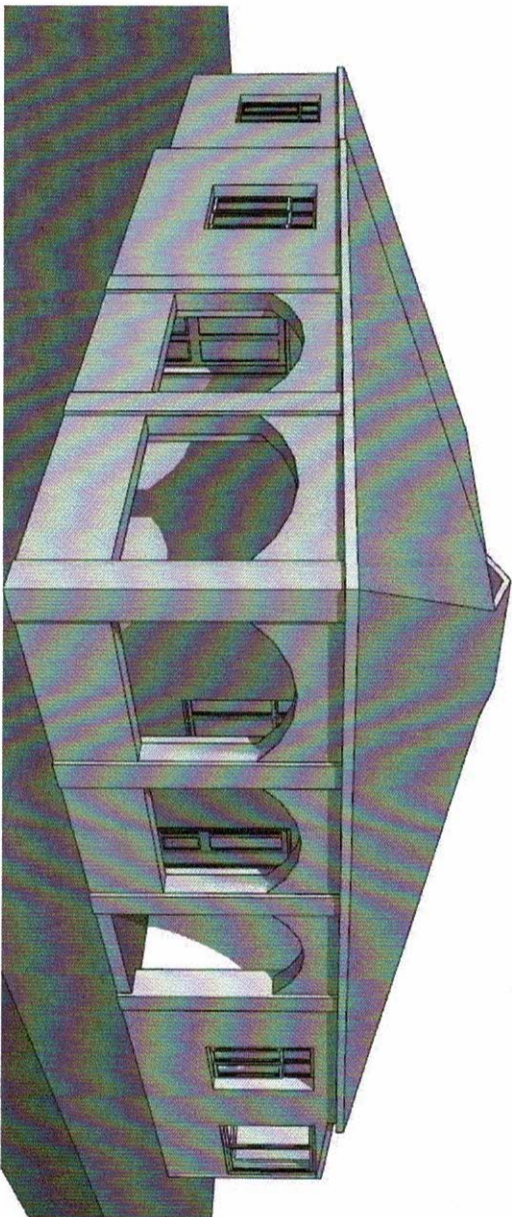


M MATTHEWS + J DUFFY  
 BCA CLASS 1 RESIDENTIAL ALTERATIONS + ADDITIONS  
 53 DENISON STREET MUDGEE NSW 2850  
 LOT 1 DP 794928

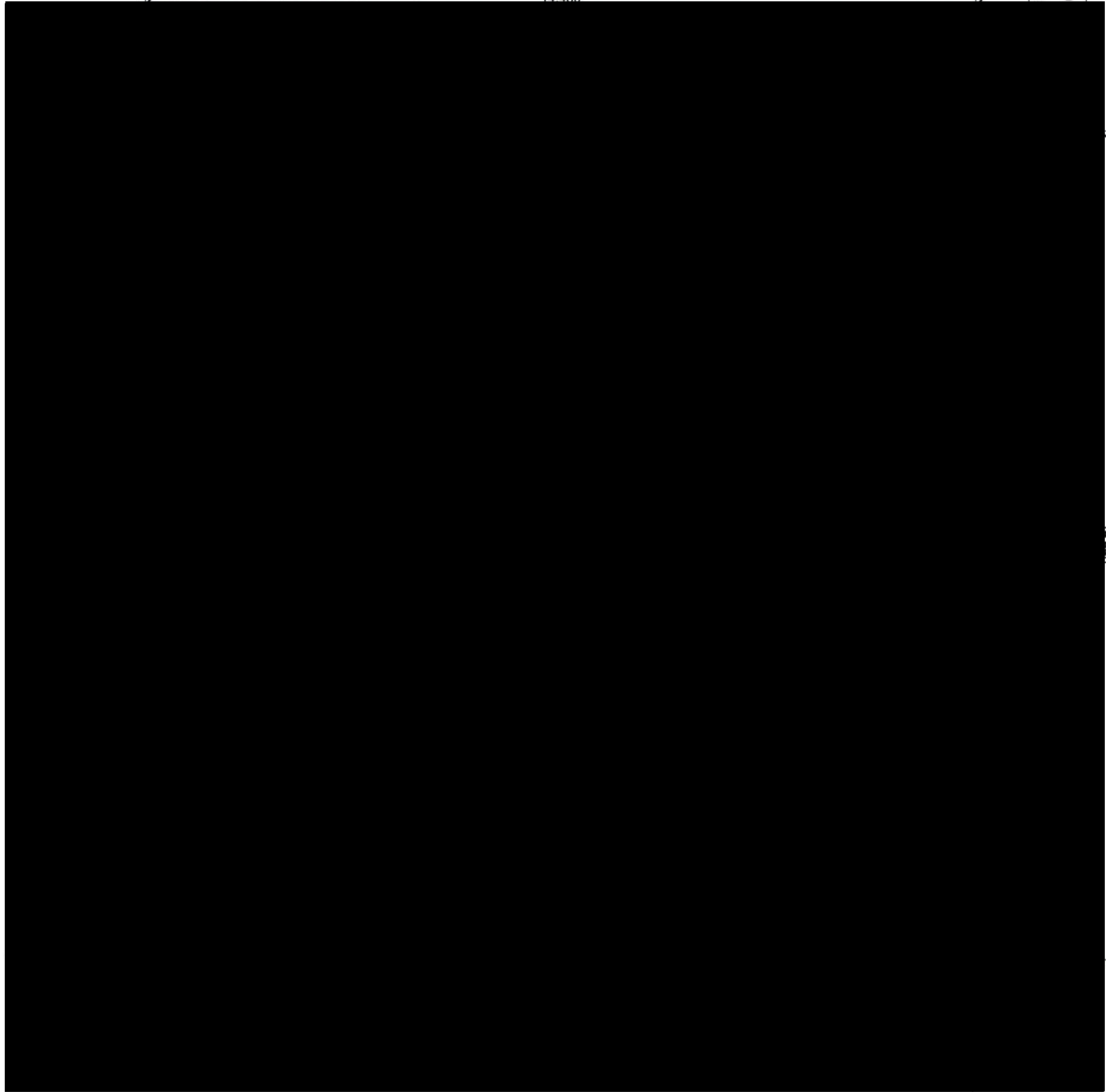


SHEET	DWG	DESCRIPTION	REVISION/ DATE
1	A.000	COVER	G 08/11/2022
2	A005	EXISTING FLOOR PLAN	G 08/11/2022
3	A105	PROPOSED FLOOR PLAN	G 08/11/2022
4	A105.2	ENLARGED ADDITION PLAN	G 08/11/2022
5	A101	SITE PLAN + BASIX NOTES	G 08/11/2022
6	A201	ELEVATIONS	G 08/11/2022
7	A301	SECTION	G 08/11/2022
8	A113	ROOF PLAN	G 08/11/2022
9	A001	SAFETY NOTES	G 08/11/2022
10	A601	3D IMAGES	G 08/11/2022
11	A006	EXISTING SITE PLAN	G 08/11/2022

EXISTING BUILDING 150.00  
 EXISTING VERANDAH 25.59

14.450

14.440



EXISTING FLOOR PLAN

1:80

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**bdca**  
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 BUILDING DESIGNER  
 Chartered Member  
 Number 1187-10

<b>Client</b> M MATTHEWS + J DUFFY	
<b>Site Address</b> 53 DENISON STREET MUDGEE NSW 2850	
<b>Drawing</b> EXISTING FLOOR PLAN	<b>Sheet No.</b> 2
Lot 1 DP794928	<b>Date</b> 8 NOV 2022 <b>Plan/Revision</b> A.005/G

KEY	
CONC	CONCRETE
CH	CEILING ACCESS HATCH
COF	CONCRETE WITH OXIDE FINISH
CPT	CARPET
CT	CERAMIC TILE TO CEILING
DW	DISHWASHER
ET	EXTERNAL TILE
FC	FIBRE CEMENT SHEETING PAINT FINISH
X	FLOOR WASTE
HWS	HOT WATER SERVICE
PB	PLASTERBOARD PAINT FINISH
RC A/C	REVERSE CYCLE AIR CONDITIONER
RWT	RAIN WATER TANK
EMB	ELECTRICAL METER BOARD
SA	SMOKE ALARM/DETECTOR
SHR	SHOWER
S/R	SHEET ROOF
TFF	TIMBER FLOATING FLOOR
T/R	TILED ROOF
VNL	VINYL
GAS	GAS OUTLET
EXH	EXHAUST DUCTED -MANUAL SWITCH
EXGPO	EXTERNAL POWER OUTLET
EXG	LIGHT / FAN / HEATER

**DESIGN NOTES**

WALL HUNG VANITY WITH WALL MOUNTED TAPS TO ENSUITE -MIRRORS ABOVE VANITY WITH LIGHTING ABOVE

HEBEL (AAC) CLADDING AND TIMBER FRAMED EXTERNAL WALLS WITH COLOUR TO MATCH EXISTING RESIDENCE. ADDITIONAL INSULATION IN EXTERNAL WALL CAVITIES.

RECESSED SHELVES OR FULL LENGTH 1.2m HIGH WALL WHERE SHOWN IN ALL SHOWER AREAS

FLUSH FINISH TO ALL EXTERNAL DOORS / FRAMES

NON-SLIP FINISH TO ALL EXTERNAL CONCRETE AREAS + WET AREAS

JOINERY TO CLIENTS SELECTION IN OPEN LIVING+ WALK IN ROBE

ALL FLOORING TO FALL IN WET AREAS TO DRAINS

EXTERNAL SLABS AND HARD SURFACES TO FALL AWAY FROM RESIDENCE TO ALLOW FOR RUNOFF AWAY FROM BUILDING

FLOORING TO MATCH EXISTING

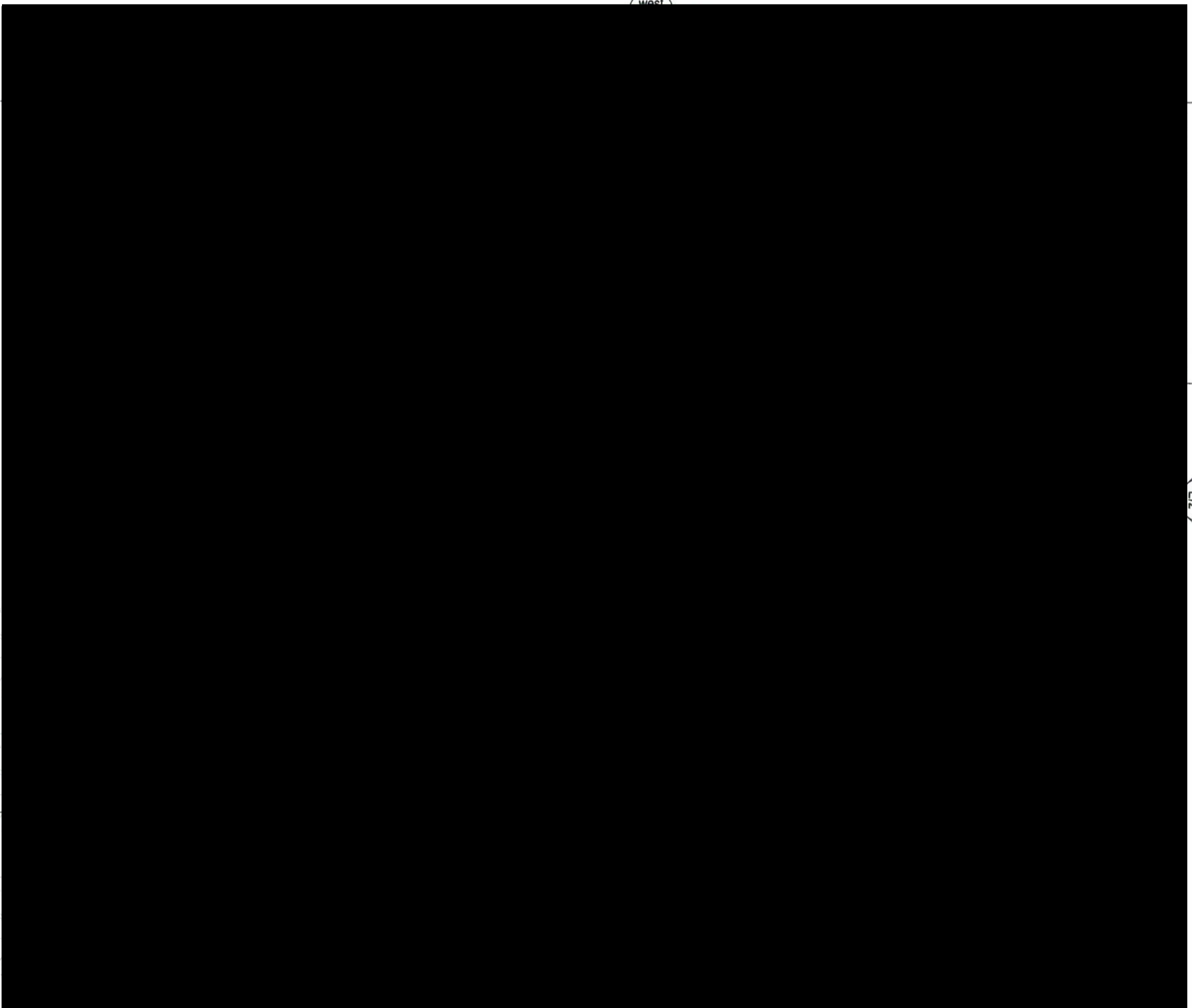
FLY SCREENS TO BE FITTED TO ALL EXTERNAL DOORS AND WINDOWS

LOW-E GLAZING AND DOUBLE GLAZING TO COMPLY WITH BASIX

OPTIONAL PERGOLA TO EXTEND OUT FROM MAIN ROOF OR FROM THE UNDERSIDE OF EAVE ON WEST

\* BUILDER TO CONFIRM ALL DIMENSIONS

TOTAL BUILDING AREA	193.77m <sup>2</sup>
VERANDAH AREA	25.59m <sup>2</sup>
TOTAL	219.36m <sup>2</sup>



**PROPOSED FLOOR PLAN**

**1:100**

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Chartered Member  
 Number 1187-10

Client <b>M MATTHEWS + J DUFFY</b>	
Site Address <b>53 DENISON STREET MUDGEE NSW 2850</b>	
Drawing <b>PROPOSED FLOOR PLAN</b>	Sheet No. <b>3</b>
Lot 1 DP794928	Date <b>8 NOV 2022</b>
Plan/Revision <b>A.105/G</b>	

16,890

west  
E/3

6,000



OUTDOOR ALFRESCO AREA

50.04m<sup>2</sup>

16,890

ENLARGED AD



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Plans drawn by  
Gicinta Browning

Client  
M MATTHEWS + J DUFFY  
Site Address  
53 DENISON STREET  
MUDGEE NSW 2850

Drawing  
ENLARGED ADDITION PLAN  
Date  
8 NOV 2022  
Sheet No.  
4  
Lot 1 DP794928  
Plan/Revision  
A.105.2/B



LOCATION MAP

**BASIX COMMITMENTS**

**WATER COMMITMENTS**

EXTURES  
SHOWERHEADS TO BE INSTALLED WITH A MINIMUM 3 STAR RATING WITH FLOW RATE NO > 9L/MIN  
FLUSHING TOILETS WITH A MINIMUM 3 STAR RATING AVERAGE 4L PER FLUSH  
TAPS TO HAVE A MINIMUM 3 STAR RATING FLOW RATING NO > 9L/MIN  
LIGHTING 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LED LAMPS

**THERMAL COMFORT COMMITMENTS**

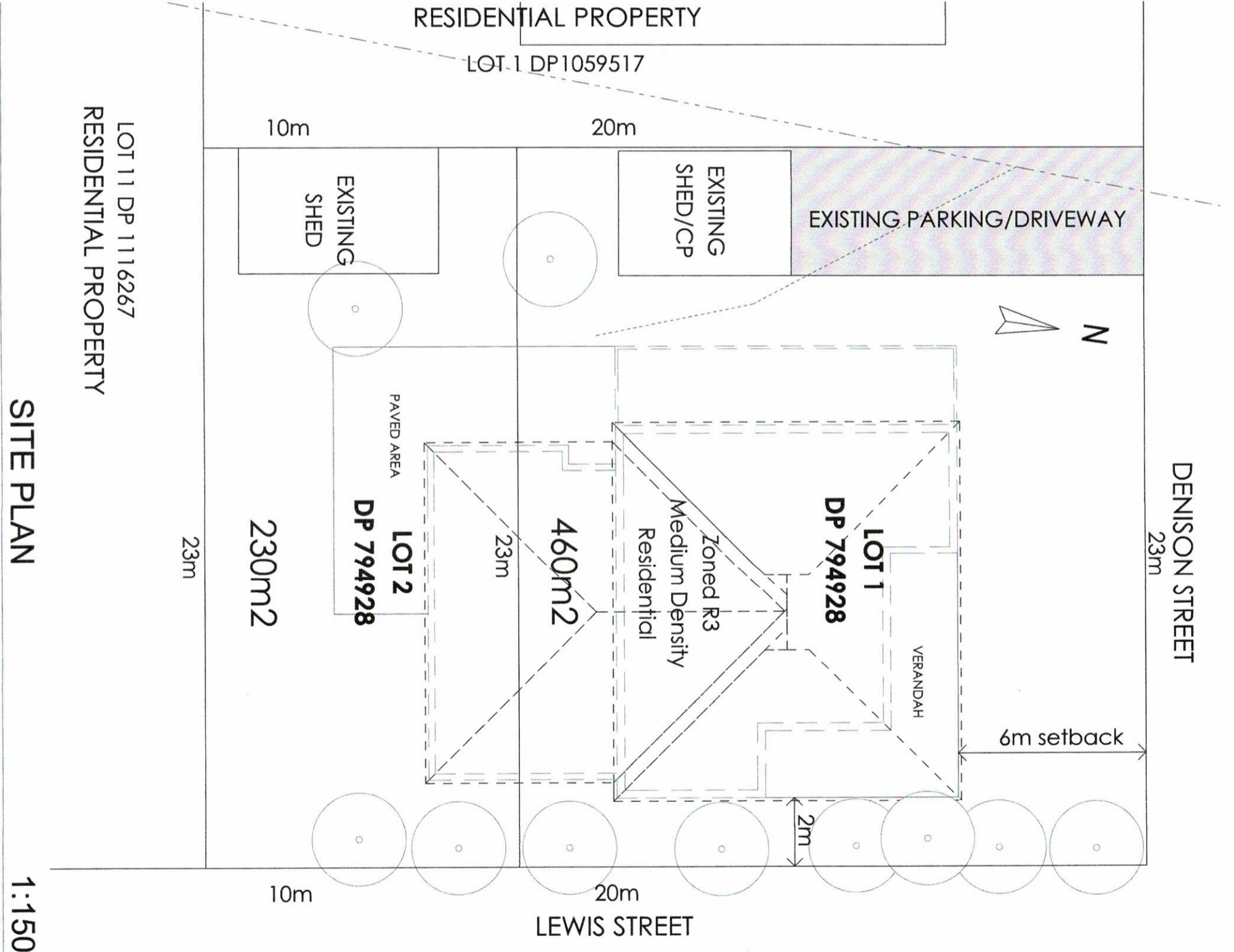
CONDITIONED FLOOR AREA MUST BE <300m<sup>2</sup> WITH NO HABITABLE ATTIC OR MEZZANINE LESS THAN 25m<sup>2</sup>. SINGLE OR TWO STOREY BUILDING ONLY.

**CONSTRUCTION:**

FLOOR -CONCRETE SLAB ON GROUND NIL ADDITIONAL INSULATION REQUIRED  
EXTERNAL WALL - AAC 75mm - ADDITIONAL INSULATION R-VALUE 1.03 (OR 1.7 INCLUDING CONSTRUCTION)  
FLAT CEILING AND PITCHED ROOF - ADDITIONAL INSULATION R-VALUE CEILING:R2.25 UP (UP) ROOF: FOLLSARKING  
UNVENTILATED: LIGHT SOLAR ABSORPTANCE <0.475 ACCEPTABLE TO ALL ROOF AREAS INSULATION INSTALLED IN ACCORDANCE WITH THE BCA PART 3.12.1.1

**WINDOWS, GLAZED DOORS AND SKYLIGHTS**

W1	W	STANDARD ALUMINIUM SINGLE CLEAR (U-VALUE 7.63 SHGC 0.75)
	EXTERNAL LOUVRE OR BLIND REQUIRED	
W2	W	STANDARD ALUMINIUM SINGLE CLEAR (U-VALUE 7.63 SHGC 0.75)
	EXTERNAL LOUVRE OR BLIND REQUIRED	
W3	S	STANDARD ALUMINIUM SINGLE CLEAR (U-VALUE 7.63 SHGC 0.75)
	STANDARD ALUMINIUM SINGLE CLEAR (U-VALUE 7.63 SHGC 0.75)	
W4	S	STANDARD ALUMINIUM SINGLE CLEAR (U-VALUE 7.63 SHGC 0.75)
	ALUMINIUM THERMALLY BROKEN LOW T-SOL-GAP/CLEAR (U-VALUE 3.1 SHGC 0.27)	
W5	E	STANDARD ALUMINIUM SINGLE CLEAR (U-VALUE 7.63 SHGC 0.75)
W6	E	STANDARD ALUMINIUM SINGLE CLEAR (U-VALUE 7.63 SHGC 0.75)
	STANDARD ALUMINIUM SINGLE CLEAR (U-VALUE 7.63 SHGC 0.75)	
D1	W	STANDARD ALUMINIUM SINGLE CLEAR (U-VALUE 7.63 SHGC 0.75)
	EXTERNAL LOUVRE OR BLIND REQUIRED	
D2	S	STANDARD ALUMINIUM SINGLE CLEAR (U-VALUE 7.63 SHGC 0.75)
	STANDARD ALUMINIUM SINGLE CLEAR (U-VALUE 7.63 SHGC 0.75)	
D3	S	STANDARD ALUMINIUM SINGLE CLEAR (U-VALUE 7.63 SHGC 0.75)



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			<p>Site Address <b>53 DENISON STREET MUDGEE NSW 2850</b></p>	
			<p>Drawing <b>BASIX NOTES &amp; LOCATION PLAN</b></p>	<p>Sheet No. <b>5</b></p>
<p>Lot 1 DP794928</p>	<p>Date <b>8 NOV 2022</b></p>	<p>Plan/Revision <b>A101/G</b></p>		

1:150

SITE PLAN

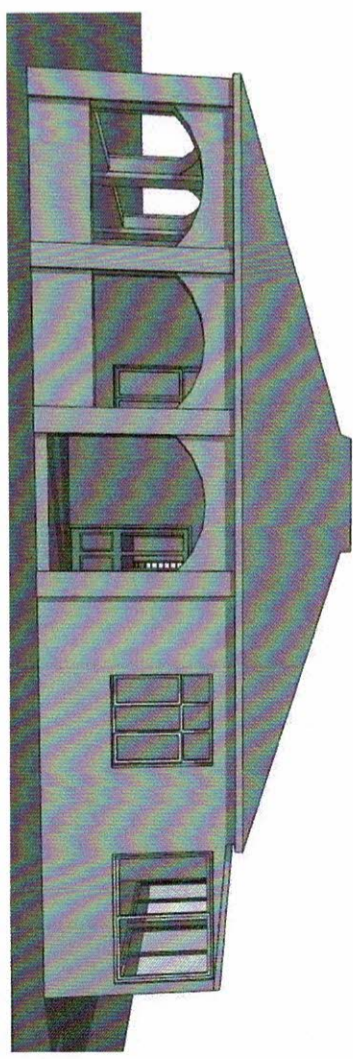
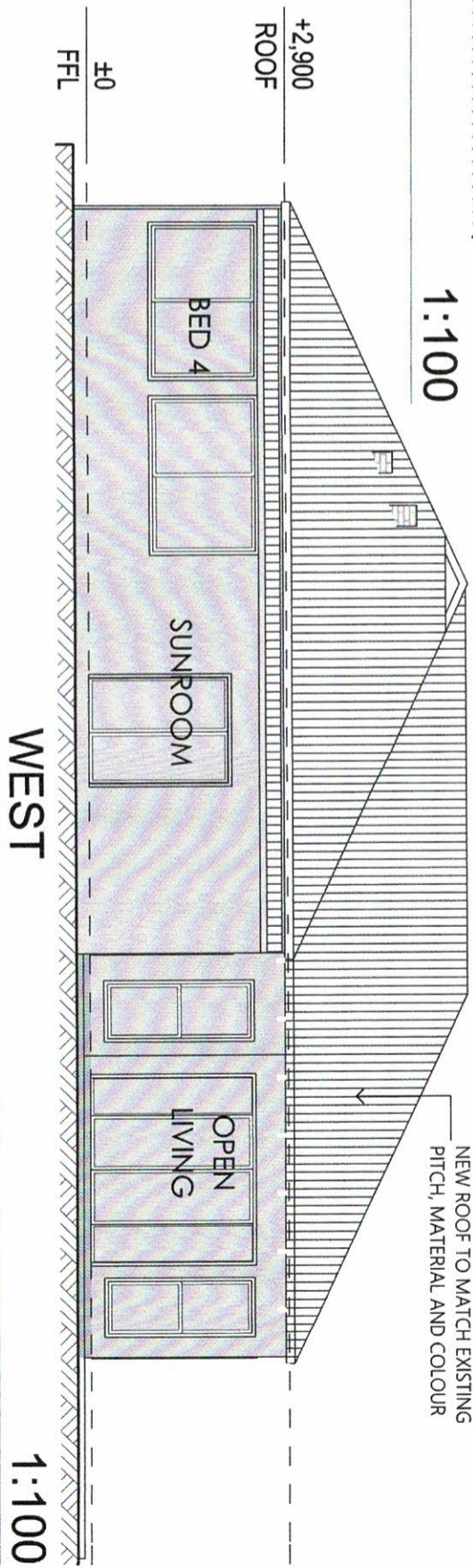
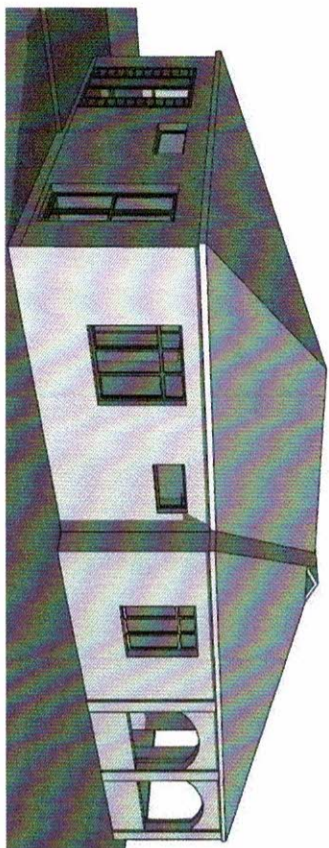
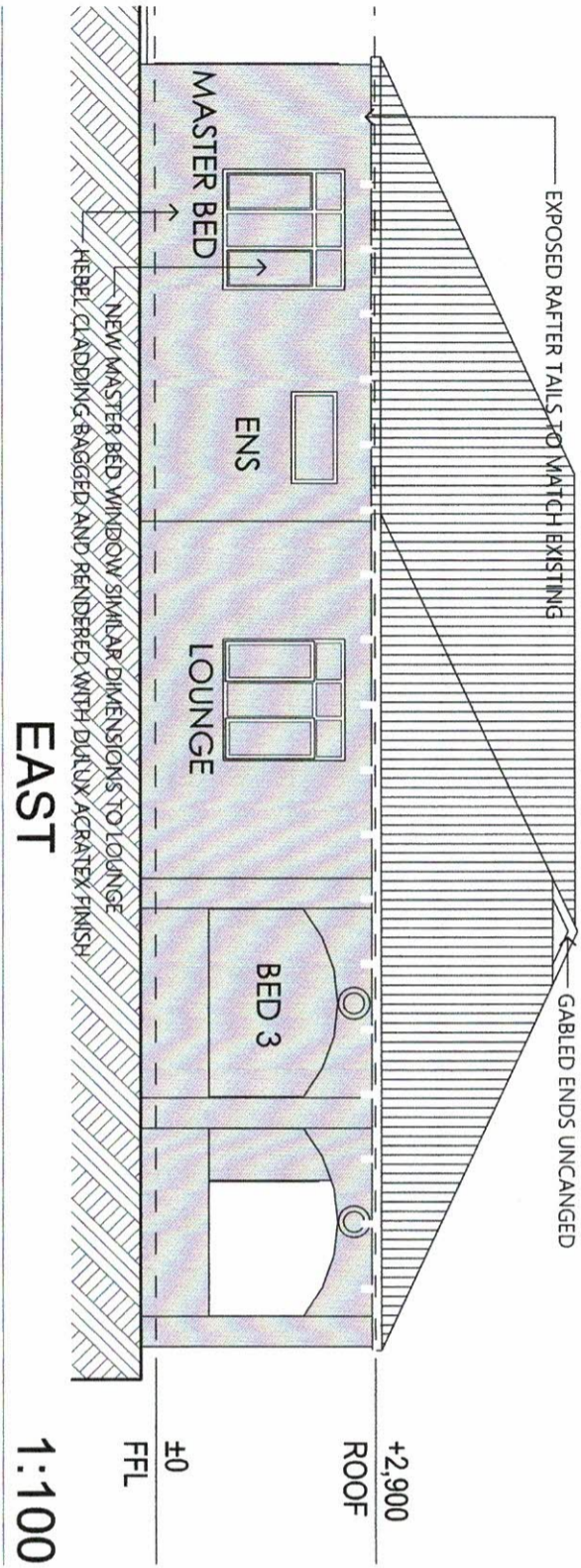
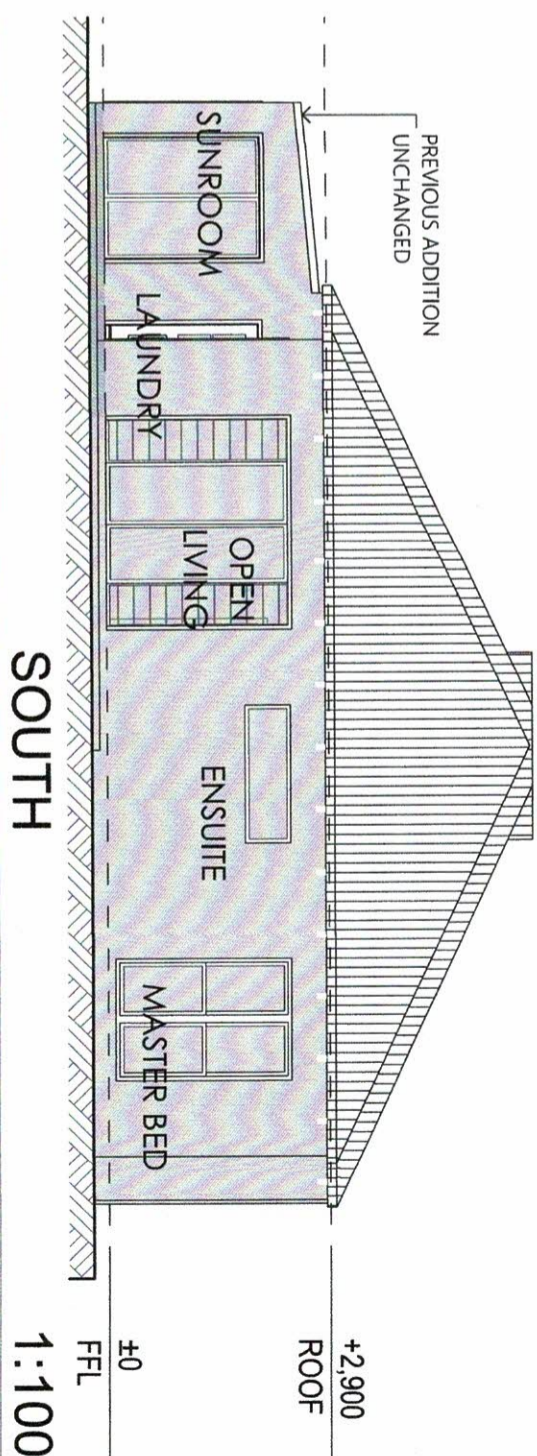
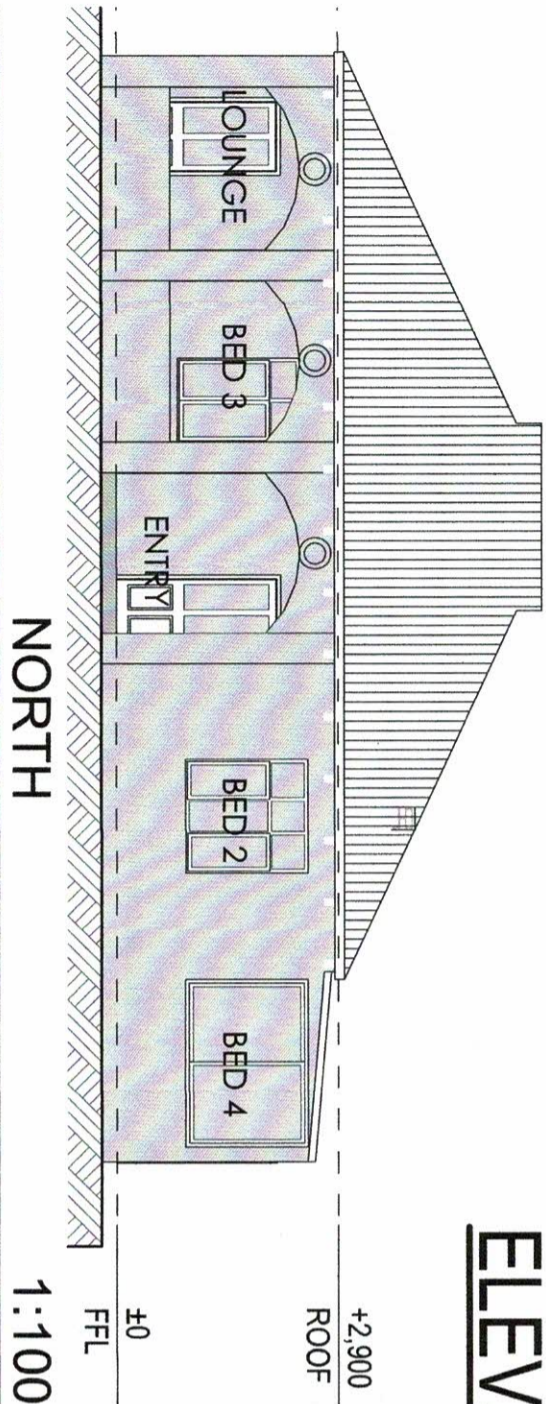
LOT 11 DP 1116267  
RESIDENTIAL PROPERTY

RESIDENTIAL PROPERTY  
LOT 1 DP1059517

DENISON STREET  
23m

LEWIS STREET

# ELEVATIONS



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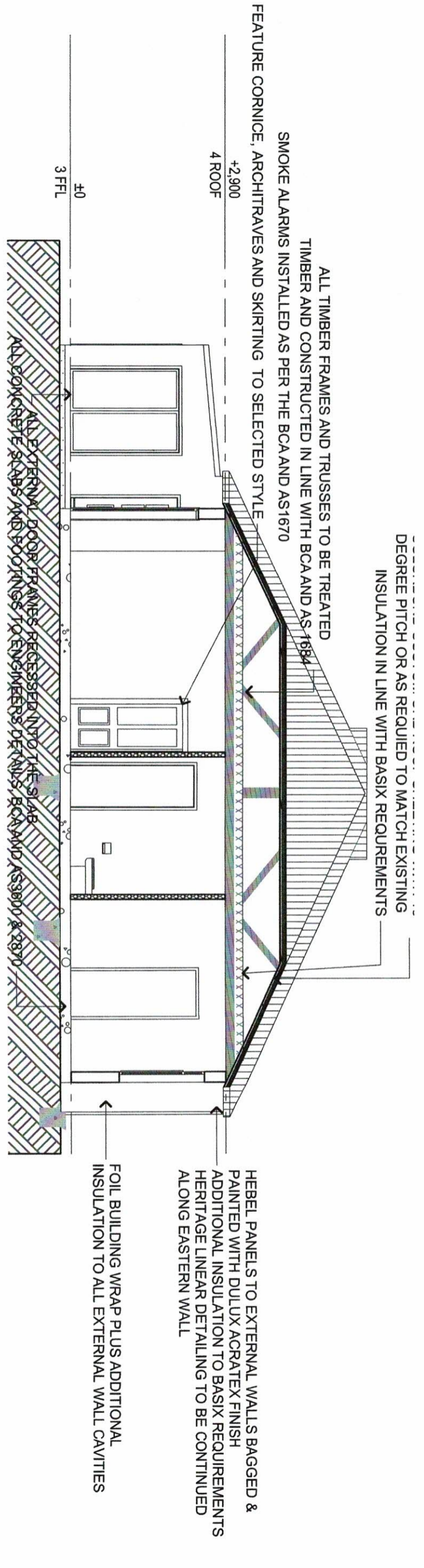
**pdqd**  
 ACCREDITED  
 BUILDING DESIGNER  
 Chartered Member No.  
 1187-10

Plans drawn by  
 Gicinta Browning

Client  
**M MATTHEWS + J DUFFY**  
 Site Address  
**53 DENISON STREET  
 MUDGEE NSW 2850**

Drawing	
Date	8 NOV 2022
Sheet No.	6
Plan/Revision	Lot 1 DP794928 A.201/G

ELEVATIONS



**SECTION A**

**1:80**

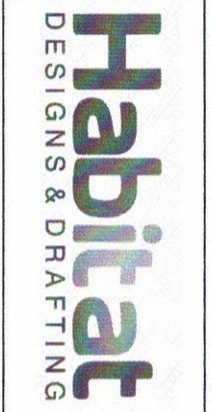
Door Schedule		
ID	Height	Width
D01	2,400	2,800
D02	2,400	2,800
D03	2,040	1,600
D04	2,040	1,600
D05	2,040	820
D06	2,350	820
D07	2,350	850
D08	2,350	850
D09	2,350	850

Window List						
ID	W01	W02	W03	W04	W05	W06
<b>ID</b>						
<b>Height</b>	2,200	2,200	600	2,300	1,600	600
<b>Width</b>	900	900	1,800	1,600	1,600	1,200
<b>Window sill height</b>	200	200	1,800	100	900	1,800
<b>Window head height</b>	2,400	2,400	2,400	2,400	2,500	2,400
<b>Surface Area</b>	1.98	1.98	1.08	3.68	2.56	0.72

WINDOW AND DOOR SIZES TO BE CONFIRMED BY BUILDER PRIOR TO ORDERING  
 ALL EXTERNAL DOOR FRAMES RECESSED INTO SLAB  
 ALL WINDOWS AND DOORS TO HAVE INSECT SCREENS

ROOM SCHEDULE	
Room Name	Measured Area
ALFRESCO	44.04
BATH	7.25
ENS	4.86
LAUNDRY	5.57
MASTER BED	13.81
OPEN LIVING	30.07
POWDER	1.94
ROBE	3.62

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Plans drawn by Gicinta Browning

**Client**  
 M MATTHEWS + J DUFFY

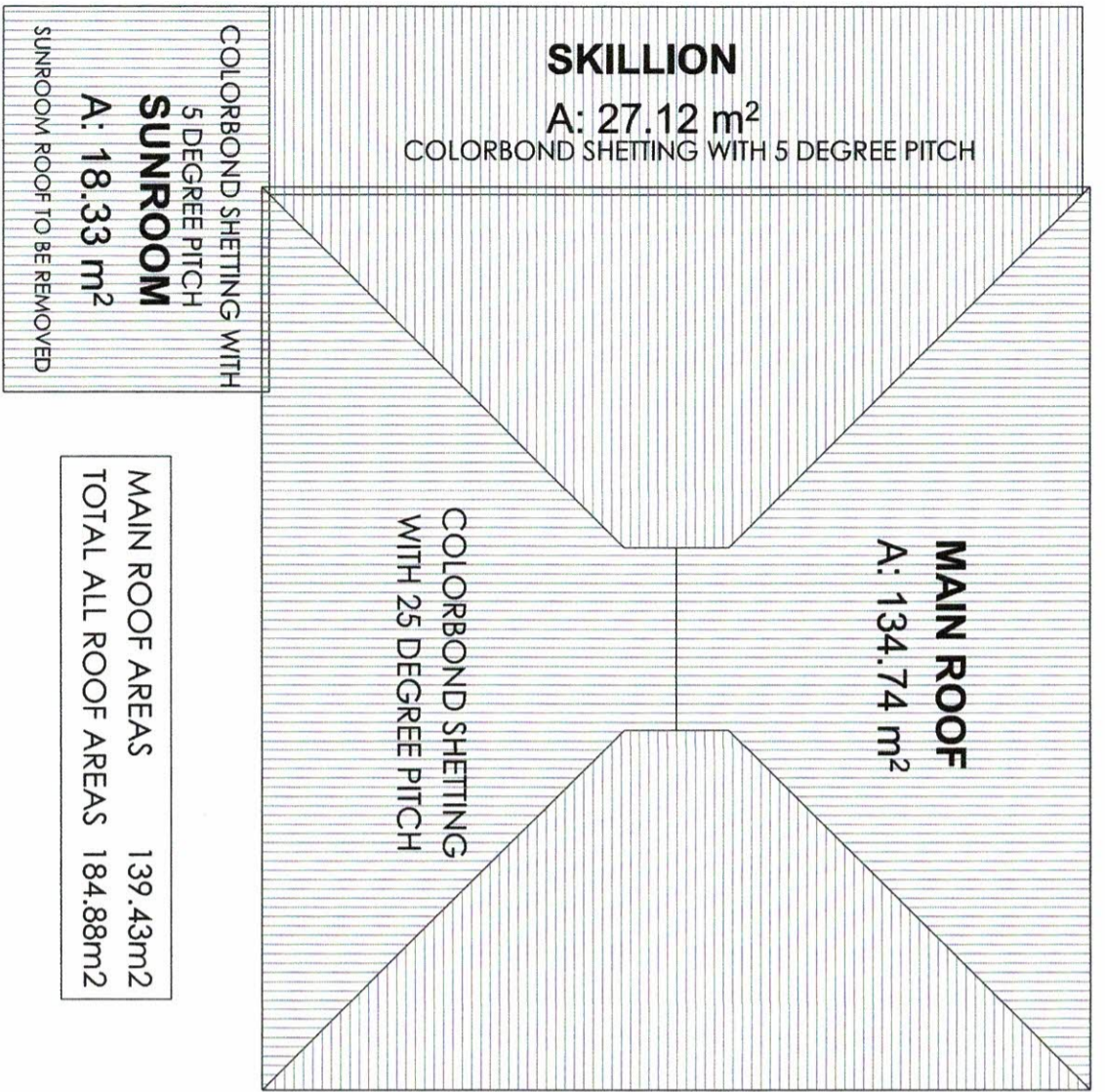
**Site Address**  
 53 DENISON STREET  
 MUDGEE NSW 2850

**Drawing**  
 SECTIONS

**Date**  
 8 NOV 2022

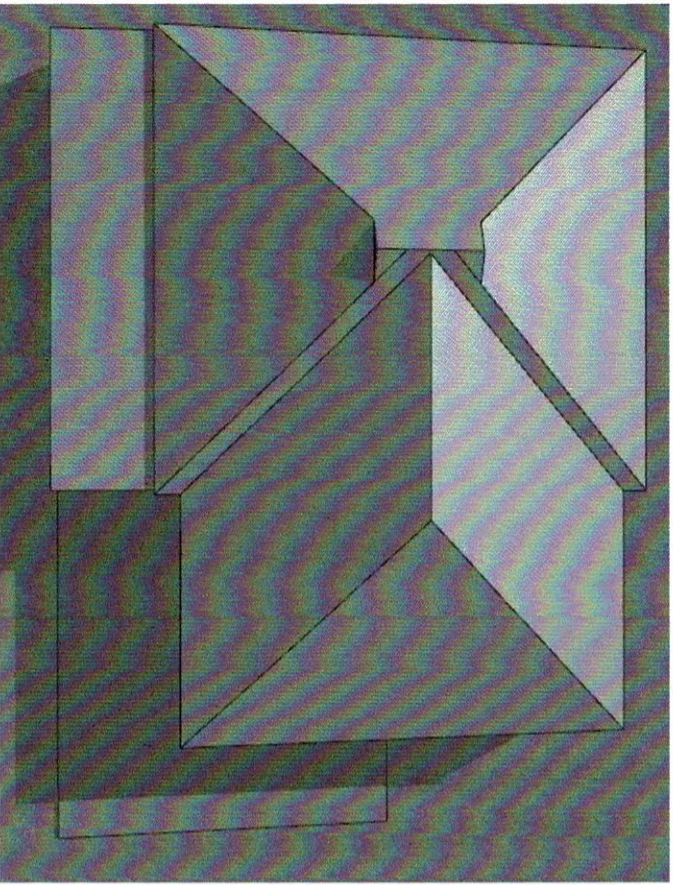
**Sheet No.**  
 7

**Plan/Revision**  
 A301/G

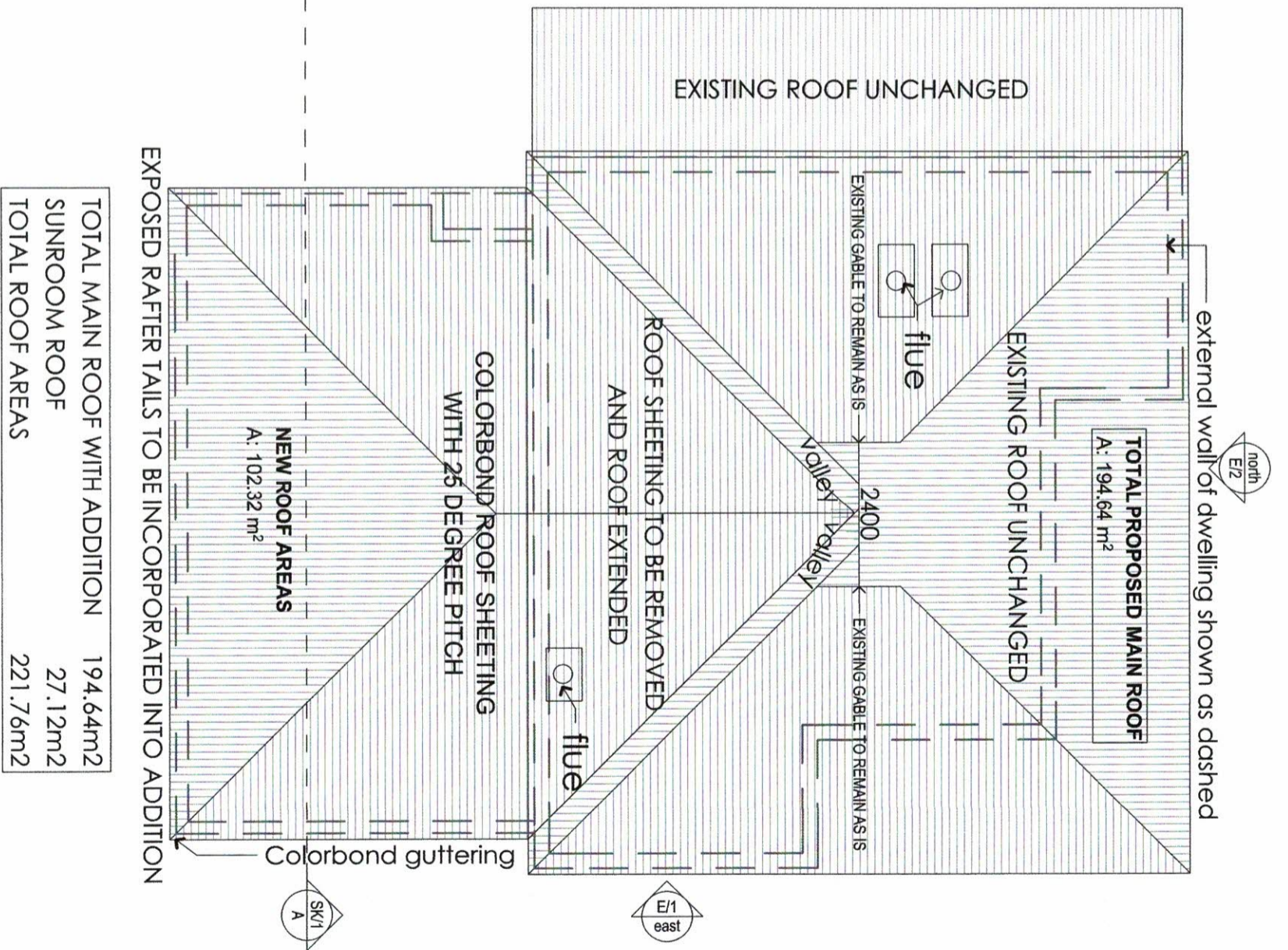


**EXISTING ROOF PLAN**

1:100



AERIAL VIEW OF THE PROPOSED ROOF



**ROOF PLAN**

1:100

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Chartered Member  
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Plans drawn by  
 Gicinta Browning

<b>Client</b> M MATTHEWS + J DUFFY		<b>Site Address</b> 53 DENISON STREET MUDGEE NSW 2850	
<b>Drawing</b> ROOF PLAN	<b>Date</b> 8 NOV 2022		<b>Sheet No.</b> 8
Lot 1 DP794928	<b>Plan/Revision</b> A.113/G		



## 1. FALLS, SLIPS, TRIPS

### a) WORKING AT HEIGHTS

#### DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

#### DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate. Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

### b) SLIPPERY OR UNEVEN SURFACES

#### FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

#### FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZS 4586:2004.

#### STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

## 2. FALLING OBJECTS

### LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out, onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

### BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

### 3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

## 4. SERVICES

### GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dig Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power: Underground power lines MAY be located in or around this site. All underground power lines MUST be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

## 5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

## 6. HAZARDOUS SUBSTANCES

### ASBESTOS

For alterations to a building constructed prior to 1980: If this existing building was constructed prior to 1980 - it therefore may contain asbestos 1986 - it therefore is likely to contain asbestos either in cladding material or in the retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

### POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

### TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

### VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

### SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

### TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

## 7. CONFINED SPACES

### EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

### ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

### SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

### 8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

### 9. OPERATIONAL USE OF BUILDING

#### RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

### 10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZS 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.  
THIS INCLUDES (but is not excluded to); OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

Do not scale drawing. Plans are to scale at A3.  
All care has been taken to ensure that this drawing is correct. The builder or supervisor are responsible for checking all aspects and dimensions and ensuring their use when accepting this drawing for general use.  
All engineering items on this plan are subject to verification by an engineer.  
Information is based on details obtained from the owners & are subject to verification by a registered surveyor or other professional consultant. The responsibility of engineering & surveying rests with the owner.  
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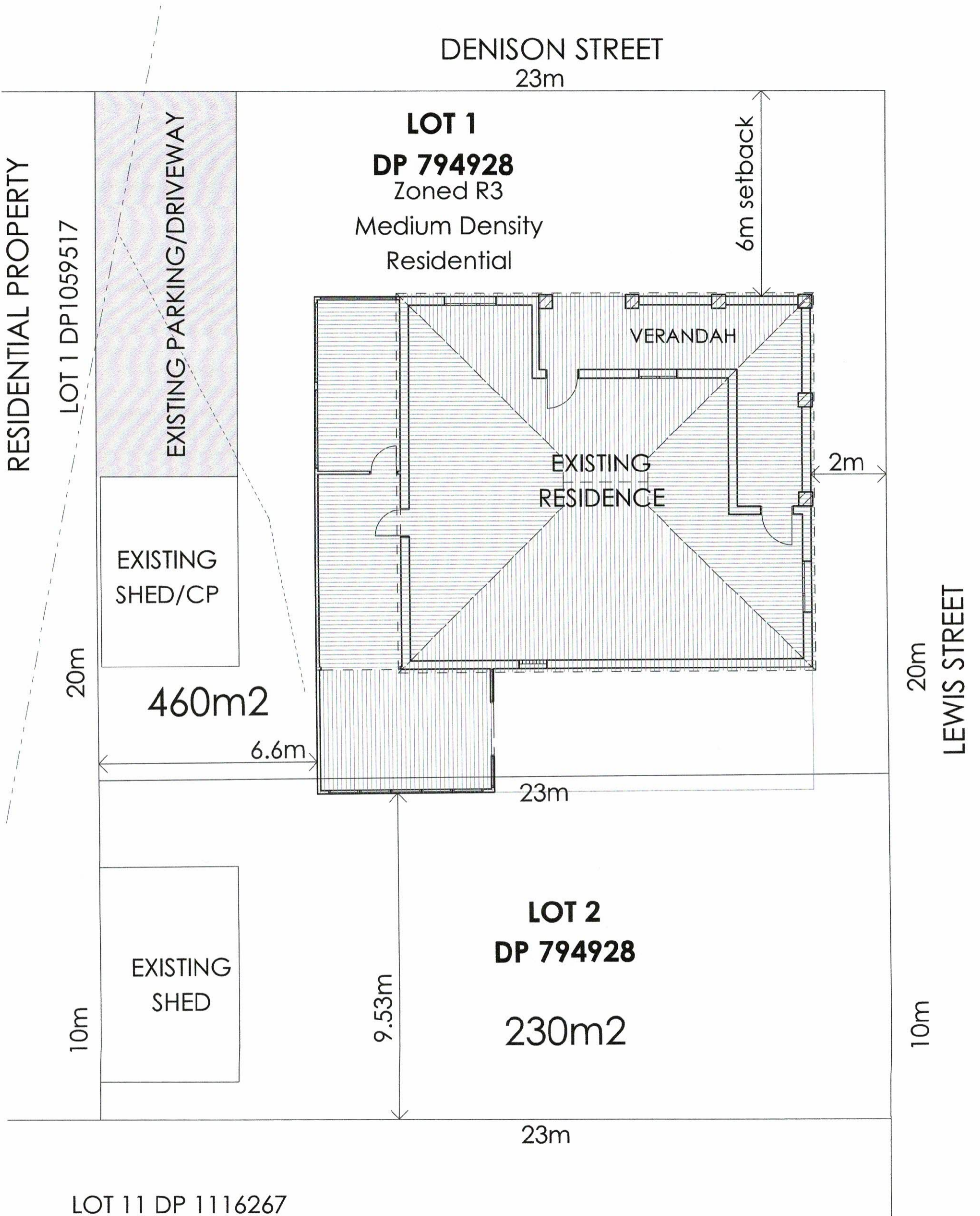
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ACCREDITED  
BUILDING DESIGNER

Chartered Member  
Number 1187-10

Client <b>M MATTHEWS + J DUFFY</b>		Sheet No. <b>9</b>	
Site Address <b>53 DENISON STREET MUDGEES NSW 2850</b>		Plan/Revision <b>A001/ G</b>	
Drawing <b>SAFETY IN DESIGN NOTES</b>	Date <b>8 NOV 2022</b>	Lot 1 DP794928	

EXISTING SITE PLAN

1:110



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Client M MATTHEWS + J DUFFY	
Site Address 53 DENISON STREET MUDGEES NSW 2850	
Drawing EXISTING SITE PLAN	Sheet No. 10
Lot 1 DP794928	Date 8 NOV 2022
	Plan/Revision A.006/G