

Groundwater Vulnerable Refer to Clause 4.2A

600 m²

NO.	OBJECTIVE	DESIGN CRITERIA	Y/N
1	Overview	 Approx . 3890m² site size R3 medium Density Residential land use zone Multi Dwelling housing is permitted with consent 	YES
2	Design	 No more than 2-storeys and 8.5m high Shadow diagrams are required Proposal to optimize solar access 	YES
3	Setbacks	 4.5m to street frontage 3m to side and rear boundaries 3m to secondary street frontages 	YES
4	Development density	 1 3-bedroom dwelling per 450m² of the site 1 2-bedroom dwelling per 380m² of the site 	YES
5	Floor Area	Minimum floor area of 85m2 for 3-bedroom units	YES
6	Landscaping / Site coverage	 Landscaping minimum of 40% of site area Maximum site coverage of dwellings (excluding driveways) of 40% Each dwelling requires a 40m2 private open space accessible from living spaces Dimensions msut be >5m 	YES
7	Access and Parking	 2 spaces per 2 or 3 bedroom flat 1 space per 5 units as overflow parking (2 total required) Driveway pavement with of 6m Driveways offset bt 2m from side boundaries 	YES
8	Privacy and Amenity	 Windows between opposing dwellings to be orientated or offset to maintain privacy 1.8m high fencing on the boundary of the site and between private open spaces 	YES
9	Waste	 4X 240L bins are required for each dwelling suitable path to bring bins to the kerbside required 	YES

Design Criteria

1:50

LEVELS, EASEMENTS, SERVICES ETC. OWNER SHOULD CHECK ANY INCONSISTENCIES PRIOR TO

COMENCEMENT OF ANY WORK ON SITE.

WE RELY ON SURVEY PROVIDED FOR SITE

SITE NOTES:

BOUNDARIES

ONE OUTDOOR CLOTHES LINE ROTARY OR FIXED ON WALL MUST BE INSTALLED AS SELECTED BY CLIENT

RETAINING WALLS AS PER ENG'S DETAILS (IF REQUIRED)

THE CUT & FILL CALCULATIONS ARE BASED ON WAFFLE POD SLA8 CONSTRUCTION

BUILDING SPECIFICATION NOTES:

0.2MM HIGH IMPACT VAPOUR MEMBRANE IS REQUIRED FOR ROOMS OR HABITABLE NATURE.

DWELLING TIMBER FRAMING CONSTRUCTION AS PER AS 1684

INTERNAL STAIRS/ANTI-SKID NOSINGS THROUGHOUT THE DWELLING ARE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.9

VOLUME 2 OF THE NCCS (BCA)

INTERNAL STAIR HANDRAIL TO MEET REQUIREMENTS OF CLAUSE 3.9.2.4 OF VOLUME 2 OF THE NCCS (BCA)

BALUSTRADES SERVICING THE DWELLING ARE IN ACCORDANCE WITH REQUIREMENTS OF PART 3.9 OF VOLUME 20F THE NCCS (BCA).

ALL GLASS BALUSTRADES REQUIRE A LOAD BEARING HANDRAIL ARE TO BE COMPLIED WITH THE

SMOKE ALARMS ARE TO BE PROVIDED IN ACCORDANCE

REQUIREMENTS OF AS 1288.

WITH THE REQUIREMENTS OF PART 3.7.2 OF **VOLUME 2 OF NCCS (BCA)**

EXTERIOR DOORS STEP DOWN AS PER THE REQUIREMENTS OF PART 3.9 OF VOLUME 2 OF THE NCCS (BCA).

DOOR SWING OR LIFT OFF HINGES ARE TO BE PROVIDED

TO ENCLOSED WC AREA IN ACCORDANCE WITH REQUIEMENTS OF CLAUSE 3.8.3.3 OFVOLUME 2 OF THE NCCS (BCA)

THE SLAB ON GROUND IS BE PROVIDED WITH A 0.2 MICRON HIGH IMPACT VAPOUR MEMBRANE. INTERNAL FLOOR TO CEILING HEIGHT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.8.2 OF

VOLUME 2 OF THE NCCS -BCA CONSTRUCTION PLANS/DETAILS/SPECIFICATIONS FOR THE PROPOSAL WILL BE PROVIDED PRIOR TO

AS & BCA NOTES:

AS 4100

- Glazing, AS 1288 and AS 2047
- Timber Framing in accordance with AS 1684
- Footings in accordance with AS 2870
- Stormwater in Accordance with AS 3500

THE COMMENCEMENT OF ANY WORKS

- Termite Management in accordance with AS 3660.1
- Masonry Construction in accordance with AS 3700 & AS 4773.2
- Waterproofing in accordance with AS 3740
- Smoke Alarms in accordance with AS 3786
- Concrete Construction in accordance with AS 3600
- Metal roof sheeting in accordance with AS1562.1 &Clause3.5.1 of the BCA.
- Roof Tiling in accordance with Part 3.5.1 of the BCA Vol.2 and AS 2049
- Sound Insulation in accordance with AS/NZS 1276
- Balustrade to comply with Part 3.9.2 of the BA Vol. 2 Stair Construction in accordance with Part 3.9.1 of the
- BCA Vol. 2 Stair floor finishes are required to comply with Part
- 3.9.1.3 of the BCA slip resistance (when tested in accordance with AS 4586)

· Steel Structures including Steel lintels compliance with



Design & Construction

Ph: 0466 999 428

Email: pioneer_43@hotmail.com



ACCREDITED BUILDING DESIGNER

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INO.	Description	Date
Α	Revised_Council_Letter	29/09/2022

Description

Date

ADAM HUGHES

232 MORTIMER ST MUDGEE

SITE PLAN

Project number	2022.01
Date	05/07/2022
Drawn by	TR
Checked by	FR
	M 02

DW 03

Scale

As indicated



Email : pioneer_43@hotmail.com



BUILDING DESIGNER

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ADAM HUGHES

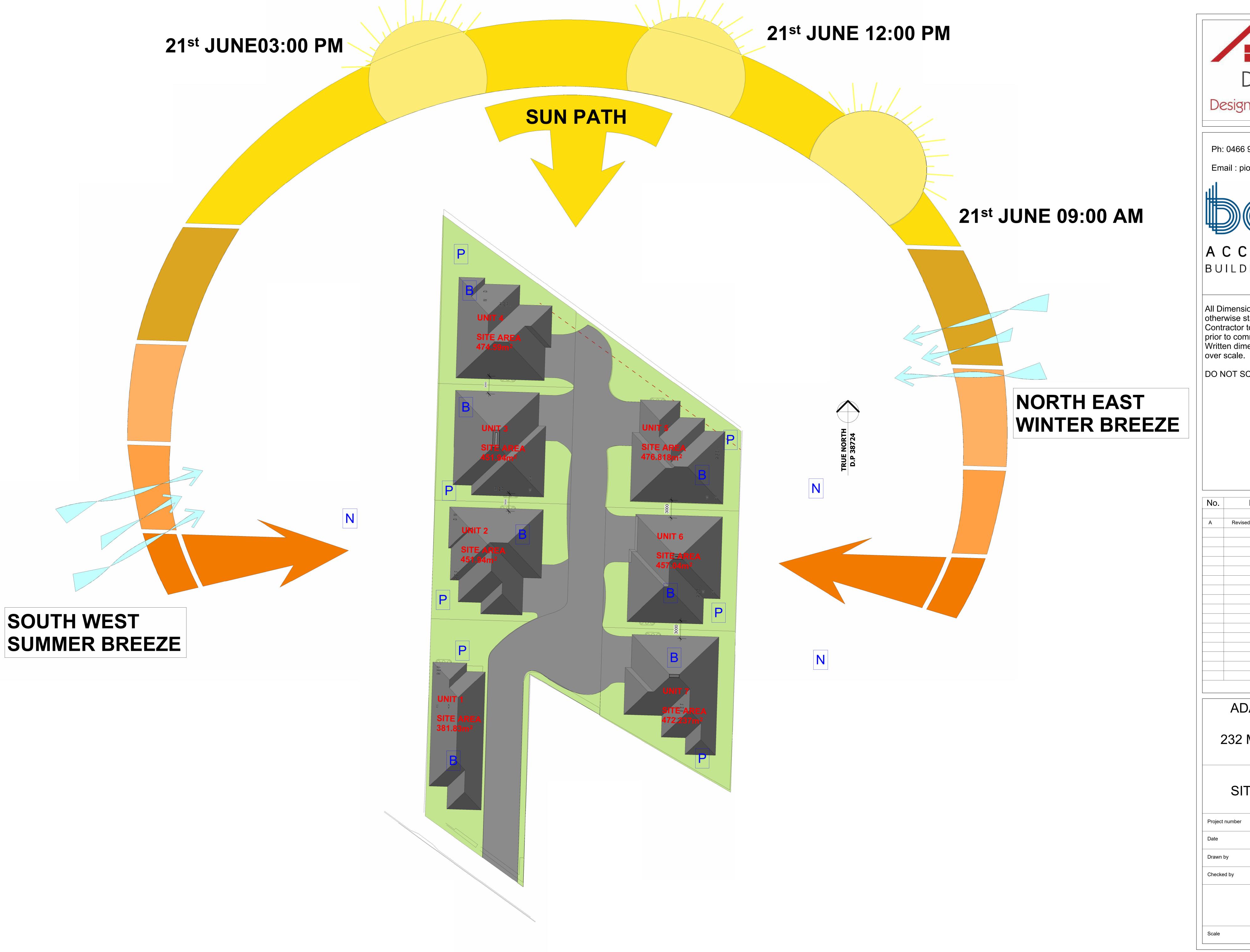
232 MORTIMER ST MUDGEE

Cut & Fill Plan

Project number	2022.01	
Date	05/07/2022	
Drawn by	Author	
Checked by	Checker	
DW 03.1		
Scale	1 : 200	

Topography Cut & Fill

Cut Fill Net cut/fill





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232 MORTIMER ST MUDGEE

SITE ANALYSIS

Project number	2022.01
Date	05/07/2022
Drawn by	TR
Checked by	FR
	W 04

1 ROOF PLAN
1:200

ROOF NOTES:

COLORBOOND CUSTOM ORB ROOF SHEETING AT NOMINATED PITCH. 1 1/2 CORRUGATION SIDE LAP (TYPICAL)

COLORBOND QUAD GUTTER (TYPICAL)

FOLDED COLORBOND RIDGE CAPPING 70 x35 DEEP MGP12 ROOF BA TTENSI

800 EA VE 0/HANG TO MAIN ROOF

600 EAVE 0/HANG TO GARAGE/CARPORT ROOF

EAVES SOFFIT LINING TO BE VENTED IN ACCORDANCE WITH BREEZE POWER REQUIREMENTS

TRUSSES BELOW SOLAR HOT WATER PANELS TO BE STRENGHTENED IN ACCORDANCE WITH PANEL MANUFACTURERS REQUIREMENTS

COLORBOND CUSTOM ORB ROOF SHEETING CREST FIXED AT SIDE LAPS WITH 3 FIXINGS FOR INTERNAL SPANS AND 5 FIXINGS FOR END SPANS FIX WITH ROOFZIP M6 x 50mm (OR EQUAL)



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Email: pioneer_43@hotmail.com



BUILDING DESIGNER

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Contractor to check all dimensions prior to commencement of work.
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	Date
Revised_Council_Letter	29/09/2022
	Revised_Council_Letter

ADAM HUGHES

232 MORTIMER ST MUDGEE

ROOF & CONCEPT STORMWATER PLAN

Project number	2022.01
Date	05/07/2022
Drawn by	TR
Checked by	FR

DW 05

Door Schedule Mark Width Height Level Unit	Window Schedule Mark Width Height Level UNIT			
1 920 2340 Ground Floor 1 2 2435 1981 Ground Floor 1 3 920 2340 Ground Floor 1 4 920 2340 Ground Floor 1 5 920 2340 Ground Floor 1 6 920 2340 Ground Floor 1 7 920 2340 Ground Floor 1 8 920 2340 Ground Floor 1 9 920 2340 Ground Floor 1 10 920 2340 Ground Floor 1 11 1800 2040 Ground Floor 2 13 1200 2340 Ground Floor 2 14 920 2340 Ground Floor 2 15 1800 2040 Ground Floor 2 16 920 2340 Ground Floor 2 17 920 2340 Ground Floor 2 18 920 2340 Ground Floor <td< th=""><th>1 1500 1500 Ground Floor 1 2 1500 1500 Ground Floor 1 3 1500 1500 Ground Floor 1 4 900 900 Ground Floor 1 5 1500 1500 Ground Floor 1 6 1500 1500 Ground Floor 1 7 1500 1500 Ground Floor 1 8 1500 1500 Ground Floor 1 9 900 900 Ground Floor 1 10 900 900 Ground Floor 1 12 1500 1500 Ground Floor 2 14 900 900 Ground Floor 2 15 900 900 Ground Floor 2 16 1500 1500 Ground Floor 2 17 900 900 Ground Floor 2 18 1500 1500 Ground Floor 2</th><th>UNIT 4 SITE AREA 474.59m²</th><th></th><th>ALFRESCO BATH 1 BATH 2 BATH 3 BATH 4 BED 1 BED 2</th></td<>	1 1500 1500 Ground Floor 1 2 1500 1500 Ground Floor 1 3 1500 1500 Ground Floor 1 4 900 900 Ground Floor 1 5 1500 1500 Ground Floor 1 6 1500 1500 Ground Floor 1 7 1500 1500 Ground Floor 1 8 1500 1500 Ground Floor 1 9 900 900 Ground Floor 1 10 900 900 Ground Floor 1 12 1500 1500 Ground Floor 2 14 900 900 Ground Floor 2 15 900 900 Ground Floor 2 16 1500 1500 Ground Floor 2 17 900 900 Ground Floor 2 18 1500 1500 Ground Floor 2	UNIT 4 SITE AREA 474.59m²		ALFRESCO BATH 1 BATH 2 BATH 3 BATH 4 BED 1 BED 2
19 920 2340 Ground Floor 2 20 920 2340 Ground Floor 2 21 920 2340 Ground Floor 2 22 920 2340 Ground Floor 2 23 920 2340 Ground Floor 2 24 920 2340 Ground Floor 3 25 1200 2340 Ground Floor 3 26 5000 2100 Ground Floor 3 27 920 2340 Ground Floor 3 28 920 2340 Ground Floor 3 30 920 2340 Ground Floor 3 31 920 2340 Ground Floor 3 32 920 2340 Ground Floor 3 33 920 2340 Ground Floor 3 33 920 2340 Ground Floor 3	19 1500 1500 Ground Floor 2 20 1500 1500 Ground Floor 2 21 1500 1500 Ground Floor 2 22 1500 1500 Ground Floor 3 24 900 900 Ground Floor 3 25 1500 1500 Ground Floor 3 26 1500 1500 Ground Floor 3 27 1500 1500 Ground Floor 3 28 1500 1500 Ground Floor 3 29 900 900 Ground Floor 3 30 900 900 Ground Floor 3 31 1500 1500 Ground Floor 3 32 1500 1500 Ground Floor 3 33 900 900 Ground Floor 4	UNIT 3 SITE AREA 451.94m ²	EA ₂	BED 3 GARAGE KITCHEN / DINING KITCHEN / LIVING LIVING LIVING/KITCHEN LNDRY PNTRY
34 720 2040 Ground Floor 3 35 920 2340 Ground Floor 3 36 920 2340 Ground Floor 3 37 1800 2040 Ground Floor 3 38 1200 2340 Ground Floor 4 40 720 2040 Ground Floor 4 41 920 2340 Ground Floor 4 42 920 2340 Ground Floor 4 43 720 2040 Ground Floor 4 44 920 2340 Ground Floor 4 45 920 2340 Ground Floor 4	34 1500 1500 Ground Floor 4 35 1500 1500 Ground Floor 4 36 900 900 Ground Floor 4 37 1500 1500 Ground Floor 4 38 1500 1500 Ground Floor 4 39 1500 1500 Ground Floor 4 40 900 900 Ground Floor 4 41 1500 1500 Ground Floor 5 43 900 900 Ground Floor 5 44 900 900 Ground Floor 5 45 1500 1500 Ground Floor 5	UNIT 2 SITE AREA 451.94m ²	EA ₂	AC
46 920 2340 Ground Floor 4 47 920 2340 Ground Floor 4 48 920 2340 Ground Floor 4 49 920 2340 Ground Floor 4 50 1450 2040 Ground Floor 4 51 1800 2040 Ground Floor 4 52 1200 2340 Ground Floor 5 53 5000 2100 Ground Floor 5 54 920 2340 Ground Floor 5 55 920 2340 Ground Floor 5 56 920 2340 Ground Floor 5 57 920 2340 Ground Floor 5 59 920 2340 Ground Floor 5 60 920 2340 Ground Floor 5 61 920 2340 Ground Floor 5	46 900 900 Ground Floor 5 47 1500 1500 Ground Floor 5 48 900 900 Ground Floor 5 49 1500 1500 Ground Floor 5 50 1500 1500 Ground Floor 5 51 1500 1500 Ground Floor 6 52 1500 1500 Ground Floor 6 53 900 900 Ground Floor 6 54 1500 1500 Ground Floor 6 55 1500 1500 Ground Floor 6 56 1500 1500 Ground Floor 6 57 900 900 Ground Floor 6 59 1500 1500 Ground Floor 6 60 900 900 Ground Floor 6 61 900 900 Ground Floor 6	DW 20 5 DW 06.1 2	eral Waste Bins as per cour 2 DW 20 1 DW 06.1	acil Specs. 23
62 920 2340 Ground Floor 5 63 920 2340 Ground Floor 5 64 1800 2040 Ground Floor 5 65 1200 2340 Ground Floor 6 66 5000 2100 Ground Floor 6 67 920 2340 Ground Floor 6 68 920 2340 Ground Floor 6 70 920 2340 Ground Floor 6 71 920 2340 Ground Floor 6 72 920 2340 Ground Floor 6 73 920 2340 Ground Floor 6 74 1800 2040 Ground Floor 6 75 920 2340 Ground Floor 6	62 1500 1500 Ground Floor 6 63 1500 1500 Ground Floor 6 64 1500 1500 Ground Floor 7 65 1500 1500 Ground Floor 7 66 900 900 Ground Floor 7 68 1500 1500 Ground Floor 7 69 900 900 Ground Floor 7 70 900 900 Ground Floor 7 71 1500 1500 Ground Floor 7 72 1500 1500 Ground Floor 7 73 1500 1500 Ground Floor 7 Grand total: 73	UNIT SITE 381.8		GR
76 920 2340 Ground Floor 6 77 920 2340 Ground Floor 6 78 1200 2340 Ground Floor 7 79 5000 2100 Ground Floor 7 80 920 2340 Ground Floor 7 81 920 2340 Ground Floor 7 82 920 2340 Ground Floor 7 84 1800 2040 Ground Floor 7 85 1800 2040 Ground Floor 7 86 920 2340 Ground Floor 7 88 920 2340 Ground Floor 7 89 920 2340 Ground Floor 7 Ground Floor: 89 Grand total: 89	1 Groun 1:200	Floor 1Mx1M Space for 6 Letter Boxes for Unit2 to unit7		Project nu Date Drawn by Checked by Scale

DESCON sign & Construction

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No.	Description	Date
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32 MORTIMER ST MUDGEE

ROUND FLOOR PLAN

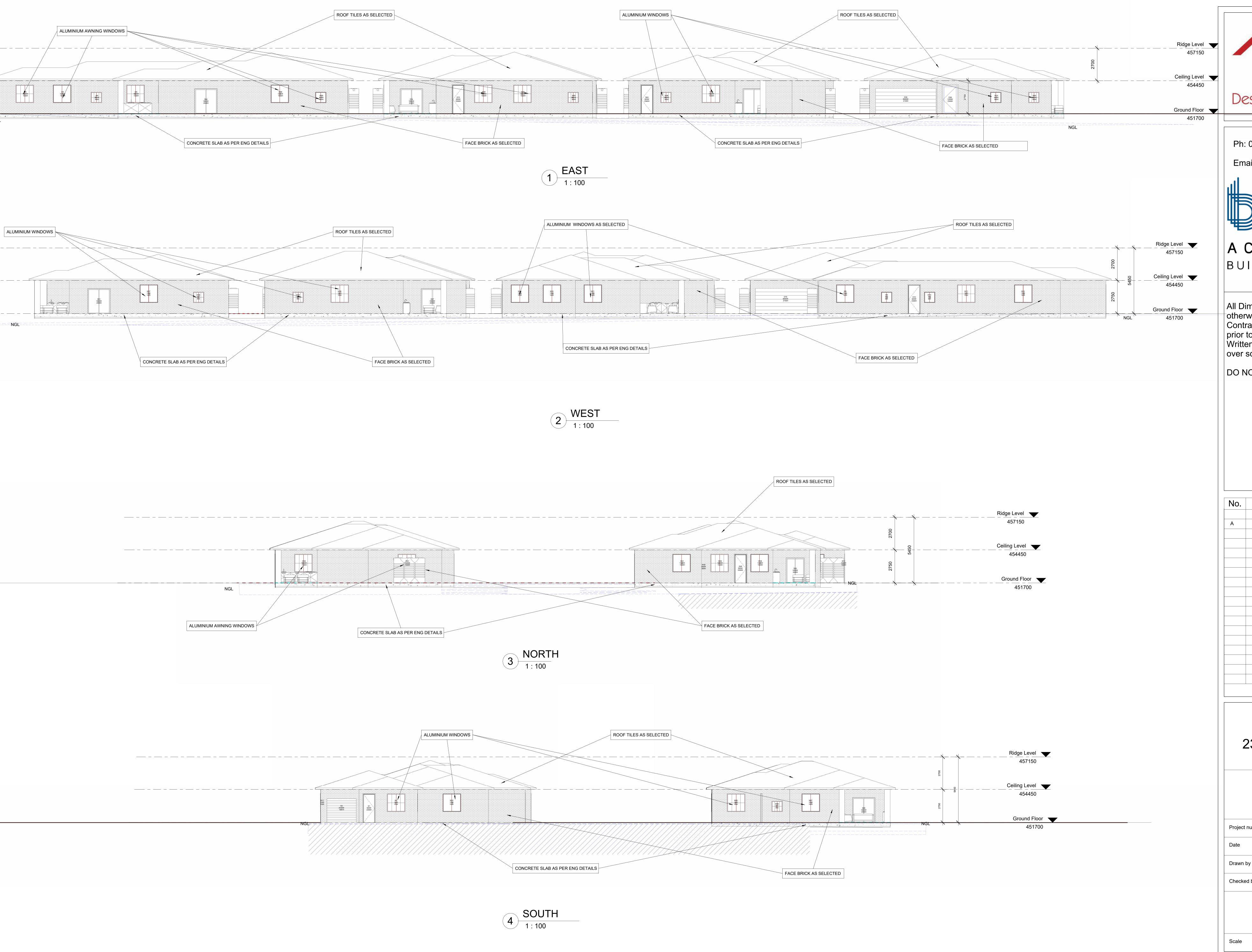
2022.01 05/07/2022 TR

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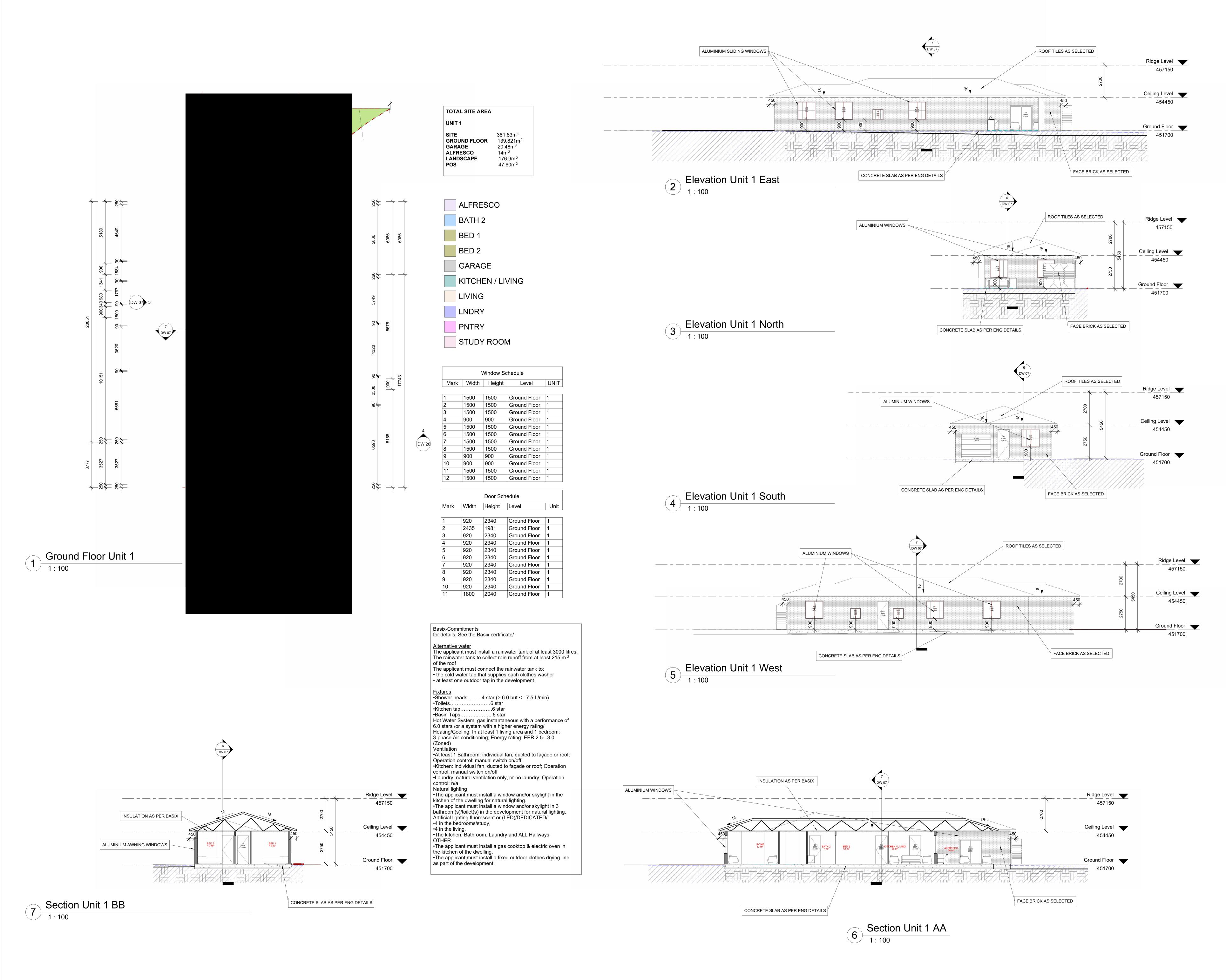
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232 MORTIMER ST MUDGEE

ELEVATIONS

Project number	2022.01
Date	05/07/2022
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DW	06.1
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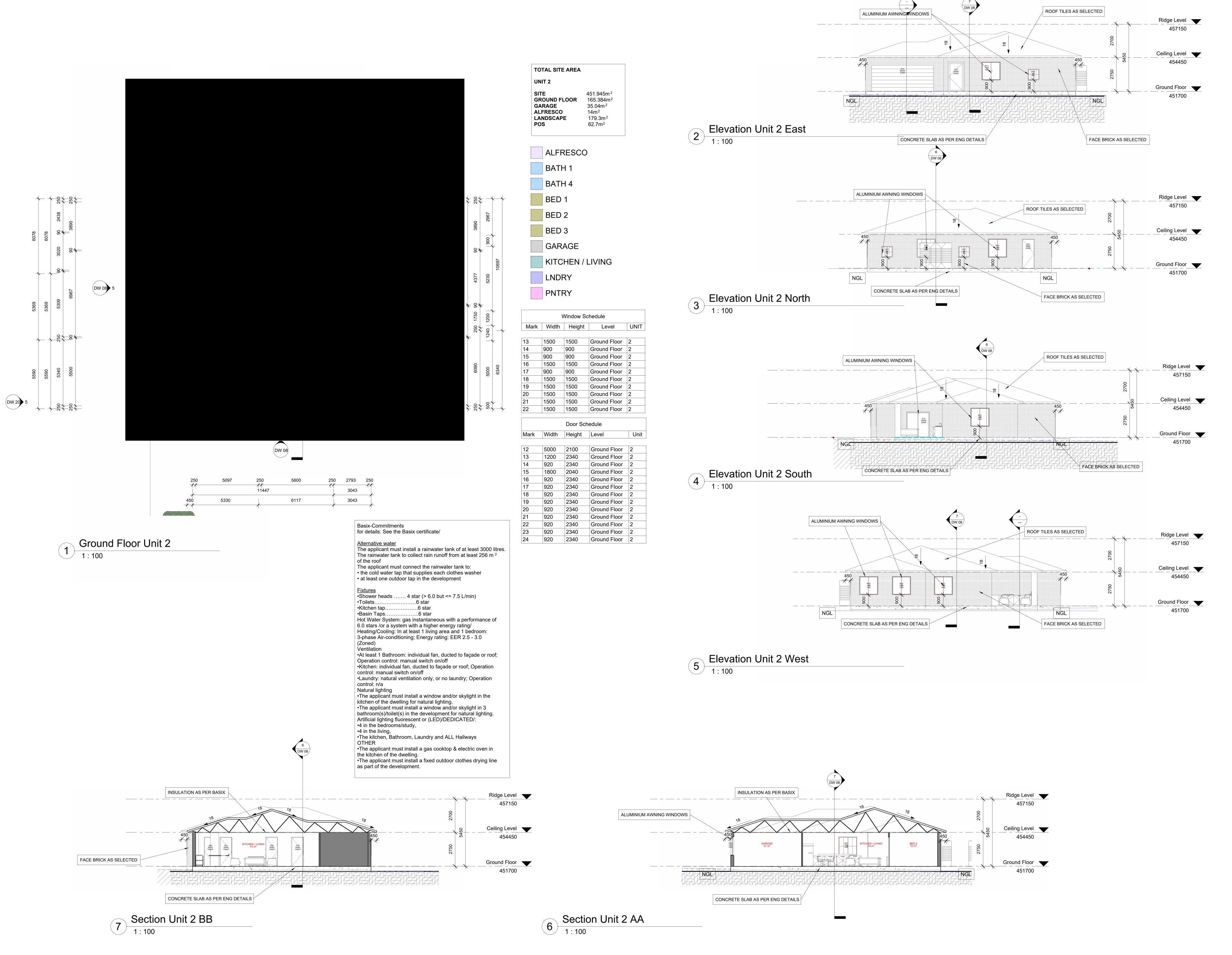
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232 MORTIMER ST MUDGEE

FLOOR PLAN, ELEVATIONS AND SECTIONS U1

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Project number	2022.01
Date	05/07/2022
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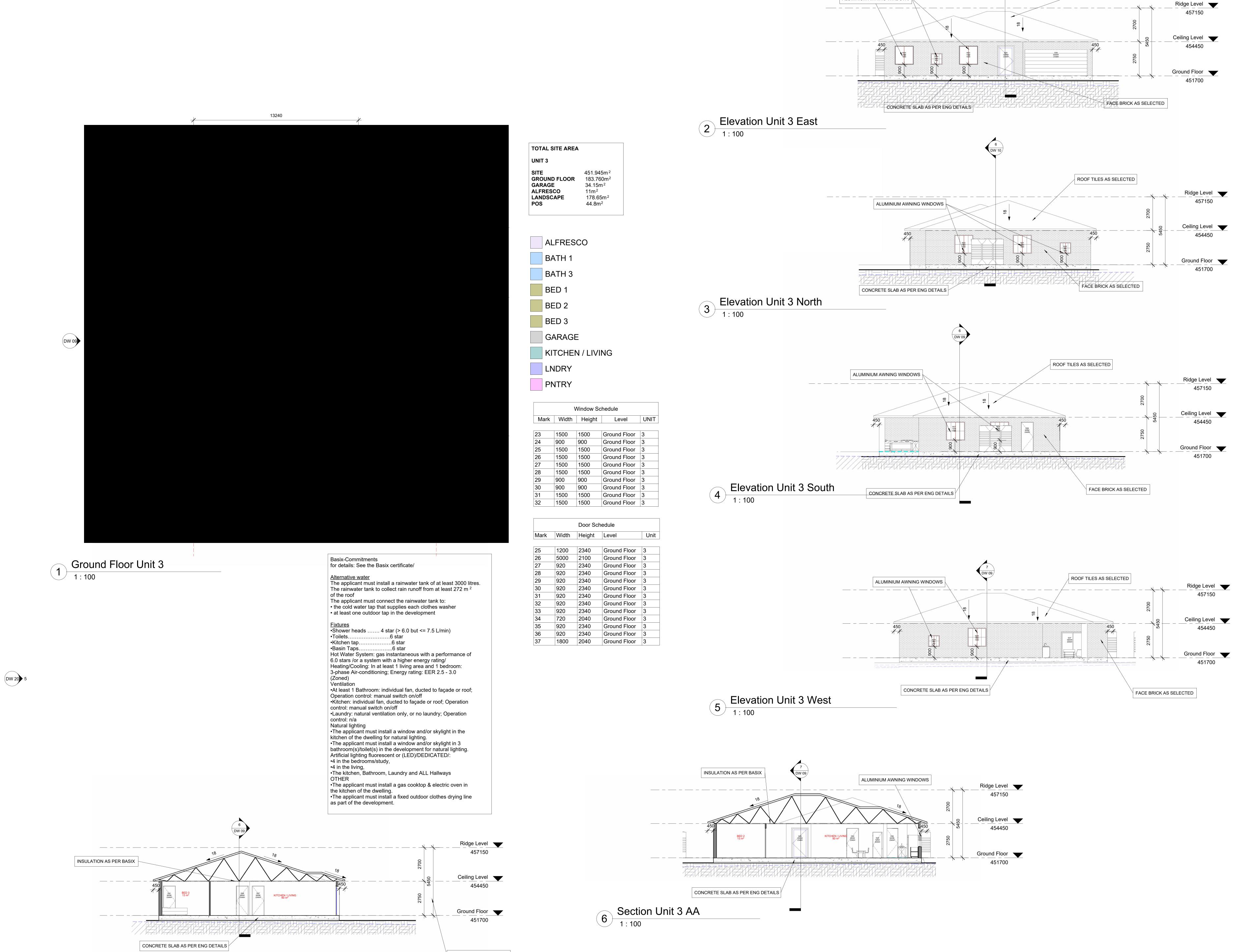
No.	Description	Date
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232 MORTIMER ST MUDGEE

FLOOR PLAN, **ELEVATIONS AND** SECTIONS U2

2022.01
05/07/2022
TR
FR



FACE BRICK AS SELECTED

7 Section Unit 3 BB 1:100



ROOF TILES AS SELECTED

ALUMINIUM AWNING WINDOWS

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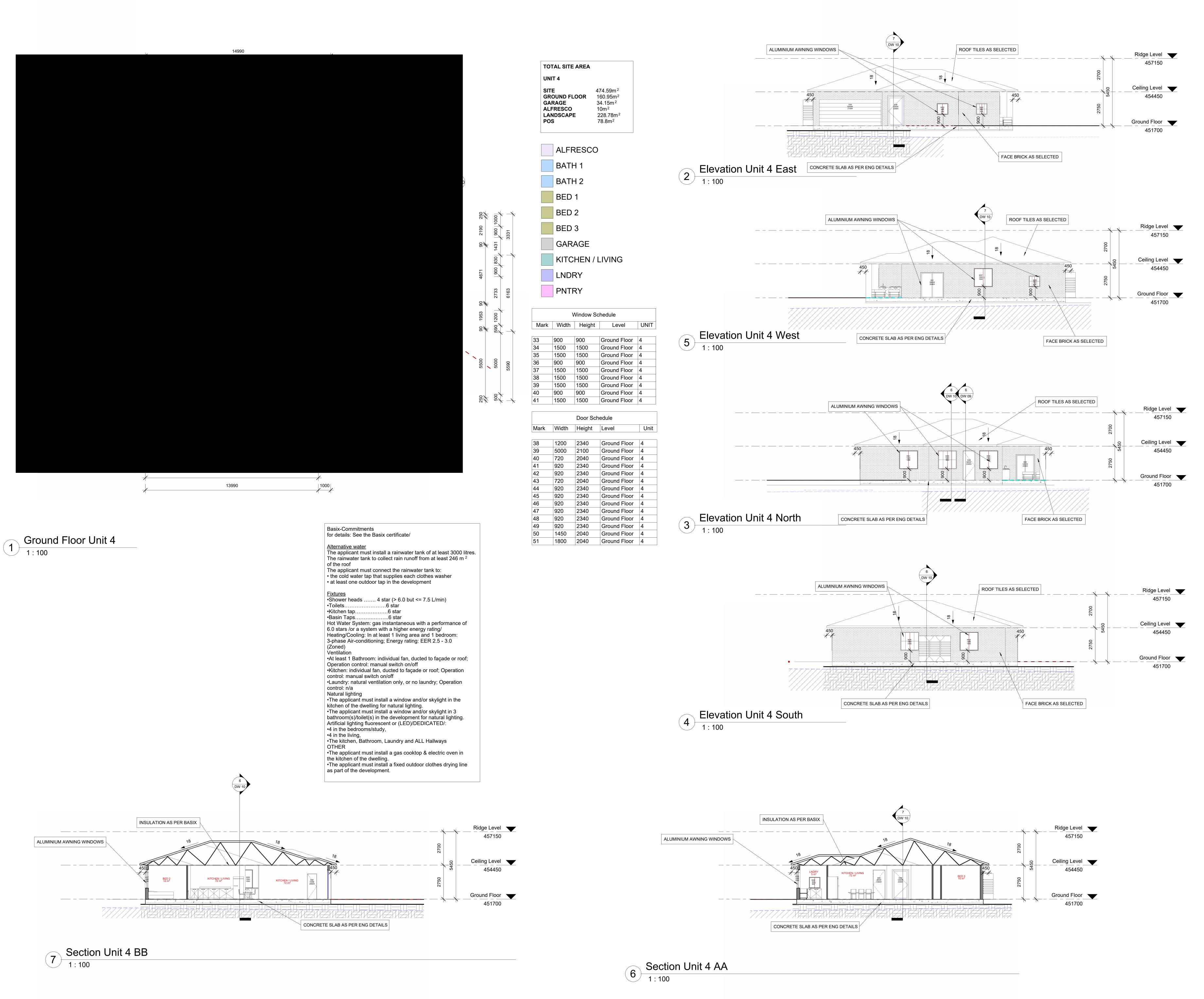
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232 MORTIMER ST MUDGEE

FLOOR PLAN, ELEVATIONS AND SECTIONS U3

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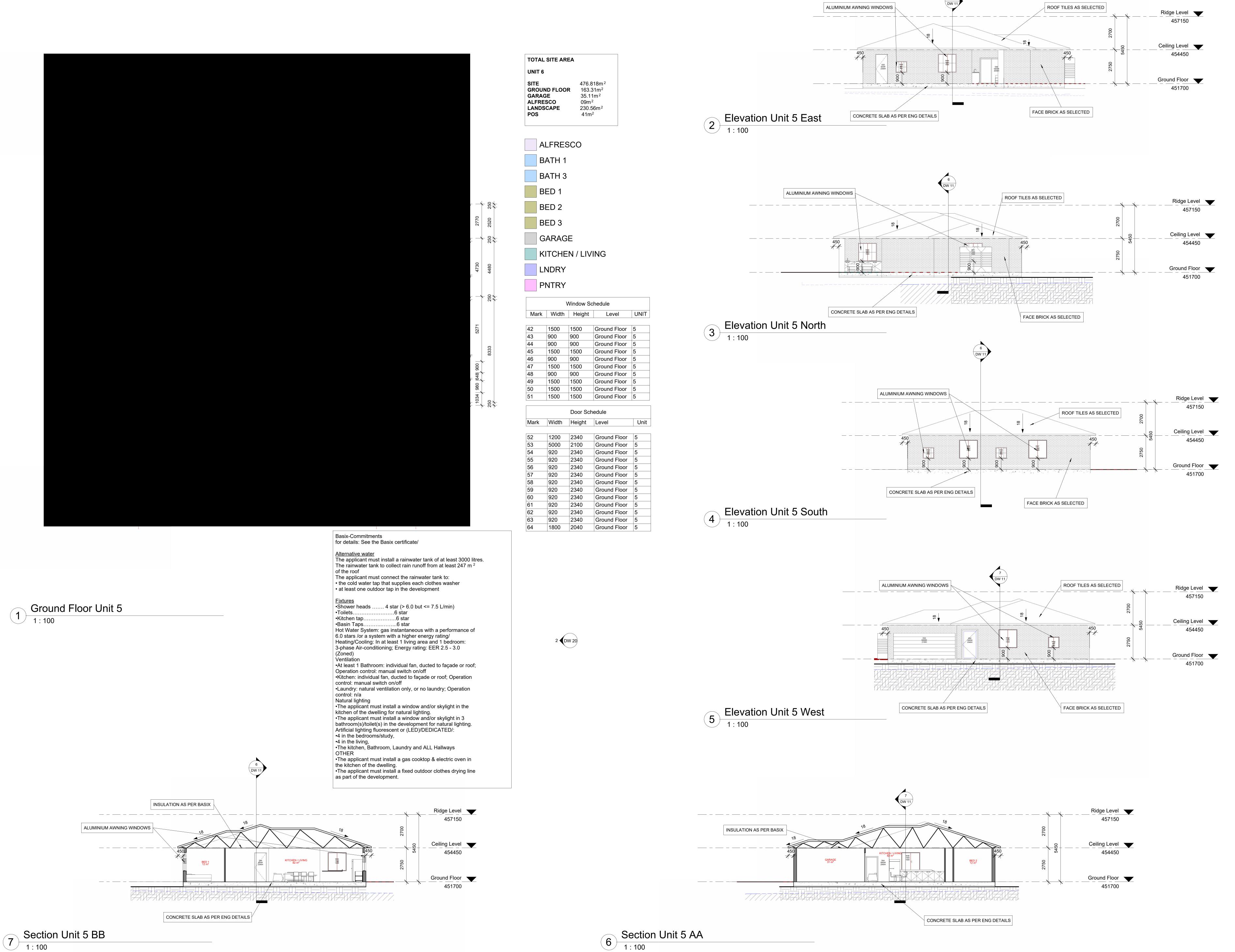
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232 MORTIMER ST MUDGEE

FLOOR PLAN, ELEVATIONS AND SECTIONS U4

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Project number	2022.01
Date	05/07/2022
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Scale	1 : 100

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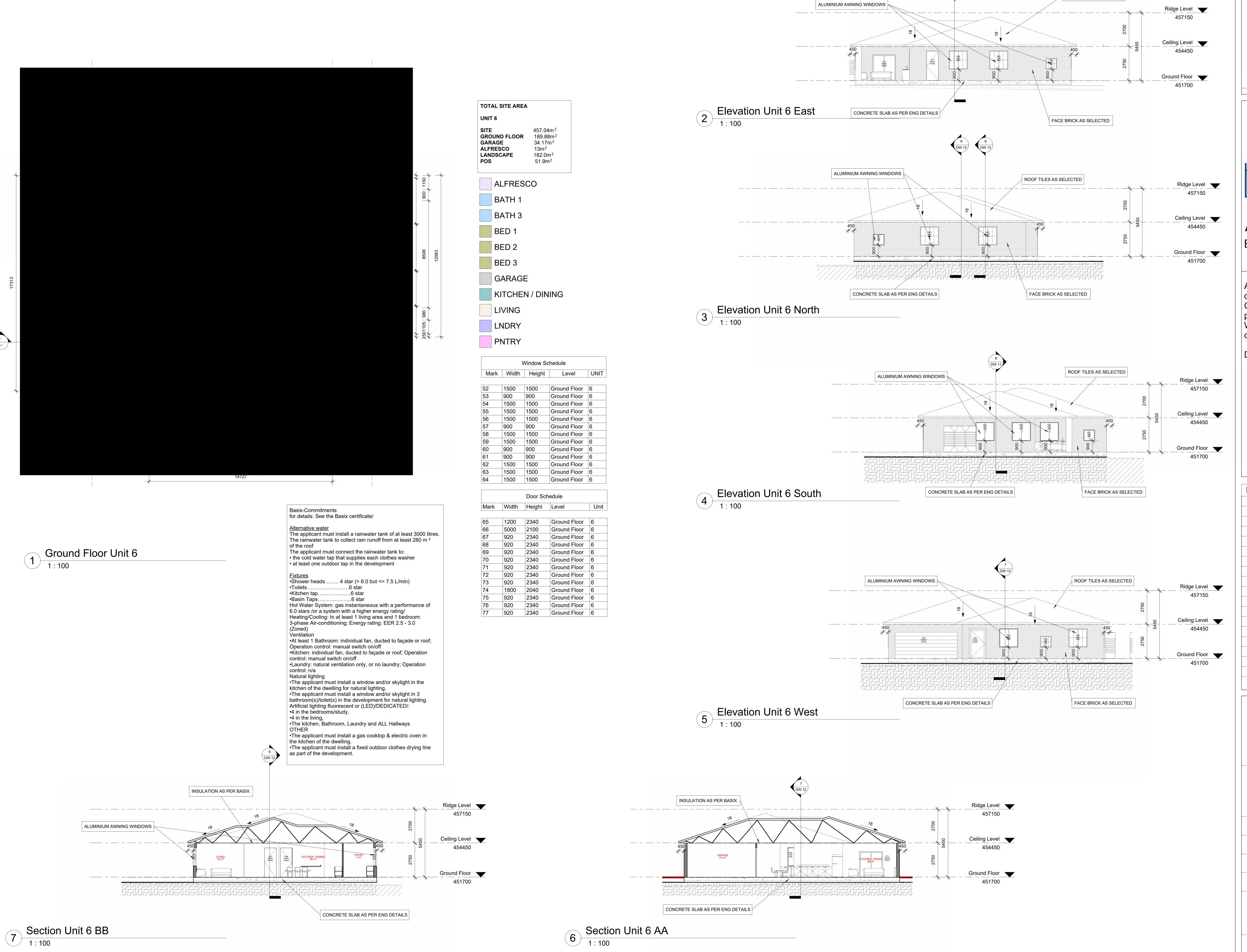
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Α	Revised_Council_Letter	29/09/2022

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232 MORTIMER ST MUDGEE

FLOOR PLAN, ELEVATIONS AND SECTIONS U5

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ROOF TILES AS SELECTED

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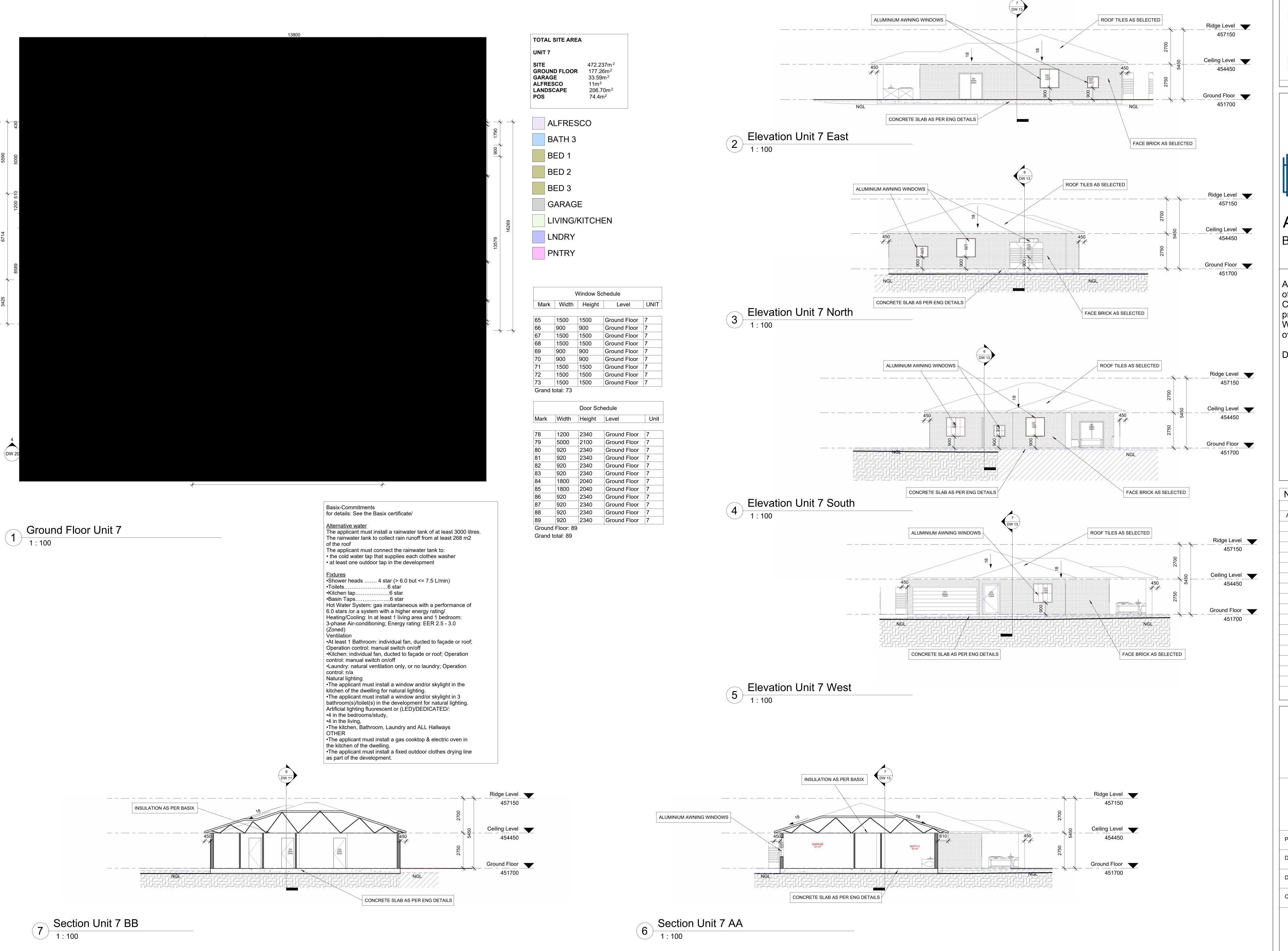
No.	Description	Date
Α	Revised_Council_Letter	29/09/2022

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232 MORTIMER ST MUDGEE

FLOOR PLAN, **ELEVATIONS AND** SECTIONS U6

Project number	2022.01
Date	05/07/2022
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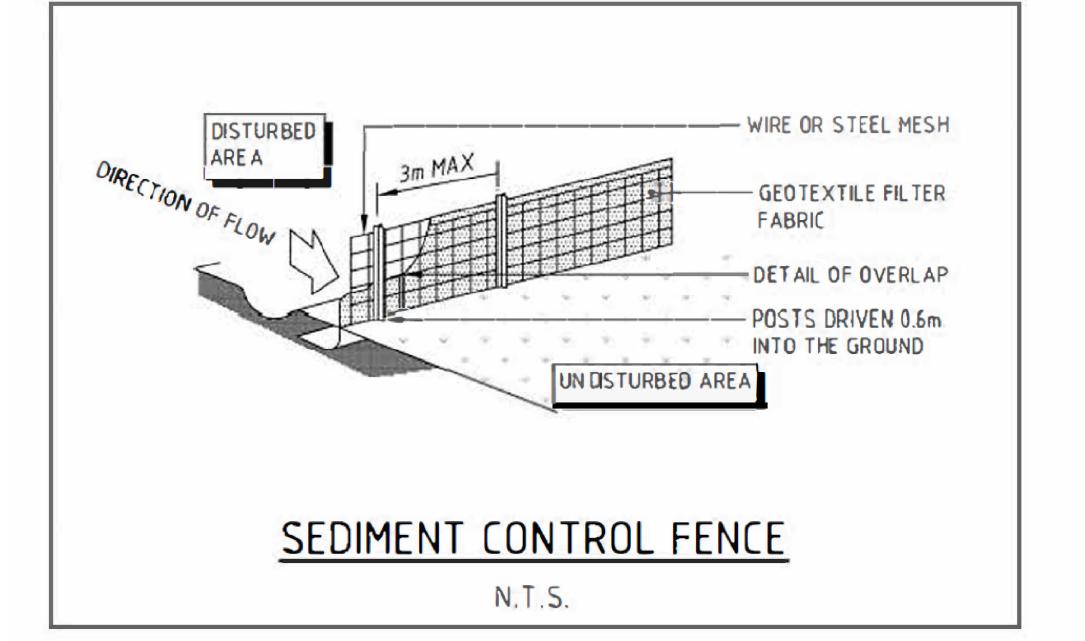
232 MORTIMER ST MUDGEE

FLOOR PLAN, ELEVATIONS AND SECTIONS U7

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Project number	2022.01
Date	05/07/2022
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SOIL EROSION NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES
TO BE INSPECTED AND MAINTAINED DAILY BY
CONTRACTOR/SITE MANAGER.
2. MINIMISE DISTURBED AREAS.
3. ALL STOCKPILES TO BE CLEAR FROM DRAINS,
GUTTERS AND FOOTPATHS
4. DRAINAGE IS TO BE CONNECTED TO STORM WATER
SYSTEM AS SOON AS POSSIBLE.
5. ROADS AND FOOTPATHS TO BE SWEPT DAILY
6. UNDER SECTION 16 OF THE CLEAN WATERS ACT
HEAVY FINES, INCLUDING A \$600 ON THE SPOT FINE,
MAY BE IMPOSED IF A PERSON ALLOWS SOIL,
CEMENT SLURRYOR OTHER BUILDING MATERIALS TO
BE PUMPED, DRAINED OR ALLOWED TO ENTER THE
STORM WATER SYSTEM.

NOTES

TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPRED

LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (I.E ALL FOOT-PATHS, BATTERS, SITE, REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS). TOP SOIL SHALL NOT BE SPREAD ON ANY OTHER AREAS UN-SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE

MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY. BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINSDOWN STREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF.

THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND

EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF

AS DIRECTED BY THE SUPERINTENDENT. (NO SILT SHALL BE PLACED

OUTSIDE THE LIMITS OF WORKS). THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL

CONSTRUCTION NOTES

WITH A MIN. LAP OF 150 MM.

SD6-7 SEDIMENT FENCE
CONSTRUCT SEDIMENT FENCE AS CLOSE AS
POSSIBLE AND PARALLEL TO THE CONTOURS OF
THE SITE
DRIVE 1.5 M LONG STAR PICKETS INTO GROUND
MAX 3M CTRS.
DIG A 150 MM DEEP TRENCH ALONG THE UPSLOPE
LINE OF THE FENCE FOR THE BOTTOM OF THE
FABRIC TO BE ENTRENCHED.
BACKFILL TRENCH OVER THE BASE OF FABRIC.
FIX SELF SUPPORTING GEOTEXTILE TO UPSLOPE
SIDE OF POSTS WITH WIRE TIES OR AS
RECOMMENDED BY GEOTEXTILE MANUFACTURER.
JOIN SECTIONS OF FABRIC AT A SUPPORT POST



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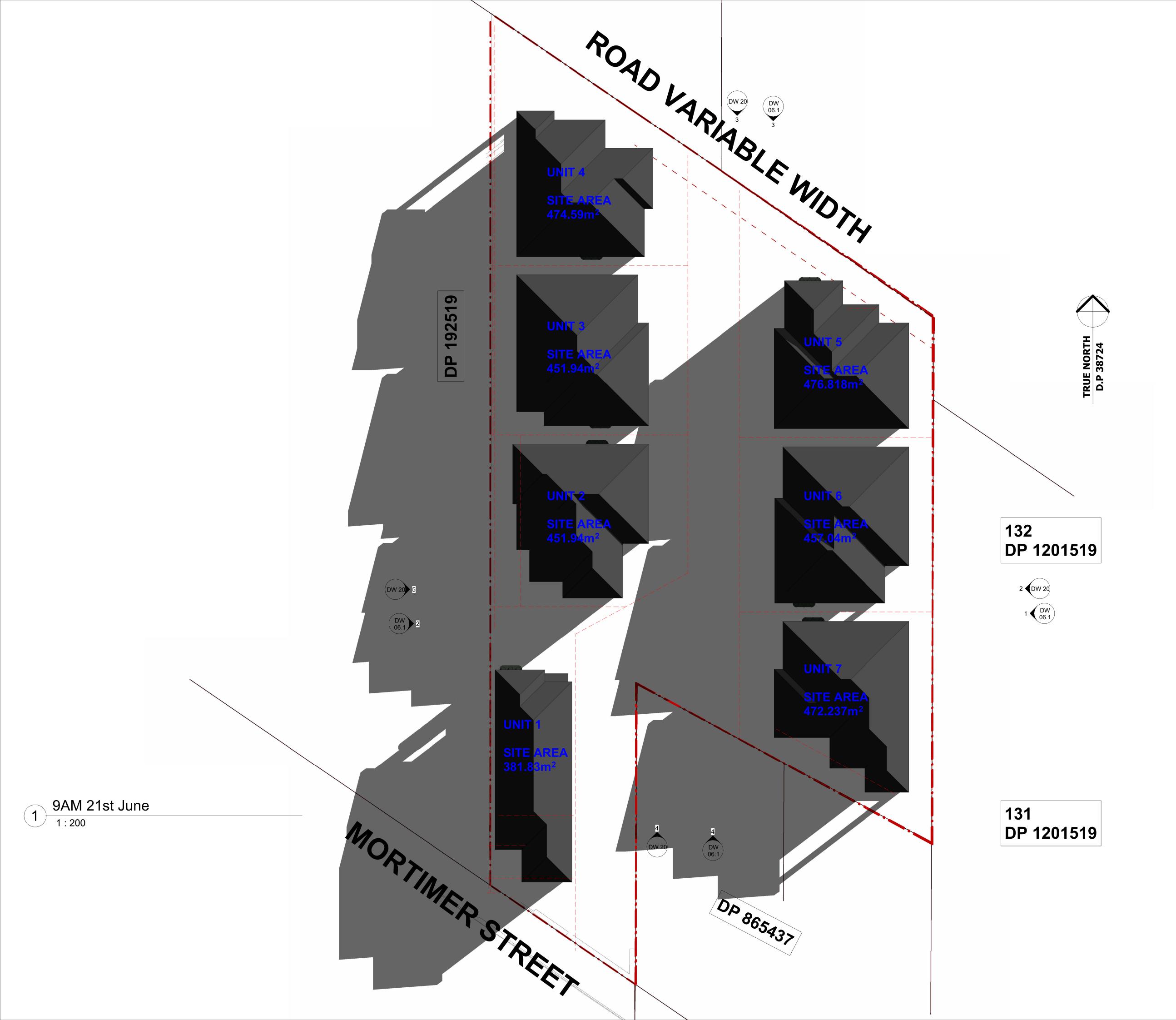
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232 MORTIMER ST MUDGEE

SEDIMENT CONTROL PLAN

Project number	2022.01
Date	05/07/2022
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232 MORTIMER ST MUDGEE

SHADOW DIAGRAM 9AM 21st JUNE

2022.01 Project number 05/07/2022 TR Drawn by

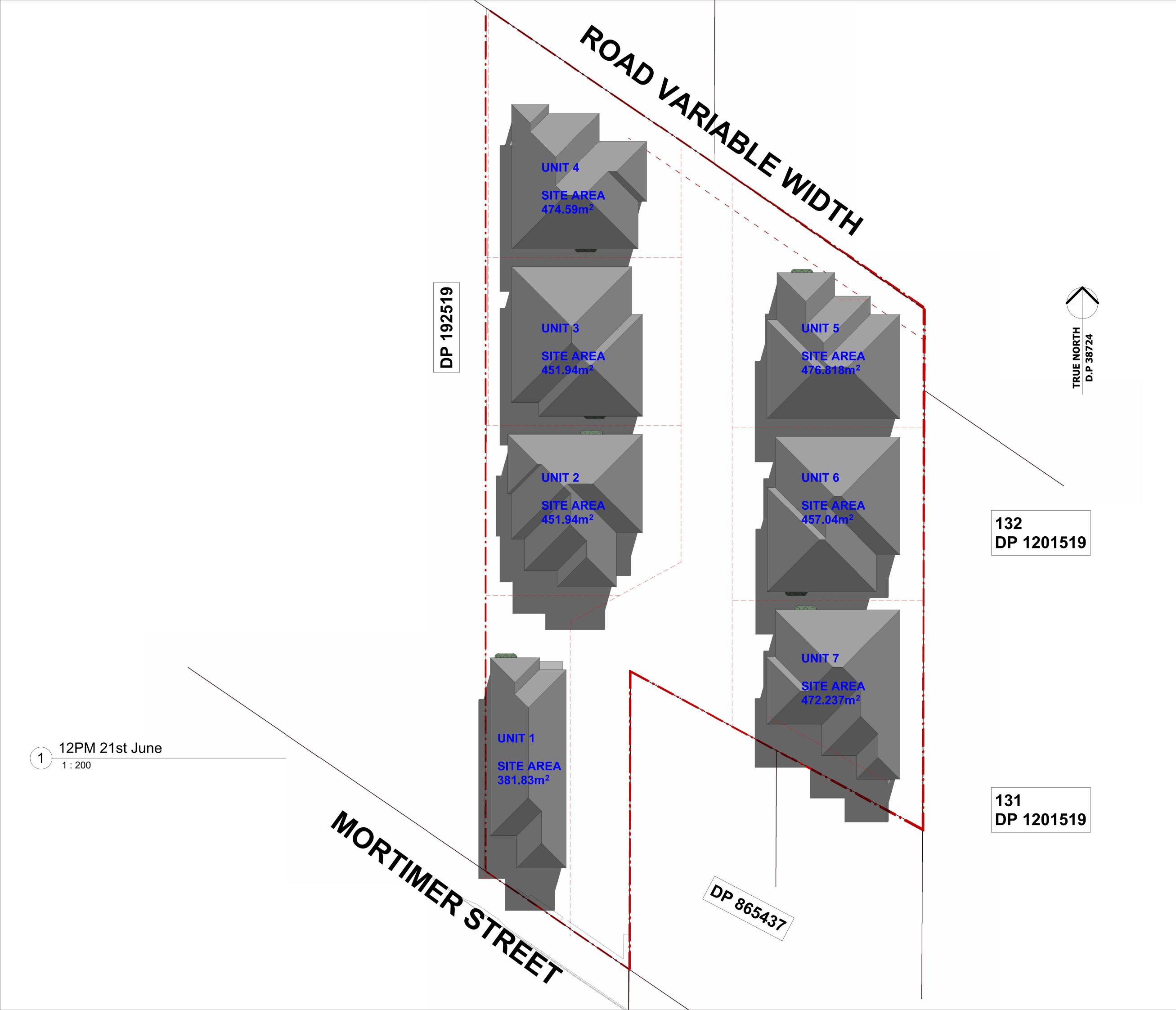
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232 MORTIMER ST MUDGEE

SHADOW DIAGRAM 12PM 21st JUNE

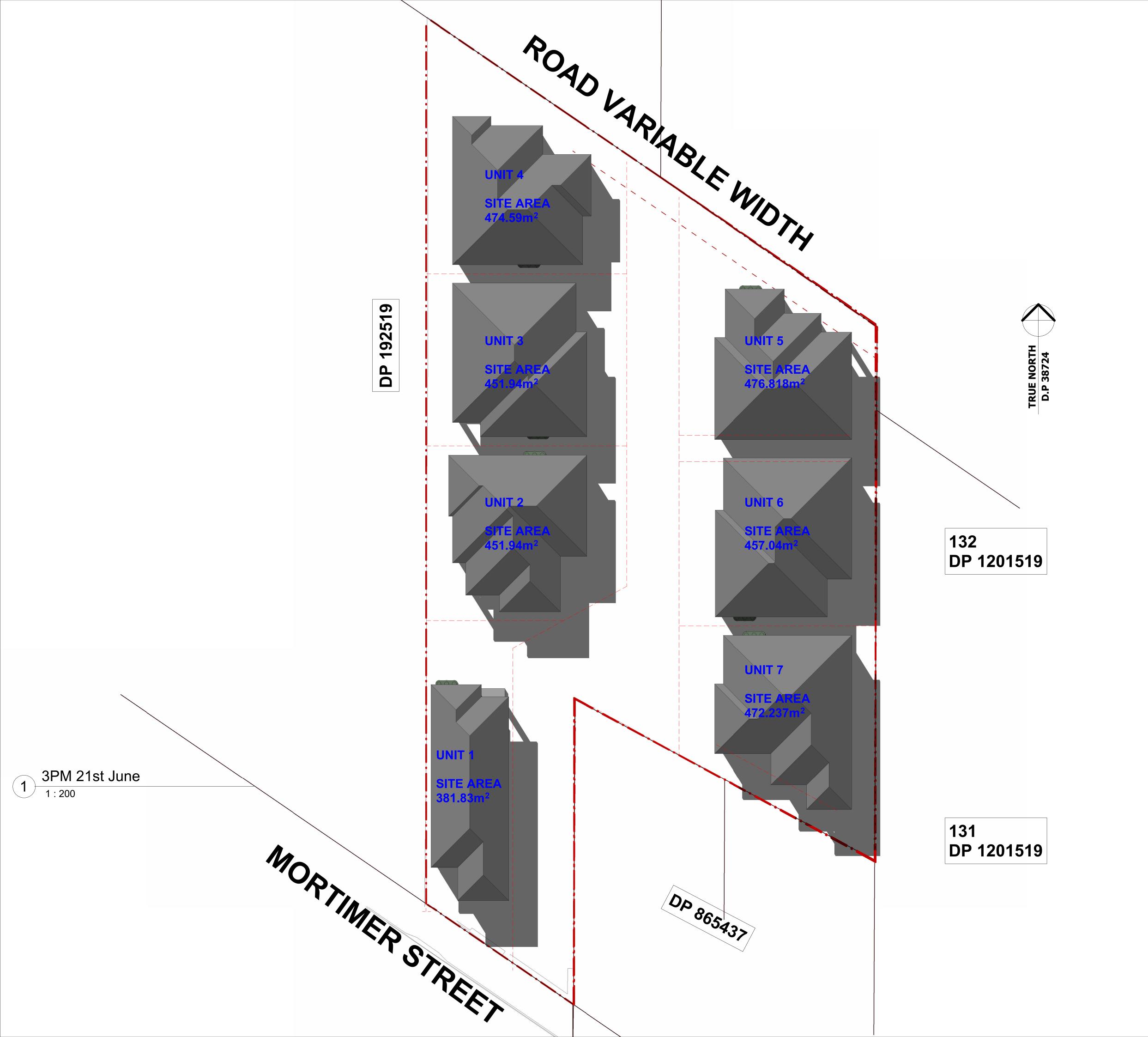
Project number	2022.01
Date	05/07/2022
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Α	Revised_Council_Letter	29/09/2022

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232 MORTIMER ST MUDGEE

SHADOW DIAGRAM 3pm 21st JUNE

Project number	2022.01
Date	05/07/2022
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AREA CALCULATION **TOTAL SITE AREA TOTAL SITE AREA** SITE 381.83m² **GROUND FLOOR** 139.821m² GARAGE 20.48m² ALFRESCO 14m² 176.9m² LANDSCAPE 46.20m² 160.3m² SITE COVERAGE (EXCLUDING ALFRESCO) TOTAL SITE AREA UNIT 2 451.945m² SITE **GROUND FLOOR** 165.384m² 35.04m² GARAGE **ALFRESCO** 179.3m² LANDSCAPE 62.7m² SITE COVERAGE (EXCLUDING ALFRESCO) 200.4m² TOTAL SITE AREA UNIT 3 SITE GROUND FLOOR 451.945m² 183.760m² GARAGE 34.15m² ALFRESCO 11m² 178.65m² LANDSCAPE POS 44.8m² SITE COVERAGE (EXCLUDING ALFRESCO) 217.9m² TOTAL SITE AREA UNIT 4 SITE 474.59m² GROUND FLOOR 160.95m² 34.6m² GARAGE **ALFRESCO** 10m² 228.78m² LANDSCAPE $78.8m^{2}$ SITE COVERAGE (FXCI LIDING ALFRESCO) 195.5m² **TOTAL SITE AREA** UNIT 5 SITE 476.818m² **GROUND FLOOR** 163.31m² **GARAGE** 35.11m² **ALFRESCO** $09m^2$ LANDSCAPE 230.56m² SITE COVERAGE (EXCLUDING ALFRESCO) 198.42m² **TOTAL SITE AREA** UNIT 6 457.04m² **GROUND FLOOR** 189.88m² GARAGE 34.17m² **ALFRESCO** LANDSCAPE 182.0m² 51.9m² SITE COVERAGE (EXCLUDING ALFRESCO) 224.05m² **TOTAL SITE AREA** 472.237m² **GROUND FLOOR** 177.26m² 33.59m² GARAGE **ALFRESCO** 11m² 206.70m² LANDSCAPE SITE COVERAGE (EXCLUDING ALFRESCO) 210.85m² SITE COVERAGE (Excluding Alfresco) LANDSCAPING (By Deduction) **GREEN BELT** (ROAD SIDE)

Table of Area Calculation

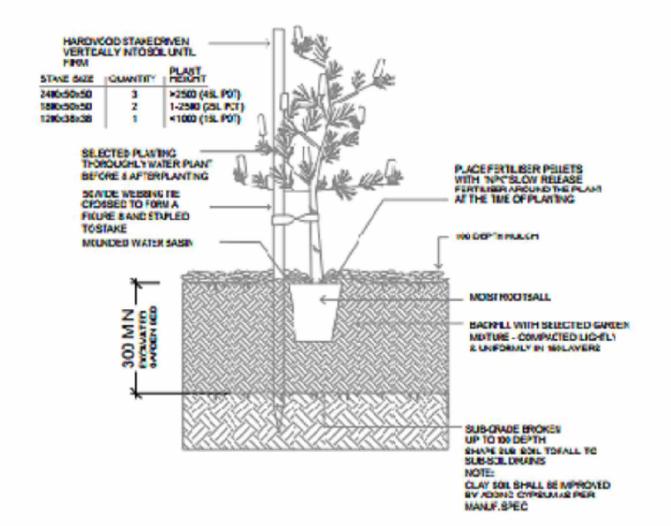
1407.42m²

1524.89m²

62.81m²

1524.89m² + 62.81m² = **1590.7m²**

35.36%



LANDSCAPING INFORMATION

1.Small Shrubs to 3m High

Bottlebrush Rosemary Grevillea Bird Beak Neddlewood Pink Tea Tree Scarlet Honey Myrtle

Callistemon Paludosus Grevillea Rosmarinifolia Hakea Orthonyncha Leptospernum Squarrosum Melaleuca Fulgens

2. Small Trees 3-7m High

Cootamundra Wattle Red Honeysuckle Red Bottlebrush Lemon Scented Tea Tree

Acacia Balleyana Banksia Serrata Callistemon Citrinus Leptospernum Petersonii

3.Medium Tree 8-15m High Small Leaved Peppermint Lemon Scented Gum

Eucalypyus Nicholi Euc Citriodore Narrow Leaved Papaerbark

Consult local nursery for availability and suitability of the abive species and substitute similar planting if

Mulch beds with bark or woodchip and fill out beds with ground covers and similar small plantings.
Edge beds with insitu formed concrete rolled edge sleepers, masonry block edging or similar as selected.

Landscaping information

LAND SCAPE NOTES

3980m²

EXCAVATE/ GRADE AREAS TO BE TURFED TO 120MM BELOW THE REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITH 1500MM OF ANY EXISTING TREE TO BE RETAINED. ENSURE THAT ALL OF THE SURFACE WATER RUNOFF IS TO BE DIRECTED TOWARDS THE INLET PITS, KERBS ETC. AD AWAY FROM BUILDINGS. ENSURE THAT NO POOLING OR PONDING WILL OCCUR. RIP SUBGRADE TO 150MM DEEP. INSTALL 100MM DEPTH OF IMPORTED TOPSOIL JUST PRIOR TO SPREADING TURF, SPREAD 'SHIRLEYS NO. 17 LAWN FERTILISER' OVER THE TOPSOIL AT THE RECOMMENED RATE. LAY SIR WALTER BUFFALO TURF ROLLS CLOSELY BUTTED. FILL ANY SMALL GAPS WITH TOPSOIL. WATER THOROUGHLY.

STABILISED CRUSHED SANDSTONE PATH TO BE CRUSHED SANDSTONE OVER WEEDMAT TO DEPTH OF 50MM. STABILSED WITH 5% CEMENT

TIMBER EDGING TREATED HARDWOOD EDGING. THE EDGES ARE TO BE LAID IN EVEN CURVES AND STRAIGHT LINES AS INDICATED ON THE PLAN. WHERE TIGHT CURVES ARE SHOWN SCORE TIMBER TO ACHIEVE MORE EVEN CURVES. THE TOP OF THE EDGE IS TO FINISH FLUSH WIH THE ADJACENT TURF AND MULCH LEVELS.

PLANTING AREAS ENSURE THAT THE MASS PLANTING AREAS HAVE BEEN EXCAVATED TO 300MM BELOW FINISHED LEVELS. RIP TO A FURTHER DEPTH OF 150MM. SUPPLY AND INSTALL 300MM SOIL MIX IF REQUIRED OR IMPROVE EXISTING SOIL WITH COMPOST BLEND. SOIL MIX TO COMPRISE OF ONE PART APPROVED COMPOST TO THREE PARTS TOP SOIL. TOPSOIL SHALL BE EITHER IMPORTED TOPSOIL OR STOCKPILED SITE TOPSOIL (IF SUITABLE IE. NO CLAY). INSTALL 75MM OF SELECTED MULCH. MULCH TO BE ANL 'FOREST BLEND'.

LEGEND



EXISTING TREE TO BE REMOVED

EXISTING TREE TO BE RETAINED

PROPOSED TREES, SHRUBS & GROUND COVER (REFER NO. TO PLANT SCHEDULE)

TIMBER GARDEN EDGE

TURF LAWN AREA

SELECTED CLOTHES LINE



NEPEAN STONES DRIVE WAY COLOR CONCRETE



Ph: 0466 999 428

Email: pioneer_43@hotmail.com



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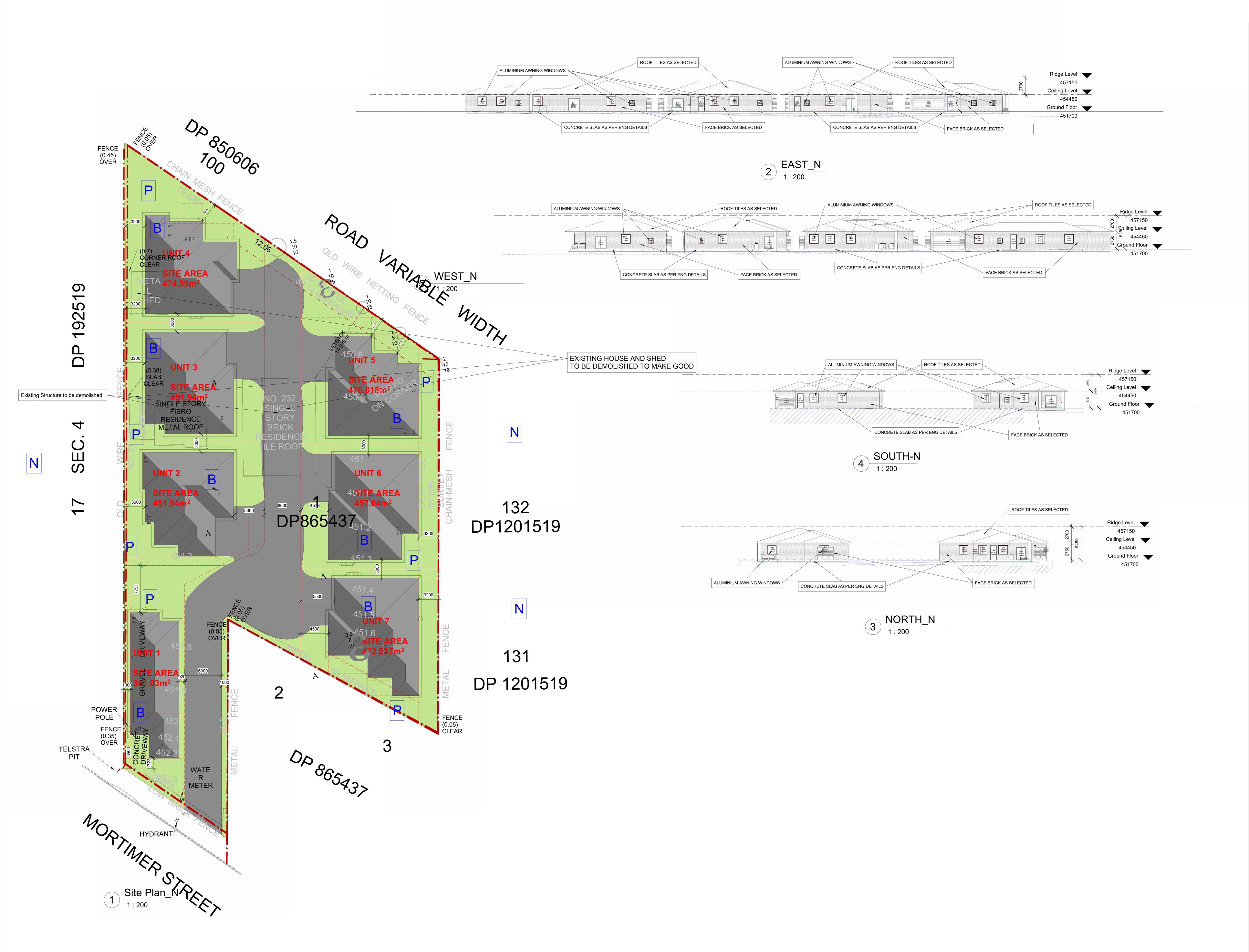
LANDSCAPE PLAN

Project number	2022.01
Date	05/07/2022
Drawn by	TR
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DW 19

Scale

As indicated





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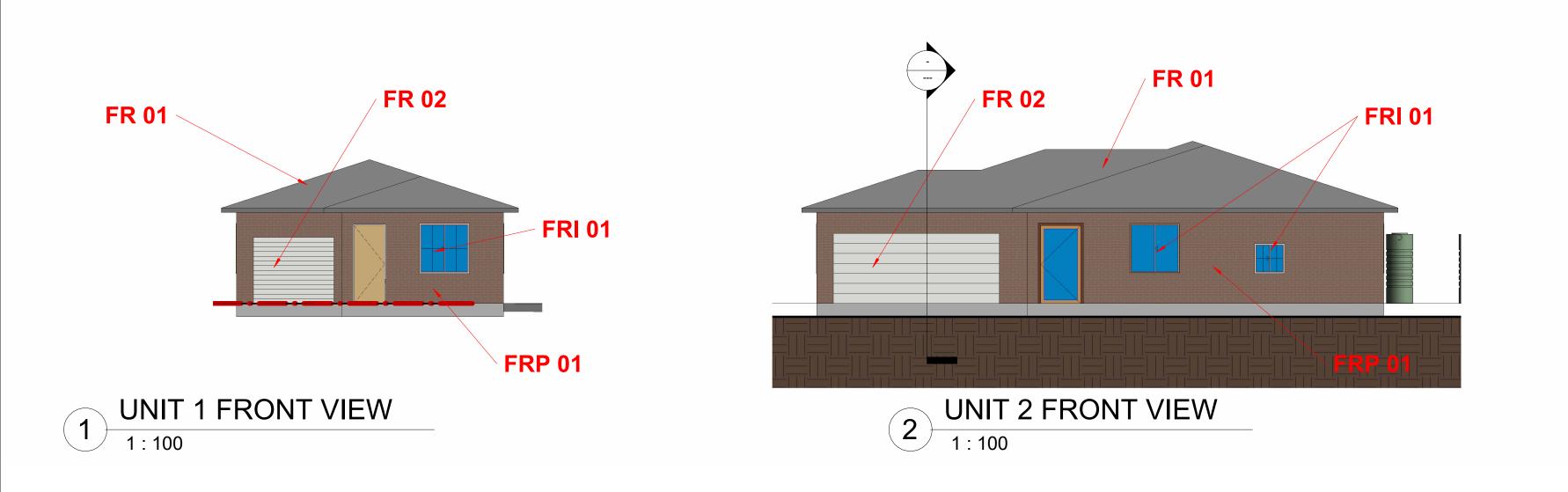
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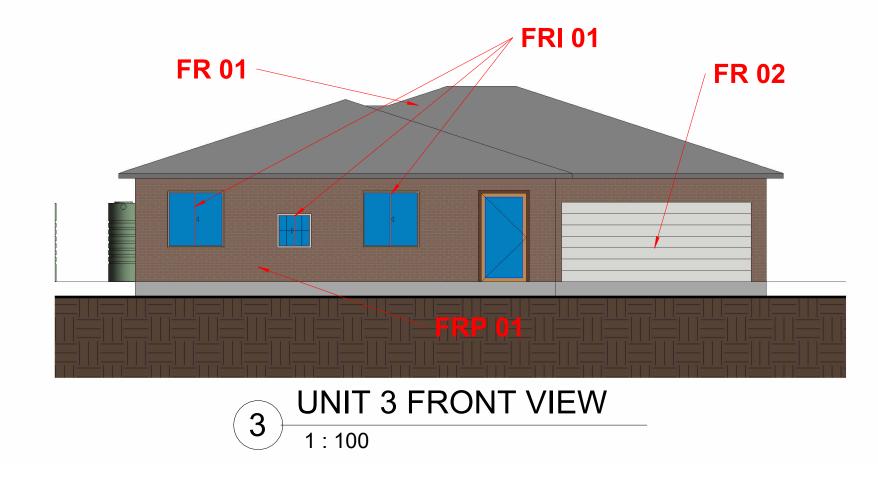
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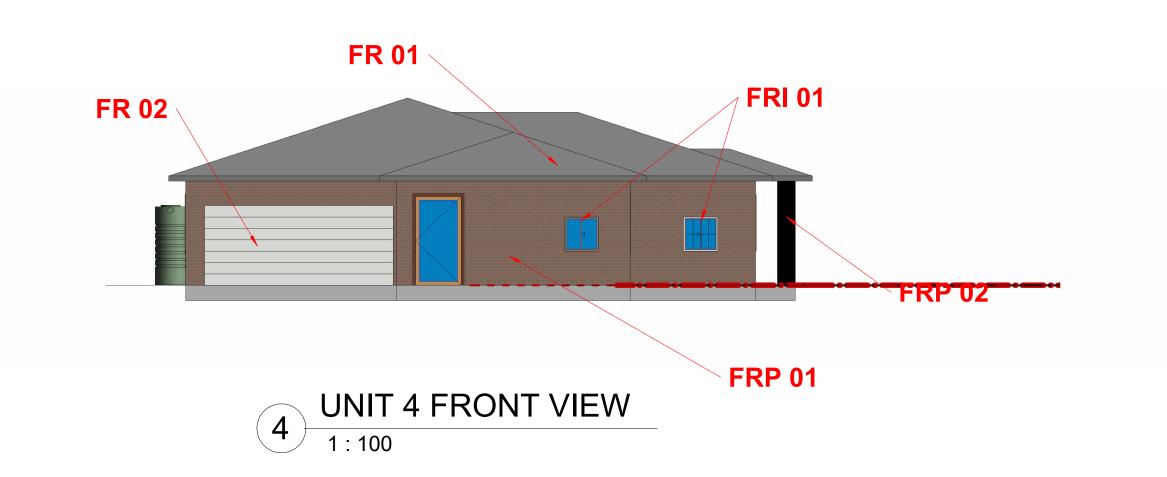
NOTIFICATION PLAN

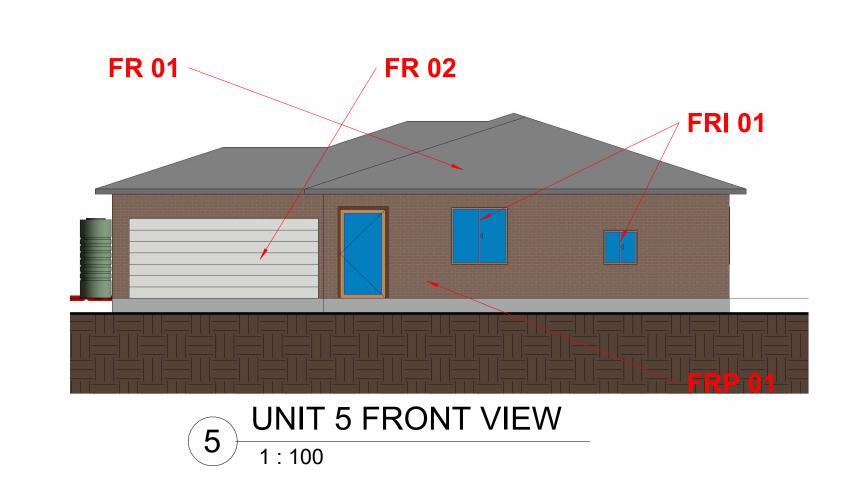
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Date	05/07/2022	
Drawn by	TR	
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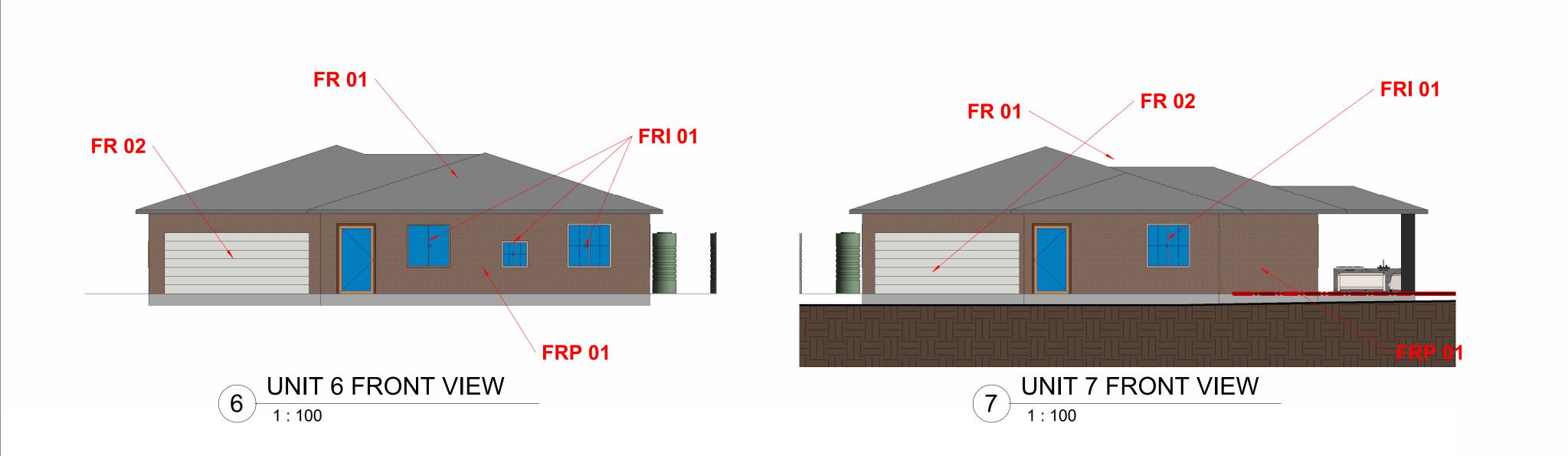
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KEYNOTE	MATERIAL IMAGE	MATERIAL COMMENTS
FR01	Dutur C29 Colorbond® Monument®	ROOF TILES MONUMENT COLOUR
FR02		GARAGE DUNE COLOUR
FWI01		ALUMINIUM WINDOWS AS SELECTED
FWP01		BRICK ENGAGE AUSTRAL BRICKS
FWP02		BRICK COLUMN WITH RENDER





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ABN: 35 621 059 765
Ph:0466 999 428
Email:pioneer_43@hotmail.com

DESCON AUSTRALIA PTY LTD



No.	Description	Date
Α	Revised_Council_Letter	29/09/2022

ADAM HUGHES

232 MORTIMER ST MUDGEE

EXTERNAL FINISHES

 Project number
 2022.01

 Date
 05/07/2022

 Drawn by
 TR

 Checked by
 FR

DW 21

Scale As indicated

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