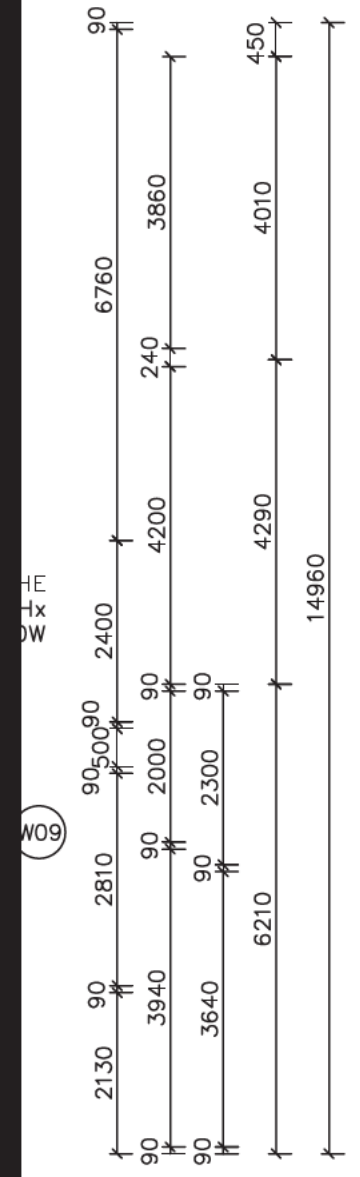
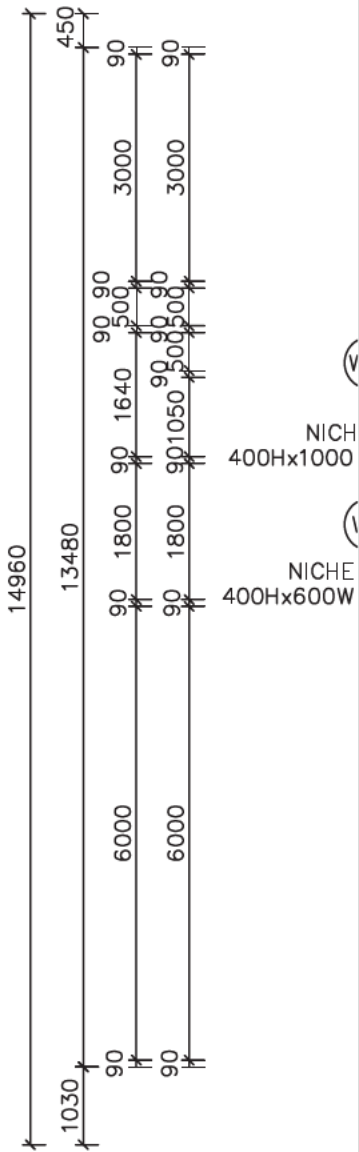
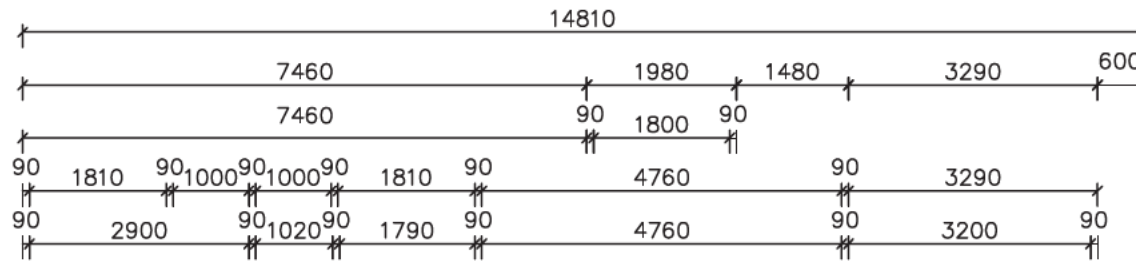




LIVING	144.70
GARAGE	36.52
PATIO	3.51
REAR PATIO	13.19
<b>TOTAL</b>	<b>197.92 sq.m.</b>
	<b>(21.30 sq.)</b>



**\* NOTE: EXTERNAL LIGHTING**  
 ALL EXTERNAL LIGHT FITTINGS ARE TO BE SHIELDED.  
 I.E. DOES NOT PERMIT LIGHT TO SHINE ABOVE THE HORIZONTAL PLANE.

\* ALL DIMENSIONS ARE TO BE CONFIRMED BY THE BUILDER PRIOR TO CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. BUILDING SET OUT & SITE BOUNDARY DETAILS TO BE CONFIRMED BY A REGISTERED SURVEYOR. ALL WORK TO BE CARRIED OUT TO RELEVANT STANDARDS AND BUILDING CODES.

NOTES - STAIR TREADS TO COMPLY WITH BCA 3.9.1.3

- ⊙ SA SMOKE ALARM
- ⊙ EXHAUST FAN

EXHAUST SYSTEMS INSTALLED (INCLUDING TASTIC & LIGHT VENT COMBO) TO HAVE MINIMUM FLOW RATE IN ACCORDANCE WITH PART 3.8.7 NCC 2019

EXHAUST SYSTEMS (INCLUDING TASTIC & LIGHT VENT COMBO) TO DISCHARGE TO OUTSIDE AIR OR VENTILATED ROOF SPACE AS PER PART 3.8.7 NCC 2019. METHOD CHOSEN IS TO MATCH COMPLIANCE WITH THE RELEVANT BASIX CERTIFICATE.

PLIABLE BUILDING MEMBRANE INSTALLED IN EXTERNAL WALLS TO BE A VAPOR PERMEABLE TYPE, COMPLY WITH AS/NZS 4200.1 AND BE INSTALLED AS PER AS4200.2

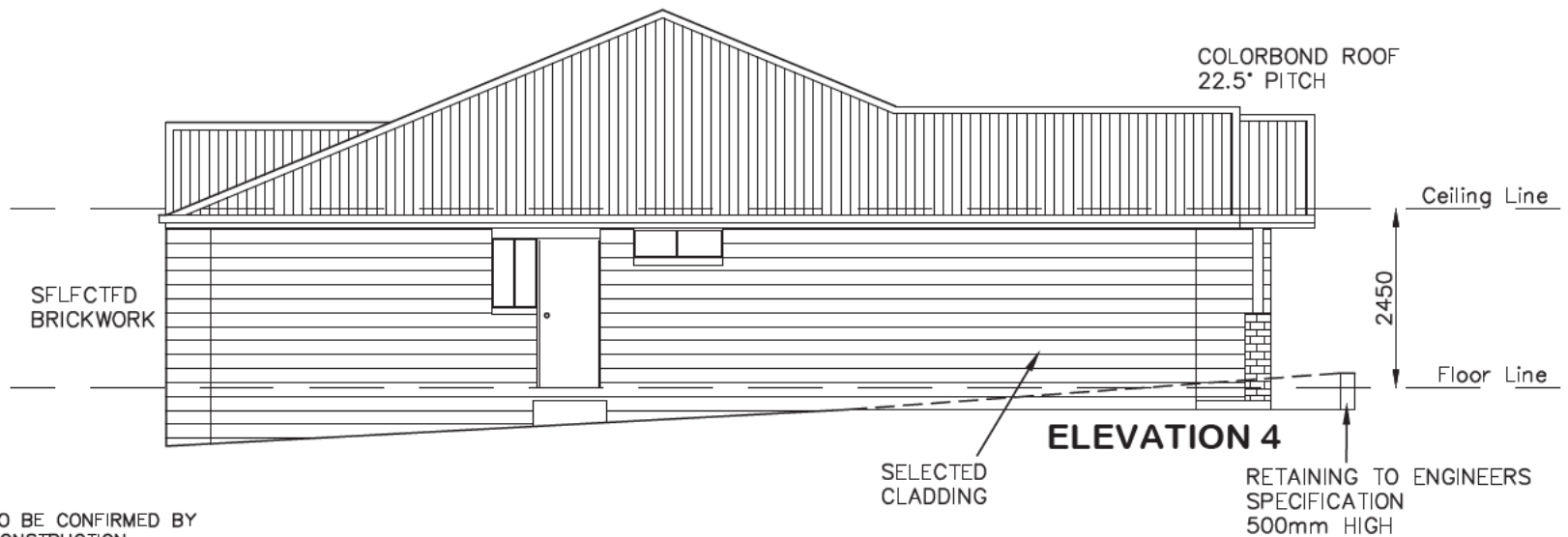
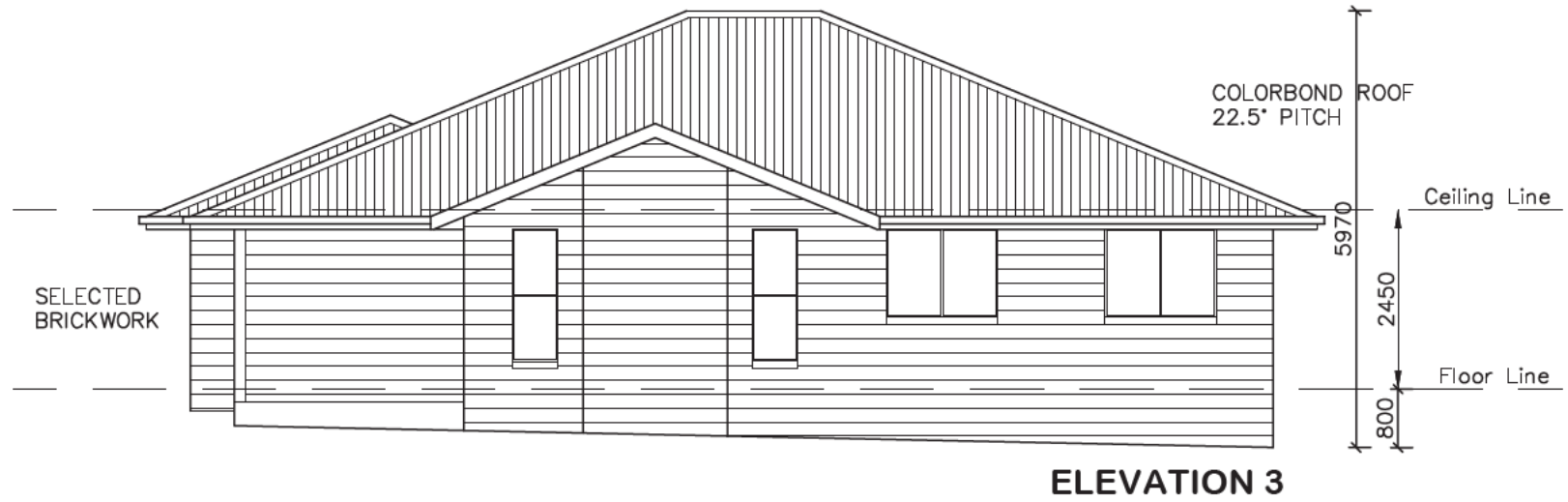
EXTERNAL DOORS AND OPENABLE WINDOWS IN CONDITIONED SPACES TO BE SEALED TO RESTRICT AIR INFILTRATION AS PER PART 3.12.3 NCC 2019



DATE: 02.08.22	SCALE: 1:100 (A3)	DRAWN: WP
SHEET: 1 / 6	JOB No: 22073	ISSUE: E

DRAWING:  
 FLOOR PLAN  
 LOT 710 HONE CREEK DRIVE, MUDGEES  
 SHANE KAIDA





\* ALL DIMENSIONS ARE TO BE CONFIRMED BY THE BUILDER PRIOR TO CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. BUILDING SET OUT & SITE BOUNDARY DETAILS TO BE CONFIRMED BY A REGISTERED SURVEYOR. ALL WORK TO BE CARRIED OUT TO RELEVANT STANDARDS AND BUILDING CODES.



DATE:  
02.08.22

SCALE:  
1:100 (A3)

DRAWN:  
WP

DRAWING:  
ELEVATIONS  
LOT 710 HONE CREEK DRIVE, MUDGEE  
SHANE KAIDA

SHEET:  
2 / 6

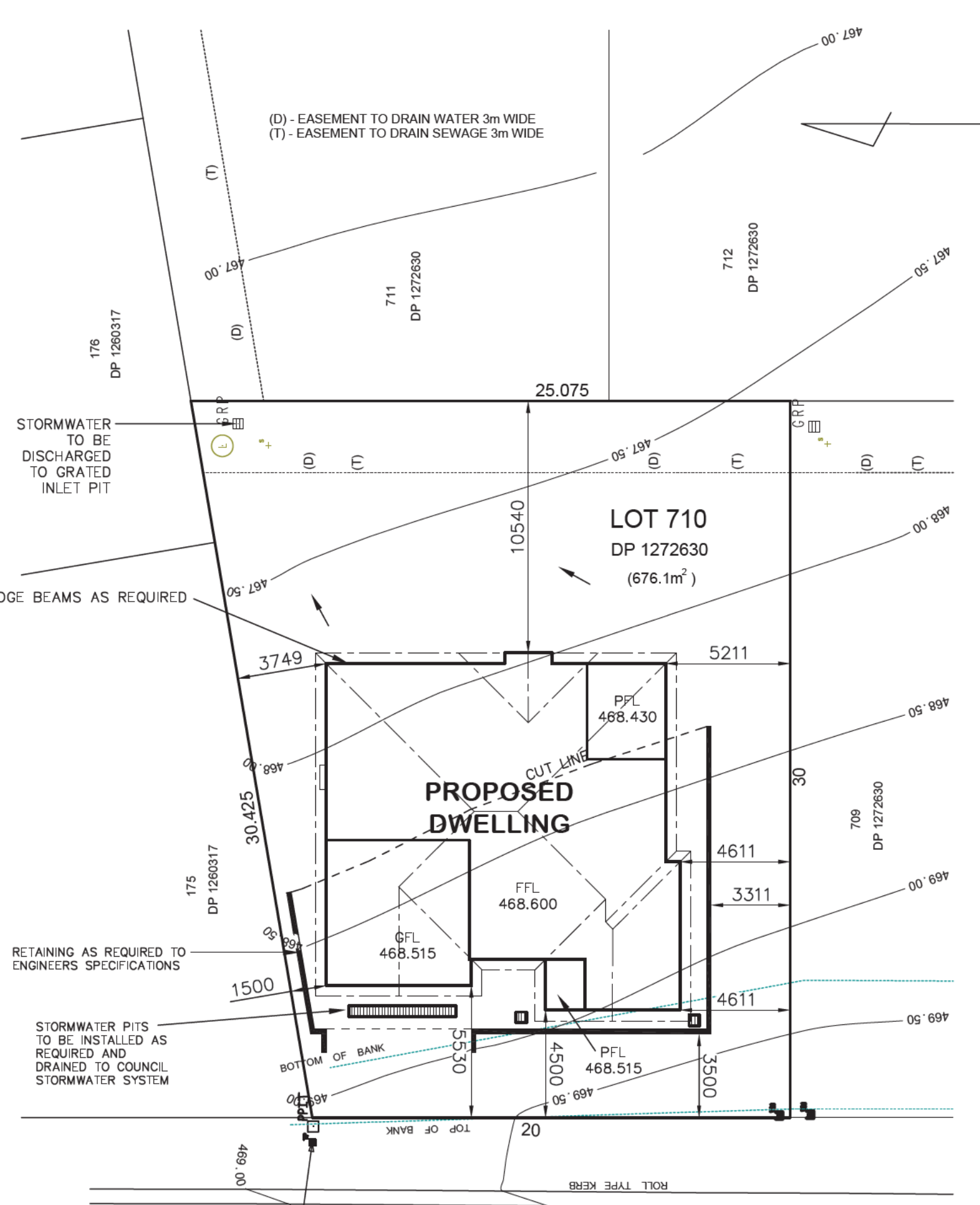
JOB No:  
22073

ISSUE:  
E



**AVALON DRAFTING**

2/2 Blueridge Drive Dubbo NSW 2830  
Ph: (02) 6885 3594 / Mob: 0408 296 502



\* ALL DIMENSIONS ARE TO BE CONFIRMED BY THE BUILDER PRIOR TO CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. BUILDING SET OUT & SITE BOUNDARY DETAILS TO BE CONFIRMED BY A REGISTERED SURVEYOR. ALL WORK TO BE CARRIED OUT TO RELEVANT STANDARDS AND BUILDING CODES.

\* ALL SURFACE LEVELS AND FEATURE LOCATIONS ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION

\* THE PROPOSED RESIDENCE SLAB IS TO BE CONSTRUCTED ON A LEVEL BUILDING PAD PREPARED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S SPECIFICATIONS. THE MAIN FINISHED FLOOR LEVEL IS TO BE SET MINIMUM 300mm ABOVE THE CONSTRUCTION PAD LEVEL. FINISHED SURFACE LEVELS ARE TO GRADE AWAY FROM THE BUILDING PERIMETER TO PREVENT WATER PONDING NEAR EXTERNAL WALLS WITHOUT BEING DETRIMENTAL TO NEIGHBOURING PROPERTIES. THE BUILDER IS TO CONFIRM AVAILABLE FALLS TO SEWER CONNECTION POINTS & STORMWATER DISCHARGE POINTS PRIOR TO ESTABLISHING THE BUILDING FINISHED FLOOR LEVEL.



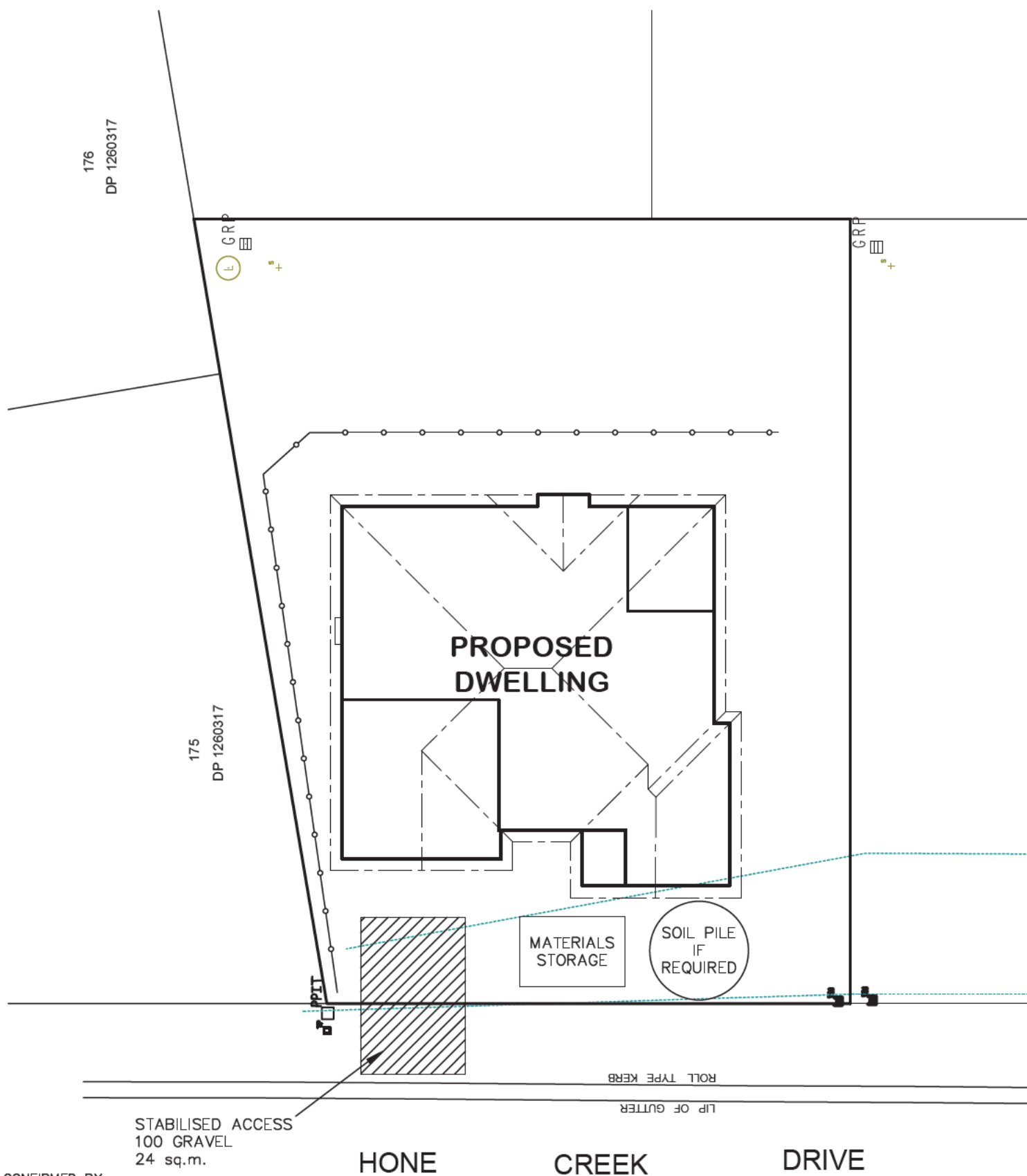
← DENOTES DIRECTION OF SURFACE WATER ON COMPLETION OF LANDSCAPING.



<b>DATE:</b> 02.08.22	<b>SCALE:</b> 1:200 (A3)	<b>DRAWN:</b> WP
<b>SHEET:</b> 3 / 6	<b>JOB No:</b> 22073	<b>ISSUE:</b> E

**DRAWING:**  
SITE PLAN  
LOT 710 HONE CREEK DRIVE, MUDGEES  
SHANE KAIDA





\* ALL DIMENSIONS ARE TO BE CONFIRMED BY THE BUILDER PRIOR TO CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. BUILDING SET OUT & SITE BOUNDARY DETAILS TO BE CONFIRMED BY A REGISTERED SURVEYOR. ALL WORK TO BE CARRIED OUT TO RELEVANT STANDARDS AND BUILDING CODES.

\* ALL SURFACE LEVELS AND FEATURE LOCATIONS ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION

\* THE PROPOSED RESIDENCE SLAB IS TO BE CONSTRUCTED ON A LEVEL BUILDING PAD PREPARED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S SPECIFICATIONS. THE MAIN FINISHED FLOOR LEVEL IS TO BE SET MINIMUM 300mm ABOVE THE CONSTRUCTION PAD LEVEL. FINISHED SURFACE LEVELS ARE TO GRADE AWAY FROM THE BUILDING PERIMETER TO PREVENT WATER PONDING NEAR EXTERNAL WALLS WITHOUT BEING DETRIMENTAL TO NEIGHBOURING PROPERTIES. THE BUILDER IS TO CONFIRM AVAILABLE FALLS TO SEWER CONNECTION POINTS & STORMWATER DISCHARGE POINTS PRIOR TO ESTABLISHING THE BUILDING FINISHED FLOOR LEVEL.



NOTES:

1. ALL RUNOFF & SEDIMENT CONTROL STRUCTURES TO BE MAINTAINED IN A FUNCTIONAL CONDITION.
2. ALL VEGETATION OUTSIDE THE DWELLING SITE WILL BE RETAINED.

—○—○—○— SEDIMENT FENCE



DATE: 02.08.22	SCALE: 1:200 (A3)	DRAWN: WP
SHEET: 4 / 6	JOB No: 22073	ISSUE: E

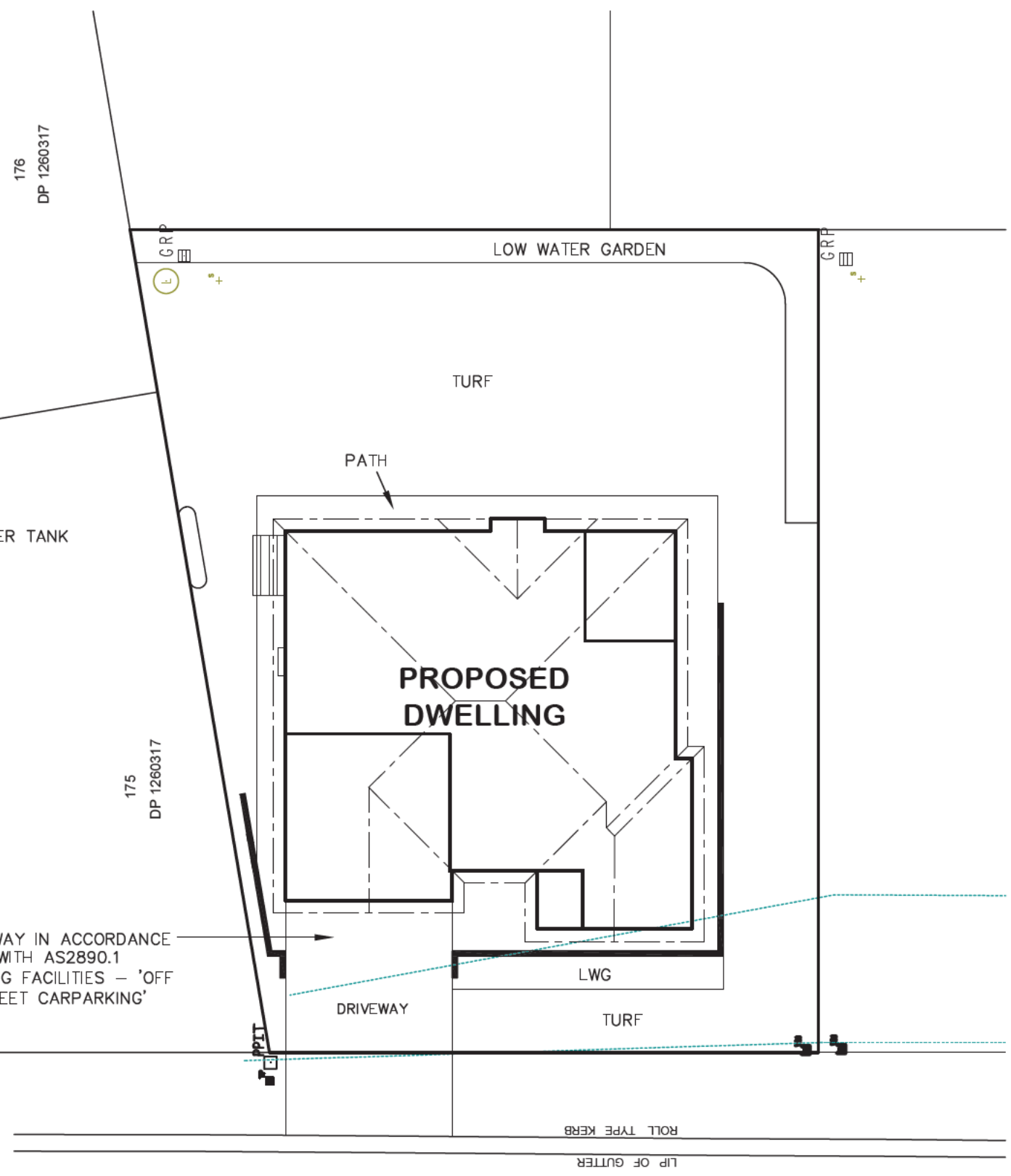
DRAWING:  
EROSION & SEDIMENT CONTROL PLAN  
LOT 710 HONE CREEK DRIVE, MUDGEE  
SHANE KAIDA


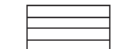


**AVALON DRAFTING**

2/2 Blueridge Drive Dubbo NSW 2830  
Ph: (02) 6885 3594 / Mob: 0408 296 502





-  3000L POLY RAINWATER TANK
-  CLOTHESLINE

DRIVEWAY IN ACCORDANCE WITH AS2890.1  
PARKING FACILITIES – 'OFF STREET CARPARKING'

HONE CREEK DRIVE

\* ALL DIMENSIONS ARE TO BE CONFIRMED BY THE BUILDER PRIOR TO CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. BUILDING SET OUT & SITE BOUNDARY DETAILS TO BE CONFIRMED BY A REGISTERED SURVEYOR. ALL WORK TO BE CARRIED OUT TO RELEVANT STANDARDS AND BUILDING CODES.

\* ALL SURFACE LEVELS AND FEATURE LOCATIONS ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION

\* THE PROPOSED RESIDENCE SLAB IS TO BE CONSTRUCTED ON A LEVEL BUILDING PAD PREPARED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S SPECIFICATIONS. THE MAIN FINISHED FLOOR LEVEL IS TO BE SET MINIMUM 300mm ABOVE THE CONSTRUCTION PAD LEVEL. FINISHED SURFACE LEVELS ARE TO GRADE AWAY FROM THE BUILDING PERIMETER TO PREVENT WATER PONDING NEAR EXTERNAL WALLS WITHOUT BEING DETRIMENTAL TO NEIGHBOURING PROPERTIES. THE BUILDER IS TO CONFIRM AVAILABLE FALLS TO SEWER CONNECTION POINTS & STORMWATER DISCHARGE POINTS PRIOR TO ESTABLISHING THE BUILDING FINISHED FLOOR LEVEL.



<b>DATE:</b> 02.08.22	<b>SCALE:</b> 1:200 (A3)	<b>DRAWN:</b> WP
<b>SHEET:</b> 5 / 6	<b>JOB No:</b> 22073	<b>ISSUE:</b> E

**DRAWING:**  
BASIX COMMITMENTS PLAN  
LOT 710 HONE CREEK DRIVE, MUDGEE  
SHANE KAIDA



BASIX COMMITMENTS	
<b>WATER COMMITMENTS</b> <b>LANDSCAPE</b> AREA LOW WATER USE SPECIES OF VEGETATION <b>FIXTURES</b> SHOWER HEAD RATING TOILET FLUSHING SYSTEM RATING KITCHEN TAPS BASIN TAPS <b>ALTERNATIVE WATER</b> <b>RAINWATER TANK</b> RAINWATER TANK CAPACITY ROOF COLLECTION AREA FOR R/W  R/W TANK CONNECTED TO	53.2 SQ.M. MIN RATING 4 STAR 4 STAR 5 STAR 5 STAR  3000 LITRE 100 SQ.M.  MIN 1 No. OUTDOOR TAP ALL TOILETS IN DWELLING THE COLD WATER TAP THAT SUPPLIES THE CLOTHES WASHER
<b>ENERGY COMMITMENTS</b> <b>HOT WATER SYSTEM</b> <b>COOLING SYSTEM</b> <b>HEATING SYSTEM</b> <b>VENTILATION</b> <b>BATHROOM</b> <b>KITCHEN</b> <b>LAUNDRY</b>	GAS INSTANTANEOUS - 5 STAR REVERSE CYCLE: EER 3.0-3.5 WITH DAY/NIGHT ZONING BETWEEN LIVING/BED AREAS REVERSE CYCLE: EER 3.0-3.5 WITH DAY/NIGHT ZONING BETWEEN LIVING/BED AREAS  EXTRACT FAN DUCTED TO ROOF OR FACADE - MANUAL ON/OFF EXTRACT FAN DUCTED TO ROOF OR FACADE - MANUAL ON/OFF NATURAL VENTILATION ONLY
<b>ARTIFICIAL LIGHTING</b> <b>KITCHEN</b> <b>BATHROOMS/TOILETS</b> <b>LAUNDRY</b> <b>HALLWAYS</b> <b>LIVING AREAS</b> <b>BEDROOMS</b>	PRIMARY TYPE OF ARTIFICIAL LIGHTING IS FLUORESCENT OR LIGHT EMITTING DIODE (LED) PRIMARY TYPE OF ARTIFICIAL LIGHTING IS FLUORESCENT OR LIGHT EMITTING DIODE (LED) PRIMARY TYPE OF ARTIFICIAL LIGHTING IS FLUORESCENT OR LIGHT EMITTING DIODE (LED) PRIMARY TYPE OF ARTIFICIAL LIGHTING IS FLUORESCENT OR LIGHT EMITTING DIODE (LED) PRIMARY TYPE OF ARTIFICIAL LIGHTING IS FLUORESCENT OR LIGHT EMITTING DIODE (LED) X 3 PRIMARY TYPE OF ARTIFICIAL LIGHTING IS FLUORESCENT OR LIGHT EMITTING DIODE (LED) X 4
<b>NATURAL LIGHTING</b> <b>KITCHEN</b> <b>BATHROOMS/TOILETS</b>	WINDOW x 2
<b>APPLIANCES</b> <b>KITCHEN</b> <b>REFRIGERATOR SPACE</b> <b>CLOTHES DRYING</b>	WELL VENTILATED AS BASIX DEFINITION OUTDOOR CLOTHES DRYING LINE

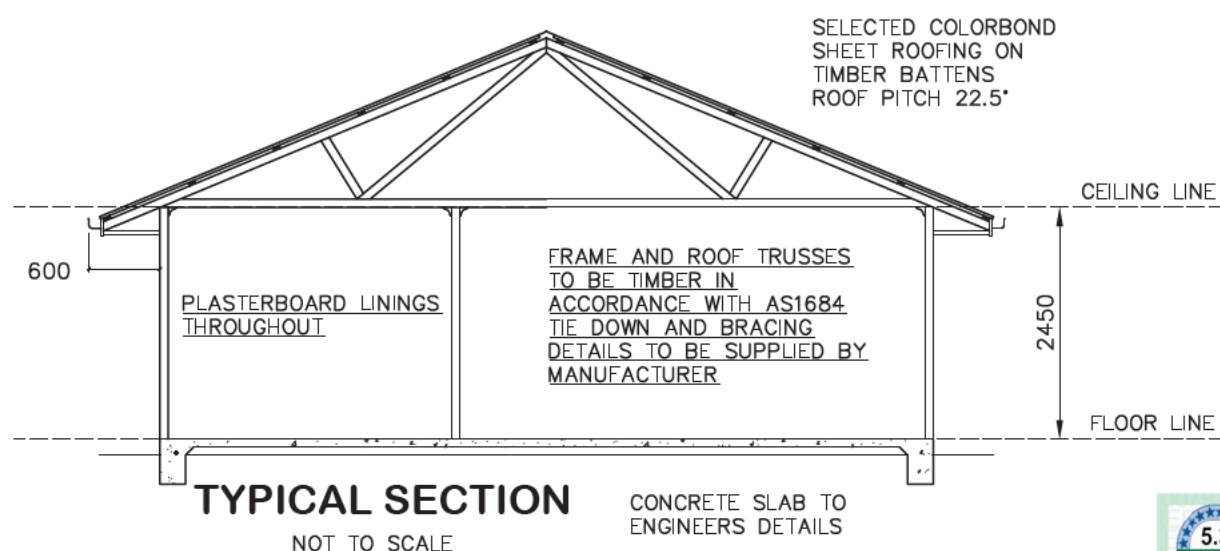
These are the specifications upon which the Basix assessment is based. These specifications take precedence over the drawings or other specifications.

\* NOTE - WIND CLASSIFICATION TO BE N2

\* ALL DIMENSIONS ARE TO BE CONFIRMED BY THE BUILDER PRIOR TO CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. BUILDING SET OUT & SITE BOUNDARY DETAILS TO BE CONFIRMED BY A REGISTERED SURVEYOR. ALL WORK TO BE CARRIED OUT TO RELEVANT STANDARDS AND BUILDING CODES.

\* ALL SURFACE LEVELS AND FEATURE LOCATIONS ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION

\* THE PROPOSED RESIDENCE SLAB IS TO BE CONSTRUCTED ON A LEVEL BUILDING PAD PREPARED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S SPECIFICATIONS. THE MAIN FINISHED FLOOR LEVEL IS TO BE SET MINIMUM 300mm ABOVE THE CONSTRUCTION PAD LEVEL. FINISHED SURFACE LEVELS ARE TO GRADE AWAY FROM THE BUILDING PERIMETER TO PREVENT WATER PONDING NEAR EXTERNAL WALLS WITHOUT BEING DETRIMENTAL TO NEIGHBOURING PROPERTIES. THE BUILDER IS TO CONFIRM AVAILABLE FALLS TO SEWER CONNECTION POINTS & STORMWATER DISCHARGE POINTS PRIOR TO ESTABLISHING THE BUILDING FINISHED FLOOR LEVEL.



DATE:  
02.08.22

SCALE:  
N / A

DRAWN:  
WP

DRAWING:  
BASIX COMMITMENTS & TYP SECTION  
LOT 710 HONE CREEK DRIVE, MUDGEE  
SHANE KAIDA

SHEET:  
6 / 6

JOB No:  
22073

ISSUE:  
E

